

**CITY OF PHOENIX**

AUG 05 2016

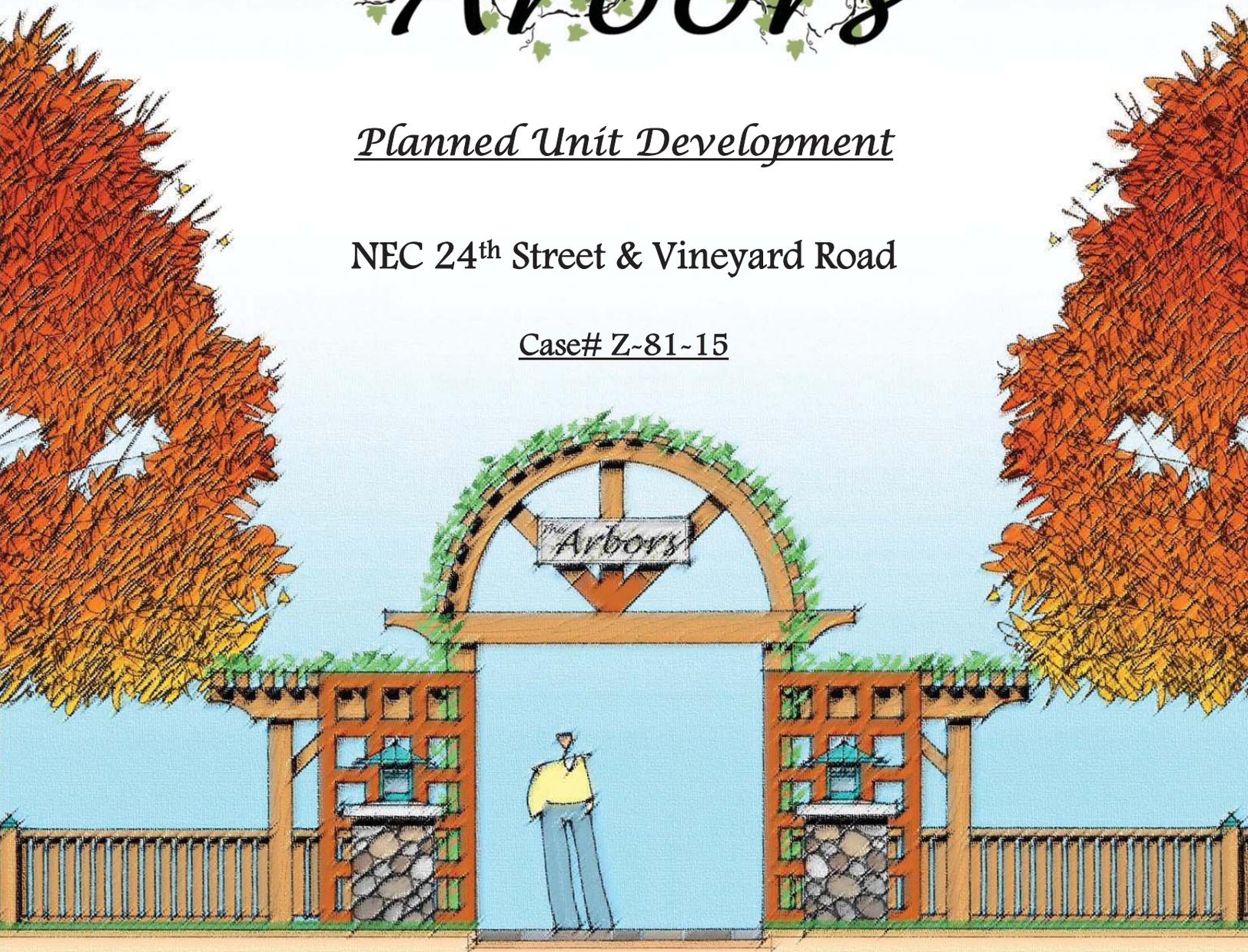
**Planning & Development  
Department**

# The Arbors

## Planned Unit Development

NEC 24<sup>th</sup> Street & Vineyard Road

Case# Z-81-15



Submitted: December 17, 2015

Resubmitted: April 7, 2016

Final City Council Approval: July 1, 2016

**LVA** urban design studio  
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*Planned Unit Development*

**NEC 24<sup>th</sup> Street & Vineyard Road**

Land Use and  
Development Standards

**Case# Z-81-15**

Submitted:  
December 17, 2015

Resubmitted:  
April 7, 2016

**Final City Council Approval:**  
**July 1, 2016**

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. A PUD may include background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies the Phoenix Zoning Ordinance regulations and does not modify other City Codes or requirements.

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## Planned Unit Development

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## Executive Summary

The Arbors Planned Unit Development (“PUD”) establishes the regulatory framework necessary to facilitate the proposed development of a planned residential community within the South Mountain Village area of Phoenix. See **Figure 1, Regional Context Exhibit**.

The Arbors PUD compliments the existing blended residential character of the South Mountain Village and Baseline Corridor area while respecting certain elements of the Mixed-Use Agriculture and all applicable Baseline Area Overlay District standards and guidelines previously envisioned for the subject property now re-envisioned to a single family residential development. Located immediately adjacent to the successful Legacy Golf Resort and only ½ mile north of the 24<sup>th</sup> Street and Baseline Road intersection, this development proposes an appropriate residential plan to further support the growing mix of uses which are transforming the nearby key arterial intersection into a recognized secondary core of the South Mountain Village.

The vision of The Arbors is to create a place of our own time, whose location in the South Mountain Village affords the same experiences that we associate with the past fabric of the surrounding community. A rural escape within the city will be recreated, with remnants of tree groves and vineyards intertwined with the icons of modern life that future generations will come to appreciate for their nostalgic charm within a modern neighborhood setting. A community with an authentic sense of place will be realized by people who are all drawn there by the same things that have been bringing people to the Baseline corridor for generations, which include lush vegetation, mountain views, proximity to downtown, and access to plentiful neighborhood open space amenities.

