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a team within:



LEE &  
ASSOCIATES

COMMERCIAL REAL ESTATE SERVICES

Andrew Cheney, CRE, CCIM, SIOR

Principal

Direct: (602).954.3769

April 24, 2025

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

**CITY OF PHOENIX**

**MAY 01 2025**

Planning & Development  
Department

Dear Mr. Easton,

I am a commercial real estate broker in Phoenix with 22 years of experience in the Biltmore area and Camelback Corridor. I have been a principal at Lee & Associates since 2009. I was Brett Slavicek's agent when he purchased the property at 5500 N. 24th Street in 2013. I am also the Past Chairman of the Board of NAIOP Arizona, the largest commercial real estate trade organization in our state.

Brett shared with me his plans for upgrades and modernization of the second level. The plans include converting the second-floor mezzanine (which was a law library when he bought it) to regular office and meeting space, while adding approximately 1,000 square feet. The plans do not alter the site plan or building height. The plans include luxurious finishes, including extensive interior wood paneling and marble, plus exterior copper clad turrets and a natural slate roof.

When the building was built in the early 1980s, this area was vastly different from what it is today. Now, mid-rise buildings dominate just a few blocks away. The immediate area is abundantly populated with two story homes, including directly across both 24th Street and Missouri Avenue from Brett's property. The Arizona Biltmore itself has also undergone major updates.

While the initial zoning goal was to mitigate having a commercial property in what was then a residential area, this area has long changed in those 45 years.

With that said, it is important to know that the changes Brett proposes still keep the building's appearance as much residential as commercial. Since Brett has owned the building, he's removed all visible signage to the building, which has made it even more residential appearing than when he purchased it.

It should also be noted that this property would be significantly improved with Brett's proposed improvements, which make it more architecturally interesting, and provide better finishes. The property has always been a great transition as one heads south down 24th Street into the Camelback Corridor. It has always been a signature property with its unique architecture and landscape, to include full frontage of annual flowers on both 24th St. and Missouri

The current use of the property is a low volume law practice which is perhaps the best commercial use the neighborhood could expect. Brett tells me that he needs to expand, and if he can't expand, then he must move. That would be regrettable for the neighborhood. The

building likely would not have the same low volume or as good of a steward of this important corner as Brett has been and intends to be.

In conclusion, the Biltmore area, the transition to the Camelback corner off of 24th St., and immediate neighborhood will benefit from Brett's upgrades and very minor expansion. The law firm has proven to be an exceptional neighbor and only wants to make the property better, not just for the occupants and employees, but for the entire neighborhood, and city itself. With these changes, this building will remain an iconic building on an iconic corner, for decades to come.

Sincerely,

A handwritten signature in blue ink, appearing to read 'ACS', is positioned below the word 'Sincerely,'.

Andrew Cheney, CCIM, CRE, SIOR  
Principal  
602.954.3769

MAY 01 2025

Planning & Development  
Department

Mr. Byron Easton  
Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

Dear Mr. Easton:

I am the owner of 44 Biltmore Estates and use the 24<sup>th</sup>/Missouri entrance to Biltmore daily to come in and out of the Biltmore neighborhood. Additionally, my home shares the wall with the parking lot of the Adobe Restaurant & Grill so I am intimately familiar with expansion, construction, and the compromises associated with development in our neighborhood.

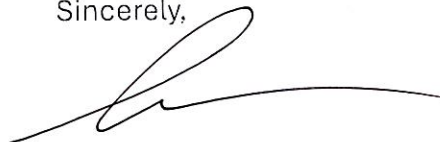
It is with that context that I write this letter in support of Slavicek Holdings' application for improvements at 5500 N. 24<sup>th</sup> Street to allow the expansion of the second-floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

I have visited the current building and appreciate not only the architecture and the owner's goal of maintaining the building's current look, but I also appreciate how the building has no signage, beautiful landscaping, and generates very little traffic.

A law firm office is a great use for this iconic Phoenix building and to support the owner by allowing for a minor expansion that does not change its character, overall use, or aesthetic but allows for the business to grow and be sustained is certainly something to support.

Thank you for allowing me to provide my input.

Sincerely,



Donald Levin  
44 Biltmore Estates  
Phoenix, Arizona 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 13 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Victoria Granbury  
5201 N. 24th Street  
Phoenix, Az 85016



# CITY OF PHOENIX

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

MAY 15 2025

Planning & Development  
Department

Dear Officer Easton:

I live at 2 Biltmore Estates, Unit 311, which is in the immediate area of The Slavicek Law Firm, which is located prominently on the corner of Missouri and 24th Street. I drive or walk by the corner almost every day as I come and go from the Biltmore Circle.

I am very familiar with the building; this area has been my home for many years. I reviewed the plan and renderings for Mr. Slavicek's proposed 1,035 square foot addition, to include two new copper turrets, plus expansion of the existing mezzanine out the southwest side.

I write in full support the project and urge the Planning Committee to approve it. The architecture and design are well thought out and grand. The proposed changes and updates will significantly improve the property itself but equally the neighborhood. The building will still have a residential feel and continue as an iconic building on this important corner. In fact, if the changes are allowed, the building will become even more iconic and of greater interest. A perfect transition to the Biltmore and Camelback Corridor.

I understand the Biltmore Area Master Association (ABEVA) is spending over \$1 Million on redoing both entrances to the Biltmore off of 24th Street, kitty-corner from the subject property, and off of Colter and 32nd Street. I am certain the upgrades and enhanced new addition proposed by Mr. Slavicek would perfectly compliment the ABEVA project.

With only 1,035 square feet added, I see no increased burden to the neighborhood. The existing law firm has been a model, low volume commercial occupant.

As a resident vested in the community of the Biltmore Circle (where we all drive out of our community with the building in full site) I see nothing but good coming from this project, and nothing but good in keeping the current occupant in place.

Sincerely,

  
Dennis Clifford

Greg & Aaron Nadeau  
2226 East Montebello  
Phoenix, AZ 85016

**CITY OF PHOENIX**

April 20, 2025

**MAY 15 2025**

**Planning & Development  
Department**

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton,


We live approximately two blocks from 5500 N. 24th Street. This building is well known to everyone in the neighborhood due to its age, unique and distinctive architectural features, and the fact that the owner plants large areas of annual flowers twice a year, and due to its prominent location across from the entrance to the Biltmore.

We were surprised to learn that there are restrictions on this property, preventing it from having a second story. This is especially true since many of the properties around it, including the property right across Missouri, have second stories.

We reviewed the architectural renderings. We believe the intended design is beautiful and will add to the neighborhood, not take anything from it. The building will become even more iconic.

Again, we urge the City to please modify the stipulations on this property, such that it can be like its neighbors, a two-story property. The building will look fantastic, if the owners plans can come to fruition.

Thank you!



Greg Nadeau



Aaron Nadeau

April 21, 2025

**CITY OF PHOENIX**

**MAY 15 2025**

Byron Easton  
City of Phoenix Planning Department

**Planning & Development  
Department**

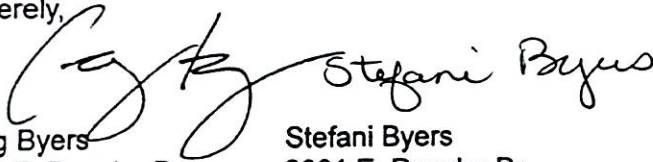
Dear Mr. Easton:

We live in the immediate neighborhood to the property at 5500 N. 24th St., a law firm which has been there for more than a dozen years.

We support the proposed project. The changes will improve the stature of the building, and will make the corner be of more visual interest. The building is unique and these changes, while consistent with the original nature of the building, will only serve to make it more architecturally interesting.

We also want to point out that the owners of the property have been good neighbors. There is no commercial signage on the building. There is very little traffic (and only during regular work hours). The building is always well-maintained to include expansive annual flowers to rival those at the entrance to the Biltmore. We respectfully encourage Phoenix to allow the occupants to expand in the minor way they wish to expand so they can stay and continue to benefit our neighborhood.

Sincerely,



Craig Byers  
2301 E. Rancho Dr.  
Phoenix, AZ 85016

Stefani Byers  
2301 E. Rancho Dr.  
Phoenix, AZ 85016

Marco and Laura Louis  
2029 E San Juan Ave,  
Phoenix AZ 85016

**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**

April 20, 2025

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We are in support of the plans. The improvements will be of benefit to the law firm but also the entire neighborhood. The property will continue to present with a residential aura and the design is pleasing, luxurious and consistent with the building's history.

This property has always been a well known and admired property in our neighborhood. These changes will only make it better and cause nothing harmful to our neighborhood.

