



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-25-25-4
May 28, 2025

Camelback East Village Planning

June 3, 2025

Committee Meeting Date:

Planning Commission Hearing Date:

August 7, 2025

Request From:

R1-6 (Single-Family Residence District)
(0.64 acres)

R-3 (Multifamily Residence District)
(0.64 acres)

Request To:

R-3 (Multifamily Residence District)
(1.28 acres)

Proposal:

Multifamily residential

Location:

Approximately 670 feet east of the
northeast corner of 12th Street and
Campbell Avenue

Owner:

David Aller, Wayne Properties, LLC

Applicant/Representative:

David Ross, Ross Design Group, LLC

Staff Recommendation:

Approval, subject to stipulations

<u>General Plan Conformity</u>			
<u>General Plan Land Use Map Designation</u>		Residential 10 to 15 dwelling units per acre	
<u>Street Map Classification</u>	Campbell Avenue	Minor Collector	30-foot north half street
	Minnezona Avenue	Local Street	0-foot south half street
	13th Street	Local Street	0-foot east half street
<i>CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.</i> The proposal, as stipulated, will have design elements, including a density limit, that will prevent any negative impact to the surrounding neighborhoods.			

General Plan Conformity

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; DIVERSE NEIGHBORHOODS; LAND USE PRINCIPLE: Include a mix of housing types and densities where appropriate within each village that support a broad range of lifestyles.

The proposal will create a multifamily housing option that will increase the range of housing types available in the area.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The proposal, as stipulated, incorporates enhanced shading requirements for all walkways, public sidewalks, and bicycle infrastructure.

R-3 (Multifamily Residence District) Subdivision Option

<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed site Plan</u>
Gross Acreage	-	1.28 acres
Maximum Number of Units	18	10 (Met)
Maximum Density	14.5 dwelling units/acre	7.8 dwelling units/acre (Met)
Maximum Lot Coverage	50%, plus an additional 10% for an ADU and/or attached shade structures. Total: 60%	23.3% (Met)
Maximum Height	2 stories, 30 feet; 15 feet within 10 feet of a single-family zoning district, 1-foot increase in height for every additional 1-foot of building setback to the maximum permitted height	Overall: 1 story, 13 feet (Met)
Minimum Building Setbacks	Front: 25 feet Rear: 15 feet Side: 10 feet and 3 feet	Front: 34 feet (Met) Rear: 15 feet (Met) Side (east): 10 feet (Met) Side (west): 5 feet (Met)
<i>Minimum Landscape Setbacks</i>		
Adjacent to streets	25 feet	25 feet (Met)

R-3 (Multifamily Residence District) Subdivision Option		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed site Plan</u>
Interior property lines	5 feet	North: 15 feet (Met) East: 5-10 feet (Met) West: 5 feet (Met)
Minimum Open Space	5%	6.8% (Met)
Minimum Parking	1.5 spaces per unit: 15 spaces	26 spaces (Met)

Applicable Plans, Overlays, and Initiatives
<p><u>Phoenix Climate Action Plan</u> – See Background Item No. 5.</p> <p><u>Housing Phoenix Plan</u> – See Background Item No. 6.</p> <p><u>Shade Phoenix Plan</u> – See Background Item No. 7.</p> <p><u>Transportation Electrification Action Plan</u> – Background Item No. 8.</p> <p><u>Complete Streets Guiding Principles</u> – See Background Item No. 9.</p> <p><u>Comprehensive Bicycle Master Plan</u> – See Background Item No. 10.</p> <p><u>Zero Waste PHX</u> – See Background Item No. 11.</p> <p><u>Conservation Measures for New Development</u> – See Background Item No. 12.</p>

Surrounding Land Uses and Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Vacant residential buildings	R1-6 and R-3
North	Single-family residential	R1-6
West	Single-family residential	R1-6 and R-3
East	Single-family residential	R1-6 and R-3
South (across Campbell Avenue)	Single-family residential and vacant land	R-3