Existing zoning for the property is Mixed Use Agriculture (MUA) / Baseline Area Overlay District (BAOD). The site is surrounded by a mixture of existing residential and non-residential properties and was previously utilized as a plant nursery. Residential densities within the context of The Arbors vary greatly, and place The PUD in a unique location to establish an appropriate transition of density from the higher densities located west of the property along 24<sup>th</sup> Street, and lower densities located east of the property.

The Arbors property is located on approximately 47.28 gross acres comprised of an assemblage of six parcels under common ownership and maintains street frontage along 24<sup>th</sup> Street, Vineyard Road and 26<sup>th</sup> Street. 24<sup>th</sup> Street is presently classified as an arterial roadway by the City of Phoenix and has been constructed to its ultimate improved width providing a vital link between the Baseline corridor and downtown Phoenix. Vineyard Road is classified as a local street by the City of Phoenix east of 24<sup>th</sup> Street and is classified as a minor collector street west of 24<sup>th</sup> Street serving the existing residential neighborhoods located west of 24<sup>th</sup> Street. The Arbors project anticipates significant improvement of this street intersection to correct the east-west misalignment of Vineyard Road which presently exists. This will be a key improvement to better existing area traffic circulation, providing a safer functioning full motion four-way intersection for not only future residents of The Arbors, but for all residents within the surrounding community.

Additionally, The Arbors project plans to make a bold statement with a generous 50-foot minimum open space buffer corridor along 24<sup>th</sup> Street designed to take the form of a rural neighborhood inspired linear park accommodating a public share use path corridor, historic irrigation supply channel to preserve historic water flows to neighboring properties and a lush landscape pallet to provide a well-shaded and unique pedestrian experience. This inspired design character will continue along Vineyard Road ultimately leading to the project main entry location, which is discreetly located away from the busy 24<sup>th</sup> Street arterial roadway corridor. The intersection of 24<sup>th</sup> Street and Vineyard will serve as a visual point of introduction to The Arbors community with an enhanced corner landscape treatment and the first of the two constructed architectural arbor features included in the PUD which have inspired the project name.