We hope the owners are allowed to make the changes, so they will continue to remain. It is highly unlikely any new occupants will be as good to this neighborhood as the present owners. Indeed, the business use of this property has been as minimal as we could expect.

Thank you,



Marco and Laura Louis





FROM THE DESK OF  
KELLEN W. BRADLEY

May 13, 2025

Byron Easton  
City of Phoenix Planning Department

Re: 5500 N. 24th Street

Dear Mr. Easton,

I am writing to express my strong support for the planned updates to the office building at 5500 N. 24th Street in Phoenix, Arizona. I have lived in Phoenix for 40 years. As a native and resident of Phoenix for four decades, I've consistently observed this property being maintained with exceptional care by its owners. Based on my long-term experience, any proposed expansion appears to be quite modest and in keeping with the building's longstanding standards.

Modernizing this property aligns with the City of Phoenix's 2025 General Plan, which prioritizes sustainable growth, enhanced infrastructure, and the creation of vibrant business environments. Upgrading office spaces in this area will not only improve the functionality and appeal of the building itself but also contribute to the broader revitalization of the 24th Street corridor.

Furthermore, updated office spaces are essential for meeting the evolving needs of today's workforce, offering safer, more efficient, and more attractive environments for employees and clients. I fully support these efforts and encourage all stakeholders to continue investing in the future of 5500 N. 24th Street and the surrounding neighborhood.

**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**

Sincerely,



Kellen Bradley  
5616 N. 21st Place  
Phoenix, AZ 85016

April 22, 2025

**CITY OF PHOENIX**

Santino Ori  
2137 E. Rancho Drive  
Phoenix, AZ 85016

MAY 15 2025

**Planning & Development  
Department**

Byron Easton  
Planning Hearing Officer  
City of Phoenix

**Re: Support for Project at 5500 N. 24th Street**

Dear Hearing Officer Easton,

I live in the neighborhood of the property at 5500 N. 24th Street. I drive or walk by it nearly every day.

I am aware of the changes desired. I reviewed the renderings and have spoken with the owner. I see no impact to any neighbors (of which there are only a couple due to the property's location at the corner of 24th and Missouri).

I fully support the project and respectfully request the project be allowed to go forward to keep The Slavicek Law Firm in our neighborhood. There is no signage on the building. It is a very low traffic property. It feels residential. I can't imagine any other commercial occupants to be a better neighbor than this existing business.

I also support the aesthetics of the project and very modest expansion, which I understand is a less than 10 percent increase in square footage.

As well, the design and finishes proposed are top notch and will make the building and the neighborhood even better. The project fits in nicely with and will improve the neighborhood.

For me, and other neighbors I've spoken with, we would like this business to continue in our neighborhood because we can't think of a better commercial occupant or a better aesthetic building than what is proposed.

Sincerely,



Santino Ori  
Supportive Neighbor

CITY OF PHOENIX

Byron Easton, Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

MAY 15 2024

Planning & Development  
Department

Dear Mr. Easton,

As a homeowner and neighbor, I have long-admired the property located at 24<sup>th</sup> Street and Missouri and write this letter today in support of Slavicek Holdings' application to further enhance the building at 5500 N. 24<sup>th</sup> Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

Our family has lived at the Arizona Biltmore since 2011 and have enjoyed the greenery, traditional design, and businesses located in the area. My family's home is 1300 feet from the law firm office and we drive by it multiple times daily. My husband is now an attorney at this law office and the addition of the mezzanine and turrets will enhance the building even further. We could not be more pleased with the plans, which will not only beautify the property, but the neighborhood as well.

For our first decade living in the Biltmore we did not even know it was a law office. It's the best commercial use of that corner with low traffic volume, a beautifully maintained property, with annual flowers, tidy landscaping, and very low traffic. Never any street parking. No weekends. No evenings.

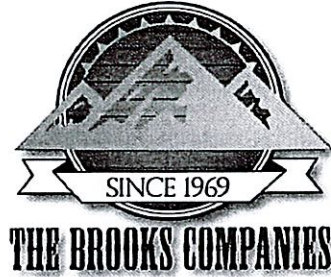
Should you have any questions please feel free to reach out but in my opinion as a neighbor and Biltmore resident these additions will be a wonderful, long term improvement to our community.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sasha Glassman', with a long horizontal flourish extending to the right.

Sasha Glassman  
39 Biltmore Estates  
Phoenix, Arizona 85016





**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**

Byron Easton, Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

Mr. Easton,

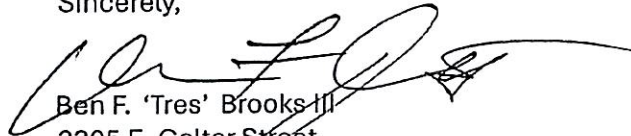
I am a longtime Phoenician, developer, and homeowner in Bartlett Estates which is the neighborhood located just South of the Slavicek Law Firm. I am writing this letter in support of Slavicek Holdings application for improvements at 5500 N. 24<sup>th</sup> Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

I think it is great for the owner to slightly expand the upstairs to make more space for attorneys in a way that protects the beautiful aesthetics of the building and will ensure that it stays a quiet, law office, for years to come.

Unlike most retail establishments, law offices are usually quiet by nature, and I was extremely impressed when the current owner took down the sign and instead doubled up on planting beautiful flowers. I like the way the building currently looks, am excited to see the improvements, and am thrilled that the use won't be changing.

As a neighbor, I appreciate you taking my thoughts into consideration and helping us protect this neighborhood treasurer by supporting the improvements.

Sincerely,



Ben F. 'Tres' Brooks III  
2205 E. Colter Street  
Phoenix, Arizona 85016

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CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Officer Easton:

We live at 8 Biltmore Estates, Unit 316, which is in the immediate area of The Slavicek Law Firm, which is located prominently on the corner of Missouri and 24th Street. We drive by the corner almost every day as we come and go from home.

We are very familiar with the building; this area has been our home for almost ten years. We have reviewed the plan and renderings for Mr. Slavicek's proposed 1,035 square foot addition, to include two new copper turrets, plus expansion of the existing mezzanine out the southwest side.

We write in full support of the project and urge the Planning Committee to approve it. The architecture and design are well thought out. The proposed changes and updates will significantly improve the property and the neighborhood. The building will still have a residential feel and continue as an iconic building on this important corner. In fact, if the changes are allowed, the building will become even more iconic and of greater interest. A perfect transition to the Biltmore and Camelback Corridor.

We understand the Biltmore Area Master Association (ABEVA) is spending over \$1 Million on redoing both entrances to the Biltmore off of 24th Street, kitty-corner from the subject property, and off of Colter and 32nd Street. We are certain the upgrades and enhanced new addition proposed by Mr. Slavicek would perfectly compliment the ABEVA project. With only 1,035 square feet added, We see no increased burden to the neighborhood. The existing law firm has been a model, low volume commercial occupant.

As residents vested in the community of the Biltmore Circle (where we all drive out of our community with the building in full site) we see nothing but good coming from this project, and nothing but good in keeping the current occupant in place.

Sincerely,

  
Rob Helgesen & Mary Benek  
8 Biltmore Est Unit 318  
Phoenix, AZ 85016



2398 EAST CAMELBACK ROAD • SUITE 540 • PHOENIX, ARIZONA 85016  
602-254-9813 • 866-254-9813 • FAX 602-254-5511  
WWW.BREWERWOOD.COM

April 21, 2025

VIA US MAIL

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

Dear Mr. Easton,

I am writing to you regarding the changes Brett Slavicek proposes to his building at 5500 N. 24th Street. I greatly support the changes and respectfully urge the City of Phoenix to allow them. I believe that the proposed changes enhance the longstanding superior architecture while not deviating from its beauty, charm, and size (since the height and roofline will be unchanged). In fact, the revisions Brett intends are now needed to keep the building current and at its iconic status.

By way of introduction, my father Charles M. Brewer owned the property, which he used as his law office (Charles M. Brewer, Ltd.) from 1989 until Brett took over in 2013. I began practicing law in that building and practiced with my father for the first 13.5 years of my career.

Our entire family has always been proud of the building, my father most especially. He wanted to have the best legal workspace in Arizona. I believe he succeeded. My father loved the building and went to great effort to make it the benchmark office of our legal community. The building has always been well known in Phoenix due to its location, unique architecture, and the annual flowers that line 24th street. Nearly all of the attorneys in town knew of the building and held it in great esteem.