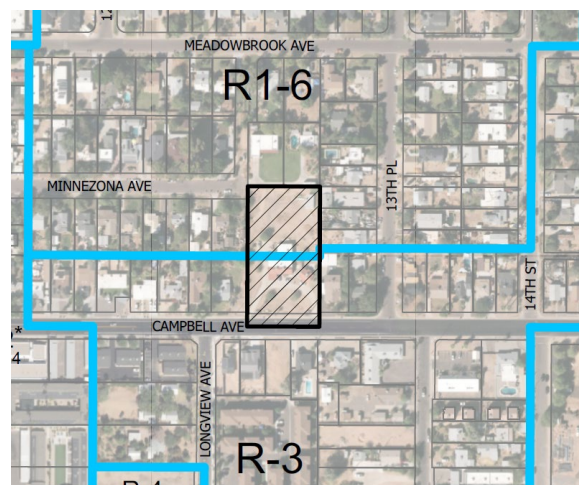
Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone 1.28 acres located approximately 670 feet east of the northeast corner of 12th Street and Campbell Avenue, from 0.64 acres of R1-6 (Single-Family Residence District) and 0.64 acres of R-3 (Multifamily Residence District) to R-3 (Multifamily Residence District) for multifamily residential.

SURROUNDING LAND USES AND ZONING

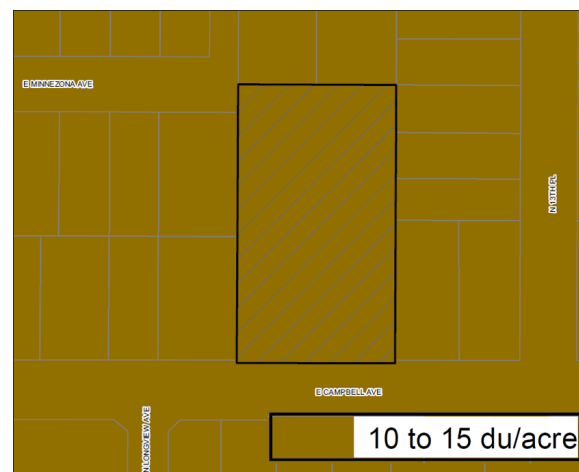
2. The surrounding properties to the north are single-family homes zoned R1-6. The properties to the east and west are single-family homes zoned R1-6 and R-3. The properties to the south, across Campbell Avenue, are single-family homes zoned R-3.



Zoning Aerial Map, Source: Planning and Development Department

GENERAL PLAN LAND USE MAP

3. The General Plan Land Use Map designation for the subject site, as well as properties on all sides is Residential 10 to 15 dwelling units per acre. The proposed zoning is consistent with the General Plan Land Use Map designation.



General Plan Land Use Map, Source: Planning and Development Department

PROPOSAL

4. The conceptual site plan, attached as an exhibit, proposes a multifamily development with 10 detached, one-story units, oriented around a driveway

entering the property from Campbell Avenue and forming a circle within the property. Within the driveway circle, an open space area with amenities for residents of the development is proposed. Vehicular and pedestrian access to the site would be from Campbell Avenue. The conceptual elevations, attached as an exhibit, demonstrate four-sided architecture with a building height of 13 feet. Staff recommends Stipulation No. 1 to limit the number of units to a maximum of 12 to ensure the proposal is compatible with the surrounding community.

STUDIES AND POLICIES

5. [Phoenix Climate Action Plan](#)

In October 2021, the Phoenix City Council approved the Climate Action Plan. The Climate Action Plan will serve as a long-term plan to achieve greenhouse gas emissions reductions and resiliency goals from local operations and community activities as well as prepare for the impacts of climate change. This plan contains policy and initiatives regarding stationary energy, transportation, waste management, air quality, local food systems, heat, and water. Goal W2 (Water), Action W2.4, pertains to the implementation of the [Greater Phoenix Green Infrastructure \(GI\) and Low Impact Development Details for Alternative Stormwater Management](#) to benefit the environment, promote water conservation, reduce urban heat, improve the public health, and create additional green spaces. This goal is addressed in Stipulation No. 10, which requires a minimum of two GI techniques for stormwater management to be implemented in this development.