Project landscaping design is envisioned to not only be consistent with the typical materials found within MUA district and Baseline Area Overlay District standards, but be further inspired by the historical agricultural use of the property. The Waldron Family Nursery Farm, which occupied the property for decades, produced plant materials of mostly non-native plant species, and provided high quality mature trees and shrubs intended for sale to private property owners and developers throughout the Phoenix metropolitan area. It is the intent of the proposed development to salvage and reuse any acceptable materials which may still exist from the prior farming / nursery operations and enhance the future development plan with similar varieties. Street trees are proposed along internal roads to create rhythm and order, as well as shaded walkways that will encourage regular use by residents, fostering a neighborly ambiance. A large central open space area, which will be viewed through the second architectural arbor feature upon arrival into the heart of the community, is envisioned to include gathering, play and a generous recreation turf area for use by residents. A community garden is planned in a western open space area within The Arbors neighborhood which will remain visible from 24<sup>th</sup> Street, adding to the agrarian inspired theming.

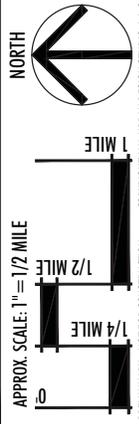


# PLANNED UNIT DEVELOPMENT

## FIGURE 1

### REGIONAL CONTEXT EXHIBIT

Subject to engineering and City review and approval.