As my father's career wound down, Brett took over ownership of the building and kept my father's tradition alive – Brett too desires to have the best law firm space in town. Consistent with maintaining my father's old building and in great repair, Brett has also honored the legacy of my father by hanging his picture in the main hall. He has kept much of the office the same. The elaborate woodworking my father loved remained. He has continued with the annual flowers everyone admires and recognizes when driving down 24th Street.

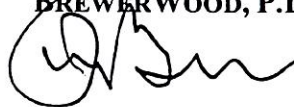
Byron Easton, Hearing Officer  
April 21, 2025  
Page 2 of 2

The changes Brett proposes improve the building are consistent with the original character and design of the building – all of which, my father nurtured when he was the owner for all those years.

I ask that the changes Brett proposes be approved and allow the property to retain its iconic stature. The building is on an important corner of our city; it should continue as a prominent piece of Phoenix architecture. I hope this building remains a treasured property in Phoenix for decades to come, as it has been since the 1980s.

Should you have any questions or comments, please feel free to call me at the above reference telephone number. Thank you.

Very truly yours,  
BREWERWOOD, P.L.L.C.



John B. Brewer, Esq.

JBB:nc  
#55460

**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**



Christina Jaime  
4612 West Bethany Home Road  
Glendale, AZ 85301

April 21, 2025

**CITY OF PHOENIX**

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

**MAY 15 2025**

**Planning & Development  
Department**

**Regarding: 5500 N. 24th Street**

Dear Hearing Officer Easton,

I have been a resident of Phoenix nearly my entire life. My husband is a Phoenix firefighter. More germane to this, I have been Brett Slavicek's Legal Assistant since 2001. I was the first person he ever hired.

I write in support of the proposed changes to our building. I want to say that Brett loves this building and wants to make it absolutely as fantastic as he can. He also loves the neighbors and the neighborhood and wants his building to fit in with and compliment both.

Whenever neighbors ask to park their cars in our parking lot (when they're having a party for example), or whenever they ask us any favors, Brett is always quick to say yes, and he's told all of us here in the building to do the same, every time.

He intentionally does not have signage visible on our building because he's always wanted to be subtle and fit in with the neighborhood. He says he wants to be as opposite to a strip mall property as we can.

He wants the building to be iconic, he wants the building to be a beloved part of the neighborhood. And, he wants to make our property better for all, including most especially our neighborhood. He knows the entry point to the Biltmore should be grand and he wants to do his part on our corner.

We need to expand. We have no extra space at all. All of our offices are full. All of the employees love and cherish the building, for its history, style and its purpose. Everyone here wishes we can expand it so we can stay, rather than have to find somewhere else to go.

I cannot imagine there could be a better occupant than what we have been since Brett purchased the building early in 2013. He is meticulous about the flowers on both 24th Street and Missouri, about the landscaping and the building itself. The building is his pride and joy, and I hope we are able to stay, on behalf of myself and every single person here.



Also, Brett has done all he can to mitigate the effects of the proposed windows on the west side neighbor. As soon as he heard there was concern, he instantly bought the largest trees he could buy and blocked our view of that property. We cannot see into the property behind us from the proposed windows.

Thank you, very much, for reading my note and considering our project.

Sincerely,

A handwritten signature in cursive script that reads "Christina Jaime". The signature is written in dark ink and is positioned above the printed name.

Christina Jaime

---

David J. Damron  
2543 E. Denton Lane  
Phoenix, AZ 85016

April 21, 2025

CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton:

I write supporting the proposed changes to The Slavicek Law Firm building, located at 5500 N. 24th St. I am a long time resident of the Biltmore area and live right across 24th Street. I am very familiar with this building.

I understand the plan is to add approximately 1000 ft.<sup>2</sup> to include two additional copper turrets (complementing the existing turret), plus a small second level pop out on the southwest side of the building. Renderings show the roof is intended to be slate, which is an upgrade over the existing and fading green roof tiles.

The law firm has been a good neighbor for well over a decade and is probably the least intrusive commercial occupant I could imagine.

I urge the city to allow the law firm to proceed with its plans so it can stay put as a good neighbor at such a prominent corner in our area. Furthermore, the changes themselves are appealing and will add to the interest of neighborhood.

Sincerely,

  
David J. Damron



CPAs & BUSINESS ADVISORS

CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

April 21, 2025

Byron Easton  
Hearing Officer  
Phoenix Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Re: Proposed plans for 5500 N. 24<sup>th</sup> Street

Dear Mr. Easton,

I write in full support of the proposed plans for 5500 N. 24th Street. I have lived and worked in the Camelback Corridor/Biltmore area for 30 years. My first house was at 32<sup>nd</sup> and Camelback. My first job was in the Esplanade, and I currently work at Eide Bailly LLP at 2355 E. Camelback Road, Suite 900.

The improvements depicted in the renderings will have a beneficial impact on this important corner, which is a prominent entry point to the Camelback Corridor. The changes will improve the property yet stay true to its residential feel and remain consistent with its Biltmore neighborhood. For decades, this property has been well known and well cared for. These changes will only make it better and since only an additional 1,000 square feet is being added, will place no burden on the neighborhood. Many of the surrounding homes are two stories and just a few blocks down transition to multiple stories.

I hope the proposal is allowed, for the benefit not just of this property, but the entire Biltmore area.

Yours truly,

Matt Everroad, CPA  
Partner

What inspires you, inspires us. Let's talk. [eidebailly.com](http://eidebailly.com)

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April 21, 2025

**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Department  
200 West Washington Street, 2<sup>nd</sup> Floor  
Phoenix, Arizona 85003

Dear Mr. Easton,

I write in support the proposed architectural changes to 5500 North 24th Street. I write not only as a business owner in the immediate area, but also as someone who spent 11 years working in the building. I worked with the prior law firm, then owned by renowned attorney Charles M. Brewer, from 1994-1998 & 2003-2010.

The 5500 building has always been a prominent and well-known feature in a very visible part of the Biltmore area. For decades, it has been revered for its unique and pleasing architecture, but also for its tremendous quality.

I have reviewed the plans and renderings of the proposed changes. The expansion is modest, with the building only being expanded approximately 10%, or 1000 ft. The changes stay within the original footprint.

The proposed changes are aesthetically pleasing and consistent with the original architecture. It is a seamless upgrade. Expanding the building with two new turrets to match the existing turrets, is the perfect addition and improves the building, making it even more interesting, and prominent. As well, using real copper on the three turrets, and replacing the fading concrete tile roof with a real slate roof, will add luxurious elements that will benefit the building, and neighborhood.

In particular, I studied the plans with respect to the expansion of the mezzanine. I spent much of my early legal career in Charlie Brewer's law library, which was in the mezzanine. The new plans convert that mezzanine library into prime attorney and meeting spaces, which will be a substantial upgrade and provide a more modern use (attorneys do not use books anymore).

In summary, this building has a long, well known and valued history as an iconic law firm building. The proposed changes will be of benefit to all in the Biltmore and Camelback Corridor. I urge the planning commission to approve the proposed changes, which will allow this property to remain a beneficial landmark for our area.

Very truly yours,  
BREWERWOOD, P.L.L.C.

Dane L. Wood, Esq.

DLW:nc  
#55461



Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**

April 21, 2025

Dear Mr. Easton,

We write to express our support for the expansion of the existing mezzanine to a second story at 5500 N. 24th St.

We have reviewed the proposed design and believe it will be a wonderful addition to our neighborhood. It will also be a wonderful improvement to this iconic corner in the Biltmore area. The building will remain in character with the residential two-story houses in the area, and also very much in character with itself. The proposed changes only complement the existing architecture, and the finishes will improve the appearance of the building.

We don't see any burden to the neighborhood or neighbors. This property has very few direct neighbors due to its placement on Missouri and 24th St., plus the fact there is a vacant lot to its north.

More importantly, the current occupant is an ideal occupant for the neighborhood. This commercial property has as little use as we can imagine any other commercial use would have. The property requires no street parking, does not work hours beyond 8 to 5, Monday through Friday. They have been an ideal neighbor, and we hope they stay.

In summary, we believe the design will cause this corner to look better, fit in with the neighborhood, and we would like the occupants to be allowed to continue their business here in our neighborhood.

Sincerely,



Mike and Joanne Liston  
5620 N. 21st Street  
Phoenix, AZ 85016

Mike and Shannon Gagnon  
2202 East Montebello Avenue  
Phoenix, Arizona 85016

April 21, 2025

Byron Easton  
City of Phoenix  
Planning & Development  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton:

We ask that the city approve the stipulation modifications proposed for 5500 N. 24th St., thereby allowing it to become a two-story property.

Many of the homes near this building are two story homes, including the house directly across Missouri and the house directly across 24th Street. The house closest to the north is also a two-story property.