6. [Housing Phoenix Plan](#)

In June 2020, the Phoenix City Council approved the Housing Phoenix Plan. This Plan contains policy initiatives for the development and preservation of housing with a vision of creating a stronger and more vibrant Phoenix through increased housing options for residents at all income levels and family sizes. Phoenix's rapid population growth and housing underproduction has led to a need for over 163,000 new housing units. Current shortages of housing supply relative to demand are a primary reason why housing costs are increasing. The proposal supports the Plan's goal of preserving or creating 50,000 housing units by 2030 by contributing to a variety housing types that will address the supply shortage at a more rapid pace.

7. [Shade Phoenix Plan](#)

In November 2024, the Phoenix City Council adopted the Shade Phoenix Plan. The Shade Phoenix Plan prioritizes increasing shade coverage throughout the City to improve health and quality of life. Investing in shade can address the urban heat island effect, clean the air, preserve Sonoran vegetation, and prevent health complications related to prolonged exposure to heat. The Shade Phoenix Plan provides numerous strategies to increase shade including expanding and maintaining existing shade, strengthening tree code enforcement, and developing shade stipulations in rezoning cases. The proposal will provide enhanced shade for

all public and private walkways, and bicycle infrastructure. This is addressed in Stipulation No. 2.

8. **Transportation Electrification Action Plan**

In June 2022, the Phoenix City Council approved the Transportation Electrification Action Plan. The current market desire for the electrification of transportation is both a national and global phenomenon, fueled by a desire for better air quality, a reduction in carbon emissions, and a reduction in vehicle operating and maintenance costs. Businesses, governments, and the public are signaling strong future demand for electric vehicles (EVs), and many automobile manufacturers have declared plans for a transition to fully electric offerings within the coming decade. This Plan contains policy initiatives to prepare the City for a future filled with more EVs, charging infrastructure and e-mobility equity, and outlines a roadmap for a five-step plan to prepare for the EV infrastructure needs of 280,000 EVs in Phoenix by 2030. One goal of the Plan to accelerate public adoption of electric vehicles through workplace, business, and multifamily charging infrastructure recommends a standard stipulation for rezoning cases to provide EV charging infrastructure. This is addressed in Stipulation Nos. 6 and 7.

9. **Complete Streets Guiding Principles**

The City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. The proposed development, as stipulated, will support walking, bicycling, and transit-use by including on site bicycle infrastructure – bicycle parking and a repair station – and providing alternative pavement for portions of the driveway near the pedestrian walkways. These are addressed in Stipulation Nos. 3 through 5.

10. **Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its bikeway system and supportive infrastructure. The Comprehensive Bicycle Master Plan supports options for both short- and long-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. As stipulated, the development will provide bicycle parking in the common open space area, including electric bicycle charging capabilities, and a repair station. These are addressed in Stipulation Nos. 4 through 6.

11. **Zero Waste PHX**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero-waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs. The applicant states in their submittal materials that recycling bins will be included on site.

12. **Conservation Measures for New Development**

In June 2023, the Phoenix City Council adopted the Conservation Measures for New Development policy as part of a resolution addressing the future water consumption of new development (Resolution 22129). This resolution addresses the future water consumption of new development to support one of the City's Five Core Values in the General Plan which calls for Phoenix to - *Build the Sustainable Desert City*. The Conservation Measures for New Development policy includes direction to develop standards for consideration as stipulations for all rezoning cases that will address best practices related to water usage in nine specific categories. This is addressed in Stipulation Nos. 8 through 11.

COMMUNITY CORRESPONDENCE

13. As of the writing of this report, no community correspondence has been received.

INTERDEPARTMENTAL COMMENTS

14. The Street Transportation Department requires a 30-foot-wide right-of-way dedication for the south side of Minnezona Avenue for the west 20 feet of the property, that all street improvements are made to City and ADA standards, and that unused driveways will be replaced with curb, gutter, and sidewalk. These are addressed in Stipulation Nos. 12 through 14.