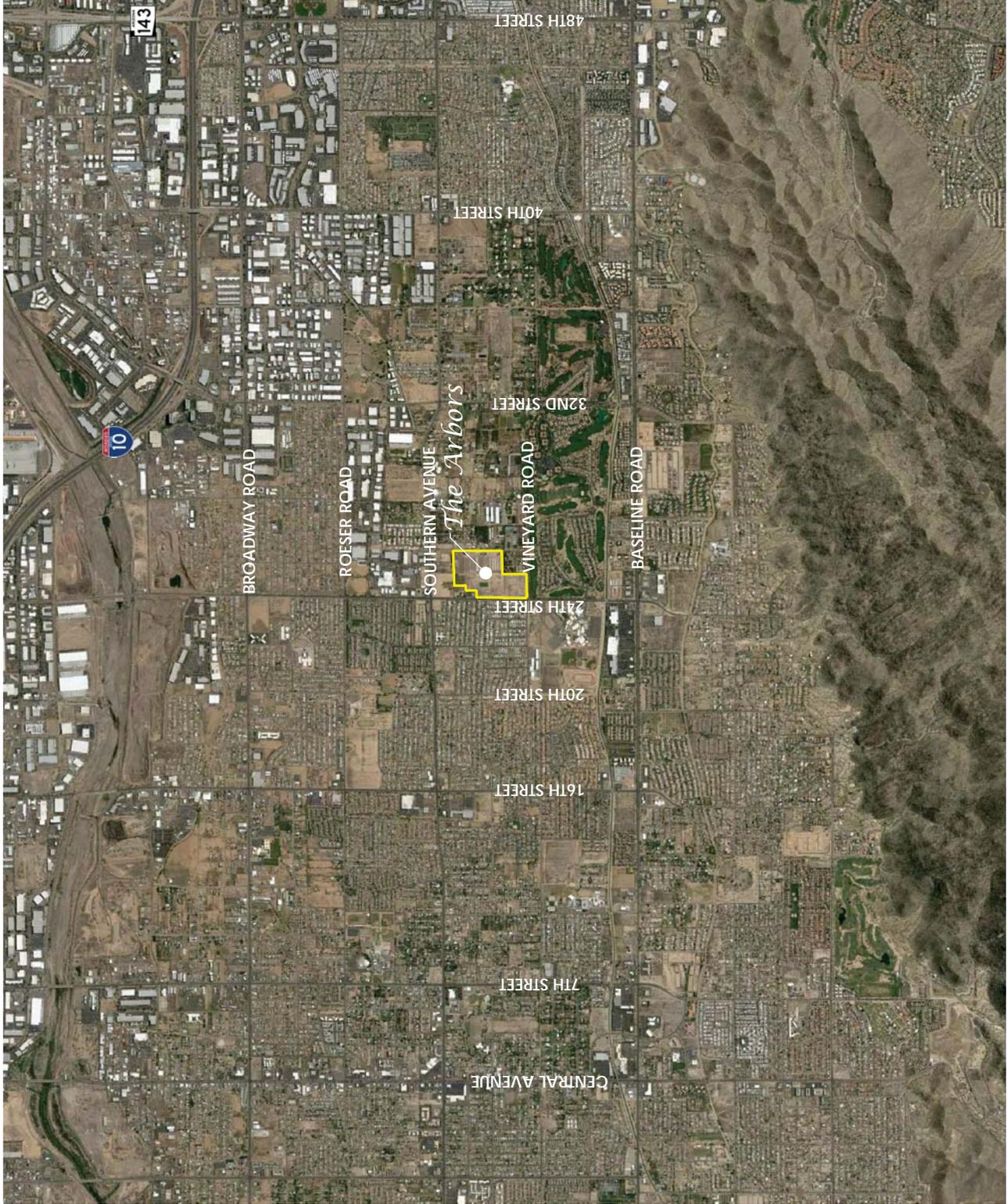


Date: 8/3/16

Project No. 1316.5



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## A. Purpose and Intent

The Arbors Planned Unit Development (“PUD”) facilitates development of a single-family residential neighborhood within a setting uniquely its own. This proposal recognizes the desire to apply a rural agricultural residential ambiance, similar to existing surrounding neighborhoods, and include other key elements such as enhanced open spaces, landscape treatments, increased project setback buffering, and enhanced architectural theme character to the internal areas of The Arbors.

This development proposal represents a site located within a growing area of the City of Phoenix and is highly visible to all those who travel the busy 24<sup>th</sup> Street corridor between the South Mountain area and central Phoenix.

The primary goals of the PUD are to:

1. Facilitate the development of a residential community with a unique rural oasis character and community amenities which provide an appropriate transition of residential density and design character between the long established neighborhoods to the west and the mixed-use agriculture property patterns which exist to the east;
2. Preserve historical rural streetscape character along 24<sup>th</sup> Street and Vineyard Road with enhanced project setbacks, preservation of mature landscaping, public trail corridor and preserved historic irrigation channel elements which all lend themselves to the vision of a rural linear park setting;
3. Tailor the PUD to create a marketable development proposal while respecting certain portions of the standards and guidelines of the MUA district compiled with the Baseline Area Overlay District (BAOD) zoning district standards and guidelines. By utilizing a specialized PUD zoning district, which is crafted in the fundamental spirit of MUA and respecting the BAOD, allows a development plan for this unique property, to produce a high quality project while remaining sensitive to the existing development context and culture of the area;
4. Create quality driven, distinctive development standards and design guidelines that promote the City’s goals for the South Mountain Village and Baseline corridor area.

This PUD will promote transitional land use and density compatibility with surrounding properties; provide for appropriate development standards developed through public input and consensus and promote community growth. This PUD will help create much needed family oriented housing in the area.

The intent of the PUD is to transform the standard provisions of the Phoenix Zoning Ordinance into a tool that facilitates high quality, context specific development, which addresses the needs of the surrounding community and fulfills City of Phoenix goals for the South Mountain Village.

### 1. Regulatory Provisions

The Planned Unit Development (PUD) has been prepared pursuant to Section 671 of the Phoenix Zoning Ordinance to establish the regulatory framework for The Arbors development by defining appropriate land uses, creating development standards and design guidelines specific to the context of the project site.

