



# WILLOWICK

Southwest corner of 16th Street and Colter Street

Planned Unit Development

Development Narrative

Z-9-20-6

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**CITY OF PHOENIX**

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**Planning & Development  
Department**

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## A. PURPOSE AND INTENT

### 1. PLANNED UNIT DEVELOPMENT

This Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for this particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. If there are conflicts between specific provisions of this PUD, and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. The PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. The purpose and intent statements are not requirements that will be enforced by the City. Where the Willowick PUD Development Narrative is silent on a requirement, the applicable Zoning Ordinance provisions will be applied.

It is the purpose and intent of the provisions defined within this PUD to promote the development of a dynamic mixed use development. The provisions of this PUD will ensure compatibility with surrounding properties; provide a variety of land uses, services, and commercial opportunities; promote new jobs, and generate new tax revenue for the City of Phoenix. The Willowick PUD development standards and design guidelines set forth later in this document are reflective of the mixed use environment envisioned for the project.

### 2. PROJECT OVERVIEW AND GOALS

BH Management Services, LLC (“BH Management”) is the ninth-largest property management firm in the United States. BH Management understands that satisfied residents are the cornerstone of the company’s success, which is earned through the provision of quality amenities and superior property management. Headquartered in Des Moines, Iowa and with a regional office in Phoenix, BH Management Services oversees communities across 19 states and has enjoyed continuous growth and outstanding performance for over a decade. BH Management will apply its professional property management experience to enhance the unique qualities of the Camelback East Village.

The Willowick PUD rezones approximately 3.45 gross acres of land located at the southwest corner of N. 16th Street and E. Colter Street (the “Property”) in Phoenix. See Aerial and Parcel maps in **Exhibits 1 and 2**, respectively. BH Management is proposing a mixed use development consisting primarily of multifamily residential uses with some ground floor commercial land uses, consistent with the General Plan Land Use designation of Commercial. The Willowick PUD will promote a mixed use development that will integrate retail and residential uses. The development provides new housing and employment opportunities within the Camelback East Village, demonstrates a significant investment in the community, and will have a positive impact on the area. One of the major goals of the Camelback East Village is to have higher density residential communities within walking distance to the Village’s commercial areas to reduce the need for vehicular trips. The proposed project will fulfill this goal.

### 3. SURROUNDING AREA

The Property is currently zoned C-O. Surrounding land uses are zoned PUD, C-2, C-2 Special Permit, C-1, R-4, R-3 and PAD-15. These are all intense urban land use designations. These surrounding

uses are shown on the Existing Zoning Map in **Exhibit 3**, and are specifically described later in this narrative.

The proposed use is consistent with the area and will complement the existing and surrounding land uses. The site is in close proximity to the Camelback East Village Core, which has evolved over the years to a business, retail and residential hub with higher densities, taller buildings and pedestrian-focused amenities.

#### 4. OVERALL DESIGN CONCEPT

The mixed use project will provide a number of common design elements including thematic streetscape, complementary building materials, and colors compatible to the urban environment. Pedestrian linkages and outdoor spaces will be provided with careful attention to landscaping throughout the site. The project will integrate into the surrounding developments with regard to use, design, setting, density, and building height. The perimeter design will appeal to both the on-site users and the public traveling on 16th Street and Colter Street. The development plan promotes flexibility in uses and design for the retail space while providing consistent development regulations to guide development of the individual suites.

## B. LAND USE PLAN

The approximate 3.45 gross acre site is designed to allow for multifamily residential and commercial retail uses. This pedestrian-friendly project will offer the opportunity for potential retail space on the first floor along 16th Street, multifamily residential units over the commercial space, and with residences wrapping and concealing the structured parking structure. Thus, the Willowick PUD replaces a suburban office design that is setback from the street, and separated by surface parking, with an urban mix of uses that is integrated into a pedestrian-friendly streetscape, with vehicles housed out of sight. The development plan will promote flexibility in uses and design while providing consistent development regulations to guide development of the suites within the retail space. The conceptual site plan for the Property is attached as **Exhibit 4**.

The site is currently occupied by a two-story office complex that is served by a drive aisle that entirely loops the site, with two existing curb cuts along 16th Street. The northern of these two driveways is located less than 50 feet south of the intersection of Colter and 16th Street. The southern of these two driveways is located immediately adjacent to another driveway that serves an older, existing multifamily complex located to the west of the Property.

The Willowick PUD proposes to overhaul these existing access patterns and replace them with an access approach that should be safer for reaching 16th Street in particular. The Willowick PUD will eliminate both existing driveways along 16th Street. Instead, the Willowick PUD will develop a shared driveway with the adjacent Camelback Flats multifamily project driveway immediately adjacent to the south Property line. By sharing the existing driveway, the PUD creates a safer egress onto 16th Street for both parcels. Where there are three driveways today, in the future there will be only one. Instead of having two multifamily projects each trying to exit onto 16th Street from adjacent driveways, the two projects will now share a single driveway, and the traffic from both communities will collect itself before entering onto the public right of way in 16th Street. There will also be an emergency access gate installed at the west end of the small surface parking area to ensure the continued availability of sufficient fire truck access to the redeveloped Property. This new access pattern represents a safety improvement over the current condition of the Property.

## C. SITE CONDITIONS AND LOCATION

### 1. ACREAGE

The Property consists of approximately 3.45 gross acres (2.90 net acres). See legal description in **Exhibit 5**.

### 2. LOCATION

The Property is located at the southwest corner of 16th Street and Colter Street. See vicinity map in **Exhibit 6**.

### 3. TOPOGRAPHY

There are no significant topographical or natural features on the Property. The site is generally flat and there are outdated and underutilized office buildings currently on the site. See context plan and site photos in **Exhibit 7**.

## D. ZONING AND LAND USE COMPATIBILITY

The area has seen dramatic growth and infill over the years including the addition of significant multifamily residential and commercial uses. This proposed PUD will allow timely development of the site in an appropriate manner to complement the existing area's development and uses. See existing zoning map in **Exhibit 3**.

As indicated above, the proposed PUD zoning will be compatible with urban zoning designations and land uses that surround this property. This Property is currently zoned C-O. Surrounding land uses are zoned PUD, C-2, C-2 Special Permit, C-1, R-4, R-3 and PAD-15. These are all intense urban land use designations. The specific zoning and uses are as follows:

- to the north are condominiums zoned R-4 and a restaurant (The 5 & Diner) zoned C-1 with stipulations;
- catercorner to the northeast is a hotel (Extended Stay America) zoned C-2;
- to the east across 16th Street is a multifamily residential community (Peak 16) zoned PUD and a dental office zoned C-O;
- catercorner to the southeast is a restaurant (Ajo Al's) zoned C-2;
- to the south is the drive aisle for a multifamily residential community zoned PAD-15 and the back of an automobile dealership (Camelback Toyota) zoned C-2 with a Special Permit;
- and to the west is that multifamily residential community zoned PAD-15 accessed by the aforementioned drive aisle, and a second multifamily residential community zoned R-3.

These surrounding uses are shown on the Phoenix Zoning Map in Exhibit 3. The site is also near the west boundary of the Camelback East Primary Core Specific Plan, which designates the northeast corner of 16th Street and Camelback Road as Core Gradient 2.

This development will help meet the continued market demands of the Camelback East Village employment base.

The taller building height along 16th Street will allow for commercial uses on the ground floor and assist in providing structured parking that is screened from public view.

This proposed PUD for multifamily residential and commercial retail is fully compatible with surrounding uses and will bring the opportunity for commercial amenities. See proposed zoning map in **Exhibit 9**.

## E. LIST OF USES

### 1. PERMITTED USES

Multifamily residential and all uses permitted in the C-2 zoning district of the Phoenix Zoning Ordinance are permitted. The following uses are prohibited:

1. Adult bookstore, adult novelty store, adult theatre, adult live entertainment establishment, erotic dance or performance studio
2. Automobile Rental
3. Bus Terminal
4. Car Wash
5. Chemicals and Drugs, Storage and Distribution
6. Cigarette Service
7. Cleaning and Dyeing Plants
8. Compressed Natural Gas (CNG) Retail Sales, as an accessory use to automobile service stations
9. Guns, Retail Sales and/or Repairs
10. Hospital
11. Hotel or Motel
12. Motion Picture Theatres
13. Nonprofit Medical Marijuana Dispensary Facility
14. Pawn Shop
15. Propane Retail Sales permitted as an accessory use to service stations
16. Public Utility Service Yards
17. Miniature Golf
18. Mortuary
19. Nursing Home
20. Public Storage Garages
21. Medical Offices, as described in Section 702.C of the Zoning Ordinance

Outdoor dining, outdoor food preparation and cooking, and indoor and outdoor alcohol consumption shall be allowed by right within the boundaries of the retail space, including outdoor frontage between the retail space and the sidewalk, of the Willowick PUD. This outdoor use area is defined as any and all space between the building and the back of sidewalk along the 16th Street frontage of the building, except where the adjacent building houses residentially occupied space, and therefore may encroach into building and landscape setback areas. Permitted hours of operations for outdoor dining and alcohol consumption shall be from 9 AM to 11 PM Sunday through Thursday, and from 9 AM to midnight on Friday and Saturday. Outdoor entertainment is subject to Section 623.D.157 of the Zoning Ordinance. Music or entertainment shall be permitted in accordance with Section 623.D.157.a, and patron dancing per Section 623.D.157.b. Outdoor uses are accessory to the primary commercial retail uses. See **Exhibit 10**, 16th Street Outdoor Use Areas.

### 2. TEMPORARY USES

Temporary uses shall be subject to Section 708 of the Phoenix Zoning Ordinance.

### 3. ACCESSORY USES

Accessory uses shall be subject to Section 623 of the Phoenix Zoning Ordinance.



## F. DEVELOPMENT STANDARDS

Development of the Willowick project shall comply with the provisions governed by the Phoenix Zoning Ordinance, unless modified by this PUD. This provision shall not limit the ability of the applicant or end user to apply for use permits which can be requested per Section 623 of the Phoenix Zoning Ordinance and not identified by this PUD. If there are conflicts between specific provisions of this PUD, and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. This PUD only modifies Phoenix Zoning Ordinance regulations and does not modify other Phoenix City Codes or requirements.

### 1. GENERAL DEVELOPMENT STANDARDS

Table 1: General Development Standards

Density	Maximum 68.7 du /ac
Streetscape and Building Setback Standards: 16th Street	<p>25-foot building setback from back of curb</p> <p>20-foot building setback from property line</p> <p>Minimum 5-foot wide landscaped area between back of curb and sidewalk</p> <p>Minimum 8-foot wide sidewalk (except at existing bus stop, where sidewalk must be a minimum 5-foot)</p> <p>Minimum 15-foot wide landscaped area between back of sidewalk and building, including hardscape pedestrian and retail plaza areas and water feature (see below), except that a minimum of 25% of this area must be landscaped with non-hardscape materials.</p> <p>See <b>Exhibit 11a</b>, <b>Exhibit 11b</b>, and <b>Exhibit 11e</b>.</p>
Streetscape and Building Setback Standards: Colter Street	<p>20-foot building setback from back of curb</p> <p>15-foot building setback from property line</p> <p>Minimum 5-foot wide landscaped area between back of curb and sidewalk</p> <p>Minimum 6-foot wide sidewalk</p> <p>Minimum 15-foot wide landscaped area between back of sidewalk and building</p> <p>See <b>Exhibit 11c</b> and <b>Exhibit 11f</b>.</p>
Non-Street Building Setback Standards	10-foot building setback from property line

	<p>West perimeter: Minimum 10-foot landscape setback to allow room for tree planting</p> <p>South perimeter: Minimum 13-foot landscape setback to allow room for minimum 5-foot wide sidewalk and minimum 8-foot groundcover landscaping</p> <p>See <b>Exhibit 11d</b>.</p>
Building Height	Maximum 65 Feet. See <b>Exhibit 12</b> .
Lot Coverage	Maximum 75%
Division of Uses	Mixed Use: Multifamily Residential and Commercial
Minimum Building Separation	Per Building Code
Common Areas	Minimum 5% of gross area, as measured by square footage of outdoor Common Areas
Accessory Building Setbacks	<p>Accessory buildings shall have the same setbacks as Buildings, as set forth above</p> <p>Accessory buildings not permitted fronting 16th Street</p>
Shade Standards	<p>Minimum 30% shade along public sidewalk along 16th Street (reduced to provide required clearance for underground SRP waterline)</p> <p>Minimum 75% shade along public sidewalk along Colter Street</p> <p>Shade calculation shall be based on the summer solstice at 12:00 p.m.</p>
16th Street Driveway Restrictions	<p>The Property will continue to have no direct access to and from Colter Street along its northern perimeter.</p> <p>Both existing driveways along 16th Street shall be removed.</p> <p>In order to limit vehicular access and to improve safety along 16th Street, the Willowick PUD will develop a shared driveway with the adjacent Camelback Flats multifamily project driveway immediately adjacent to the southern Property line.</p>

The height of the building will be appropriate for the scale and pace of the arterial street vehicular movement along 16th Street. The height of the building at the prominent intersection of 16th and Colter Streets will not only complement in scale The Peak complex across 16th Street to the east, but will visually combine with it to create a dynamic gateway into the commercial hub to the south at the major intersection of 16th Street and Camelback. This perceived gateway will also provide a focal point for the non-residential component of the project.

## 2. LANDSCAPE STANDARDS

The Willowick PUD design guidelines prioritize a pleasant pedestrian experience to support and advance urban walkability. The provision of a pedestrian-friendly environment supports healthy habits, encourages the use of alternative transportation (such as walking and bicycling) and is environmentally sustainable. The plant palette will be composed of drought tolerant trees, shrubs, accents, and groundcovers to be located internally and along the linear Property lines. See Landscape Plan in **Exhibit 13**. A minimum of seventy-five percent (75%) LIVE coverage shall be maintained in all landscape areas at maturity with live trees, shrubs, accent plantings, and vegetated ground cover. Specific shading standards are set forth below.

There are utility water lines along both street frontages, as well as along the southern perimeter of the Property. SRP maintains a water line along 16th Street. The City of Phoenix maintains a water line running along Colter Street. Each utility limits the location of shade trees in proximity to their water lines, and the two utilities have differing standards from each other:

- SRP requires that the canopy of all trees be located at least four (4) feet from the edge of any SRP pipe.
- The City of Phoenix requires that the trunk of all trees be located six (6) feet from the edge of any pipe.

The presence of these water lines blocks the ability to locate trees between the back of curb and the detached sidewalk. In lieu of that, the applicant is providing a double row of trees inside the sidewalk along both street frontages. In front of the commercial space on the ground floor along 16th Street, there is a retail plaza, and the interior row of trees is pulled back against the building to allow the triangular pattern to continue while accommodating the retail activity. On the southern perimeter, the applicant can provide groundcover within the landscape strip, but not trees because utilities are in the south 10-feet of the Property. The landscape standards below have been tailored to reflect those restrictions.

**Table 2: Landscape Setbacks and Planting Standards**

Landscape Setbacks	Requirements
North (E. Colter Street)	5 foot minimum between back of curb and sidewalk  6 foot wide sidewalk  Minimum 15-foot wide landscaped area between back of sidewalk and building
East (N. 16th Street)	5 foot minimum between back of curb and sidewalk (except at existing bus stop, said bus stop to be compliant with Details P1258 and P1260)  8 foot wide sidewalk  Minimum 15-foot wide landscaped area between back of sidewalk and building,

	including hardscape pedestrian and retail plaza areas
South	13 foot minimum
West	10 foot minimum
<b>Landscape Planting Standards</b>	<b>Requirements</b>
North, between back of curb and sidewalk (E. Colter Street)	<p>SHRUBS: Minimum five (5-gallon) shrubs per five hundred (500) square feet of landscape area. Plant a minimum of one (1-gallon) groundcovers at 48" on center in planting space between curb and sidewalk.</p> <p>GROUNDCOVER: Minimum 75% living groundcover (1-gallon material). All plant material to be under 24" height at maturity.</p> <p>TREES: Not possible due to presence of utilities.</p>
North, back of sidewalk (E. Colter Street)	<p>TREE SIZE: Minimum 3-inch caliper.</p> <p>SPACING: A double row of triangulated trees between the sidewalk and building, planted at a maximum 20 feet on center.</p> <p>SHRUBS: Minimum five (5-gallon) shrubs per tree. All plant material to be under 24" height at maturity.</p> <p>GROUNDCOVER: Minimum 75% living groundcover (1-gallon material).</p>
East, between back of curb and sidewalk (N. 16th Street)	<p>SHRUBS: Minimum five (5-gallon) shrubs per five hundred (500) square feet of landscape area. Plant a minimum of one 1 gallon groundcovers at 48" on center in planting space between curb and sidewalk.</p> <p>GROUNDCOVER: Minimum 75% living groundcover (1-gallon material). All plant material to be under 24" height at maturity.</p> <p>TREES: Not possible due to presence of utilities.</p>
East, back of sidewalk (N. 16th Street)	<p>TREE SIZE: Minimum 3-inch caliper.</p> <p>SPACING: A double row of triangulated trees between the sidewalk and building, planted at a maximum of 20 feet on center, except in area of water feature (see below).</p> <p>SHRUBS: Minimum five (5-gallon) shrubs per tree.</p> <p>GROUNDCOVER: Minimum 75% living groundcover (1-gallon material). All plant material to be under 24" height at maturity.</p> <p>WATER FEATURE: A pedestrian scale water feature will be placed between the north end of the retail space and the northeast corner of the building in lieu of the interior row of trees.</p>

	The exterior row of trees shall continue in the space between the water feature and the sidewalk.
South	SIDEWALK: Minimum five (5) foot wide sidewalk. SHRUBS: Minimum five (5-gallon) shrubs per five hundred (500) square feet of landscape area. GROUND COVER: Minimum 75% living groundcover (1-gallon material). TREES: Not possible due to presence of utilities.
West Property Line	TREE SIZE: Minimum 3-inch caliper. SPACING: Planted at a maximum of 20 feet on center. SHRUBS: Minimum five (5-gallon) shrubs per tree. GROUND COVER: Minimum 75% living groundcover (1-gallon material).
Maximum Allowable Landscape Grading Slope	3:1

### 3. PARKING

Residential tenant and visitor parking will be accommodated by a centrally located 5-level deck structure parking garage, with 384 spaces. This wrapped design will allow a more pedestrian focus to the project’s external circulation, which will make the site more attractive to users of alternative transportation modes, thereby reducing the need for visitor parking. In addition, structured parking will be wrapped with residential units on the north, east and south sides the wrapped design will screen virtually all of the parking from 16th Street and Colter. Finally, this use of garage parking provides shade for vehicles and for pedestrians accessing parking, making the project more responsive to Arizona’s summer heat.

Most visitor parking will be provided within the garage. Within the garage, there will be a secured access point that limits parking from that point above to residents. There will be a small amount of external, public parking located at the south end of the Property.

The parking drive aisle widths for the Willowick PUD shall comply with Section 702 of the Phoenix Zoning Ordinance. This provision shall not limit the ability of the applicant or end user to apply for a zoning adjustment application to further modify a City of Phoenix Zoning Ordinance provision.

The Willowick PUD will provide ample bicycle parking, storage, and maintenance for its residents. Indeed, as part of its multi-modal approach, the bicycle storage and maintenance area is provided along the ground floor frontage on 16th Street, providing immediate access to the public right-of-way. This will allow residents to enjoy this urban neighborhood’s dense concentration of stores and restaurants without having to rely on vehicular travel.