With the proposed plans, this building will be no different than very many others around and adjacent to the property.

Moreover, the occupants of the building have been great neighbors for very many years and we would like to see them stay. The business use almost seems residential. There is very little traffic, no evening or weekend traffic and we would love to see the present occupants be allowed to improve the building so they can remain. It is unlikely we will find better neighbors than this law firm in terms of how they use the property and also how they maintain the property.

Furthermore, the proposed rendering shows that the additions will be high-end changes that will be of benefit to the aesthetic of the neighborhood.

Thank you.

Mike Gagnon



Shannon Gagnon



CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

TJ & Ashley Ryan  
5821 North 23rd Place  
Phoenix, Arizona

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

April 21, 2025

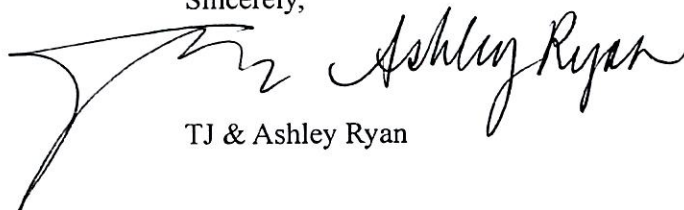
Regarding the building at 5500 N. 24th, we support the requested changes to the stipulation restrictions on this property.

This building is one of the most unique and iconic in our neighborhood. The owner has always maintained it beautifully—better than most homes—and it doesn't feel like a commercial property. There's no signage, barely any traffic, and it's quiet at night and on weekends.

We support the request to expand and improve the building, because the changes are not only distinctive and upscale but also because they won't increase traffic or noise, and it helps ensure a low-impact occupant remains. That's far better than turning the building over to a high-volume medical office or something more intrusive.

We know the owner needs to expand to stay and we hope Phoenix allows that to happen by allowing the second story zoning. We can't imagine anyone else would put the level of elegance into the property beyond what the current owners have planned. We look forward to seeing it completed. It will only bring more appeal and interest to the Biltmore area.

Sincerely,

A handwritten signature in black ink, appearing to read "Ashley Ryan". The signature is fluid and cursive, with a large, sweeping initial "A" that extends to the left.

TJ & Ashley Ryan



May 13, 2025

Byron Easton, Planning Hearing Officer  
City of Phoenix  
Planning & Development Department  
200 W. Washington, 2nd floor  
Phoenix, Arizona 85003

**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**

Dear Hearing Officer Easton:

As a nearby resident to Brett Slavicek's property at 5500 N. 24th Street, we just wanted to write to express our complete support for the proposed improvements and stipulation modifications to his office building (PHO-1-25 - Z-323-79-6).

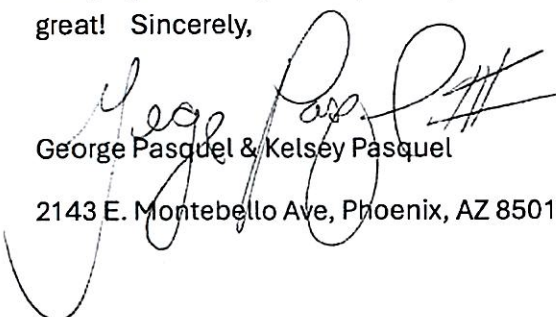
Mr. Slavicek's law office has long been a valued part of our community. The building's unique architecture and scale resembles that of an old stone home and the scale blends seamlessly into the character of our neighborhood. The property is also incredibly well-kept with attractive landscaping, mature trees and continuous building maintenance. We often comment on how much we appreciate the effort Brett puts into planting an amazing array of seasonal flowers. The Property always looks great (which can't always be said for the other 3 corners at this intersection!).

Having reviewed the renderings and floor plans for the proposed updates, we support the modest increase to the mezzanine floor to add three offices and meeting space. The two new east-facing copper turrets are great additions! These changes reflect a thoughtful and well-executed design, that minimally increases the building size. The improvements elevate the structure's visual appeal and functionality while preserving its existing charm.

Additionally, the property always appears to have ample parking. I can't recall a single time I've seen parking overflow from this site.

In summary, we believe the proposed changes will enhance an already beautiful property and pose no negative impact to the neighborhood. We fully support the modified stipulations as proposed.

Now, if you could just help us improve the northeast corner of this intersection, that would be great! Sincerely,

  
George Pasquel & Kelsey Pasquel

2143 E. Montebello Ave, Phoenix, AZ 85016

CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

Emily Palumbo  
2213 E Montebello Ave  
Phoenix, AZ 85016

Dear City of Phoenix:

I am writing to express my strong support for the proposed remodel of the second level at 5500 N 24th Street in Phoenix. This property, with its rich history and prime location, has long served as a cornerstone for the local business and legal community, and a thoughtful renovation will ensure it continues to meet the evolving needs of its occupants. By updating the second level, we can modernize the space while preserving the building's unique character, allowing it to remain a functional and attractive destination for professionals and clients alike.

Furthermore, investing in the second level's renovation will increase the overall value of the property and maximize its usable space. By optimizing the layout and incorporating contemporary amenities, we can better accommodate the needs of current tenants and appeal to prospective businesses seeking high-quality office environments. This project represents a forward-thinking commitment to both the legacy and future of 5500 N 24th Street, ensuring its continued success as a premier professional address in Phoenix.



Emily Palumbo



CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington Street, 2<sup>nd</sup> floor  
Phoenix, Arizona 85003

### LETTER IN SUPPORT OF EXPANSION

The Slavicek Law Firm Building  
April 22, 2025

Dear Mr. Easton,

I support the proposed expansion to The Slavicek Law Firm building, located at 5500 N. 24th Street in Phoenix, Arizona. I have lived and officed in the neighborhood for the last several years, most recently at 2325 E Camelback Road, Suite 400, which is just a couple of blocks from The Slavicek Law Firm building. I am very familiar with this building and would like to see the area maintain its refined charm.

The proposed Slavicek Law Firm expansion adds only approximately 1,000 square feet to the current structure. I find the plans to be modest and beautiful. The copper turrets and natural slate roofing tile planned to replace the presently worn, green tiles have been well-designed to align with the current appeal of the building. The proposed changes are consistent with the building's non-invasive, residential look but now with a more appealing architecture. The proposed expansion is the perfect improvement for the neighborhood – classy, inconspicuously commercial and contained. In fact, the firm has no visible signage, uses no street parking and the firm's hours are limited to regular business hours. The property is exquisitely maintained and continues to be one of my personal favorites in the area. These changes will only further its attractiveness while keeping the property updated.

I sincerely encourage the City to allow The Slavicek Law Firm to proceed with the improved building plans so that it can remain in this iconic corner. The intended improvements are appealing, luxurious and will add to the interest of this fantastically classic neighborhood, while only increase the building size by 10 percent.

Sincerely,

Kari Ramos, Esq.  
Askena Law

775. 233. 5096

Kari@AskenaLaw.com

Askena Law .com







**COPPOLA-CHENEY**  
EST. 1984

a team within:



**Andrew Cheney, CRE, CCIM, SIOR**  
Principal  
Direct: (602).954.3769

April 25, 2025

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

**CITY OF PHOENIX**

**MAY 15 2025**

**Planning & Development  
Department**

Dear Mr. Easton,

I am a commercial real estate broker in Phoenix with 22 years of experience in the Biltmore area and Camelback Corridor. I have been a principal at Lee & Associates since 2009. I was Brett Slavicek's agent when he purchased the property at 5500 N. 24th Street in 2013. I am also the Past Chairman of the Board of NAIOP Arizona, the largest commercial real estate trade organization in our state.

Brett shared with me his plans for upgrades and modernization of the second level. The plans include converting the second-floor mezzanine (which was a law library when he bought it) to regular office and meeting space, while adding approximately 1,000 square feet. The plans do not alter the site plan or building height. The plans include luxurious finishes, including extensive interior wood paneling and marble, plus exterior copper clad turrets and a natural slate roof.

When the building was built in the early 1980s, this area was vastly different from what it is today. Now, mid-rise buildings dominate just a few blocks away. The immediate area is abundantly populated with two story homes, including directly across both 24th Street and Missouri Avenue from Brett's property. The Arizona Biltmore itself has also undergone major updates.

While the initial zoning goal was to mitigate having a commercial property in what was then a residential area, this area has long changed in those 45 years.

With that said, it is important to know that the changes Brett proposes still keep the building's appearance as much residential as commercial. Since Brett has owned the building, he's removed all visible signage to the building, which has made it even more residential appearing than when he purchased it.