OTHER

15. The Aviation Department requested that the property owner record documents that disclose the existence and operational characteristics of Sky Harbor Airport to future owners or tenants of the property. This is addressed in Stipulation No. 15.

16. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33 feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 16.

17. Staff has not received a completed form for the Waiver of Claims for Diminution in Value of Property under Proposition 207 (A.R.S. 12-1131 et seq.), as required by the rezoning application process. Therefore, a stipulation has been added to require the form be completed and submitted prior to final site plan approval. This is addressed in Stipulation No. 17.

18. Development and use of the site are subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other

formal actions such as, but not limited to, zoning adjustments and abandonments may be required.

Findings

1. The proposal is consistent with the General Plan Land Use Map designation and with the scale and character of the surrounding area.
2. The proposal will increase the housing supply and the diversity of housing types available in the area consistent with the Housing Phoenix Plan and the Phoenix General Plan.
3. The proposal, as stipulated, provides enhanced pedestrian and bicycle amenities consistent with the Comprehensive Bicycle Master Plan, Shade Phoenix Plan, and the Complete Streets Guiding Principles.

Stipulations

1. The development shall have a maximum of 12 dwelling units.
2. All bicycle infrastructure and pedestrian pathways, including sidewalks, shall be shaded by a structure, landscaping, or a combination of the two to provide a minimum of 75% shade, as approved by the Planning and Development Department.
3. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments, that visually contrasts parking and drive aisle surfaces, as approved by the Planning and Development Department.
4. A minimum of 4 bicycle parking spaces shall be provided within the common open space and installed per the requirements of Section 1307.H of the Phoenix Zoning Ordinance.
5. A bicycle repair station ("fix it station") shall be provided and maintained on site within an amenity area or near a primary site entrance. The bicycle repair station ("fix it station") shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include, but not be limited to: standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.

6. A minimum of 10% of the required bicycle parking spaces shall include standard electrical receptacles for electric bicycle charging capabilities, as approved by the Planning and Development Department.
7. A minimum of 10% of the required vehicle parking spaces shall include EV Capable infrastructure.
8. Natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas located on properties for uses such as usable residential common areas, as approved by the Planning and Development Department.
9. A minimum of 25% of the surface parking areas shall be shaded, as approved by the Planning and Development Department. Shade may be achieved by structures or by minimum 2-inch caliper, drought tolerant, shade trees, or a combination thereof.
10. A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.
11. Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Water Efficiency Program for a minimum of 10 years, or as approved by the Planning and Development Department.
12. A minimum 30 feet of right-of-way shall be dedicated for the south side of Minnezona Avenue, for a depth of 20 feet as measured from the western property line.
13. Replace unused driveways with sidewalk, curb, and gutter. Also, replace any broken or out-of-grade curb, gutter, sidewalk, and curb ramps on all streets and upgrade all off-site improvements to be in compliance with current ADA guidelines.
14. All streets within and adjacent to the development shall be constructed with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

15. The property owner shall record documents that disclose the existence, and operational characteristics of Phoenix Sky Harbor Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
16. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
17. Prior to final site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