Table 3: Parking Standards

Parking Standards	
Off-Street Vehicular Parking	<ul style="list-style-type: none"> <li>Residential: 1.5 spaces per unit</li> <li>General Office: 1 space / 350 square feet of indoor Gross Floor Area</li> <li>General Retail: 1 space / 350 square feet of total (indoor and outdoor) Gross Floor Area x 80%</li> <li>Restaurants / Bars: (1 space / 150 square feet of indoor Gross Floor Area x 65%) + (1 space / 250 square feet of outdoor Gross Floor Area minus landscaped square footage x 65%)</li> <li>Fitness: 1 space / 250 square feet of indoor Gross Floor Area</li> </ul>
On-Street Vehicular Parking	None
Bicycle Parking	<p>Minimum of 0.25 spaces per unit</p> <p>A bicycle repair station (“fix it station”) shall be provided in an area of high visibility, separated from vehicular maneuvering areas, and located within close proximity to the building entrance. The repair station shall include: standard repair tools affixed to the station; a tire gauge and pump affixed to the base of the station or the ground; and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.</p>
On-Site Loading	One (1) 10’ x 30’ space minimum
Parking Stall Dimensions (Garage)	8.5’ x 18’ 9.5’ x 18’ under podium
Garage Drive Aisle Width	24’
Surface Drive Aisle Width	Per Section 702 of the Phoenix Zoning Ordinance
Landscape Requirement for Surface Parking	Per Section 702.B.7.b of the Zoning Ordinance
Accessible Parking	Per Section 702.G of the Zoning Ordinance

#### 4. AMENITIES AND COMMON AREAS (OPEN SPACE)

The Willowick PUD will include the following amenities

- ± 5,100 square foot Clubhouse / Leasing facility, including meeting areas, work rooms, and State-of-the-Art Fitness Center
- 10,300 square foot Outdoor Courtyard with Pool, Spa, Cabanas, Outdoor Kitchen, Multi-Purpose Lawn and Fire Pit
- 1,300 square foot Pet Park
- 900 square foot Bicycle Maintenance and Storage Room, including on-site secured bicycle storage and bicycle repair station

- 14,000 square feet of landscaping from the back of the curb to the front of the building, providing ample shaded walking space

As indicated in the Development Standards Table, the Willowick PUD is required to provide a minimum of 5% of its gross acreage for outdoor common areas for its residents, as measured by the square footage of those outdoor common areas, but will in fact provide much more common area than that Ordinance standard. Of course, some of these amenitized common areas are indoors, and while they do not count toward the 5% requirement, residents will obviously enjoy them nonetheless. All of these common areas will be set aside for the use of residents and their guests.

To foster a sense of privacy and separation, many of these outdoor amenities shall be located on the interior of the project, away from both the 16th Street and Colter Street frontages and away from the parking and vehicular area at the south end of the Property.

The specific amounts of all Common Area open spaces, outdoor and indoor, are set forth in the Table below.

**Table 4: Common Area Amenities and Square Footage**

Open Space Area	Description of Amenity	Minimum Square Footage	Minimum Percentage of Site (Gross) (150,282 square feet)	Square Footage Shown on Current Site Plan	Percentage of Site (Gross) (150,282 square feet)
1. Courtyard	<ul style="list-style-type: none"> <li>• Pool</li> <li>• Spa</li> <li>• Cabanas</li> <li>• Outdoor Kitchen</li> <li>• Multipurpose Lawn</li> <li>• Firepit</li> </ul>	10,000	6.7%	10,372	6.9%
2. Clubhouse	<ul style="list-style-type: none"> <li>• Meeting Area</li> <li>• Work Rooms</li> <li>• State of the Art Fitness Center</li> </ul>	5,000	3.3%	5,108	3.4%
3. Bike Storage Room	<ul style="list-style-type: none"> <li>• Bike Shop and Storage</li> </ul>	500	0.3%	993	0.7%
4. West Side Open Space	<ul style="list-style-type: none"> <li>• Dog Run*</li> </ul>	1,000	0.6%	1,312	0.9%
5. Open Space from Back of Sidewalk to Building on 16th Street and Colter	<ul style="list-style-type: none"> <li>• Bonus Landscape and Shade Area</li> </ul>	10,000	6.7%	14,329	9.5%
Total		26,500	17%	32,114	20.9%

\*Dog run is permitted to encroach into the landscape setback.

## 5. SHADE

As already indicated, this urban infill site already has extensive underground utilities in place along three perimeters, including both street frontages, sharply limiting the amount of trees that can be planted in those precise locations. In lieu of that ability, the Willowick PUD will be providing a triangulated double row of trees along both the 16th Street and Colter street frontage. This



abundance of trees will provide shade, as well as strong visual relief to residents and visitors alike. A pedestrian scale water feature near the northeast corner of the site will provide addition visual and audible cooling comfort to pedestrians. Groundcover in areas where trees cannot be planted will also provide visual relief and will abate the urban heat island effect.

In addition, it should not be overlooked that the proposed redevelopment of this site will wipe out a vast, typical, suburban surface parking lot, another significant contribution to reducing the urban heat island effect.

Despite the presence of the water lines, the Willowick PUD will provide 75% shade at Noon on the summer solstice to pedestrians along Colter Avenue. However, in part due to the different and more aggressive standards of SRP set forth earlier, the Willowick PUD will provide no more than 30% shade along 16th Street at Noon on the summer solstice. Of course, much of the year, and for the bulk of the afternoon every day, the 16th Street frontage will be heavily shaded. It should be noted that the double row of trees blocks the ability to extend canopies or other structural features off of the building itself; the Willowick PUD believes that the trees will be a much more welcome presence.

## 6. LIGHTING PLAN

Lighting shall comply with Section 704 and Section 507.Tab A.II.A.8 of the Phoenix Zoning Ordinance.

## G. DESIGN GUIDELINES

The goal of the proposed Willowick PUD is to create a project for the neighborhood that is superior to that otherwise attainable through the existing conventional zoning. The mixed use project is proposing a 237-unit multi-level, mixed used complex and, by providing 4,600 square feet of commercial space fronting 16th Street, falls within the use categories consistent with the City of Phoenix General Plan. The project's introduction of a non-residential space that is walkable to existing as well as new residents in the neighborhood will serve as a pedestrian focal point.

The proposed development will consist of a single building that integrates residential, ground floor commercial, and concealed structured parking. At street level, there will be at-grade residences with direct access to the exterior along both Colter and 16th Street. The commercial space will face 16th Street just south of the intersection with Colter, and the project clubhouse will face the intersection itself. The spaces above grade will consist of residences, with highly articulated overlooks of the adjacent streets or courtyards. A 5-level deck structure parking will be located between and connected to these structures to accommodate parking for the entire project.

The scale of the building is broken down by the repetition of elements and articulation of the building elevations. Although the building will primarily have a horizontal composition, it will be articulated and broken up by vertical elements such as massing walls and elevator shafts to add visual interest. The residential unit balconies are cantilevered to help break up the solid exterior face of the building. See conceptual elevations in **Exhibit 14**, a Perspective Collage in **Exhibit 15** and floor-by-floor Building Plans in **Exhibit 16**.

The primary color scheme will be that of cool greys and muted desert colors. Materials, details and colors representative of mid-century modernist design will be utilized as accents to the primary color and material scheme.

### 1. SITE

- a. The proposed PUD shall provide a minimum of five (5) amenities, which may include but are not limited to the following:
  - i. Swimming pool
  - ii. Barbeque
  - iii. Ramada
  - iv. Cabanas
  - v. Sky Deck
  - vi. Bike storage/bike repair station
  - vii. General tenant storage
  - viii. Pet Park
- b. Alternative paving materials shall be used at public access and pedestrian crossings to reduce urban heat island effect, and to allow natural drainage and filtration.
  - i. Pedestrian crossings shall be a minimum of six feet wide.
  - ii. Permeable paving, porous concrete or similar materials shall be installed adjacent to treewells. The design shall ensure adequate water and root growth.
  - iii. Alternative materials such as brick pavers, permeable concrete pavers, decorative pavers, stamped or colored concrete, granite, flagstone or other decorative concrete

that visually contrasts with the adjacent parking and drive aisles surfaces shall be provided on pedestrian crossings and along the pedestrian walkways.

## 2. BUILDING DESIGN

- a. 4-sided architecture shall be required.
- b. All sides of a structure shall exhibit design continuity and contain multiple exterior accent materials that exhibit quality and durability.
- c. All ground floor units fronting 16th Street and Colter Street will have exterior doors facing the street frontage, and may therefore function as “Live-Work” units.
- d. Visible side and rear building facades shall have a level of trim and finish compatible with the front façade.
- e. Monotonous building elevations shall be avoided, building accents shall be expressed through differing materials or architectural detailing rather than applied finishes such as paint, graphics, or forms of plastic or metal panels.
- f. Multiple buildings on the same site shall borrow and incorporate architectural styles, materials, forms, features, colors and compatible elements from the same site. These shall include: continuation of distinctive rooflines, covered walkway alignments, consistent detailing of finish, accent features on all visible sides of structures, compatible shapes, material, wall and landscaping treatment.
- g. Material requirements and undulation standard. At least three (3) finish materials are required for the exterior skin of the building. Finish materials may include stucco, brick, metal or aluminum cladding, cementitious composite panels, large expanses of glass, wood, etc. However, stucco shall cover no more than 60 % of each elevation, and at least two (2) other finish materials must cover at least 10% of each elevation. Exposed concrete will not be considered an accent material.
- h. All building entrances and exits, all vehicular entry and exit points, to/from the existing bus stop pad, intersections, and public sidewalks utilizing the minimum possible distances and provided the most direct route.

## 3. PEDESTRIAN ACCESSWAY GUIDELINES

Pedestrian ways shall meet the following minimum standards:

- a. Accessible pathways are provided to all portions of the project.
- b. Decorative pavers are used at retail plaza and within interior amenity space. Decorative concrete is also utilized at building entrance flanking the retail plaza. These accent paving materials contrast with adjacent drive aisle surfaces.
- c. All amenities both private and public are connected with minimum possible distance.
- d. Sidewalks along 16th Street and Colter Street shall be open for public access.
- e. Sidewalks along 16th Street and Colter Street shall be a minimum of six feet in width, except where bus stops may encroach, in which case, a minimum of five feet in width is required.
- f. To enhance pedestrian safety, the existing northern driveway along 16th Street shall be eliminated.
- g. To enhance pedestrian safety, the remaining southern driveway along 16th Street shall be restricted to right-turn in only.
- h. Ground floor commercial space shall have direct public access to the adjacent sidewalk.
- i. There will be a public entry point for pedestrians located at the corner of 16th Street and Colter with a pedestrian-scale water feature.

- j. Residents on all upper floors will have direct access to their floor from the parking structure.
- k. Pedestrian ways are not required to be straight, but shall be entirely visible from one or both of the thoroughfares or private accessways which they connect.
- l. All ADA guidelines shall apply.
- m. Lighting shall be provided to ensure safety and security. The following lighting treatment shall be provided within pedestrian ways:
  - i. Fifteen-foot maximum height of lighting fixtures.
  - ii. A minimum of one-foot candle illumination shall be maintained throughout pedestrian ways.
  - iii. Uniform lighting shall be placed along entire pedestrian ways to avoid bright high glare areas and low visibility dark areas.
- n. One (1) of the following elements shall be provided at each street entrance:
  - i. Bollard path light.
  - ii. Public art and/or wall mural on any building wall visible from 16th Street.
  - iii. Decorative directional signage.
  - iv. Building design and landscaping elements that emphasize the street entrance.
- o. Alternative paving materials such as permeable pavers, porous concrete or similar materials shall be used at public access and pedestrian crossings for onsite hardscaping to reduce urban heat island effect, and to allow natural drainage and filtration.

#### 4. PARKING STRUCTURE GUIDELINES

Any parking structure shall meet the following minimum standards:

- a. To reduce the urban heat island effect, at least 80% of the project parking shall be provided in a parking structure.
- b. To reduce visual dominance of project parking, any parking structure will be wrapped by habitable spaces on three sides, and shall specifically be shielded from 16th Street. On the one side which shall remain open for ventilation purposes, the parking structure shall be screened a minimum of four (4) feet in height where the sides of the structure are open.
- c. To enhance the visual appearance of the one side of the garage that is open and visible, its façade shall be folded into a building façade otherwise consisting of habitable space, to specifically include a mixture of faux wood panels, hardie panels, and vegetated panels deployed across the façade in a random pattern.
- d. The material, scale and articulation for garage façade are consistent with the rest of building elevation.
- e. To maximize pedestrian use of 16th Street and Colter Street, any parking structure shall be setback at least fifty feet from sidewalks on those streets.
- f. To properly manage traffic management, any parking structure will not have direct access to either 16th Street or Colter Street. Staging areas should be designed to accommodate the required queuing within the structure or on the Property and not on the street.
- g. To limit its visual impact, any parking garage entrance shall be folded into a building façade otherwise consisting of habitable space.
- h. Across the entrance to any parking garage, the alternative paving materials for pedestrian walkways are required. Appropriate visibility triangles and pedestrian crossing at exits and entrances should be provided in all parking structures.

- i. To provide year round viability for commercial square footage within the Willowick PUD, all required commercial parking spaces will be shaded parking within a parking structure.
- j. Lighting within any parking structure should provide safety and security and be integrated into the architectural character both in terms of illumination and fixtures. Rooftop lighting, if any, shall be setback a minimum of twenty-five (25) feet from the perimeter of the rooftop parking structure and shall be a maximum of twelve (12) feet in height.
- k. There should be a convenient, clear, safe and efficient internal circulation system within any parking structure for both vehicular and pedestrian traffic including appropriate signage and placement of pedestrian circulation cores (elevators and stairs).
- l. Because of the enhanced and specific requirements of the Willowick PUD tailored for this compact and urban site, these parking structure guidelines supersede any requirements of Section 507 Tab A.II.A.6.2 of the Zoning Ordinance.

## H. SIGNS

All signage shall comply with the City’s Zoning Ordinance, Section 705 Signs, except as modified herein. This includes the later ability to apply for a Comprehensive Sign Plan.

**Table 5: Signage Standards**

Wall Signs (Includes Vertical Blade signage and includes all signage for both multifamily residential and commercial land uses)

	Maximum Height of Sign from Grade	Maximum Area
16th Street Elevation	56-feet	130 sq. ft. total
Colter Street Elevation	56-feet	100 sq. ft. total

Wall signs for individual users shall be allowed on walls of the building along 16th Street and Colter, even though a particular user does not occupy the space directly below or adjacent to the wall sign.

Signage exhibits as part of this narrative are conceptual only and to show sign locations on building. See conceptual signage in **Exhibit 17**.

## I. SUSTAINABILITY

Founded in 1993, BH Management Services has had sustainability at the core since its inception. More than two decades later, BH Management continuously strives to live up to that legacy. For BH Management, sustainability is not optional. It is a fundamental requirement of doing business the right way. BH Management strives to incorporate sustainability into every project, to make difficult decisions that address current and future challenges, and to improve continuously. Through ongoing measurement, BH Management holds itself accountable to challenging goals in traditional areas of environmental sustainability and in community building, health, happiness and longevity. BH Management's ultimate goal is to ensure that the land and communities under its stewardship remain vibrant. BH Management seeks to leave behind legacies whose value builds with time.

In order to demonstrate these commitments on this project, BH Management has chosen to not only design and build the project to its own level of green standards, but to also obtain third-party certification. It is important to BH Management to be credible and receive validation, outside the organization, towards the decisions that are being made.

The ICC 700 National Green Building Standard™ (NGBS) is the only residential green building rating system approved by ANSI, the American National Standards Institute, as an American National Standard. As an ANSI-approved green building rating system, the NGBS provides builders and consumers with a credible definition of green building. The flexible, expansive point-based system for certification is appropriate for our specific climate and meets the needs of this particular market and home buyers.

NGBS provides practices for the design, construction, and certification of new multifamily buildings and renovations. In addition to the mandatory provisions, the NGBS requires the building to include sufficient green building practices in each of the six categories to meet the category minimums for each green certification level.

The BH Management design team has chosen to pursue and incorporate the following items to support an NGBS Bronze certification. Listed below are the components that the team has found to be the most influential and critical to the project, and therefore will be included in the Willowick PUD.

### Chapter 5, Lot Design and Development

- Less than a half mile access to community resources and public transit
- Drought-tolerant landscaping

### Chapter 6, Resource Efficiency

- Prefabricated building components
- Use of building materials with recycled components
- Recycling of construction waste

### Chapter 7, Energy Efficiency

- 3rd party inspection of correct air sealing and insulation installation
- ENERGY STAR Appliances
- HVAC systems with increased efficiency ratings and tested to ensure performance

## Chapter 8, Water Efficiency

- Water conserving shower heads and lavatory faucets
- WaterSense Certified toilets, to reduce water without sacrificing performance
- Irrigation system designed to perform and also reduce water use

## Chapter 9, Indoor Environmental Quality

- Carpet certified as no formaldehyde
- High particulate filtering HVAC filters
- No Smoking Campus

## Chapter 10, Operations and Maintenance

- Owner and maintenance teams are educated and provided material on all the green features of the project to ensure future performance.

In addition to these superior standards, BH Management will provide recycling services for tenants. Recycling collection barrels will be provided on each floor adjacent to the trash chutes. Building management will gather these barrels and bring them to the ground floor for pick up by a recycling hauler on a regular (likely weekly) basis.

The development shall also incorporate other sustainable elements such as the following:

### City Enforceable Standards

- Recycling collection areas shall be identified on the site plan at the time of site plan review process
- 75% shade at Noon on the summer solstice to pedestrians along Colter Avenue
- All required commercial parking spaces will be shaded
- On-site secured bicycle storage and bicycle repair station
- A double-row of trees shall be planted and maintained along the 16th Street frontage

Of course, the Willowick PUD itself represents a significantly sustainable design. It is an infill project that reuses an existing site, and upgrades it from a vehicular-dependent, suburban design to a mixed use, pedestrian friendly, urban community. It replaces a sea of heat island surface parking with a screened parking structure. It replaces barren, narrow, street-adjacent sidewalks with shaded, wide, detached, pedestrian friendly sidewalks. This complete reversal of the current use of the site is not only much more sustainable than the current, outdated design, it also advances the City's goals for more complete streets and a tree-shaded pedestrian environment. On the subject of tree shade, the only aspect of the existing site with long-term use are the mature trees along the street frontages, and they are being preserved in place; the project will be constructed around them.

Not only is the Willowick PUD sustainable in its fundamental approach to its site, it also adds to a growing urban fabric in this area of the City. It is important to specifically note that this urban fabric includes a variety of food and agriculture suppliers. This community is well served by multiple grocer options (including an adjacent Trader Joe's and Whole Foods), as well as the Uptown Farmer's Market held each weekend at Bethany Home and Central Avenue, less than two miles west of the Property, and the Agave Farms urban farm on Central north of Indian School Road, about three miles southwest of the Property. More broadly, this infill



redevelopment will aid the growing revitalization and economic energy of the surrounding neighborhood.

## J. INFRASTRUCTURE

### 1. CIRCULATION: PEDESTRIAN CONNECTIVITY AND LIMITED VEHICULAR ACCESS

The Willowick PUD dramatically shifts the design of the Property from its current, suburban, vehicle-oriented design to an urban, pedestrian-oriented design. Today, the Property has a sea of surface parking surrounding buildings, and cutting pedestrians off from the activity on the site. This proposed redevelopment makes pedestrian activity the dominant feature of the appearance of the property. Specific pedestrian walkway standards, including but not limited to the use of alternative paving materials for enhanced pedestrian safety and visibility, are set forth above in the Design Guidelines section of this narrative. Specific landscaping standards to enhance the pedestrian experience, including but not limited to shading requirements, are set forth above in the Landscape Standards of this narrative. Outdoor amenities and the bicycle storage area are each required to be separated from vehicular areas of the Willowick PUD.