It should also be noted that this property would be significantly improved with Brett's proposed improvements, which make it more architecturally interesting, and provide better finishes. The property has always been a great transition as one heads south down 24th Street into the Camelback Corridor. It has always been a signature property with its unique architecture and landscape, to include full frontage of annual flowers on both 24th St. and Missouri

The current use of the property is a low volume law practice which is perhaps the best commercial use the neighborhood could expect. Brett tells me that he needs to expand, and if he can't expand, then he must move. That would be regrettable for the neighborhood. The

building likely would not have the same low volume or as good of a steward of this important corner as Brett has been and intends to be.

In conclusion, the Biltmore area, the transition to the Camelback corner off of 24th St., and immediate neighborhood will benefit from Brett's upgrades and very minor expansion. The law firm has proven to be an exceptional neighbor and only wants to make the property better, not just for the occupants and employees, but for the entire neighborhood, and city itself. With these changes, this building will remain an iconic building on an iconic corner, for decades to come.

Sincerely,

A handwritten signature in black ink, appearing to read 'Andrew Cheney', with a stylized, cursive script.

Andrew Cheney, CCIM, CRE, SIOR  
Principal  
602.954.3769

CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Cole Jackson  
2108 E 5th Ave  
Phoenix, AZ  
85016





Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 15 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Nolan Fisher

1952 E San Arguel Ave

A stylized handwritten signature in black ink, appearing to be 'Nolan Fisher'.

May 9, 2025

**CITY OF PHOENIX**

**MAY 19 2025**

**Planning & Development  
Department**

Mr. Byron Easton  
Hearing Officer City of Phoenix  
200 West Washington St., Second Floor  
Phoenix, Arizona 85003

Dear Mr. Easton,

We live just to the west of the law firm building, which is on the corner of 24th Street and Missouri. We are very familiar with the building and that important corner of our city.

We have reviewed Mr. Slavicek's proposed renderings and plans. He is asking to expand the existing upper level by approximately 1000 ft.<sup>2</sup>. He is also asking the city to allow him to conform to current parking space ratios.

We write in support of the desired improvements. The changes will improve this important corner. Indeed, we understand quality materials have been chosen, such as a real slate roof and actual copper turrets.

We are also pleased that the owner is keeping the building of the same look and that it will, therefore, remain as residential in appearance as a commercial property could appear.

Sincerely,



Laura Jordan



Michael Jordan

2017 E. Marshall Ave.  
Phoenix, AZ 85016

**CITY OF PHOENIX**

**MAY 19 2025**

**Planning & Development  
Department**

Mr. Byron Easton  
Hearing Officer, City of Phoenix  
Planning & Development  
200 W. Washington St.  
2nd Floor  
Phoenix, Arizona. 85003

Dear Mr. Easton,

I live in the Biltmore Circle. My address is 2 Biltmore Estates, Unit 209. I drive by Mr. Slavicek's property on the corner of Missouri and 24th Street frequently. It is a beautiful property and well known and appreciated by all in the Biltmore Circle Neighborhood.

I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while still keeping it as residential in appearance as one could expect from a commercial property.

Sincerely,  
Mark R. Ryan  
612-366-3800



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

**CITY OF PHOENIX**

**MAY 19 2025**

**Planning & Development  
Department**

Dear Mr. Easton,

I live in the Biltmore Circle. My address is 2 Biltmore Estates #211. I drive by Mr. Slavicek's property on the corner of Missouri and 24th Street nearly every day. It is a well-liked property known to all in the Biltmore Circle.


I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while still keeping it as residential in appearance as one could expect from a commercial property.

Thank you

Steven Itzcovitch





Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

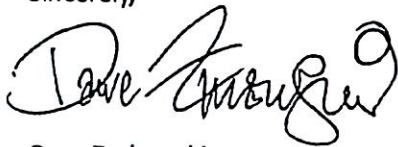
I live in the Biltmore Circle. My address is 2 *Biltmore Estates Drive Unit 113*. I drive or walk past Mr. Slavicek's property on the corner of Missouri and 24th Street nearly every day. It is a well-liked property known to all in the Biltmore Circle.

I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while keeping it as residential in appearance as one could expect from a commercial property.

Sincerely,

A handwritten signature in black ink, appearing to read "Dave Zurkowski", written over a horizontal line.

Dave Zurkowski



**CITY OF PHOENIX**

**MAY 19 2025**

TO:

**Planning & Development  
Department**

**Mr. Byron Easton**  
Planning Hearing Officer  
City of Phoenix

Dear Officer Easton:

My business, Deltech Computer Solutions, operated within a few blocks of The Slavicek Law Firm (located at 5500 N. 24th Street) for approximately 11 years. Now, my new business, Delgado Technology Group, has operated in the same neighborhood for approximately one year.

I am very familiar with the building and area. I reviewed renderings of the roughly 1000 square foot addition.

I fully support the project. The architecture, design, and finishes are pleasing. The design both modernizes and improves the property significantly. The proposed project would complement the neighborhood. It would also remain residential in appearance.

The design and finishes are of top quality, and I see no increased burden to the neighborhood. Any increase in traffic with a 10 percent size increase will be negligible, and many of the properties in the immediate area are two stories - transitioning quickly to high rises just a few blocks south.

I respectfully encourage the City to approve the project.

**Luis Delgado Ramirez**  
President

**telephone:** +1 602-855-9389

**email:** [Luis@deltech.net](mailto:Luis@deltech.net)

2325 E Camelback Road Suite 400.  
Phoenix, AZ 85016



Byron Easton, Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

**CITY OF PHOENIX**

**MAY 19 2025**

**Planning & Development  
Department**

April 24, 2025

Dear Planning Hearing Officer,

As a resident of the Taliverde Neighborhood, I am writing this letter in support of Slavicek Holdings' application to allow certain improvements to an existing office building located at 5500 N. 24<sup>th</sup> Street, which would include the expansion of the second-floor mezzanine to a second story and the addition of two turrets and a west side pop-out.

I am a neighbor who has admired this building for several years due to its distinct character and quiet attributes as a law firm. From 2005 through 2017, I officed at 2198 E. Camelback Road and would consistently drive by this building in the evening on my way home from work. Now that I live in the Taliverde Neighborhood, I continue to travel past this property several times a day as I drive through the 24<sup>th</sup> Street and Missouri Avenue Intersection to and from my residence.

In my professional career, I practice land use law, and while not representing this applicant, I am in support of the owner working to improve the property while maintaining its character and current use. The building is attractive and well-maintained with Victorian and Tudor-style attributes that are consistent with the office buildings on the north side of Missouri Avenue between 7<sup>th</sup> Street and 24<sup>th</sup> Street. The expansion of the second-floor mezzanine, addition of two turrets, and the proposed west side pop-out will enhance architectural interest and the traditional aesthetic of this office building in keeping with the homes and offices along Missouri Avenue and in the Biltmore area.

I appreciate you taking my thoughts into consideration and helping us to protect and enhance this neighborhood treasure by supporting the improvements.

Sincerely,



Heather Dukes  
5527 N. 25<sup>th</sup> Street  
Phoenix, Arizona 85016

Byron Easton, Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Mr. Easton,

As a resident of the Arizona Biltmore I live just a few houses East of the Slavicek Law Firm office at the corner of 24<sup>th</sup> Street and Missouri. I am writing this letter in support of Slavicek Holdings application for improvements at 5500 N. 24<sup>th</sup> Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

Driving in and out of the Biltmore, I enjoy admiring the beautiful flowers and unique architecture of the law office building. I commend its ownership for proposing improvements that will both allow the building to keep its charming and tasteful design while still allowing for a minor increase in square footage to expand the capacity of the business without changing its traffic flow to the neighborhood.

As a businessman, someone who has been involved in real estate, and a neighbor I think this is a sensible proposal that is a win-win for our community.

I appreciate you taking my thoughts into consideration.

Sincerely,



Philip Damiano  
41 Biltmore Estates  
Phoenix, Arizona 85016





# HEALTHY EYE CARE

4525 North 24<sup>th</sup> Street #120 | Phoenix, AZ 85016 | 480-887-8778 | 480-887-8779 | [myfiteyes@gmail.com](mailto:myfiteyes@gmail.com)

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Byron Easton  
Hearing Officer  
Phoenix Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

**CITY OF PHOENIX**

**MAY 19 2025**

**Planning & Development  
Department**

Dear Mr. Easton,

I support the proposed building improvements for 5500 N. 24th St. I have had my own business, Healthy Eye Care Fit Optical for 10 years. My business is just a couple blocks south of the Slavicek Law Firm on 24th Street. I have been familiar with this property and area since I was a little girl. After careful evaluation of the renderings and second level plans, I can confirm that these improvements will have a positive impact on this important corner. The proposed changes are relatively small, since the building retains its footprint and roofline. More importantly, the changes improve the property yet conform to the residential feel as it exists now.