Writer

Anthony Grande

May 28, 2025

Team Leader

Racelle Escolar

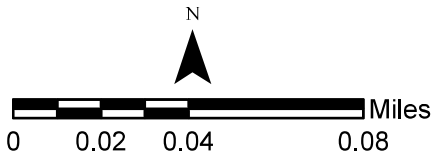
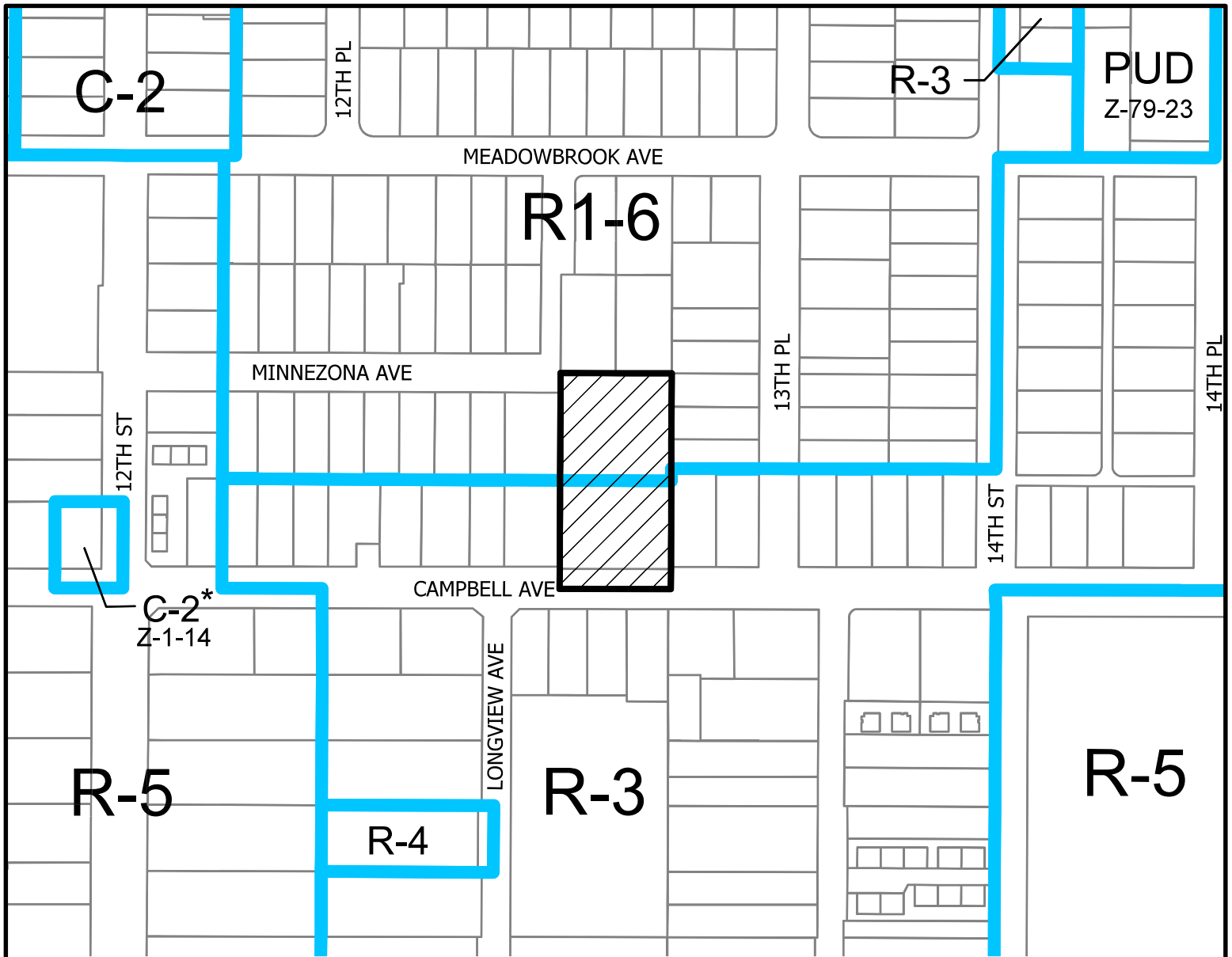
Exhibits