This PUD is a stand-alone document comprised of project specific zoning regulations, including permitted uses, performance standards, development standards, and design guidelines. Zoning provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. In the event of a conflict between a provision of this PUD and a provision of the Phoenix Zoning Ordinance, the PUD prevails. The PUD does not modify other City Code provisions or requirements.

The provisions of this PUD apply to all property within the project boundary (see Appendix A, PUD Area Legal Description).

2. Zoning Ordinance Applicability

The intended regulatory applicability of the Phoenix Zoning Ordinance as adopted and periodically amended, is applicable to The Arbors PUD except as modified by the Development Standards contained within this Planned Unit Development. Specifically, the applicability of Phoenix Zoning Ordinance Provisions is defined as follows:

- Chapter 1 Purpose and Applicability: All provisions are applicable to this PUD.
- Chapter 2 Rules of Construction and Definitions: The defined terms within Chapter 2 are applicable except as modified by Appendix D.
- Chapter 3 Decision Making and Administrative Bodies: All provisions are applicable to this PUD.
- Chapter 4 Planning Documents: All provisions are applicable to this PUD.
- Chapter 5 Development Review Procedures: All provisions are applicable except as modified by PUD Subsections G and H.
- Chapter 6 Zoning Districts: All provisions are applicable except as modified by PUD Subsections F, G & H.
- Chapter 7 Development Standards of General Applicability: All provisions are applicable except as modified by PUD Subsection G.
- Chapter 8 Historic Preservations: All provisions are not applicable to this PUD.
- Chapter 9 Nonconformities: All provisions are applicable to this PUD.
- Chapter 10 Enforcement: All provisions are applicable to this PUD.
- Chapter 11 Severability: All provisions are applicable to this PUD.
- Chapter 12 Downtown Core: All provisions are not applicable to this PUD.
- Chapter 13 Walkable Urban Core: All provisions are not applicable to this PUD
- Appendix A Zoning Fee Schedule: All fees are applicable to this PUD as amended.

## B. Development Plan

The Arbors PUD is designed to integrate a quality single-family residential neighborhood along an arterial roadway, promoting the appropriate re-use and revitalization of the subject property from its existing vacated state. The development concept for this property proposes 149 detached, single-family, residential lots featuring a blend of three proposed lot sizes for a total gross project density of 3.15 dwelling units per acre. The plan transitions internal project density from smaller lot sizes in the western project area to larger lot sizes in the eastern project area which is reflecting of the surrounding densities. The overall project will include a total of 8.1 acres of open space or approximately 18% of the net site area (not including 2.5 additional acres of perimeter buffer landscape areas) with a centralized 4 acre primary open space for recreation and community amenity area.

The project area is irregularly shaped and is bounded by roadways on three sides; 24<sup>th</sup> Street to the west, Vineyard Road to the south and 26<sup>th</sup> Street to the east. 24<sup>th</sup> Street is an arterial roadway and an important connecting route between Downtown Phoenix and the Baseline Corridor. The community design intent is to pay homage to the rural nature of this streetscape segment and provide a generous 50-foot wide (minimum) linear park space for the entire 24<sup>th</sup> street frontage of The Arbors property. The design vision promoted by The Arbors project is to enhance the experience of this streetscape, not only for this project, but for the Baseline area community at large. The landscape treatment for this park reflects a lush, idyllic rural scene that is reminiscent of the open spaces that were once typical of South Phoenix. This linear park will accommodate a future 10-foot wide public shared use path and the associated public trail easement. The design envisions the shared use path originating at the 24<sup>th</sup> Street and Vineyard intersection passing through an architectural Arbor element to meander through the park, shaded by the existing mature trees that will be preserved between the existing roadway curb line and new trail corridor. The addition of significant new landscape materials, decorative berming and thoughtful reconstruction of an existing historic irrigation ditch, which exists today, will complete the park design. This frontage will be the most visible element of The Arbors community and the linear park elements are intended to promote the agriculture character re-envisioned for MUA and BAOD development standards. The linear park's architectural Arbor element is the first of two such planned community icons. The first Arbor, as described above, becoming a part of the public realm, which will be privately maintained by The Arbors project, along 24<sup>th</sup> Street to be enjoyed by the surrounding community and provide a visual link leading towards the internal Arbor within the neighborhood. Additionally, an internal community garden element within the Arbors project is located along 24<sup>th</sup> Street within an open space area and remain visible from the public corridor.