This property is well known and appreciated in our neighborhood because it is well cared for. These changes will only make it better and they do not make the building appear more commercial. They also conform to the area, where many of the homes are two stories, including right across 24th Street. I hope the law firm is allowed to build its design, for the benefit not just of this property, but the entire Biltmore and Camelback Corridor. It will add to the luxurious nature of this area and update the building itself.

Sincerely,

Dr. Zahra Lalwani Lasee O.D



April 24, 2025

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Hearing Officer Easton,

I own the property to the immediate north of Brett Slavicek's property at 5500 N. 24th Street. My property is 5516 N. 24th Street and owned through my LLC, AZ Bell Rd. LLC. I've owned my property before Brett bought his property early in 2013. I have no plans to sell my property.

Brett shared with me the renderings and floor plan of his proposed improvements. I see that he wishes to increase his existing second level by approximately 1,000 ft.<sup>2</sup> I see he intends two new turrets with windows on the east side, and a new pop out on the southwest side of the building for 3 additional offices.

I have no objection to Brett's plans. Instead, I fully support his plans. The aesthetic of the building will be improved and made more interesting. The building will be a showpiece on this important corner with real copper turrets and a new slate roof. The building's already distinctive design and high-end finishes will both be significantly improved.

Brett is only increasing the building size by 10 percent. I see no negative impact or increased use to the neighborhood.

For these reasons, I fully support Brett's intended and modest expansion of his second level.

Sincerely,

  
David Haaslo DDS

Byron Easton, Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Mr. Easton,

My husband and I live on the Biltmore Circle and have been connected to the Arizona Biltmore neighborhood for over 50 years. I also serve as co-chair of the Biltmore Community Neighborhood Association (BCNA) which is a community group, comprised of neighbors on the circle, dedicated to the public safety of our neighborhood. I am writing today in support of Slavicek Holdings application for improvements at 5500 N. 24<sup>th</sup> Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

5500 N. 24<sup>th</sup> Street is an iconic building with a known history and has always been a favorite of our neighborhood. My husband, who is a retired physician in the community, often shares how he remembers when the building was first built by the old "Good Samaritan" hospital network as a corporate office and was thoughtfully designed to blend seamlessly into the residential neighborhood.

The proposed improvements of two turrets and a tasteful pop-out will allow the current building owner to expand their capacity while also maintaining the character, tastefulness, and aesthetic of the building. This is far better than a medical practice or other high-traffic retail business. I wholeheartedly support this request.

Thank you for your consideration.

Sincerely,



Becky Stein  
81 Biltmore Estates  
Phoenix, Arizona 85016

April 21, 2025

Cameron Karber  
2122 E. Palo Verde Drive  
Phoenix AZ 85016

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Hearing Officer Byron Easton  
Phoenix Planning Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton:

I recommend the owners of the property at 5500 N. 24th St. be allowed to change the stipulations on their property, such that they be allowed to pursue a second story. The plan is to add approximately 1000 feet of new space to the second level, and without changing the building foot print.

The renderings show the building will be updated and continue to be a unique and high-end property, a property very fitting to be on the corner across from the entrance to the Biltmore.

It will be a two story building, but so are the houses to its north, east and south. The rear of the property is screened with trees and the rest is bounded by a vacant lot and then by two busy streets. The impact to neighborhood is positive.

Thank you,

A handwritten signature in black ink, appearing to read 'Cameron Karber', with a long horizontal line extending to the right.

Cameron Karber



April 21, 2025

CITY OF PHOENIX

MAY 19 2025

Byron Easton  
City of Phoenix Planning Department

Planning & Development  
Department

Dear Mr. Easton:

We live in the immediate neighborhood to the property at 5500 N. 24th St., a law firm which has been there for more than a dozen years.

We support the proposed project. The changes will improve the stature of the building, and will make the corner be of more visual interest. The building is unique and these changes, while consistent with the original nature of the building, will only serve to make it more architecturally interesting.

We also want to point out that the owners of the property have been good neighbors. There is no commercial signage on the building. There is very little traffic (and only during regular work hours). The building is always well-maintained to include expansive annual flowers to rival those at the entrance to the Biltmore. We respectfully encourage Phoenix to allow the occupants to expand in the minor way they wish to expand so they can stay and continue to benefit our neighborhood.

Sincerely,

  
Craig Byers  
2301 E. Rancho Dr.  
Phoenix, AZ 85016

Stefani Byers  
2301 E. Rancho Dr.  
Phoenix, AZ 85016

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

April 20, 2025

Dear Mr. Easton,

We fully support the proposed updates to the building at 5500 N. 24th Street.

It's long been a landmark in our neighborhood and one of the more attractive and distinguished properties in the area. It should be allowed to modernize and improve.

The changes being requested are minimal—just around 1,000 square feet—and are exactly in character with the original design of the building. The only difference is that the materials, such as slate roof and copper domes, will be of even better quality.

We don't see that the project or the second story would have any negative impact on the neighborhood. Many of the immediate neighbors to this property have two stories themselves, and this property only has one close neighbor, which is screened in by trees and already exposed to two other neighbors with two story houses.

It's hard to imagine a better-plan for this property or better ways to improve it beyond what the owner is requesting.

Sincerely,



Colby and Rachel Fincham  
2235 E Rancho Dr  
Phoenix AZ 85016

Marco and Laura Louis  
2029 E San Juan Ave,  
Phoenix AZ 85016

April 20, 2025

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We are in support of the plans. The improvements will be of benefit to the law firm but also the entire neighborhood. The property will continue to present with a residential aura and the design is pleasing, luxurious and consistent with the building's history.

This property has always been a well known and admired property in our neighborhood. These changes will only make it better and cause nothing harmful to our neighborhood.

We hope the owners are allowed to make the changes, so they will continue to remain. It is highly unlikely any new occupants will be as good to this neighborhood as the present owners. Indeed, the business use of this property has been as minimal as we could expect.

Thank you,



Marco and Laura Louis

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department



Frank and Kristin Lesselyong  
2009 E. San Juan Ave  
Phoenix, AZ 85016

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

April 21, 2025

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton & the Planning Department:

We write to express our support for The Slavicek Law Firm's proposed revisions to their property at 5500 N. 24th St.

We live in the neighborhood and often drive, walk and jog by the property.

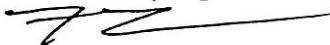
The changes of adding two additional turrets and extending the mezzanine out the west side are in good taste and will improve the building's appearance. The extent of the proposed remodel is small in nature and the building will not increase its foot print.

The law firm has been a good neighbor and its building will maintain a residential presentation. The building and how the law firm uses it are good for this corner. We have always been very happy with the property as a well-known building across from the Biltmore entrance. The proposed changes are architectural improvements but yet consistent with its original style. And, the new slate and copper roof will add distinguished touches, fitting for a building of its caliber.

Thank you for your consideration.

Sincerely,

Frank Lesselyong



Kristin Lesselyong



Meredith Vivona

4822 N. 29th Place  
Phoenix, Arizona 85016  
meredith2242@gmail.com

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

April 22, 2025

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd Fl.  
Phoenix, Arizona 85003

Dear Mr. Easton,

I write regarding the proposed plans for 5500 N. 24th St. I have lived in the neighborhood since 2011 and I am very familiar with this property.

I have reviewed the renderings of the proposed minor additions. I fully support the project. The improvements will beautify the property and the neighborhood. The property will continue its residential feel.

This property has always been a beneficial asset to our neighborhood. These changes will only make it better and create no negative impact on the neighborhood.

The commercial use of this property is the least invasive commercial use I could expect. I hope the owners are allowed to make the changes, so they will continue to be our neighbors.

Sincerely yours,



Meredith Vivona

Mr. Byron Easton  
Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton:

I am the owner of 44 Biltmore Estates and use the 24<sup>th</sup>/Missouri entrance to Biltmore daily to come in and out of the Biltmore neighborhood. Additionally, my home shares the wall with the parking lot of the Adobe Restaurant & Grill so I am intimately familiar with expansion, construction, and the compromises associated with development in our neighborhood.