To support the reorientation of this Property away from vehicle oriented design, the following vehicular limitations are proposed. These restrictions will also support and enhance the parking structure standards set forth above in the Design Guidelines section of this narrative. Essentially, vehicles will have limited access to the Property, and they will be stored out of sight in a limited footprint, as opposed to dominating the exterior appearance and function of the Property, as they do today.

#### Restrictions on Vehicular Use of the Property

1. The Property will continue to have no direct access to and from Colter Street along its northern perimeter.
2. The existing northern driveway along 16th Street shall be removed.
3. In order to limit vehicular access and to improve safety along 16th Street, the Willowick PUD will develop a shared driveway with the adjacent Camelback Flats multifamily project driveway immediately adjacent to the southern Property line.

The Willowick PUD will also secure an emergency access easement from the multifamily community to the west to be located with a crash gate at the west end of the surface parking area; this will provide a 360-degree fire approach to the Property. See proposed circulation plan in **Exhibit 18**.

### 2. GRADING AND DRAINAGE

The existing drainage pattern will remain the same in the proposed condition. Underground retention will be provided. The retention volume will be the greater of either the increase in runoff volume in the proposed condition compared to the existing condition, or the first flush volume for the 100-year, 2-hour storm event. All retention facilities will be drained within 36-hours of a major storm event as required by the City of Phoenix Drainage Design Manual.

### 3. WATER AND SEWER

The existing water mains along 16th Street and Colter will be utilized for service to the project.

The existing sewer mains along 16th Street and Colter will be utilized for service to the project.

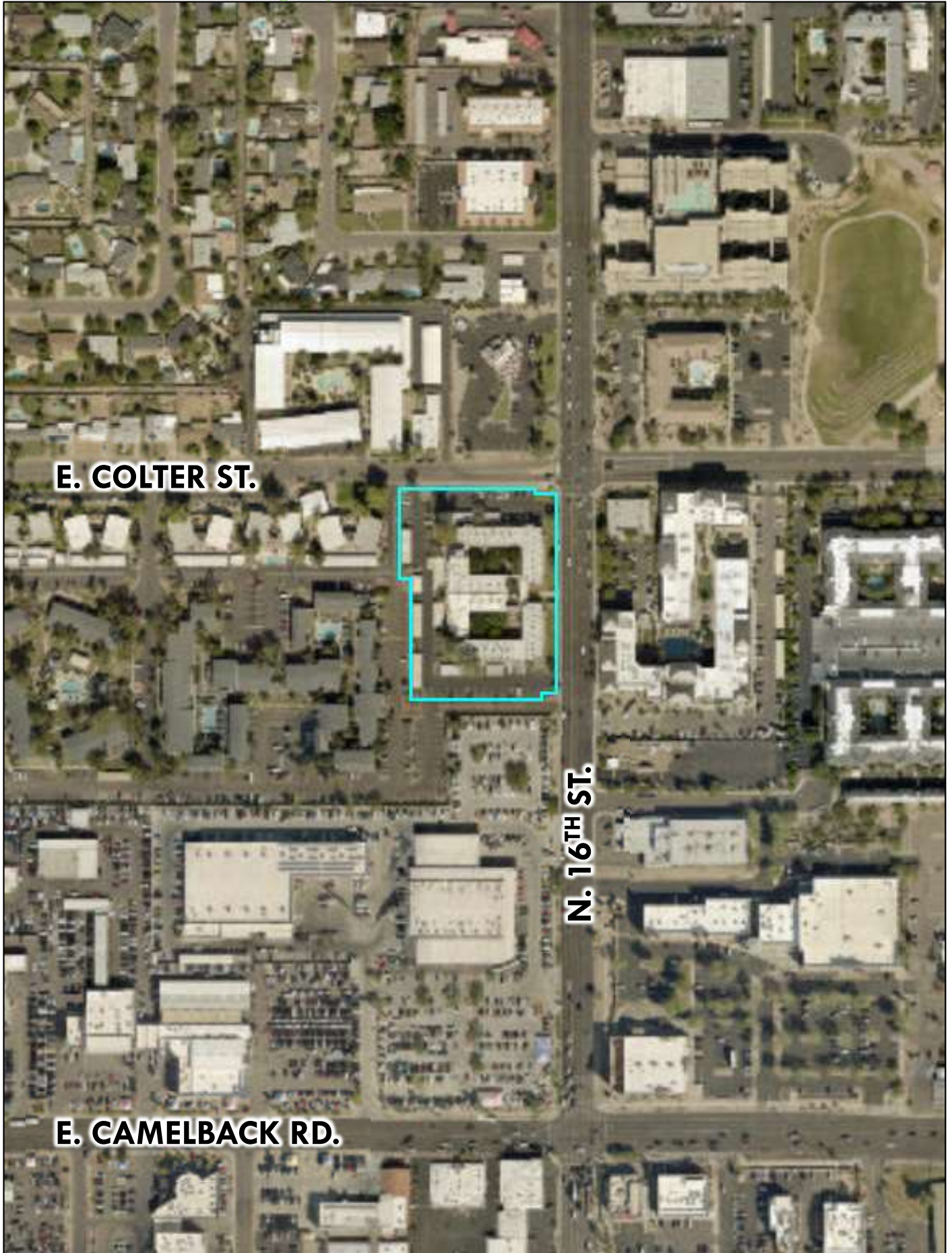
## K. COMPARATIVE ZONING STANDARDS TABLE

Table 6: Comparative Zoning Standards Table

Comparative Zoning Standards Table			
Standards	C-2 (Intermediate Commercial District)	R-5 (Multifamily Residence District)	Planned Unit Development (PUD Zoning)
Density (D.U./Gross Acre)	N/A	45.68 52.20 with bonus	Maximum 68.7 du/ac
Minimum Perimeter Building Setback and Common Landscaped Setback Adjacent to Perimeter Streets / Streetscape and Building Setback Standards: 16th Street	For structures exceeding two stories or 30': Average 30'  -and-	15' front	25-foot building setback from back of curb  20-foot building setback from property line  Minimum 5-foot wide landscaped area between back of curb and sidewalk  Minimum 8-foot wide sidewalk (except at existing bus stop, where sidewalk must be a minimum 5-foot)  Minimum 15-foot wide landscaped area between back of sidewalk and building, including hardscape pedestrian and retail plaza areas and water feature, except that a minimum of 25% of this area must be landscaped with non-hardscape materials.
Minimum Perimeter Building Setback and Common Landscaped Setback Adjacent to Perimeter Streets / Streetscape and Building Setback Standards: Colter Street	For structures exceeding two stories or 30': Average 30'  -and-	15' front	20-foot building setback from back of curb  15-foot building setback from property line  Minimum 5-foot wide landscaped area between back of curb and sidewalk  Minimum 6-foot wide sidewalk  Minimum 15-foot wide landscaped area between back of sidewalk and building
Minimum Interior Building Setback / Non-Street Building Setback Standards	West site boundary adjacent to R-3: 2-story (or 30') 50-foot setback required	Property line (rear): 20' (2-story);  Property line (side): 15' (2-story)	10-foot building setback from property line  West perimeter: Minimum 10-foot landscape setback to allow room for tree planting  South perimeter: Minimum 13-foot landscape setback to allow room for minimum 5-foot wide sidewalk and minimum 8-foot groundcover landscaping
Common Areas	N/A	Minimum 5% of gross area	Minimum 5% of gross area, as measured by square footage of outdoor Common Areas
Building Separation	-	N/A	Per Building Code
Height	2 stories not to exceed 30'	4 stories or 48'	65'
Lot Coverage	Shall not exceed 50% of the net lot area exclusive of the first 6' of roof overhang, open carports, covered patios or covered walkways	50%	75%
Division of Uses	N/A	N/A	Residential 182,221 sf Club House Amenity 5,108 sf Retail 4,605 sf

## L. LEGAL DESCRIPTION

See legal description in **Exhibit 5**.



**E. COLTER ST.**

**N. 16TH ST.**

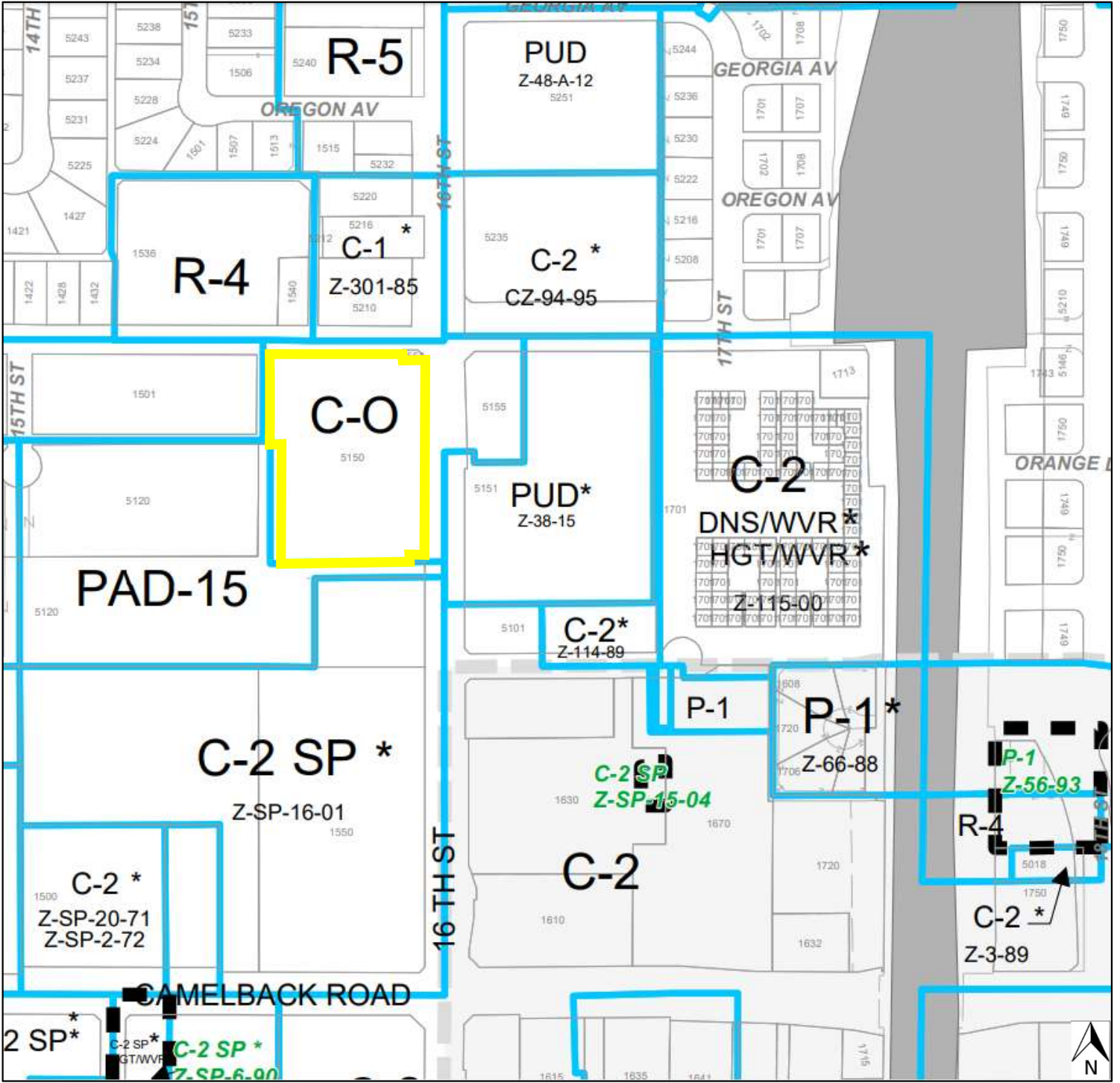
**E. CAMELBACK RD.**

Southwest Corner of N. 16<sup>th</sup> and E. Colter Streets

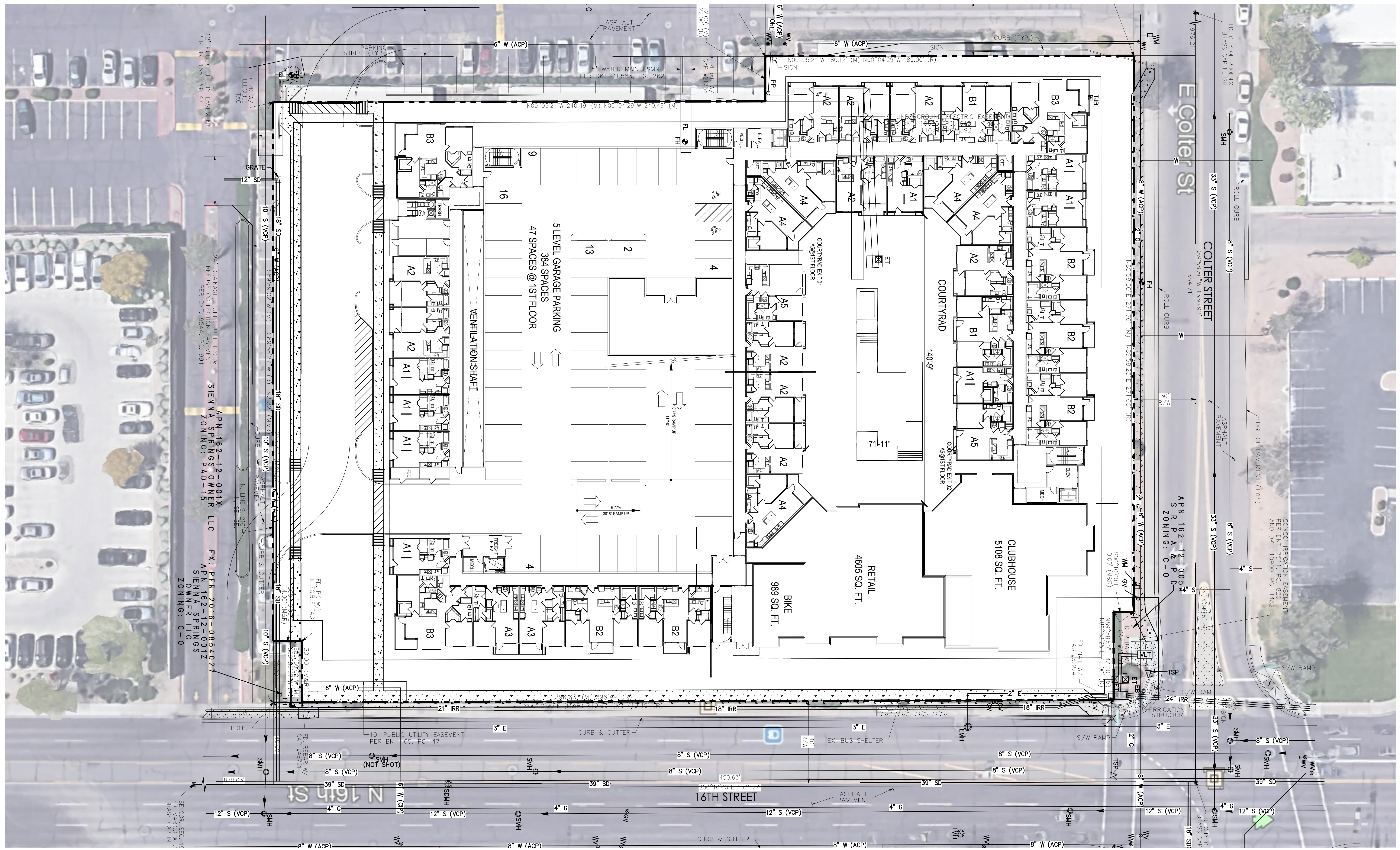




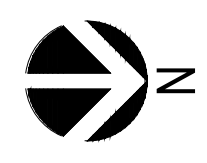
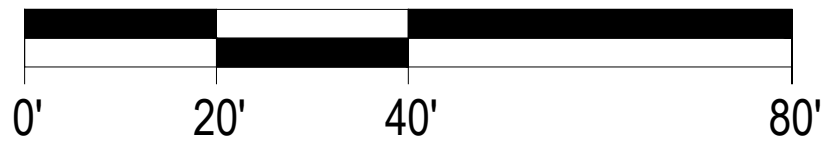








SCALE: 1" = 20' - 0" (24"x36" SHEET)



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16TH STREET AND COLTER STREET		ATTICUS REAL ESTATE		2018547				
UNIT TABULATION: BLDG TYPE I, 5 STORY WRAP						12/9/20		
UNIT NAME	UNIT TYPE	HUD GROSS AREA(SF)	HUD NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL HUD GROSS AREA	TOTAL HUD NET AREA	% BREAKDOWN
A1	1br/1ba	499	464	48	20%	23,952	22,272	67%
A2	1br/1ba	638	598	54	23%	34,452	32,292	
A3	1br/1ba	653	611	18	8%	11,754	10,998	
A4	1br/1ba	726	677	37	16%	26,862	25,049	
A5	1br/1ba	775	730	2	1%	1,550	1,460	
B1	2br/2ba	959	908	22	9%	21,098	19,976	33%
B2	2br/2ba	1,040	986	37	16%	38,480	36,482	
B3	2br/2ba	1,193	1,130	19	8%	22,667	21,470	
<b>TOTALS</b>				<b>237</b>	<b>100.00%</b>		<b>169,999</b>	

UNIT AVERAGE NET SF : 717.30

\* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.

**PROJECT DATA**

UNIT AVERAGE NET SF : 717.30 S.F.

ACREAGE: 3.450 ACRES

DENSITY: 68.70 UNITS/ACRE

CLUBHOUSE: 5,108 S.F.

RETAIL: 4,605 S.F.

OFF-STREET VEHICULAR PARKING:

Residential: 1.5 spaces per unit

General Office: 1 space / 350 square feet of indoor Gross Floor Area

General Retail: 1 space / 350 square feet of total (indoor and outdoor) Gross Floor Area x 80%

Restaurants / Bars: (1 space / 150 square feet of indoor Gross Floor Area x 65%) + (1 space / 250 square feet of outdoor Gross Floor Area minus landscaped square footage x 65%)

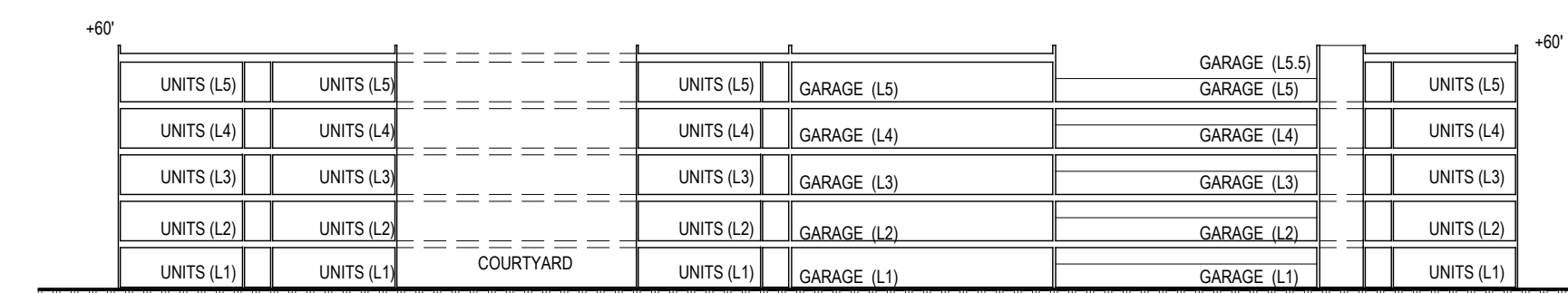
Fitness: 1 space / 250 square feet of indoor Gross Floor Area

BUILDING HEIGHT: 65'

LOT COVERAGE: 61.35%

Density	Maximum 67.5 du / ac
Streetscape and Building Setback Standards: 16th Street	25-foot building setback from back of curb 20-foot building setback from property line Minimum 5-foot wide landscaped area between back of curb and sidewalk Minimum 8-foot wide sidewalk Minimum 15-foot wide landscaped area between back of sidewalk and building, including hardscape pedestrian and retail plaza areas and water feature (see below), except that a minimum of 25% of this area must be landscaped with non-hardscape materials. See Exhibit 10a, Exhibit 10b, and Exhibit 10e.
Streetscape and Building Setback Standards: Colter Street	20-foot building setback from back of curb 15-foot building setback from property line Minimum 5-foot wide landscaped area between back of curb and sidewalk Minimum 6-foot wide sidewalk Minimum 15-foot wide landscaped area between back of sidewalk and building See Exhibit 10c and Exhibit 10f.