Zoning sketch map

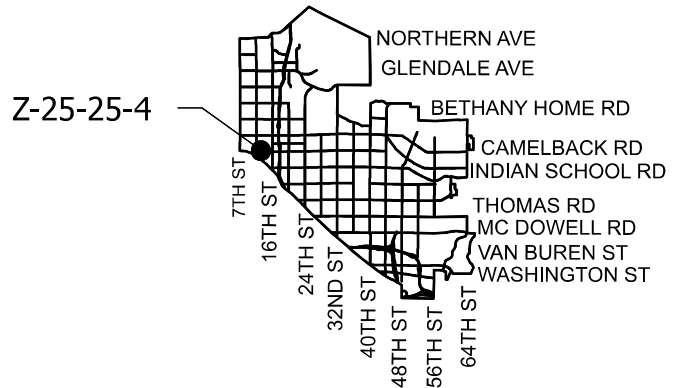
Aerial sketch map

Conceptual Site Plan date stamped May 2, 2025

Conceptual Building Elevations date stamped March 12, 2025

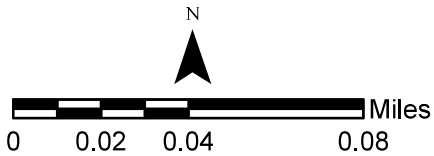
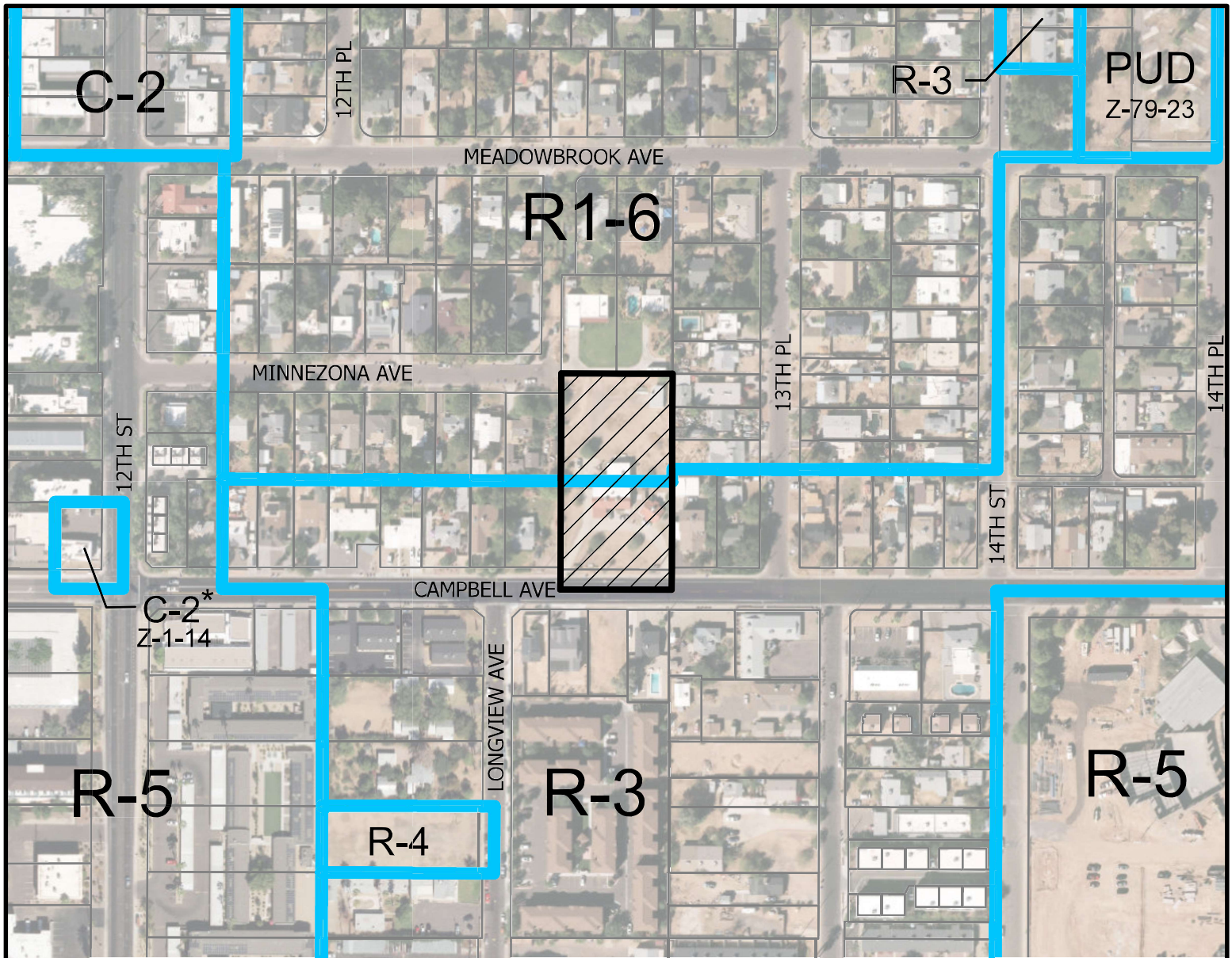