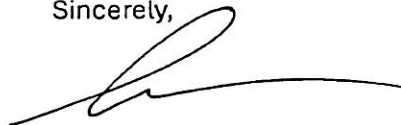
It is with that context that I write this letter in support of Slavicek Holdings' application for improvements at 5500 N. 24<sup>th</sup> Street to allow the expansion of the second-floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

I have visited the current building and appreciate not only the architecture and the owner's goal of maintaining the building's current look, but I also appreciate how the building has no signage, beautiful landscaping, and generates very little traffic.

A law firm office is a great use for this iconic Phoenix building and to support the owner by allowing for a minor expansion that does not change its character, overall use, or aesthetic but allows for the business to grow and be sustained is certainly something to support.

Thank you for allowing me to provide my input.

Sincerely,



Donald Levin  
44 Biltmore Estates  
Phoenix, Arizona 85016



CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Byron Easton, Planning Hearing Officer  
City of Phoenix  
200 W. Washington Street, 3rd Floor  
Phoenix, Arizona 85003

Mr. Easton,

I am a Phoenix native, businessman, and Arizona Biltmore Country Club golfer. I am also the owner of 2402 E. Montebello Ave, a home in the Taliverde neighborhood located across 24<sup>th</sup> Street from the Slavicek Law Firm at 5500 N. 24<sup>th</sup> Street.

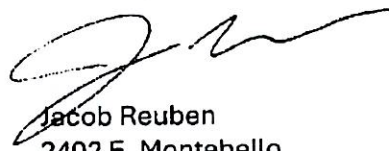
I write this letter in support of Slavicek Holdings application for improvements at 5500 N. 24<sup>th</sup> Street to allow expansion of the second floor mezzanine to a second story, which would include the addition of two turrets and a West side pop-out.

Having grown up in Phoenix and golfed for years at the Arizona Biltmore, the building at 5500 N. 24<sup>th</sup> Street is a mainstay not only because of it's beautiful architecture but also because of the attention to detail and investment the owners have made into keeping the property beautiful and the landscaping well maintained.

Given the tremendous development taking place across the Valley the proposal to add minimal square footage while maintaining the building's aesthetics is commendable and something that I certainly support.

Please reach out if I can be of any further assistance.

Sincerely,



Jacob Reuben  
2402 E. Montebello  
Phoenix, Arizona 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

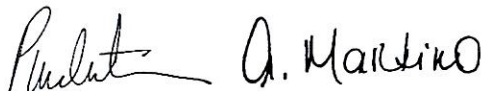
I live in the Biltmore Circle. My address is 45 Biltmore Estates Drive. I drive by Mr. Slavicek's property on the corner of Missouri and 24th Street nearly every day. It is a well-liked property known to all in the Biltmore Circle.

I have reviewed Mr. Slavicek's proposed renderings and plans. I understand he is asking to expand his upper level by 1,035 square feet and asking the City to allow him to conform to current parking standards.

I support the desired changes. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

The proposed changes will improve the corner while still keeping it as residential in appearance as one could expect from a commercial property.

Sincerely,



Paul & Angela Martino

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Jerome Deutsch



May 9, 2025

51 Biltmore Estates

Phoenix, Arizona 85016



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

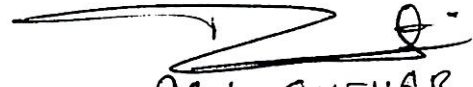
CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

  
RAUL GUEVAR  
5136 N. 31<sup>st</sup> PL  
85016  
5/7/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

*[Handwritten signature]*  
TAD GARY

3561 E. Vinton 2W

PHX 8306

3561 Denton Lane

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

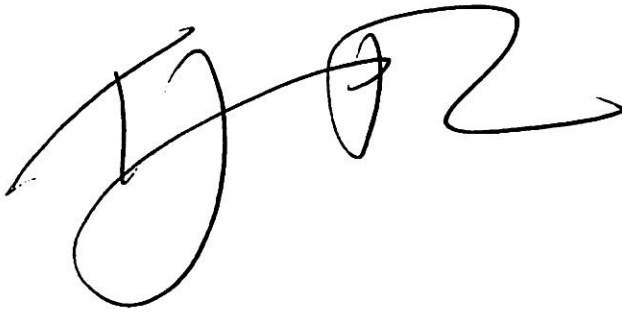
Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

TJ ROE

2109 E. SAN JUAN AVE  
PHOENIX, AZ 85016

A large, stylized handwritten signature in black ink, likely belonging to TJ Roe, written over the address.



CITY OF PHOENIX

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

S JILL HASTINGS  
2043 E SAN JUAN AVE

S. Hastings 5/6/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

*Handwritten:*  
Hickman  
5500 N 24th St  
Thank you

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

*Maureen Casovich*

*2608 E ELI ST*

*Phoenix, AZ 85016*

*5/6/25*



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



Rob Bassett

2201 E Georgia Ave

Phoenix Az 85016

602-309-3997

5/6/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003


CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Chas. Granberry  
X 

2240 E. Solano  
Phoenix, AZ 85016  
5-6-2025

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



D. BUSH

2213 E. SOLANO DR.

5/6/25



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Dear Mr. Easton,

Planning & Development  
Department

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Angela Hallenstein  
5721 N. 21<sup>st</sup> St  
Phoenix 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

JAMES (JAVILAND)  
1917 E MONTEBELLO AVE  
APT AL 85016  
JENNA HAVILAND  
SARA ADAM

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Alyssa Spackeen 5150 N 20th St Unit 101 *plus*  
Nathan Steel 5150 N 20th St Unit 101 *N Steel*



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

David Cains

4808 N 24th Street  
Phoenix, AZ 85016

CITY OF PHOENIX

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Kitty Lichtenstein

2025 E Marshall Ave



CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Clifford Running   
2020 E MARSHALL AVE

CITY OF PHOENIX


Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

 - 1440 E. SOLARDO DR  
MATT BAUSTRO PHOENIX AZ



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Devs for Sylvia Pike

5350 N. 20th St

Phx Az 85016

4/28/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Shes Clark 2001 E. Marshall AV 85016 4/28/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Gern Holzman

Ms M 10c

2144 E San Juan Ave

Phoenix AZ 85016

4/29/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Molly Aronsson  
District at Biltmore





Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

*Handwritten:*  
C. Martinez  
2727 e Camelback  
PHX, AZ  
05/10/16

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Brendan Wheeler

5181 N 16th Street



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Linda Cramer  
2201 E Solano

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

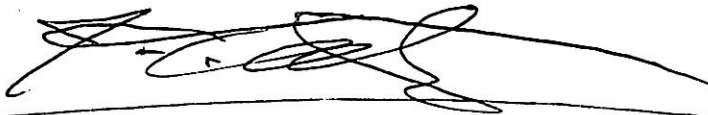
MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

J. BENTLEY 2054 E RANCHO DR.



04.26.2025



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

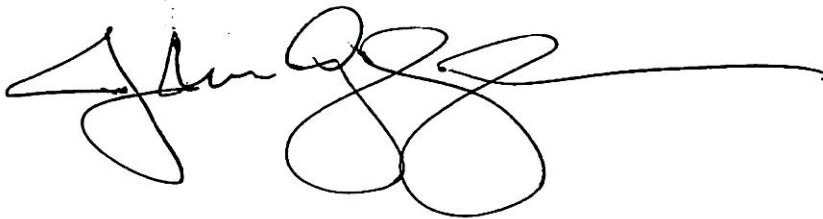
MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

ANAGNORULOS HOUSEHOLD  
2136 E. MISSOURI  
PHOENIX, AZ 85016

A handwritten signature in black ink, consisting of a stylized first name followed by a large, circular, looping surname.

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Debra A. Levin  
5738 N. 24th St  
Phx, Az. 85016  
4/28/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025


Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

David Lyric

5301 N 23rd St

 4-25-25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Stephanie Math

Stephanie Martensen

2301 E. Colter St.

Phoenix, AZ 85016

4.25.25



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Jared Peral 4-25-25



5229 N 23rd st

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Leslie Campbell  
2538 E. Missouri  
PHX.

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections.

Kathi Rowley



2014 E. Marshall Ave  
Phoenix Az 85026

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

*Loni Romley & Joe Romley*  
*2232 E Montebello Ave*  
*Phoenix, 85016*

*Toni Romley April 24, 2025*  
*Joe Romley 4/24/2025*



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003


CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

  
DEBORAH A. KENDRICK  
1726 E Camelback Rd  
Phoenix, AZ 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

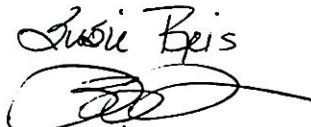
CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

  
Julie Reis  
2341 E Montebello  
PHOENIX AZ 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Beverly Burch  
5245 N. 21st St  
Pho 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Rata Sun

5205 N 24th St, 85016



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Rim D. Shaw  
5814 N. 25<sup>th</sup> St.  
Phx, AZ 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Angelina Babakitis -  
2330 E. Colter St  
Phoenix, AZ 85016  
Angelina Babakitis  
4/24/2025

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

LORGO ALMORA



2240 E GEORGIA AVE 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Dear Mr. Easton,

Planning & Development  
Department

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We have no objections.