Open Space Area	Description of Amenity	Square Footage	Percentage of Site (Gross)(153,707 square feet)
Courtyard	Pool Ramada Grills	10,385	6.76%
West Side Open Space	Dog Run	1,312	0.85%
Open Space from Back of Sidewalk to Building on 16th Street and Colter	Bonus Landscape and Shade Area	14,603	9.50%
<b>TOTAL</b>		<b>26,300</b>	<b>17%</b>



SECTION

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED PHOENIX, IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE WEST LINE OF THE 40 FOOT STRIP OF LAND CONVEYED TO THE CITY OF PHOENIX BY DEED RECORDED FEBRUARY 13, 1970 IN DOCKET 7998, PAGE 117 AND THE NORTH LINE OF THE SOUTH 210.00 FEET OF SAID NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 16;

THENCE ALONG SAID NORTH LINE SOUTH 89 DEGREES 58 MINUTES 27 SECONDS WEST 293.32 FEET;

THENCE PARALLEL WITH THE WEST LINE OF SAID NORTH HALF, NORTH 0 DEGREES 04 MINUTES 29 SECONDS WEST 240.49 FEET;

THENCE PARALLEL WITH THE NORTH LINE OF SAID NORTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 16, SOUTH 89 DEGREES 58 MINUTES 25 SECONDS WEST 22.00 FEET TO THE SOUTHEAST CORNER OF PARCEL 1, AS DESCRIBED IN THE DEED TO THE CITY OF PHOENIX, AS RECORDED IN DOCKET 8661, PAGE 117;

THENCE ALONG THE EASTERLY LINE OF PARCEL 1 AND ITS NORTHERLY PROLONGATION, NORTH 00 DEGREES 04 MINUTES 29 SECONDS WEST 180.00 FEET TO THE SOUTH LINE OF THE NORTH 30.00 FEET OF SAID NORTH HALF;

THENCE ALONG SAID SOUTH LINE, NORTH 89 DEGREES 58 MINUTES 25 SECONDS EAST 271.65 FEET TO THE WEST LINE OF THE EAST 83.00 FEET OF SAID NORTH HALF;

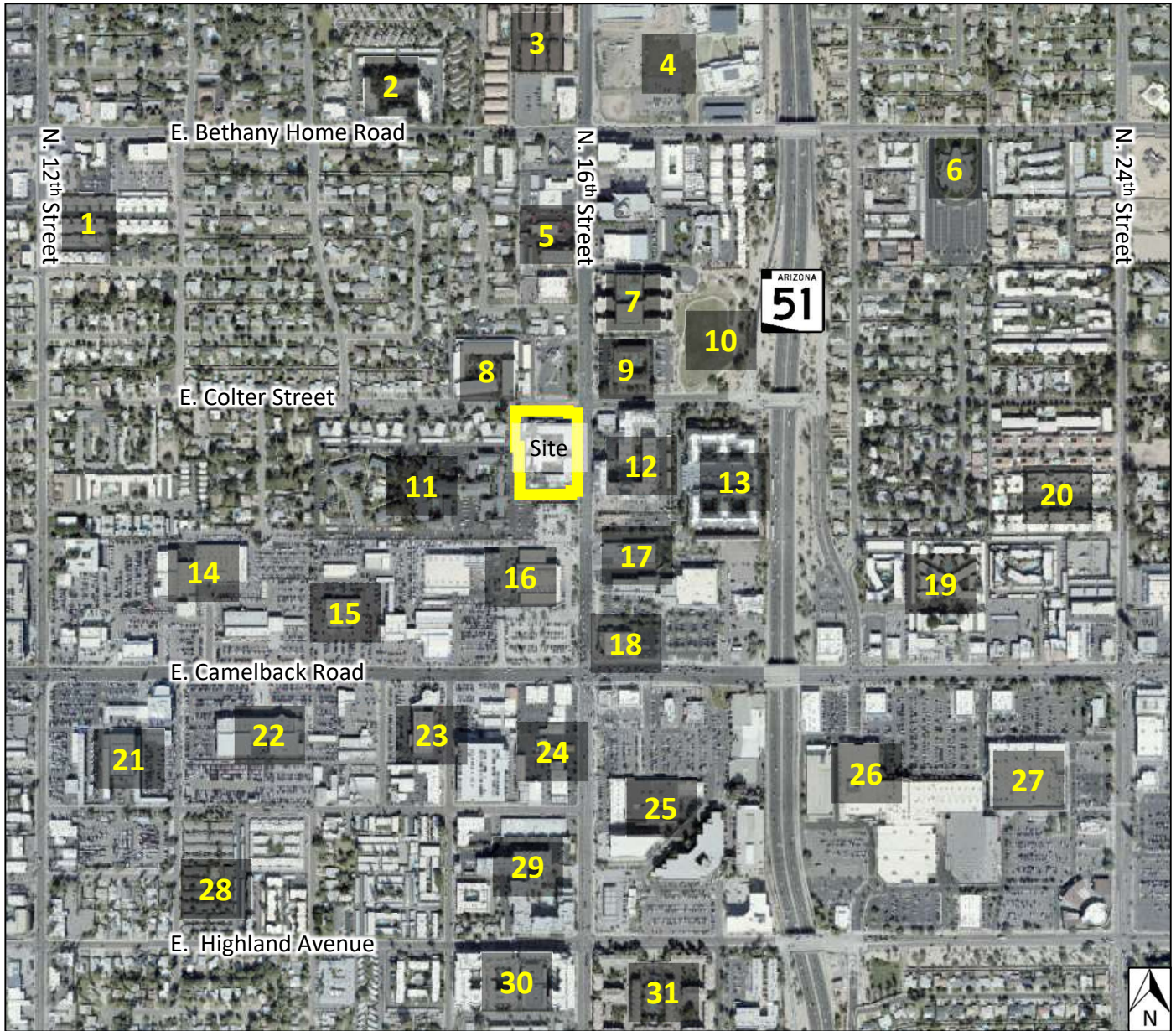
THENCE ALONG SAID WEST LINE, SOUTH 00 DEGREES 10 MINUTES 00 SECONDS EAST 10.00 FEET TO THE SOUTH LINE OF THE NORTH 40.00 FEET OF SAID NORTH HALF;

THENCE ALONG SAID SOUTH LINE, NORTH 89 DEGREES 58 MINUTES 25 SECONDS EAST 43.00 FEET TO THE WEST LINE OF SAID 40 FOOT STRIP OF LAND AS DESCRIBED IN DEED RECORDED IN SAID DOCKET 7998, PAGE 117;

THENCE ALONG SAID WEST LINE, SOUTH 00 DEGREES 10 MINUTES 00 SECONDS EAST 410.49 FEET TO THE POINT OF BEGINNING;

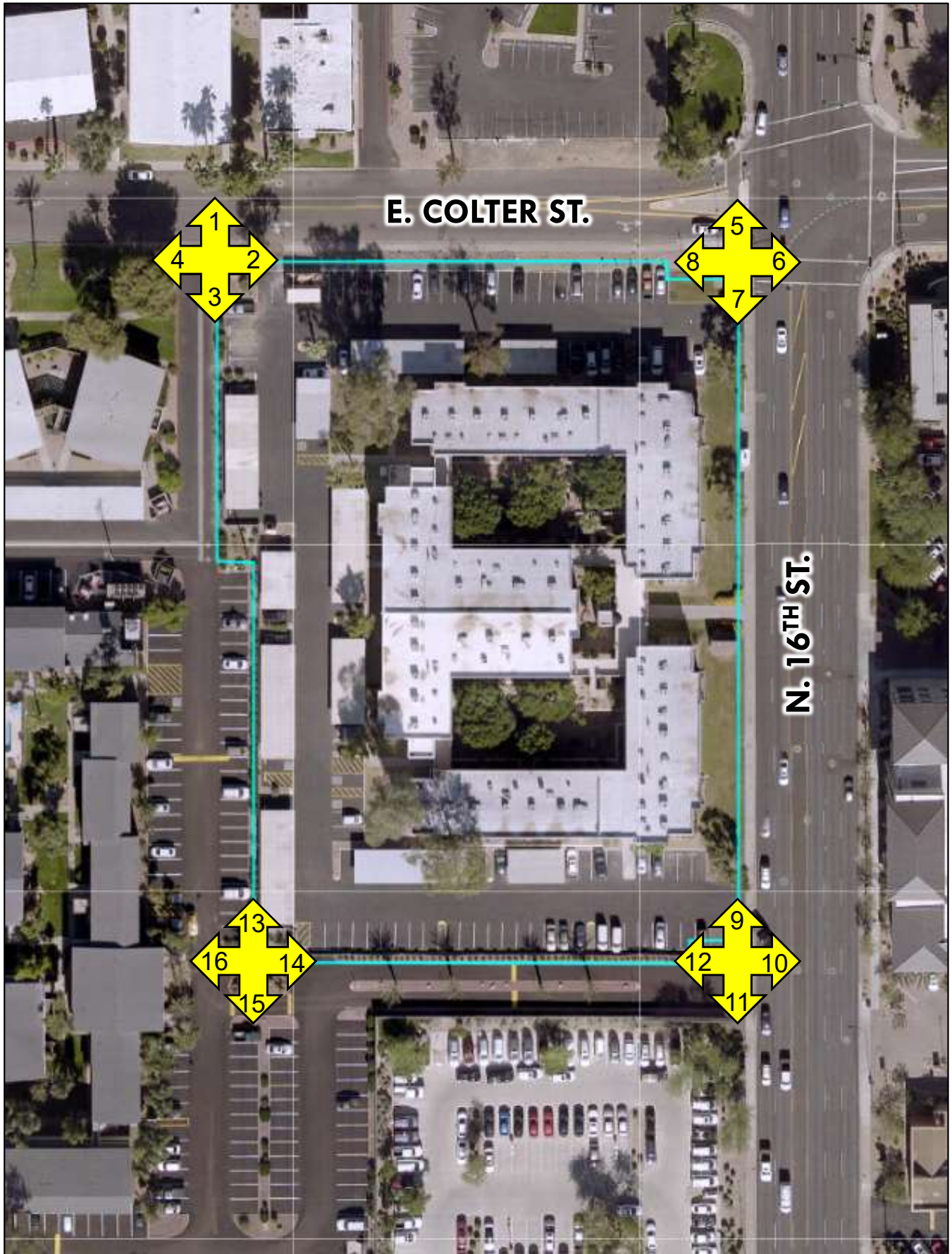
EXCEPT THAT PORTION CONVEYED TO LIV CAMELBACK AT 16TH, LLC IN RECORDING NO. 20160854027, RECORDS OF MARICOPA COUNTY, ARIZONA.





- |  |                            |                                  |
|--|----------------------------|----------------------------------|
| 1. Avenida Hermosa 2                           | 13. Biltmore Square Condos | 26. Marshall's                   |
| 2. Jewish News of Greater Phoenix              | 14. ABC Nissan             | 27. Fry's                        |
| 3. Madison Place at Greer Manor                | 15. Camelback Lincoln      | 28. Partenza on Highland         |
| 4. Madison School District                     | 16. Toyota Dealership      | 29. City 15 Apartments           |
| 5. Classic Car Wash                            | 17. Chase Bank             | 30. Crescent Highland Apartments |
| 6. Church of Jesus Christ of Latter-day Saints | 18. CVS                    | 31. The Highland Apartments      |
| 7. Trend @ 51 Apartments                       | 19. Colonnade Apartments   |                                  |
| 8. Paradise Palms Condominiums                 | 20. Royale Gardens         |                                  |
| 9. Extended Stay America                       | 21. Courtesy Chevrolet     |                                  |
| 10. Desert Storm Park                          | 22. Showcase Honda         |                                  |
| 11. Camelback Flats Apartments                 | 23. Camelback Volkswagen   |                                  |
| 12. Peak 16 Apartments                         | 24. Harvey's Wineburger    |                                  |
|  | 25. Verizon Wireless       |                                  |





Southwest Corner of N. 16<sup>th</sup> and E. Colter Streets







**Location 1** looking north



**Location 2** looking east



**Location 3** looking south



**Location 4** looking west



**Location 5** looking north



**Location 6** looking east



**Location 7** looking south



**Location 8** looking north





**Location 9** looking north



**Location 10** looking east



**Location 11** looking south



**Location 12** looking west



**Location 13** looking north



**Location 14** looking east



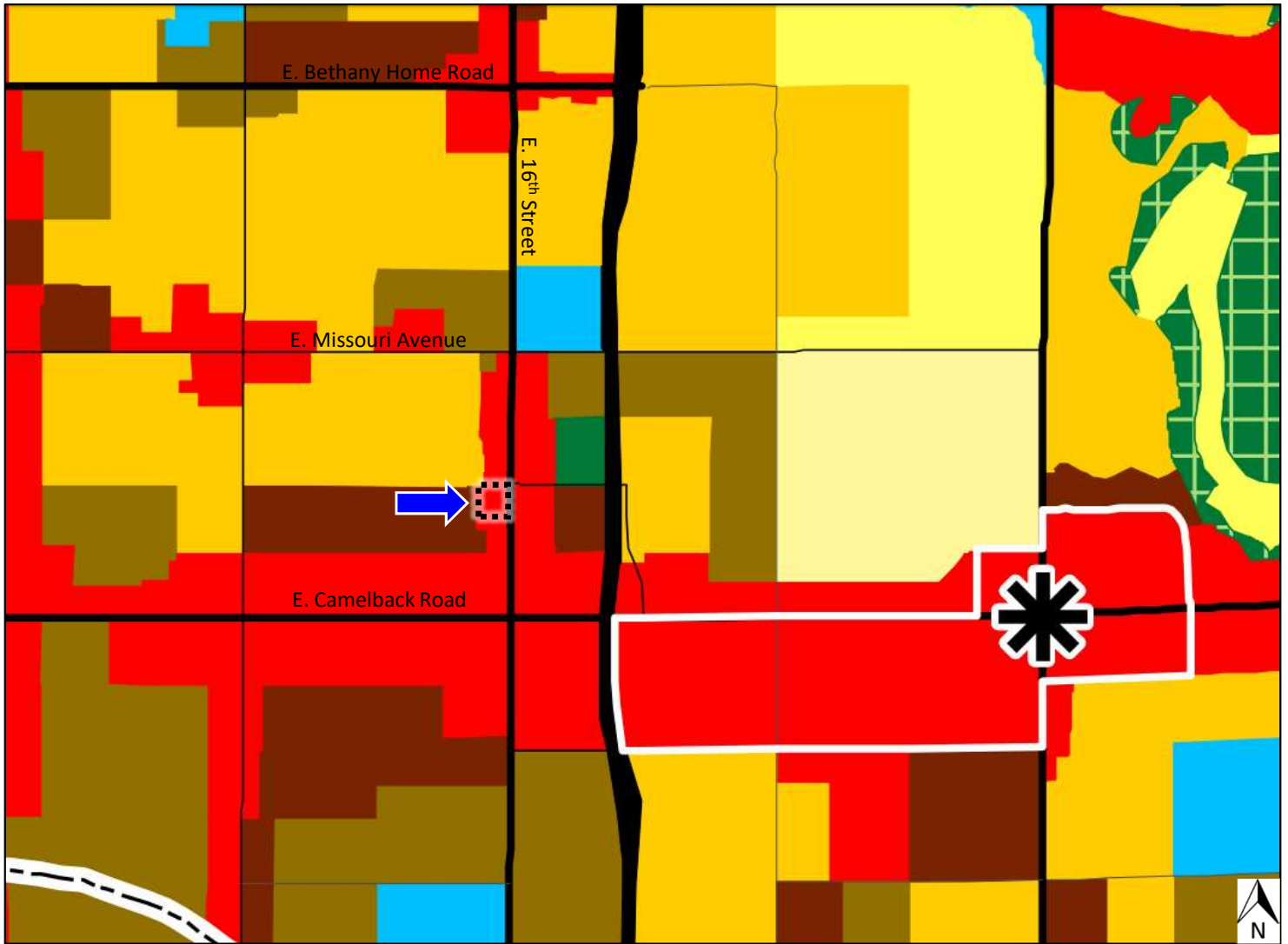
**Location 15** looking south



**Location 16** looking west

# General Plan Map

# EXHIBIT 8



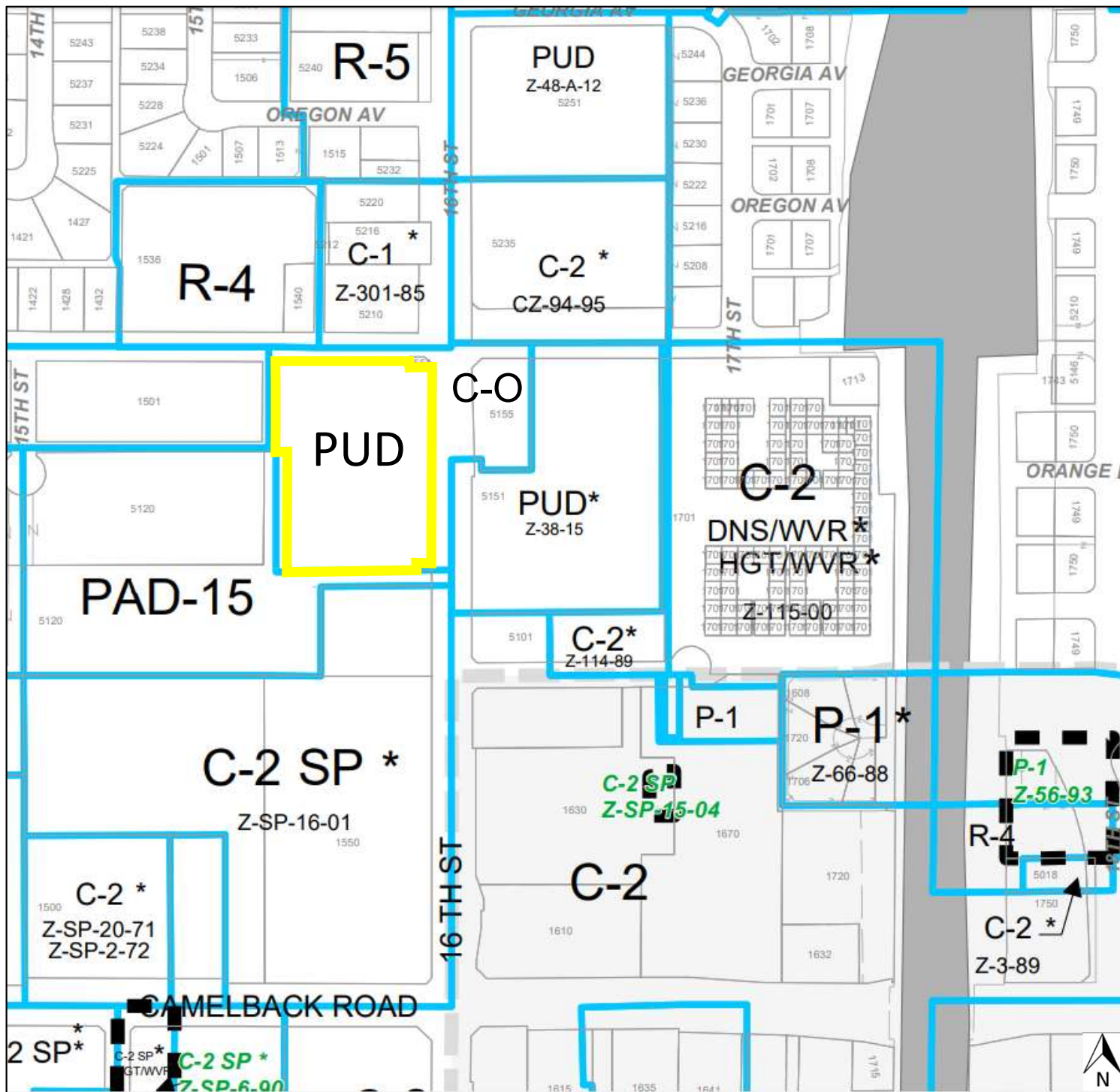
- 0 to 1 du/acre - Large Lot
- 1 to 2 du/acre - Large Lot
- 2 to 3.5 du/acre - Traditional Lot
- 3.5 to 5 du/acre - Traditional Lot
- 5 to 10 du/acre - Traditional Lot
- 10 to 15 du/acre - Higher density attached townhouses, condos, or apartments
- 15+ du/acre - Higher density attached townhouses, condos, or apartments
- Parks/Open Space - Publicly Owned
- Parks/Open Space - Privately Owned
- Commercial
- Public/Quasi-Public