The primary project entry will be discreetly located away from the public realm associated with 24<sup>th</sup> Street and placed strategically on Vineyard Road across from the picturesque Legacy Golf Resort providing an enhanced project arrival and departure experience. The improvements depicted for Vineyard Road will include a shift in the roadway alignment to the north to create a proper alignment with the existing Vineyard Road collector road segment located west of 24<sup>th</sup> Street. This improvement will require an unusually large amount of right-of-way dedication by The Arbors project to accomplish. In addition to the dedication area needed to properly shift the alignment of Vineyard Road, another generous landscape setback is proposed adjacent to the project on the north side of Vineyard Road, leading to the project's main entry gates.

This entry location was chosen to provide an intimate community entry experience, to avoid using 24<sup>th</sup> Street as a monument to the project's identity and to promote visual terminus on Piestewa Peak to the north and South Mountain to the south. This is more compatible with the project vision to create a rural living environment, where the focus is on the rural feel and sense of place, rather than the size of the gates or the color of the sign. This access location also provides for a magnificent arrival experience that leads down a meandering divided entry road and through a prominent tree grove of deciduous trees. The primary entry road then terminates on a large internalized open space, and community amenity area which visually frame the second architectural arbor element. Architectural design of common community elements (Arbors), theme walls and project monumentation will all share the same design aesthetic found throughout the

entry sequence. See **Figure 2, Planned Unit Development Site Plan date stamped June 29, 2016** for a reference of site land use and circulation.

**1. Location and Access**

The Arbors is a 47.28-acre planned development comprised of six assembled parcels under common ownership and located on the northeast corner of 24<sup>th</sup> Street and Vineyard Road. The project's primary orientation and predominant point of access is to Vineyard Road, but does maintain significant frontage on both 24<sup>th</sup> Street and 26<sup>th</sup> Street along its western and eastern boundaries. A scaled-down, secondary point of entry access only, intended for residents only, is proposed near the northeast corner of the development connecting to 26<sup>th</sup> Street and a secondary point of exit only, intended for residents only, is proposed along 24<sup>th</sup> Street near the northwest corner of the development. Each entry and exit location will provide for pedestrian sidewalk connection to the adjacent public streets. Prior uses on the site utilized access from driveway locations along 26<sup>th</sup> Street, but only one, as a point of entry, is proposed as part of this PUD.

**2. Land Use**

Presently zoned Mixed Use Agricultural / Baseline Area Overlay District (MUA / BAOD), The Arbors development property is situated in a location which borders a variety of land uses and residential development densities. The property was formerly utilized as the Waldron Family Nursery Farm, but is vacant today. This rezoning request is being submitted concurrently with a minor General Plan Amendment (GPA) request proposing a modification to the existing Mixed Use Agriculture land use designation. This GPA request will promote an appropriate residential density transition at a location which presently experiences a very abrupt change in land use designation from the west side of 24<sup>th</sup> Street to the east side. This amendment request is discussed further in Section D of this document.

**3. Development Standards**

Development standards for The Arbors PUD are provided in Section G of this document. In general, the development standards seek to maintain elements of the established MUA standards with certain exceptions intended to be applied to the design elements of this project and be remain in conformance with the established applicable BAOD standards and guidelines. An Arbors PUD development standards table is included within this document and has been prepared with a comparison reference to typical MUA and BAOD development standards.

Strategic changes have been made to the development standards where appropriate in response to the proposed development plan and context of the site. The Arbors PUD allows certain flexibility in the overall site design vision, but is carefully constrained by context specific design guidelines and development standards that address neighborhood compatibility and buffering to the proposed residential development plan.