CAMELBACK EAST VILLAGE
COUNCIL DISTRICT: 4

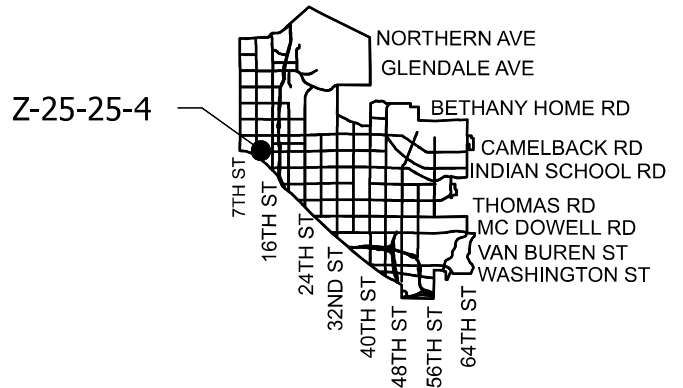


APPLICANT'S NAME: Ross Design Group, LLC		REQUESTED CHANGE:	
APPLICATION NO: Z-25-25-4	DATE: 3/26/2025 REVISION DATES:	FROM: R1-6 (0.64 ac.) R-3 (0.64 ac.)	
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 1.28 Acres	AERIAL PHOTO & QUARTER SEC. NO. QS 18-30	ZONING MAP H-9	TO: R-3 (1.28 ac.)
MULTIPLES PERMITTED R1-6, R-3 R-3	CONVENTIONAL OPTION 3, 9 18		* UNITS P.R.D OPTION 4, 11 22