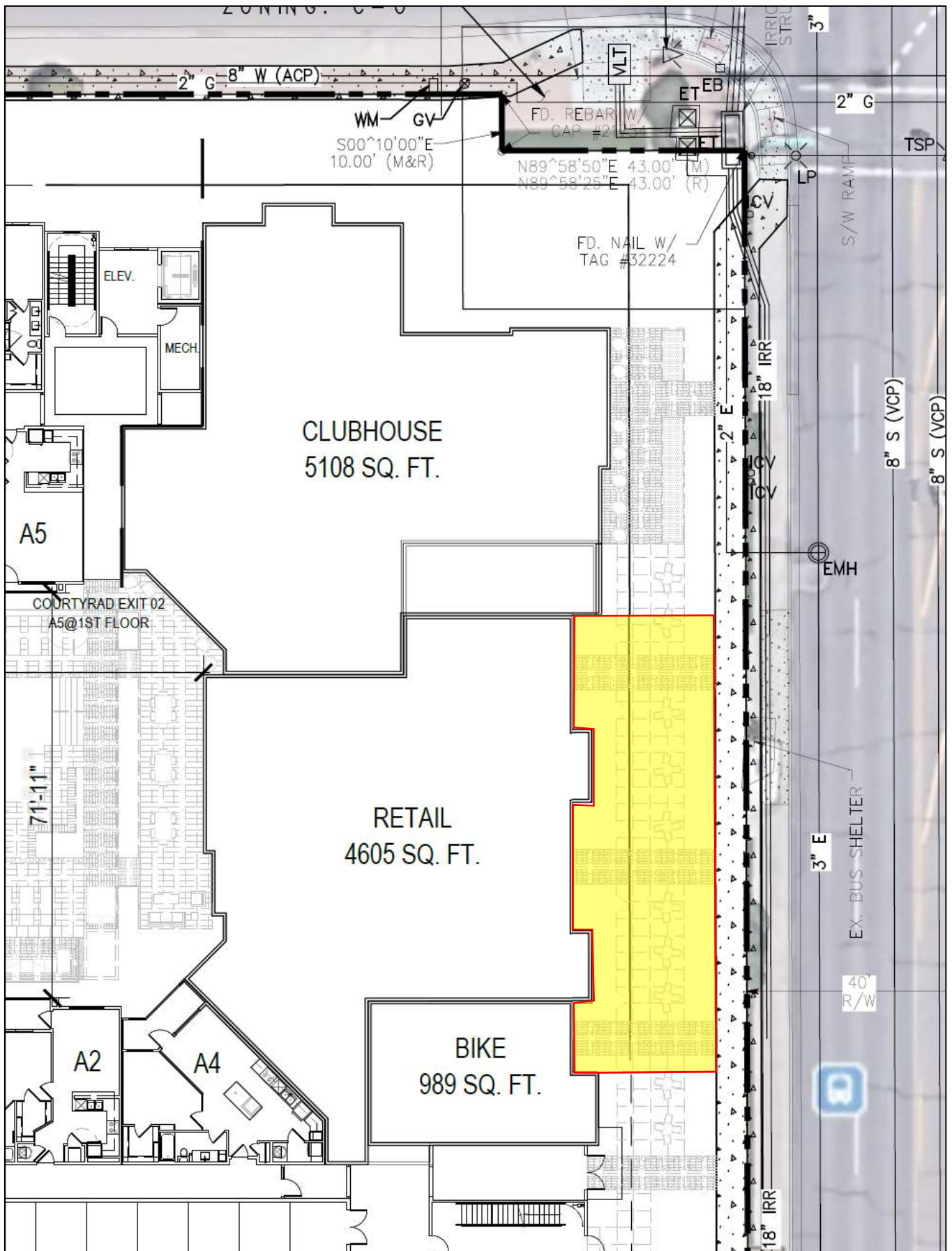


# Proposed Zoning Map

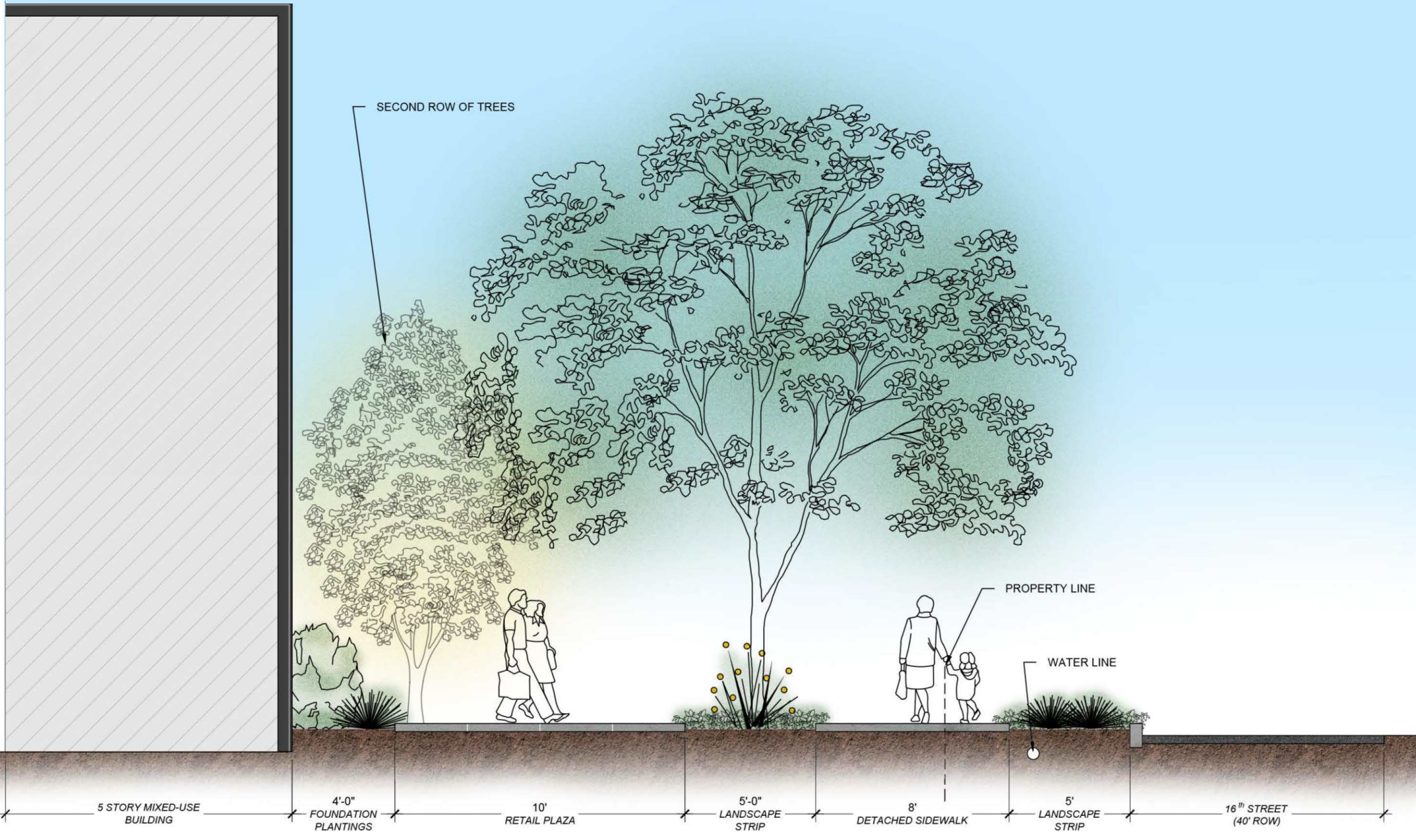
# EXHIBIT 9









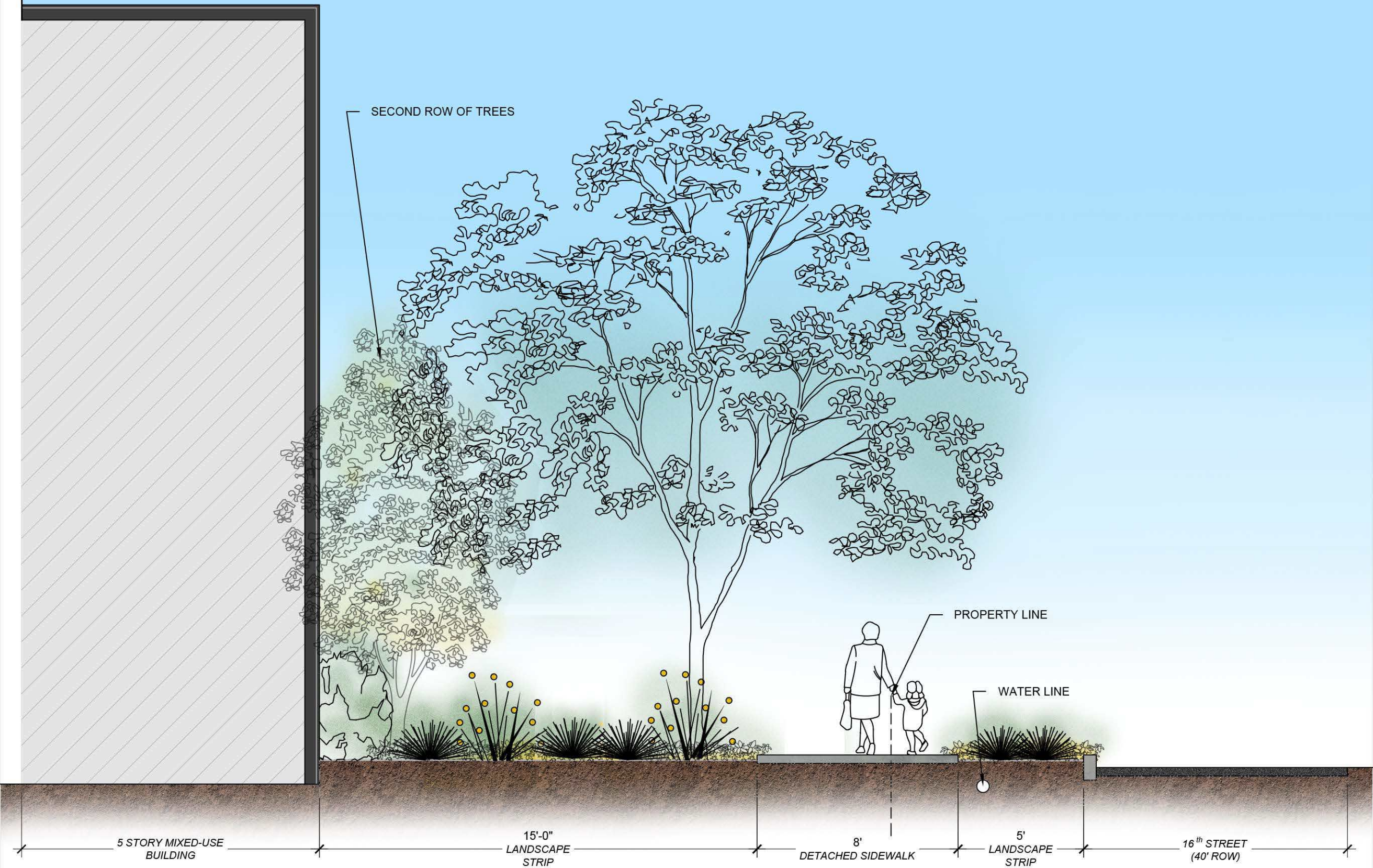


# CROSS SECTION

# 16TH STREET - AT RETAIL

0" 1/8" 1/4" 1/2"  
SCALE: 1" = 1/4"





# CROSS SECTION

# 16TH STREET - AT UNITS



0" 1/8" 1/4" 1/2"  
SCALE: 1" = 1/4"

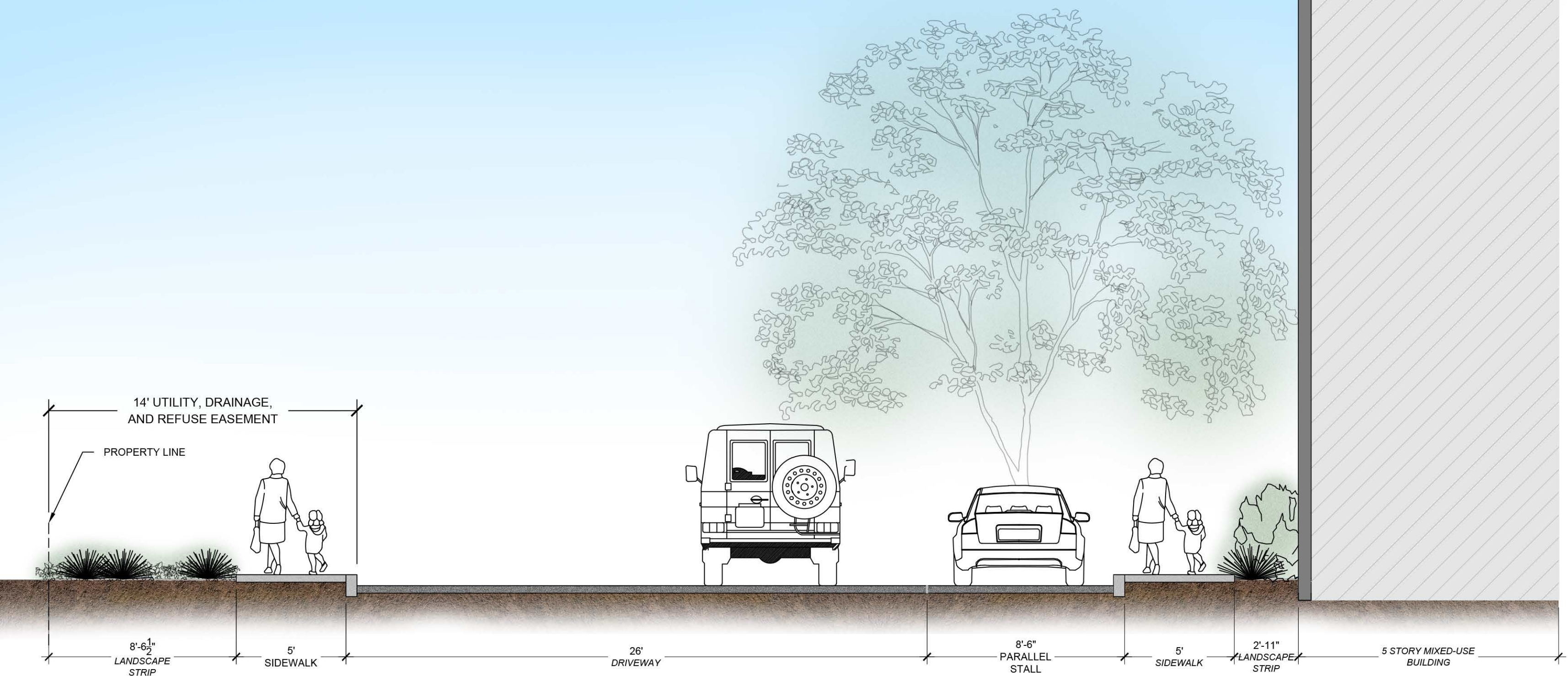




# CROSS SECTION COLTER STREET

0" 1/8" 1/4" 1/2"  
SCALE: 1" = 1/4"