Ali Ardebili

2326 E Georgia Ave  
Phoenix AZ 85016



9/22/25



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003


CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

  
Timothy Martens  
2226 E. San Juan Ave  
Phoenix, AZ 85016  
4-23-25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the images of the plans. We have no objections and are in support of the plans. The improvements will be of benefit the office and neighborhood and cause nothing harmful to our neighborhood.

JANE EURLICH

JJ Eurlich

2247 E. Marshall Ave.

85016

4/22/25

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

4/23/25

A handwritten signature in dark ink, appearing to be a stylized name, possibly "Byron Easton".

2220 E MARSHALL AVE  
PHOENIX AZ 85016

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Dear Mr. Easton,

Planning & Development  
Department

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

JAMES SKINNER  
James E. Skinner

4/23/25

2208 E. MISSOURI



Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Andrew Langmade  
4/23/25

4/23/25



2218 E. MISSOURI

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

We live close to 5500 N. 24th Street. We have reviewed the renderings and plans. We have no objections and are in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

Derek Wolters, 2225 E San Juan Ave, 4-23-25  
Derek Wolters

Byron Easton  
Hearing Officer City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton,

I live close to 5500 N. 24th Street. I have reviewed the renderings and plans. I have no objections and am in support of the plans. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



4/23/25

MAURA GOLDSBERRY  
2302 E. SAN JUAN AVENUE  
Phoenix AZ 85016  
(480) 318-2002

Matt and Lori Macleod  
5735 N 23<sup>rd</sup> Pl  
Phoenix AZ 85016

CITY OF PHOENIX

Byron Easton, Hearing Officer  
City Of Phoenix  
Planning & Development Dept  
200 W Washington St, 2<sup>nd</sup> Floor  
Phoenix AZ 85003

MAY 19 2025

Planning & Development  
Department

Dear Mr. Easton-

As neighbors of the 5500 N 24<sup>th</sup> Street office building, we give our full support for the proposed changes to the building. The building has always been a beautiful landmark in the neighborhood and the relatively minimal updates are going to make it even better. We see no reason for anyone to object to modernizing this property. It will not only enhance its aesthetic appeal but also contribute to the continued growth and vitality of the area.

A handwritten signature in black ink, appearing to read 'M-Macleod', with a large, stylized flourish extending to the right.

Matt and Lori Macleod



April 21, 2025

Byron Easton, Hearing Officer  
City of Phoenix  
Planning & Development Dept.  
200 W. Washington St., 2nd floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department


Dear Mr. Easton,

I own the property on the southwest corner of 24th Street and Missouri Avenue, which is directly across Missouri from the Slavicek Law Firm.

I have reviewed the renderings of the proposed project, to include the two new copper turrets (matching the existing turret) and the west side second level pop out. These were provided to me by Mr. Brett Slavicek electronically. I understand the intention is for the property to expand approximately 1000 square feet, which I am told is approximately 10% of the current square footage.

**I have no objection to the project.**

Sincerely,

A handwritten signature in black ink, appearing to be 'Ali Baaj', written over a horizontal line.

Ali Baaj, MD  
2333 E Missouri Ave  
Phoenix, AZ 85016



May 19, 2025

Byron Easton, Planning Hearing Officer  
City of Phoenix  
Planning and Development Department  
200 W. Washington, 2<sup>nd</sup> floor  
Phoenix, Arizona 85003

CITY OF PHOENIX

MAY 19 2025

Planning & Development  
Department

Dear Hearing Officer Easton:

I live in the neighborhood just north of Brett Slavicek's property at 5500 N. 24th Street, and I wanted to share my strong support for the proposed updates to his office building.

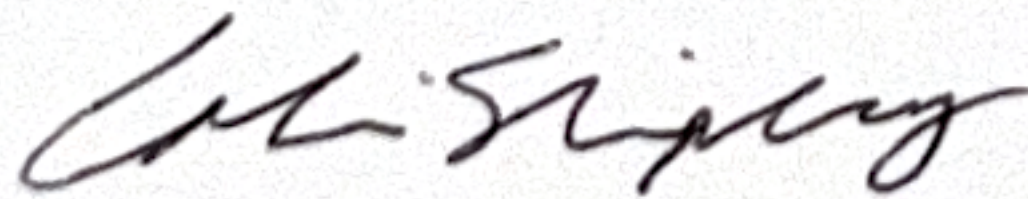
Mr. Slavicek's law office has been a great part of our community for years. The building itself—designed to look like a stone house—is not only unique, but it also fits in beautifully with the look and feel of our neighborhood. It's always well taken care of, with nice landscaping, mature trees, and flowers that change with the seasons. It really adds to the overall appeal of the area.

After looking over the plans and renderings for the proposed updates, I think the changes are tasteful. The slight expansion to the existing mezzanine to create three new offices and meetings rooms seem well thought-out and the additions of the copper turrets add to the design. From what I can tell, they'll make it even more attractive and functional without losing its original charm.

There's also plenty of on-site parking, which means it continues to meet the needs of staff and clients without affecting our streets.

All in all, I think these updates will make a beautiful property even better—and they won't negatively impact the neighborhood. That's why I fully support the proposed stipulation modifications under PHO case PHO-1-25—Z-323-79-6.

Sincerely,



Colin Shipley

2114 E Montebello Ave, Phoenix, AZ 85016



5/19/2025

Byron Easton

Hearing Officer City of Phoenix

Planning & Development Dept.

200 W. Washing St., 2<sup>nd</sup> floor

Phoenix, AZ 85003

**CITY OF PHOENIX**

**MAY 19 2025**

**Planning & Development  
Department**

Dear Mr. Easton,

I live close to 5500 N. 24<sup>th</sup> St, Pheonix, Arizona. I have reviewed the renderings and plans. I have no objections and am in support of the plan. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.



2323 E. Highland Ave  
Phoenix, AZ  
85016

5/19/2025

Byron Easton

Hearing Officer City of Phoenix

Planning & Development Dept.

200 W. Washing St., 2<sup>nd</sup> floor

Phoenix, AZ 85003

**CITY OF PHOENIX**

**MAY 19 2025**

**Planning & Development  
Department**

Dear Mr. Easton,

I live close to 5500 N. 24<sup>th</sup> St, Pheonix, Arizona. I have reviewed the renderings and plans. I have no objections and am in support of the plan. The improvements will be of benefit to the office and neighborhood and cause nothing harmful to our neighborhood.

*Elisabeth Qi*  
2137 E. Rancho St.  
Phoenix, AZ 85016



**Racelle Escolar**

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**Subject:** FW: Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

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**From:** Matt Everroad <[meverroad@eidebailly.com](mailto:meverroad@eidebailly.com)>

**Sent:** Wednesday, September 24, 2025 8:24 AM

**To:** Joshua Bednarek <[joshua.bednarek@phoenix.gov](mailto:joshua.bednarek@phoenix.gov)>

**Subject:** Support for PHO-1-25—Z-323-79, 24th St & Missouri Ave

**CAUTION: This email originated outside of the City of Phoenix.**

Do not click links or open attachments unless you know the sender and were expecting this email.

[Report Suspicious](#)

I write in full support of the proposed plans for 5500 N. 24th Street. I have lived and worked in the Camelback Corridor/Biltmore area for 30 years. My first house was at 32nd and Camelback. My first job was in the Esplanade, and I currently work at Eide Bailly LLP at 2355 E. Camelback Road, Suite 900.

The improvements depicted in the renderings will have a beneficial impact on this important corner, which is a prominent entry point to the Camelback Corridor. The changes will improve the property yet stay true to its residential feel and remain consistent with its Biltmore neighborhood. For decades, this property has been well known and well cared for. These changes will only make it better and since only an additional 1,000 square feet is being added, will place no burden on the neighborhood. Many of the surrounding homes are two stories and just a few blocks down transition to multiple stories.

I hope the proposal is allowed, for the benefit not just of this property, but the entire Biltmore area.

Yours truly,

**Matt Everroad**

Partner

Eide Bailly LLP

2355 E. Camelback Road, Ste. 900

Phoenix, AZ 85016

T 480.305.8072

**CITY OF PHOENIX**

SEP 24 2025

Planning & Development  
Department



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