* Maximum Units Allowed with P.R.D. Bonus



CAMELBACK EAST VILLAGE
COUNCIL DISTRICT: 4

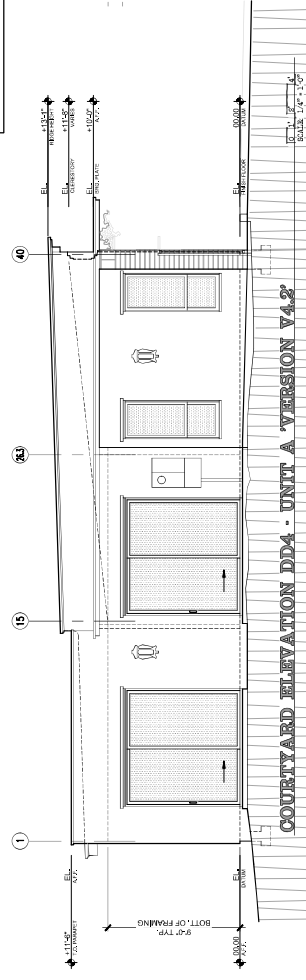


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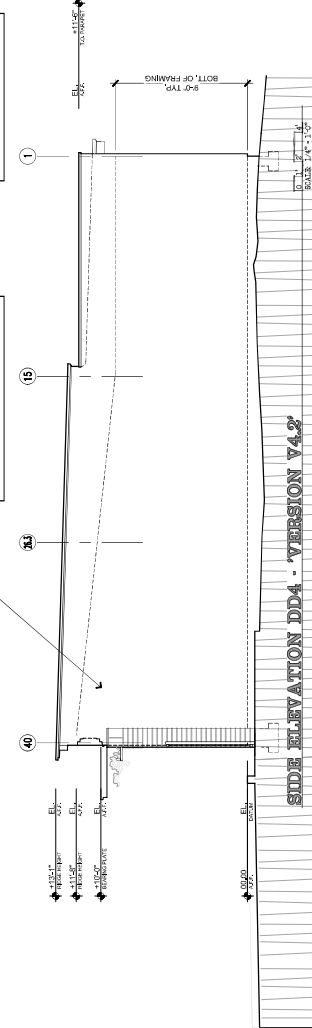
- ROOF STRUCTURE**
- SINGLE PLY MEMBRANE ON 1/2" WOOD SHEATHING OVER 18" DEEP MFD. WD. TRUSSES AT 24" O.C.
 - BID ALTERNATE 01 • R30 BATT BID ALTERNATE 02 • R30 FOAM TO BOTTOM OF SHEATHING



COURTYARD ELEVATION DD4 - UNIT A 'VERSION V4.2'

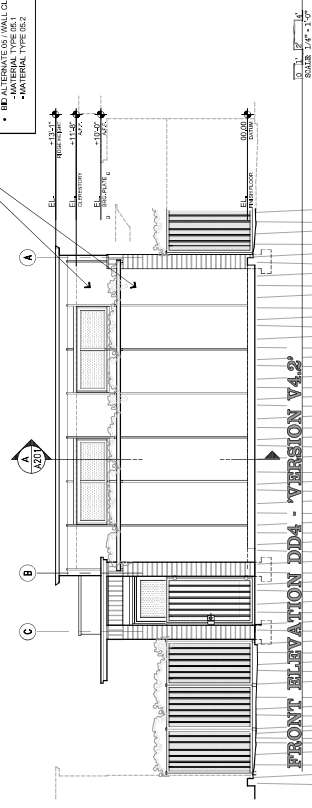
- SAND FINISH SYNTHETIC ONE COAT STUCCO SYSTEM ON MIN. R-5 CONT. 1 1/2" RIGID INSULATION & VAPOR BARRIER ON 5/8" DENS-GLAS SHEATHING OVER 2X6 WOOD FRAMING AT 16" O.C. W/ MIN. R-19 BATT INSULATION.

- FOUNDATION**
- 4" SLAB ON 4" A.B.C.
 - BID ALTERNATE 03
 - CONC. FOOTINGS W/ STEM WALL
 - BID ALTERNATE 04
 - 14" x 18" d MONOLITHIC POUR

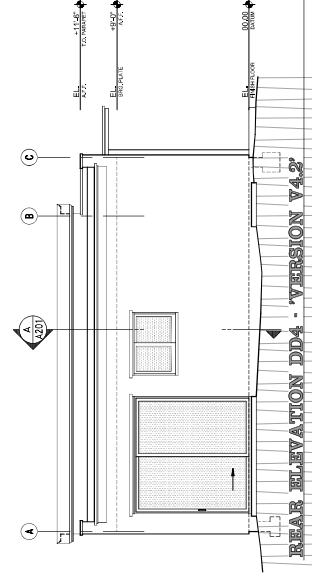


SIDE ELEVATION DD4 - 'VERSION V4.2'

- 20 GA. METAL PANELS ON 1" 1/2" HAT CHANNELS ON TREATED 1 1/2" MIN. 5-4 CONT. 1 1/2" R-13 INSULATION ON CEMENT BOARD OVER VAPOR BARRIER & 2x6 WOOD FRAMING AT 16" O.C. W/ 2x8 MIN. R-19 BATT CAVITY INSULATION.
- DB ALTERNATE 05 / WALL CLADDING
 - MATERIAL TYPE 05.1
 - MATERIAL TYPE 05.2



FRONT ELEVATION DD4 - VERSION V4.2



REAR ELEVATION DD4 - 'VERSION V4.2'

CITY OF PHOENIX

MAR 12 2025

Planning & Development
Department