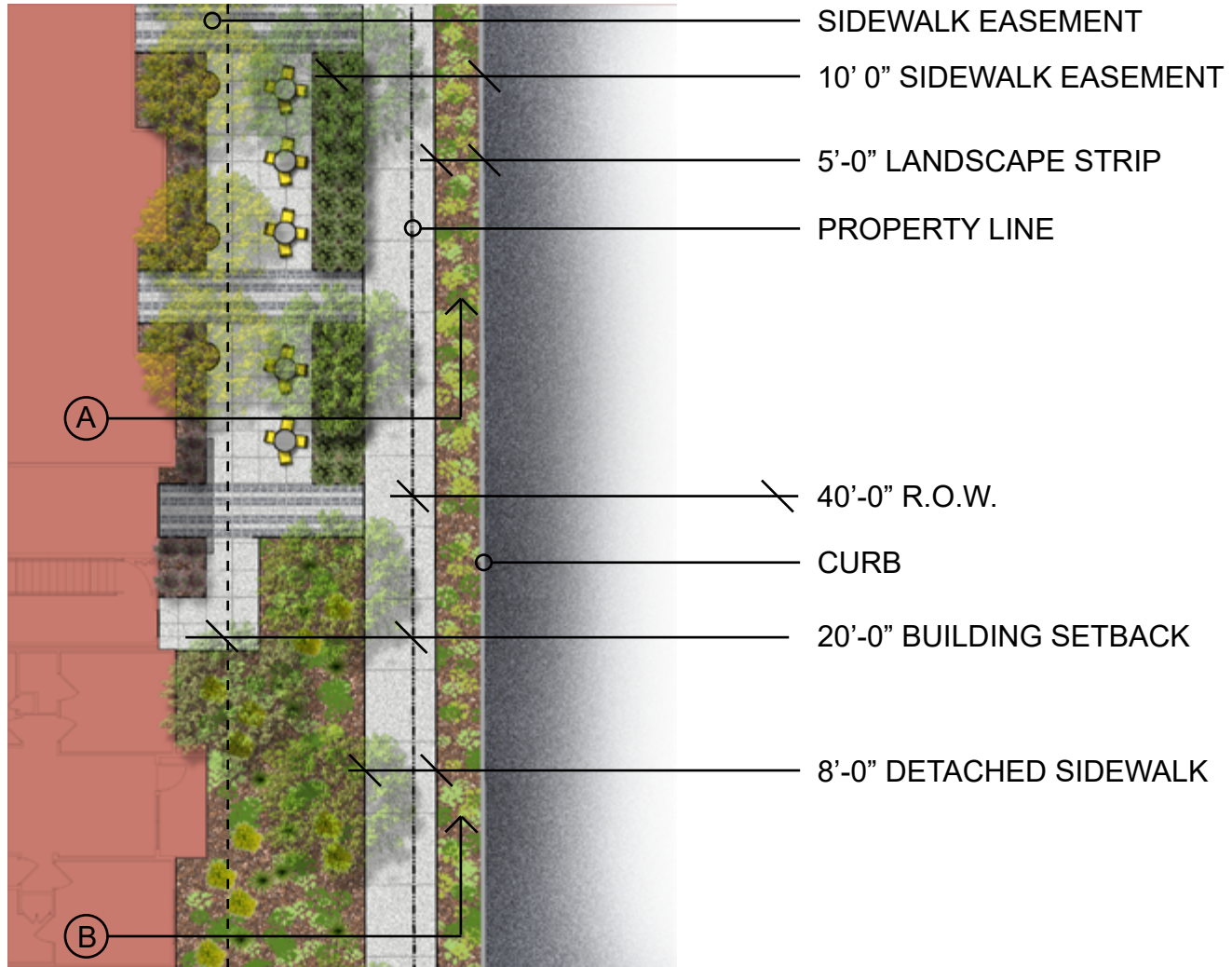


# CROSS SECTION

## SOUTH DRIVEWAY

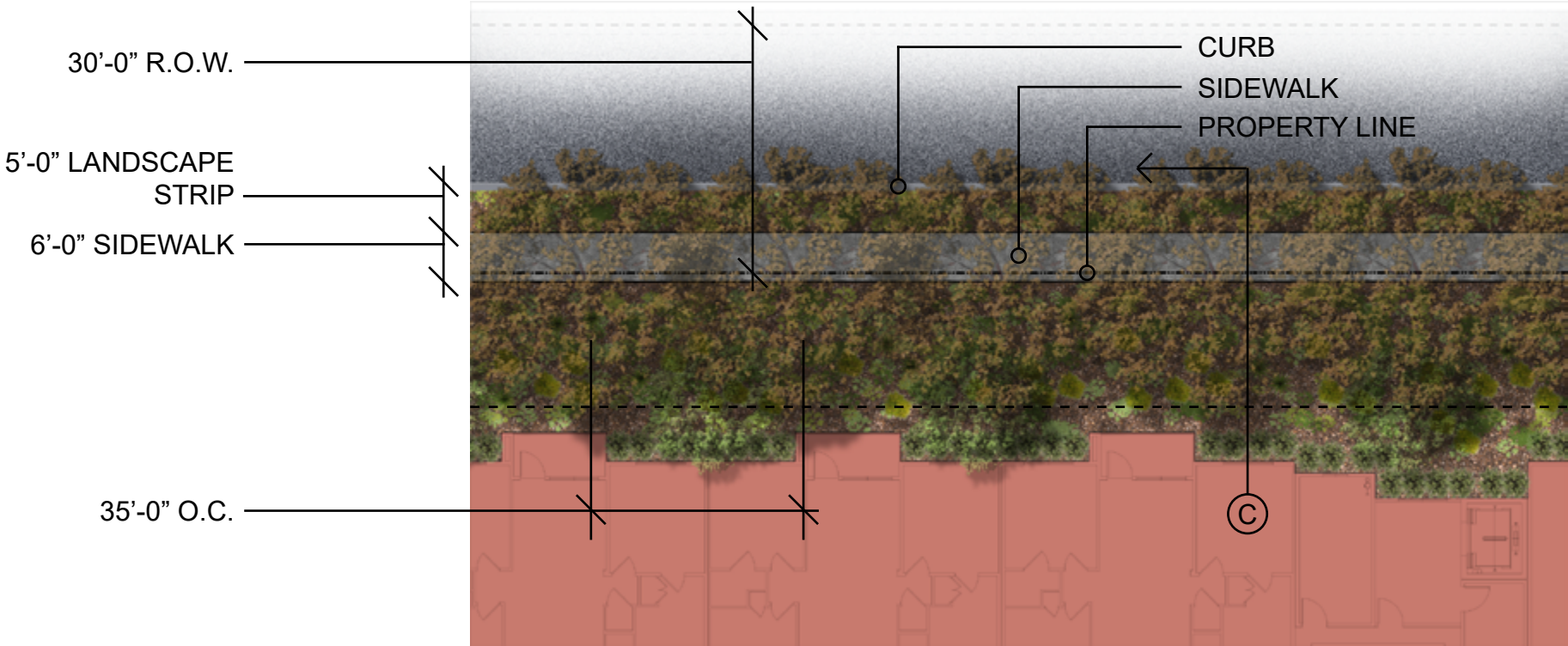


0" 1/8" 1/4" 1/2"  
SCALE: 1" = 1/4"



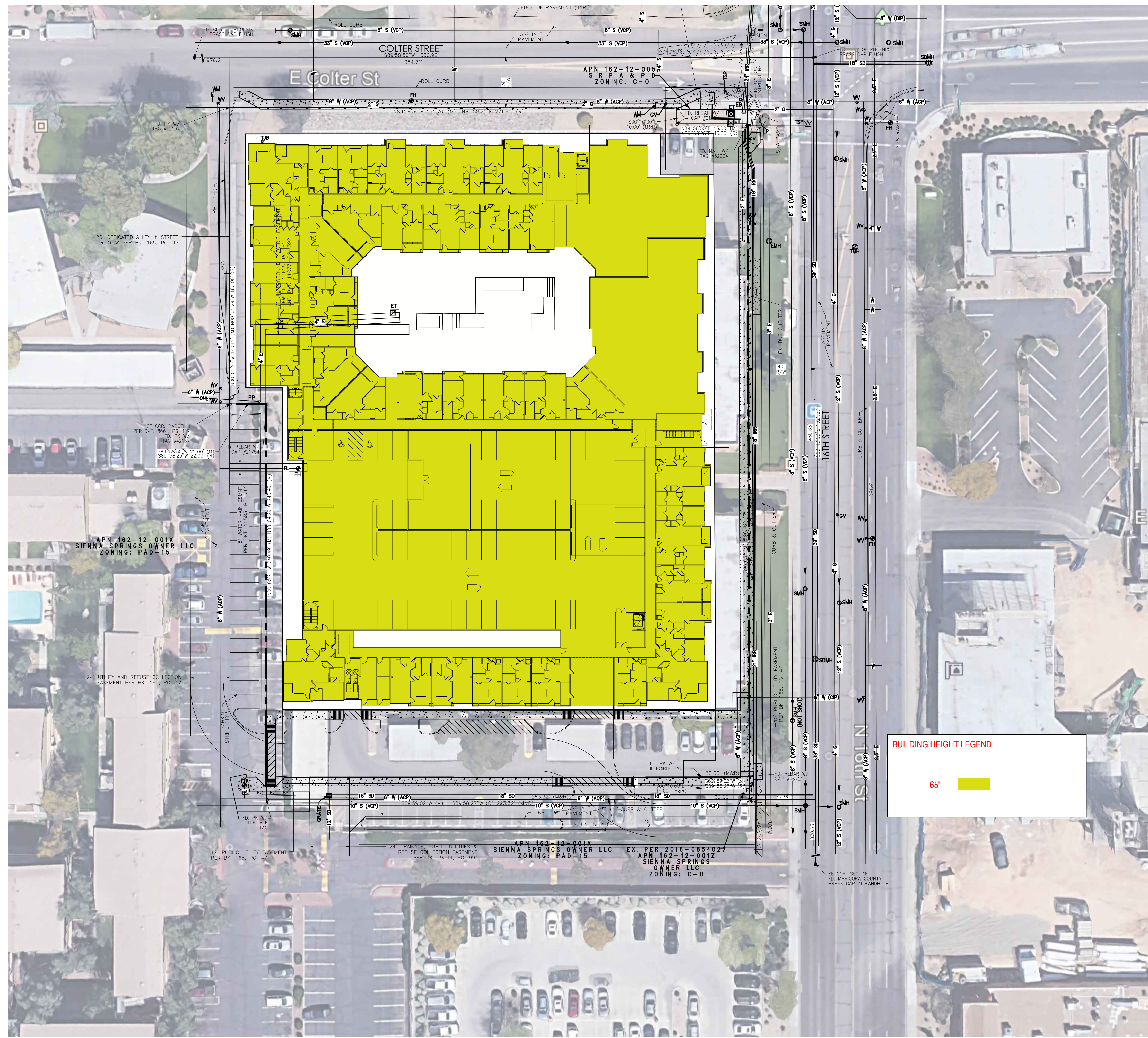
**16TH STREET PLAN**  
SCALE: 1" = 20'-0"





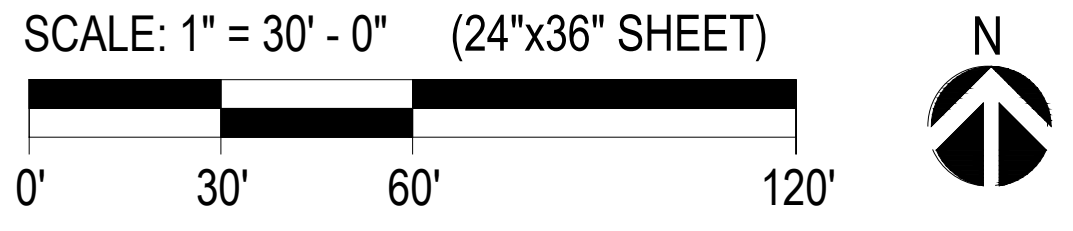
COLTER STREET PLAN  
SCALE: 1" = 20'-0"





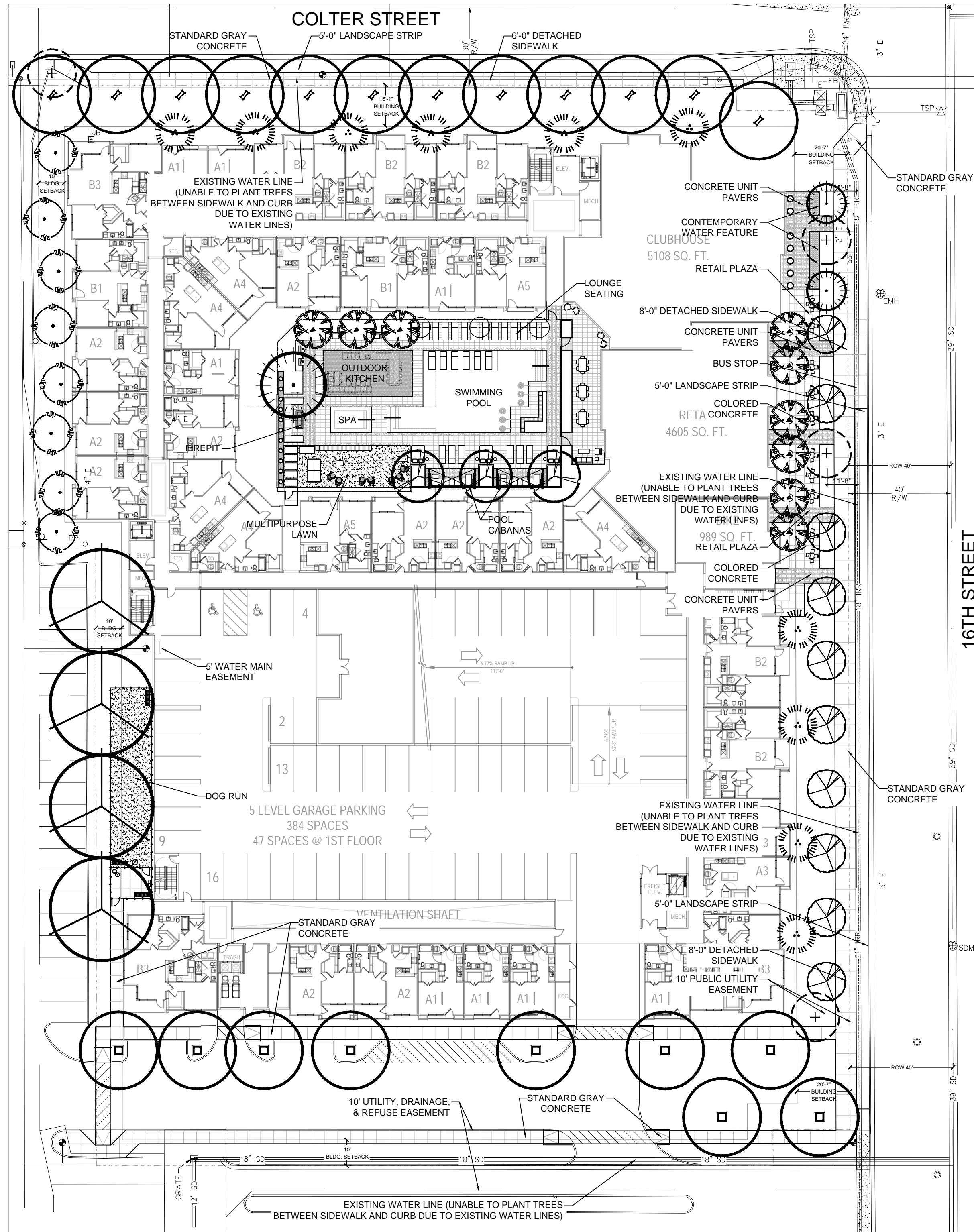
**BUILDING HEIGHT LEGEND**

65'



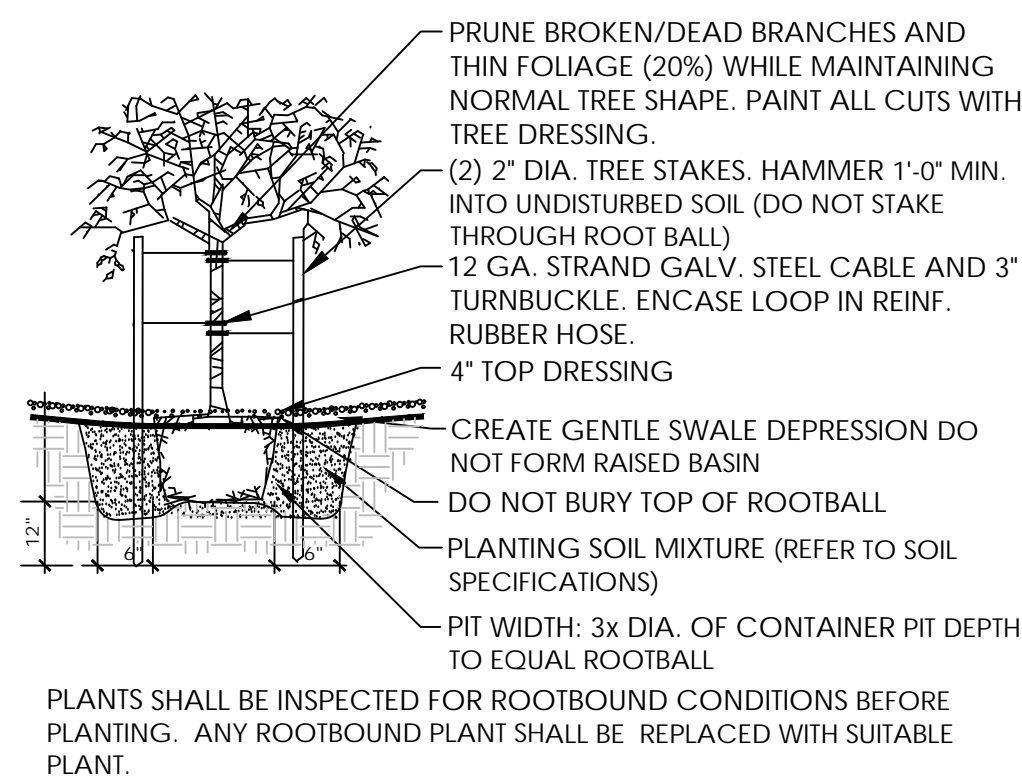
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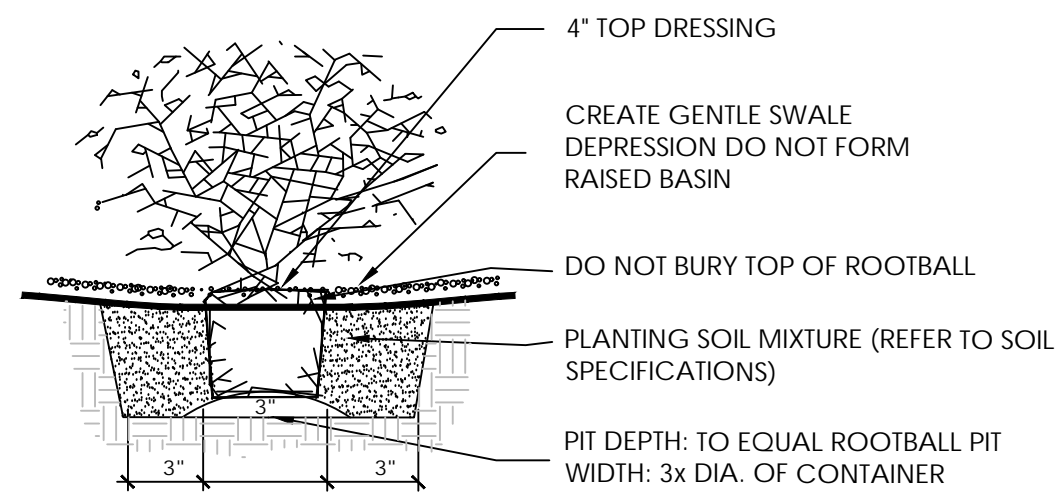


**PRELIMINARY LANDSCAPE PLAN**

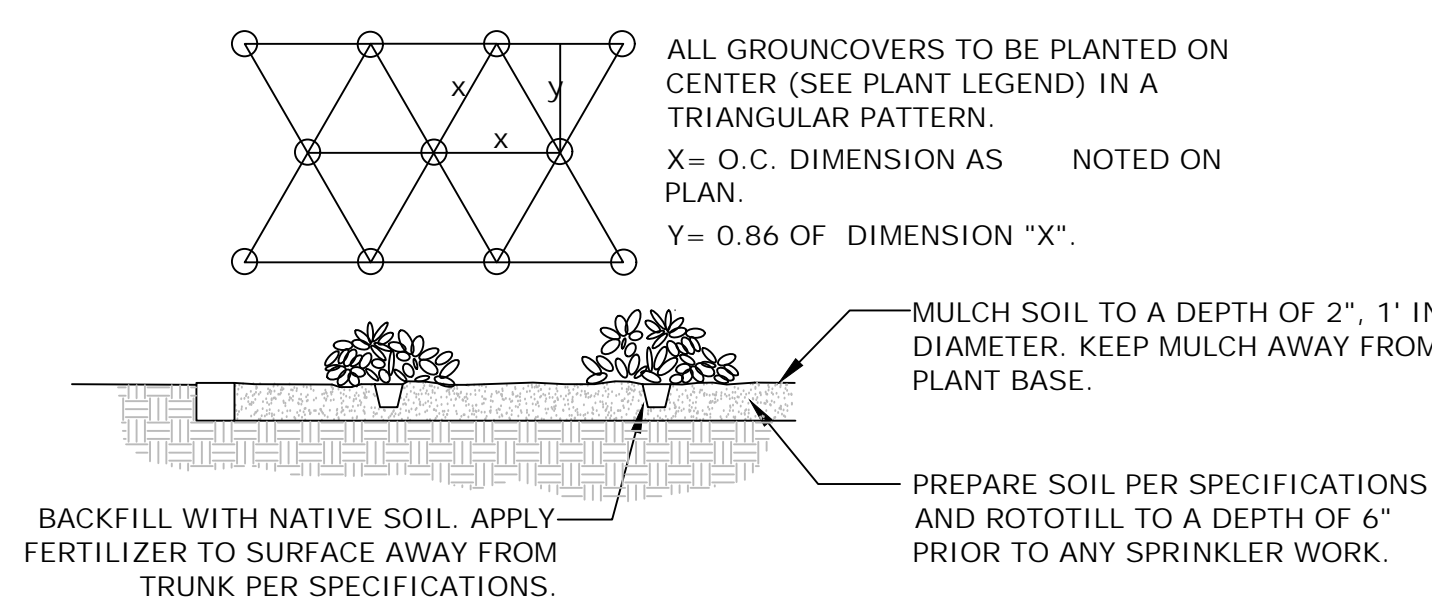
**SITE**



TREE PLANTING (AT-GRADE)  
NOT TO SCALE



SHRUB PLANTING (AT-GRADE)  
NOT TO SCALE



GROUNDCOVER PLANTING (AT-GRADE)  
NOT TO SCALE

**PLANT PALETTE - OVERALL**

**TREES**

NAME	QTY.	SIZE	CALIPER	COMMENTS
<i>Prosopis spp. (hybrid)</i> THORNLESS MESQUITE	10	36" BOX	3" CAL. MIN.	10' HT. STANDARD
<i>Olea europaea</i> SWAN HILL OLIVE	03	24" BOX	3" CAL. MIN.	10' HT. STANDARD
<i>Lysiloma microphylla v. thornberi</i> FEATHER BUSH	08	24" BOX	3" CAL. MIN.	8'-10' HT. MULTI-TRUNK
<i>Parkinsonia x 'Desert Museum'</i> DESERT MUSEUM PALO VERDE	09	36" BOX	3" CAL. MIN.	10' HT.
<i>Dalbergia sissoo</i> INDIAN ROSEWOOD	04	24" BOX	3" CAL. MIN.	10' HT. STANDARD
<i>Chilopsis linearis 'Desert Diva'</i> DESERT DIVA DESERT WILLOW	12	36" BOX	3" CAL. MIN.	10' HT. STANDARD
<i>Mariosousa willardiana</i> PALO BLANCO	09	24" BOX	3" CAL. MIN.	8'-10' HT. MULTI-TRUNK
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	10	24" BOX	3" CAL. MIN.	8'-10' HT. MULTI-TRUNK
<i>Pistacia lentiscus</i> MASTIC TREE	03	24" BOX	3" CAL. MIN.	8'-10' HT. MULTI-TRUNK
EXISTING TREES TO REMAIN	04			

**SHRUBS**

NAME	QTY.	SIZE	HEIGHT	COMMENTS
<i>Caesalpinia pulcherrima</i> RED BIRD OF PARADISE	00	5 GAL		
<i>Simmondsia chinensis</i> JOJOBA	00	5 GAL		
<i>Tecoma stans</i> ARIZONA YELLOW BELLS	00	5 GAL		
<i>Bougainvillea x Torch Glow</i> TORCH GLOW BOUGAINVILLEA	00	5 GAL		
<i>Rosmarinus officinalis 'Tuscan Blue'</i> TUSCAN BLUE ROSEMARY	00	5 GAL		
<i>Leucophyllum laevigatum</i> CHIHUAHUA SAGE	00	5 GAL		
<i>Encelia farinosa</i> BRITTLEBUSH	00	5 GAL		
<i>Larrea tridentata</i> CREOSOTE BUSH	00	5 GAL		

**ACCENTS**

NAME	QTY.	SIZE	SPACING	COMMENTS
<i>Stipa tenuissima</i> MEXICAN FEATHER GRASS	00	3 GAL		
<i>Nolina microcarpa</i> BEAR GRASS	00	5 GAL		
<i>Aloe x 'Blue Elf'</i> BLUE ELF ALOE	00	1 GAL		
<i>Aloe saponaria</i> TIGER ALOE	00	1 GAL		
<i>Agave americana</i> CENTURY PLANT	00	15 GAL		
<i>Euphorbia tomentosa</i> LADY SLIPPER	00	5 GAL		
<i>Hesperaloe parviflora</i> RED YUCCA	00	5 GAL		
<i>Agave havardiana</i> HAVARD'S CENTURY PLANT	00	5 GAL		

**GROUNDCOVERS**

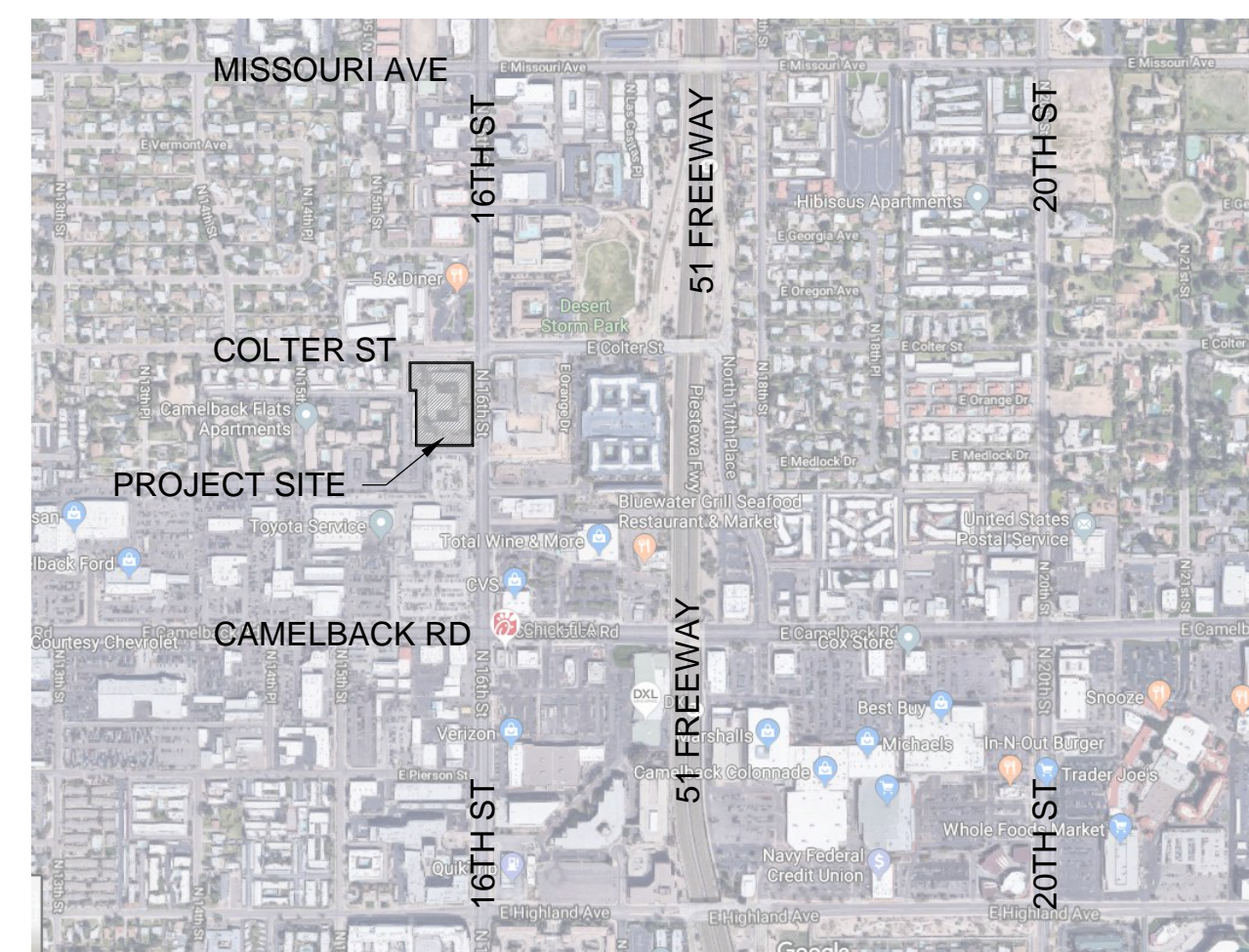
NAME	QTY.	SIZE	SPACING	COMMENTS
<i>Spagneticola trilobata</i> YELLOW DOT	00	1 GAL		
<i>Myoporum parvifolium</i> TRAILING MYOPORUM	00	1 GAL		
<i>Chrysactinia mexicana</i> DAMIANITA DAISY	00	1 GAL		
<i>Callistemon citrinus 'Little John'</i> LITTLE JOHN BOTTLEBRUSH	00	1 GAL		
<i>Bulbine frutescens</i> YELLOW BULBINE	00	3 GAL		
<i>Euphorbia rigida</i> BLUE EUPHORBIA	00	3 GAL		

**VINES**

NAME	QTY.	SIZE	SPACING	COMMENTS
<i>Trachelospermum jasminoides</i> STAR JASMINE	00	5 GAL		
<i>Parthenocissus x Hacienda Creeper</i> HACIENDA CREEPER VINE	00	5 GAL		
<i>Antigonon leptopus</i> QUEEN'S WREATH	00	5 GAL		

**CITY OF PHOENIX GENERAL NOTES:**

- The City of Phoenix General Notes are the only notes approved on this plan. Additional general notes generated by the sealant and placed on the plans are not approved as part of this plan and are noted as such on the plans.
- The Design on these plans is only approved by the City in scope and not in detail. Construction quantities on these plans are not verified by the City. Approval of these plans are for permit purposes only and shall not prevent the City from requiring correction of errors in the plans where such errors are subsequently found to be in violation of any law, ordinance, health, safety, or other design issues.
- Construction within the right-of-way shall conform to the latest applicable Maricopa Association of Governments (MAG) Uniform Standard Specifications and Details and the latest City of Phoenix Supplement to the MAG Uniform Standard Specifications and Details.
- Final building permit cannot be obtained until bonding or approved assurances are provided for the landscaping within the right-of-way.
- No plant substitutions, type, size, or quantity, or deviations from the approved landscape or irrigation plans, are allowed without prior approval from the City of Phoenix Landscape Section at 602-262-7811.
- All plant material and specifications shall conform to the Arizona Nurseryman Association standards.
- All Right-Of-Way and City required (perimeter, retention, and parking) plant material shall be in compliance with the Department of Water Resources low water use plant list.
- Contact the Parks & Recreation Department, Forestry Supervisor, at 602-262-6862, to verify ownership of any plant material in the public R.O.W. prior to any plant re-locations or removals. Obtain written permission from the Parks and Recreation Department prior to the re-location or removal of any City plant material or equipment.
- Contact the Street Transportation Department, Horticulturist, at 602-262-6284, prior to the re-location or removal of existing plant material in the A.D.O.T. R.O.W. that is on the City's side of the sound wall. Obtain written permission from the Street Transportation Department prior to the re-location or removal of any plant material or equipment.
- All existing trees and shrubs in right-of-way designated to remain but are damaged or destroyed will be replaced in like size and kind by the contractor.
- The proposed irrigation system shall include any modifications required to tie the existing City of Phoenix irrigation system in Right-Of-Way to the proposed system. All through irrigation systems in the Right-Of-Way shall be maintained. The contractor shall be responsible for capping and/or abandoning existing irrigation to plant materials and providing new irrigation to the existing plant material, in Right-Of-Way, per the approved plan.
- Walls are not approved as part of the landscape plan but are shown for reference only.
- Trees adjacent to pedestrian walkways should have a minimum canopy clearance of six feet eight inches (6'8") per Section 507 Tab A.II.A.3.1.10 of the City of Phoenix Zoning Ordinance.
- P.V.C. pipe laterals are required. A maximum of five feet (5') of poly tubing off of the P.V.C. pipe lateral is allowed. No poly tubing laterals are allowed.
- Plant quantities and caliper sizes, per the specific zoning requirements for this site, provided in the legend on the approved plans are required to be installed in the field. Any deviations from the plan will require a revision to the approved plan. NOTE: Minimum caliper size is a zoning requirement. If the minimum caliper cannot be met at box size that is specified, then the box size must be increased to meet caliper requirements.
- Plan approval is valid for 180 days. Prior to plan approval expiration, all associated permits shall be purchased or the plans shall be resubmitted for extension of plan approval. The expiration, extension, and reinstatement of Landscape plans and permits shall follow the same guidelines as those indicated in the Phoenix Building Construction Code Administrative Provisions Section 105.3 for Building permits.



VICINITY MAP  
NTS



KIVA# \_\_\_\_\_  
 SDEV# \_\_\_\_\_  
 CCPR# \_\_\_\_\_  
 ENVR# \_\_\_\_\_  
 H# \_\_\_\_\_  
 CITY QUARTER SECTION# \_\_\_\_\_  
 CURRENT ZONING \_\_\_\_\_

DESIGNED BY: SPENCER J. OKESON  
 DRAWN BY: SPENCER J. OKESON  
 LAOR: DANIEL R. ERLANDSON  
 PLOT DATE: 09/25/20

ISSUE FOR PRICING/BIDDING:  
 ISSUE DATE

ISSUE FOR PERMIT APPLICATION:  
 ISSUE DATE

ISSUE FOR CONSTRUCTION:  
 ISSUE DATE

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

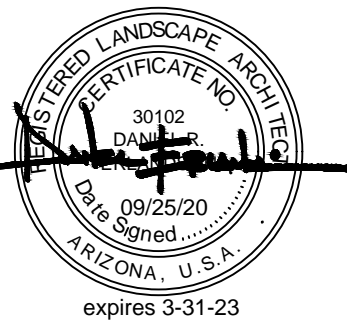
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WILLOWICK  
 APARTMENTS

16TH STREET & COLTER STREET  
 PHOENIX, AZ

PROJECT #: H19-122



LANDSCAPE PLAN - 2020-SEPTEMBER-25 - NOT FOR CONSTRUCTION

**hpla**  
 studio

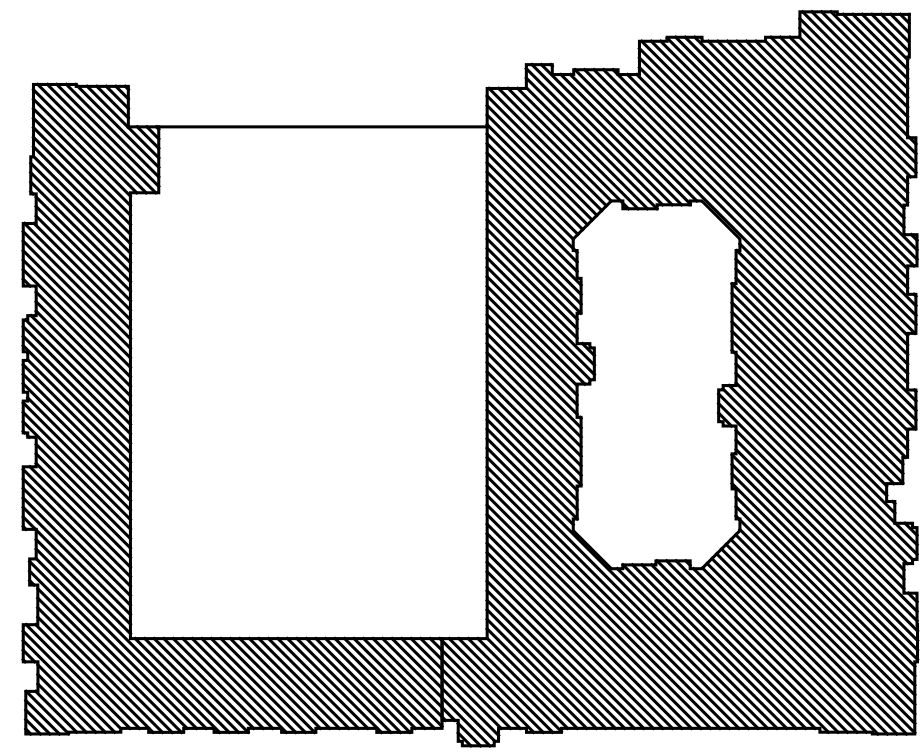
**HUMPHREYS & PARTNERS**  
 LANDSCAPE ARCHITECTURE, L.L.C.  
 5339 ALPHA ROAD SUITE 300  
 DALLAS, TX 75240  
 T: (972) 701-9636  
 F: (972) 701-9639  
 W: www.hplastudio.com

SHEET TITLE  
 PRELIMINARY  
 LANDSCAPE PLAN

SHEET NUMBER  
**L1.00**

SCALE: AS INDICATED



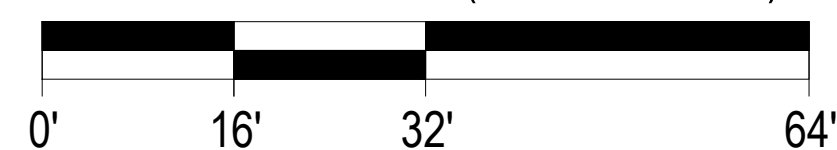


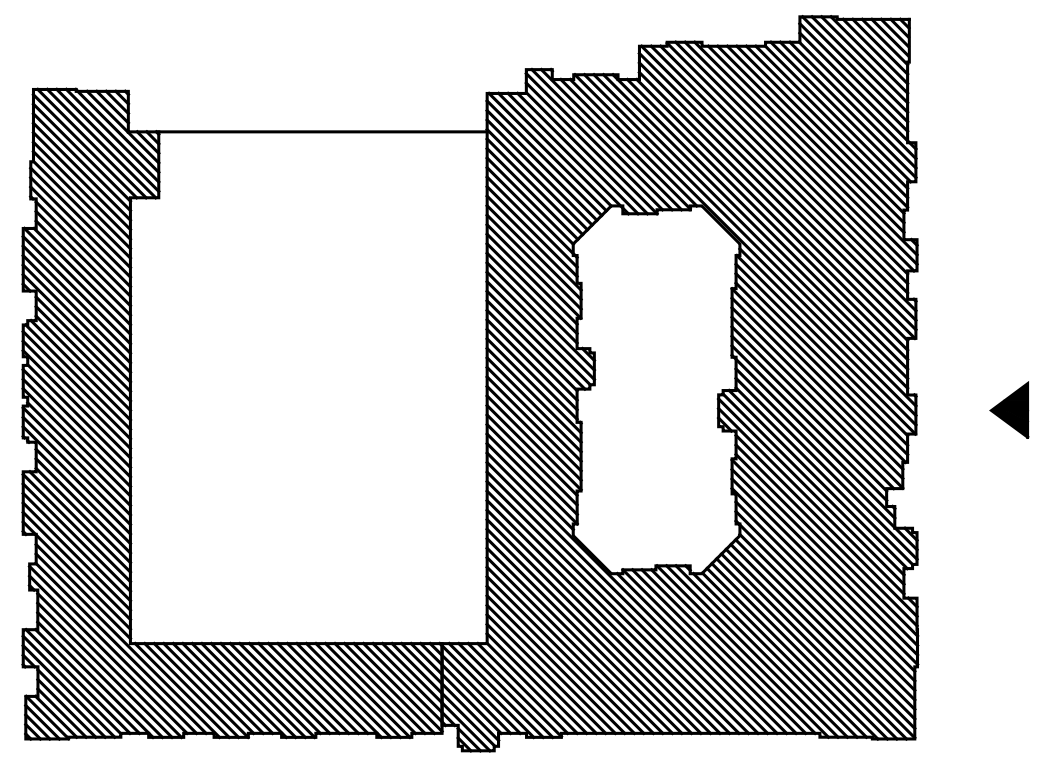
**FRONT ELEVATION**

HARDIE PANEL 33%  
FAUX WOOD SIDING 13%  
SIDING 5%  
STUCCO 17%

TOTAL 20,368 SQ.FT.

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



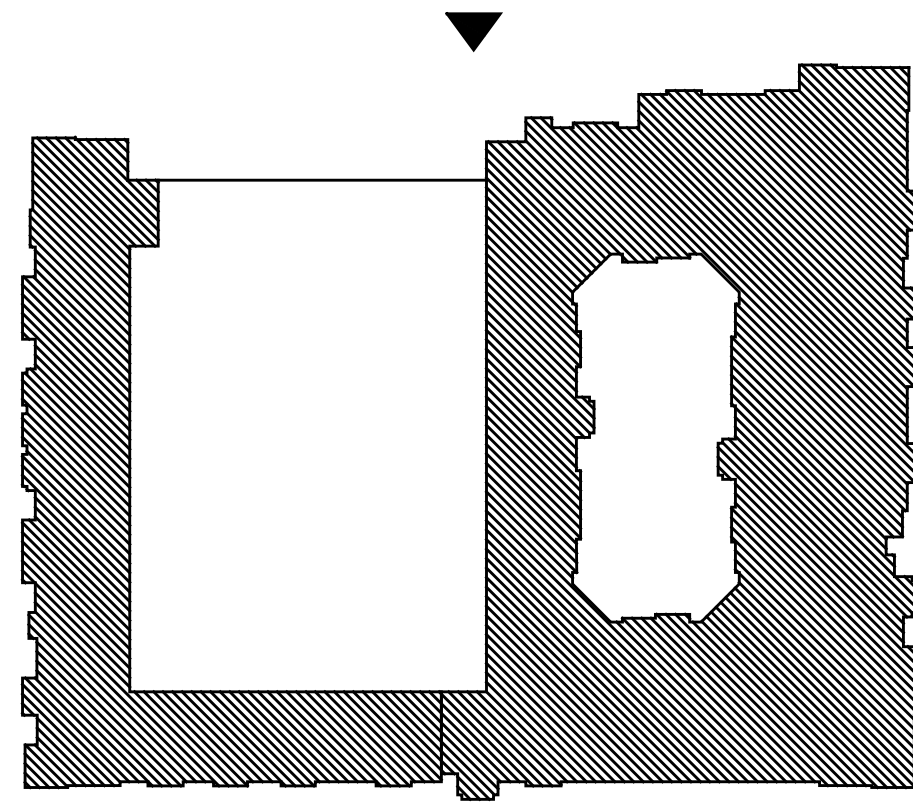


**RIGHT ELEVATION**

HARDIE PANEL	55,2%
FAUX WOOD SIDING	15,4%
SIDING	8,1%
STUCCO	21,3%
TOTAL 9.416 SQ.FT.	

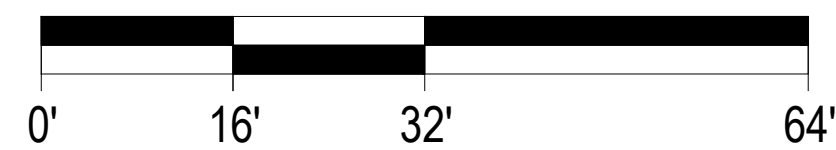
SCALE: 1/16" = 1'-0" (24"x36" SHEET)

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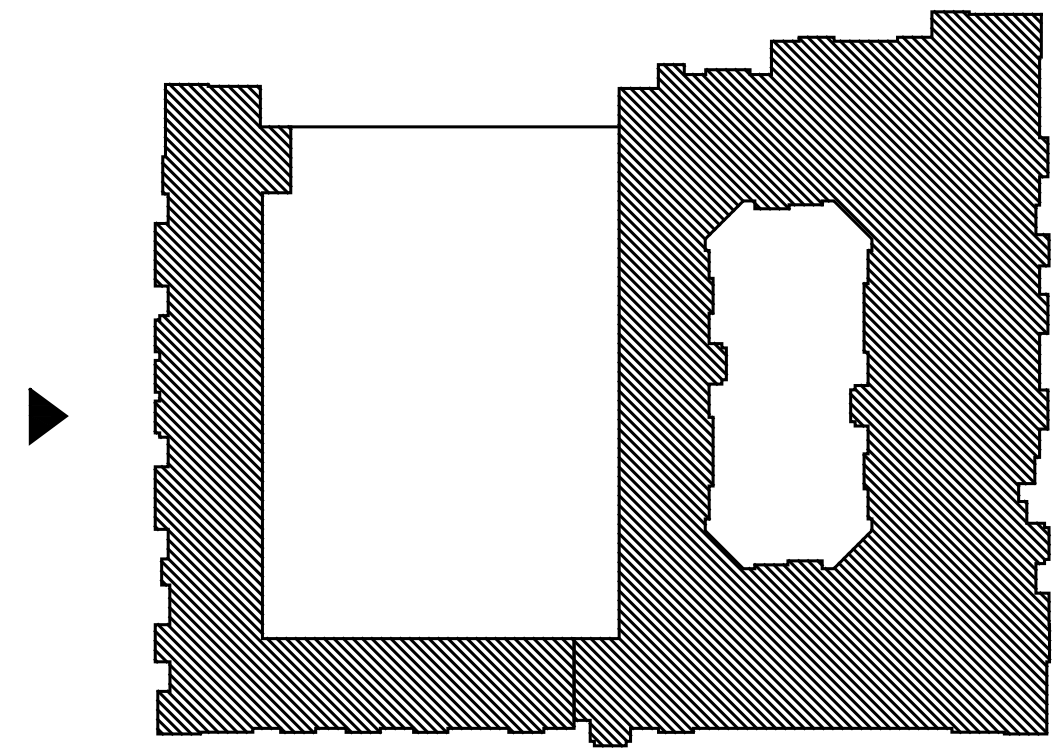


**REAR ELEVATION**

SCALE: 1/16" = 1'-0" (24"x36" SHEET)





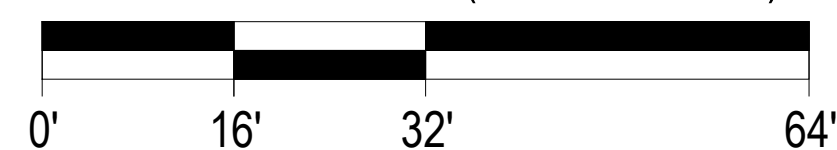


**LEFT ELEVATION**

HARDIE PANEL 35%  
FAUX WOOD SIDING 15.4%  
SIDING 3%  
STUCCO 18%

TOTAL 14,797 SQ.FT.

SCALE: 1/16" = 1'-0" (24"x36" SHEET)











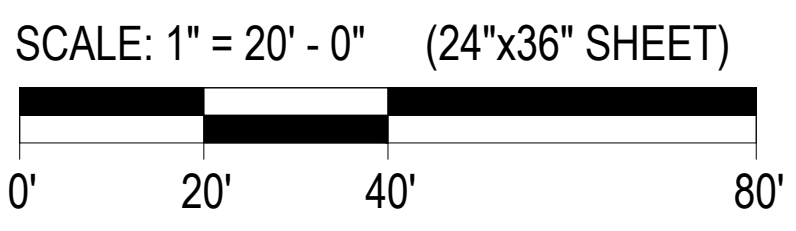




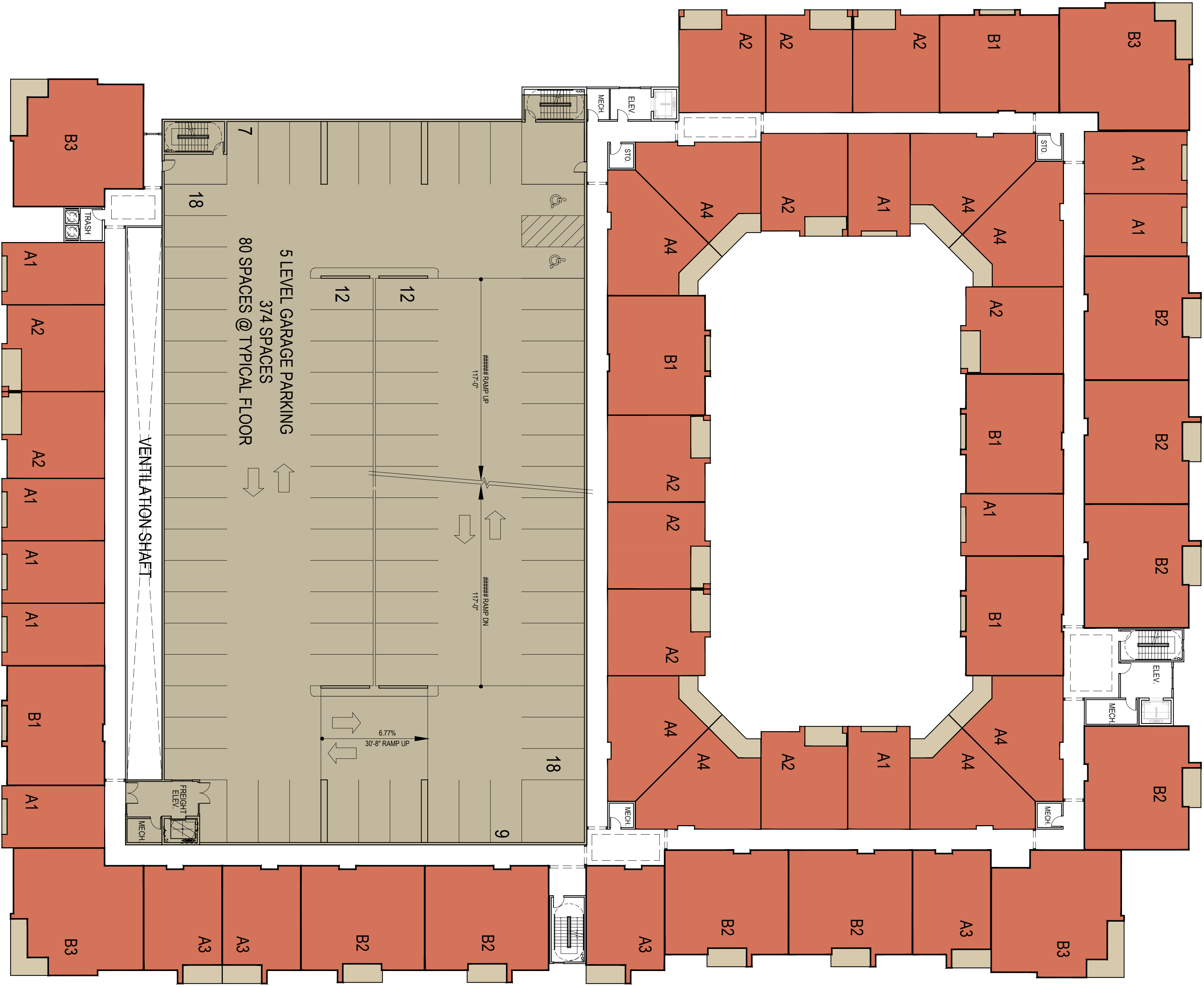




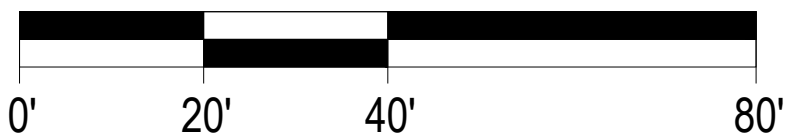




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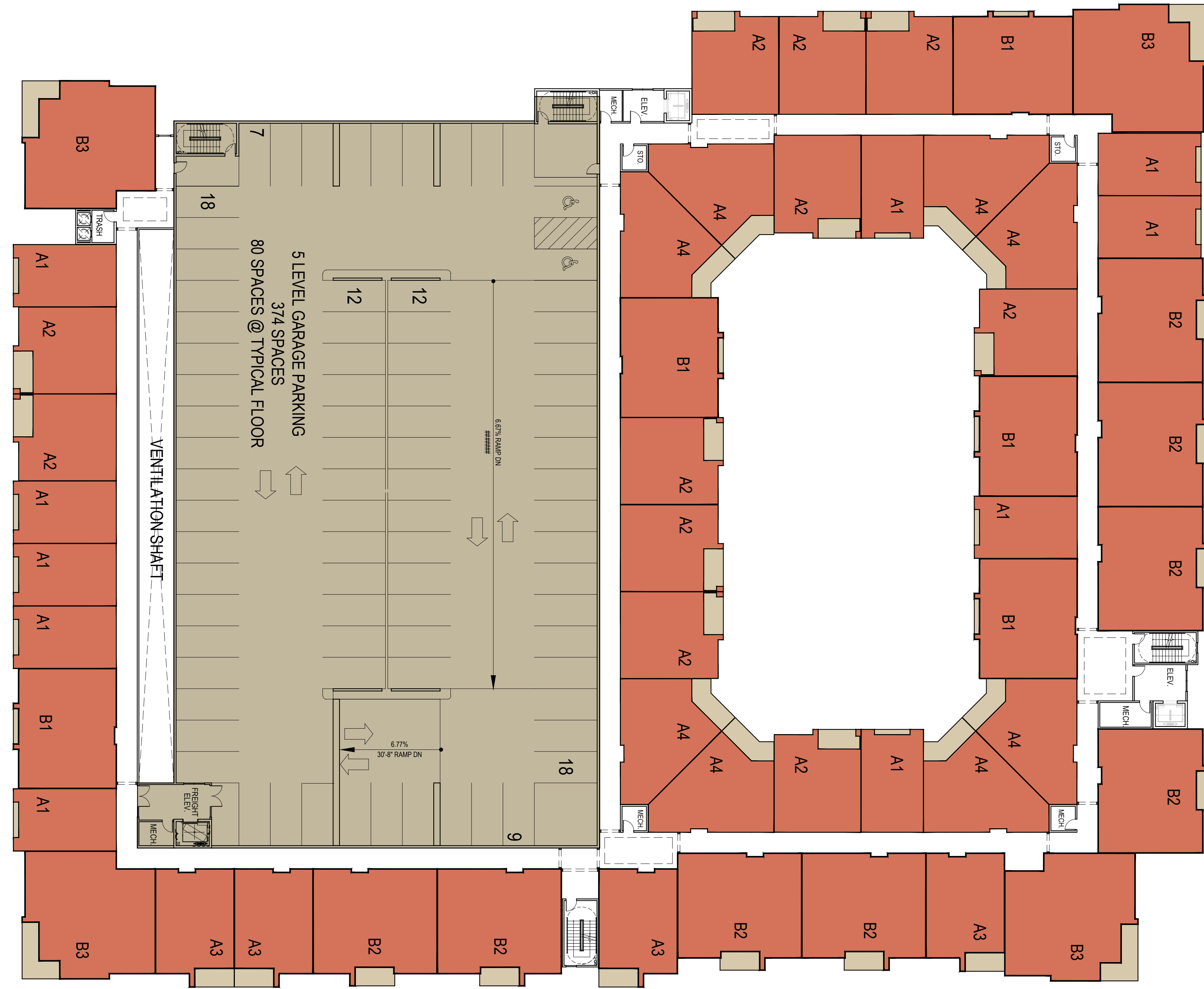


SCALE: 1" = 20' - 0" (24"x36" SHEET)

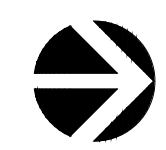
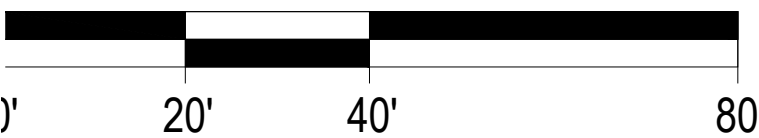


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SCALE: 1" = 20' - 0" (24"x36" SHEET)



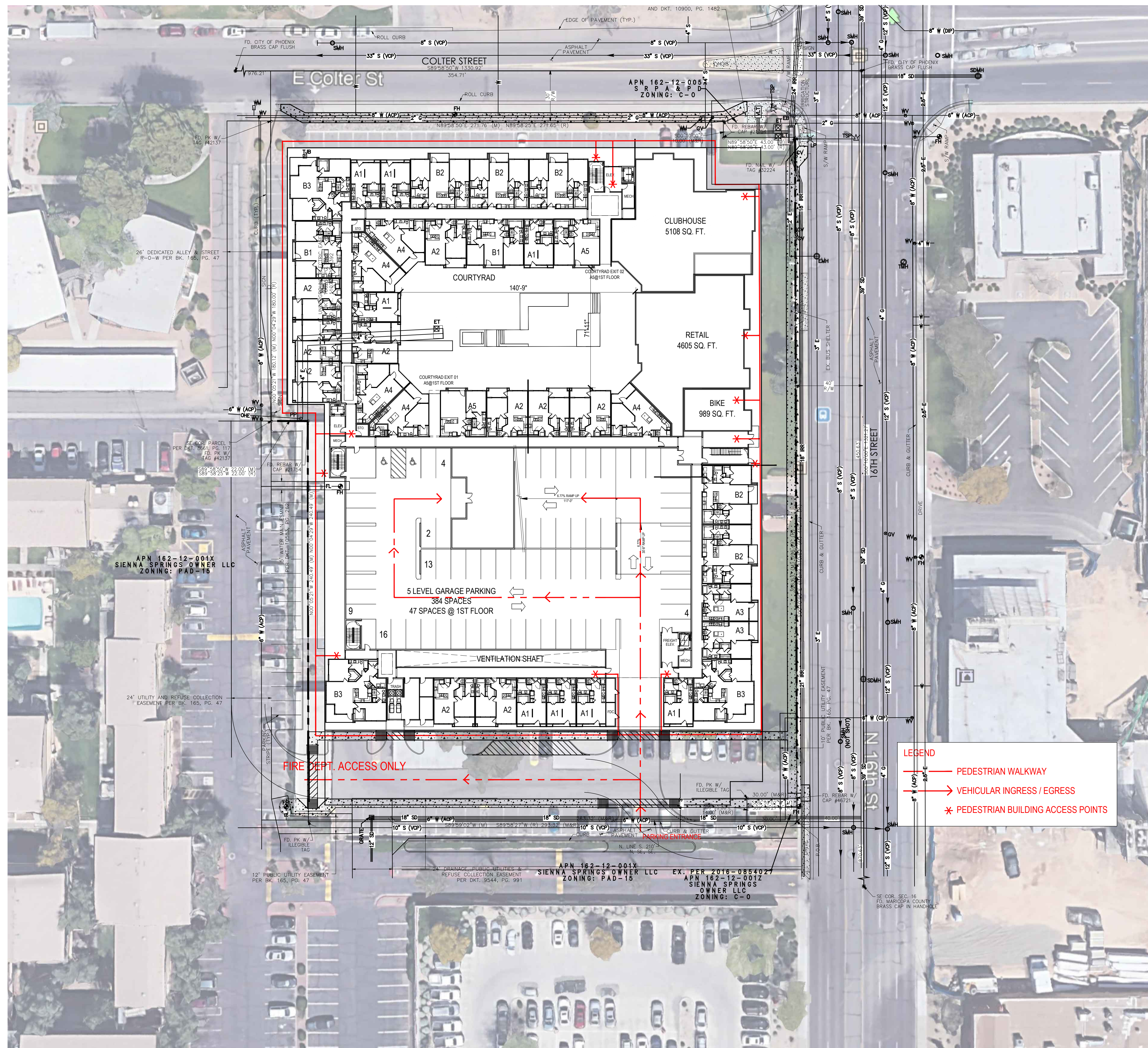






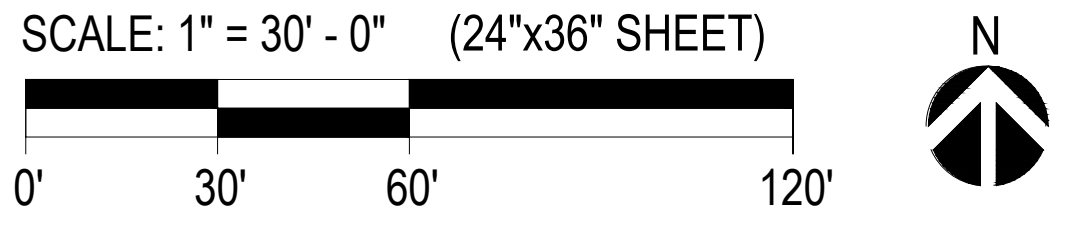






**LEGEND**

- PEDESTRIAN WALKWAY
- VEHICULAR INGRESS / EGRESS
- \* PEDESTRIAN BUILDING ACCESS POINTS



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