**CITY OF PHOENIX**  
 JUN 29 2016  
 Planning & Development  
 Department

APPROX. SCALE: 1" = 80'  
 1316 S. DRAWN BY: FROM 6/29/16

**LEGEND:**

- POST PLANNING COMMISSION EDITS
- SITE BOUNDARY
- THEME WALL 7' TALL
- \* DENOTES SINGLE STORY ONLY

**CONCEPTUAL SITE PLAN DATA:**

- EXISTING ZONING: MUA B000
- PROPOSED ZONING: PUD B000
- GROSS LAND AREA: 47,327 AC
- NET LAND AREA: 45.03
- OPEN SPACE: 8.10 AC
- % OPEN SPACE: 18% (OF NET AREA)

**LANDSCAPE SETBACKS (NOT INCLUDING PERIMETER)**

- NUMBER OF LOTS: 149
- DENSITY: 3.15 DU/AC
- MINIMUM LOT SIZE: 75 X 135' (31 LOTS)
- 45 X 120' (65 LOTS)

*The Arbors*

PLANNED UNIT DEVELOPMENT SITE PLAN

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## C. Site Location and Conditions

### 1. Site Location and Conditions

The Arbors PUD is an assemblage of six (6) existing parcels under common ownership of vacated nursery land located at the northeast corner of 24<sup>th</sup> Street and Vineyard Road, approximately ½ mile north of Baseline Road. Elements of previous site functions which remain today include a vacated greenhouse and nursery operation structures, as well as an open water storage holding tank. Nearly all existing plant materials have been removed.

The PUD area encompasses approximately 47.28 gross acres bordered partially by roadways on three sides (west, south & east) and a mixed pattern of undeveloped and varied land uses to the north. (See **Figure 3, Existing Site Conditions**). The legal description for the PUD area is provided in Appendix A.

The Arbors property was subject to a rezoning request (case Z-15-09-8) and approved in September 2009 which requested the current Mixed Use Agriculture – Baseline Area Overlay District (MUA / BAOD) zoning. This request included a true mixed use development plan consisting of an array of small scale commercial and office structures combined with large lot single family residential subdivision. This proposed concept was marketed to development and real estate industry professionals for years with little to no interest generated for the type of proposed development plan in this geographic location. A development plan alternative for the Arbors property was proposed in 2013 which eliminated the non-residential uses and consisted of only large lot single family residential. This plan was also heavily marketed to development and home-building industry professionals. The plan was consistently deemed unfeasible from a market demand and financial feasibility standpoint. The location of this property, north of Baseline Road along 24<sup>th</sup> Street and existing contextual conditions set a series of conditions in place which define the parameters of a feasible and realistic plan for the Arbors property filling much needed residential market demand for the South Mountain Village.

### 2. Topography and Physical Features

The irregularly shaped property does not contain any unusual physical or topographic conditions that would compromise the development suitability of the site. Topographic relief on the site is minimal with a subtle downward slope in the northeasterly direction sloping away from nearby South Mountain.

The vacated water storage tank on-site was artificially created as part of the earlier site operations and will be properly reconstructed as needed to be suitable for surface development.

An operational irrigation water conveyance channel exists on the site parallel to 24<sup>th</sup> Street. This channel historically provided irrigation water from the Highline Canal located at the base of South Mountain to The Arbors property and a neighboring residential property located immediately to the northwest of The Arbors property boundary. Initial investigations indicate the irrigation supply channel no longer exists beyond the neighboring property to the north; however it is the intent of The Arbors streetscape plan for 24<sup>th</sup> Street to utilize this historic irrigation element and to be maintained as part of the existing rural aesthetic of the area. Additional existing open irrigation ditch along Vineyard Road will be placed within an underground pipe to preserve irrigation supply to existing neighboring properties to the east.

### 3. Surrounding Context

Neighboring properties in the immediate vicinity of The Arbors site range from being fully developed with a variation of land uses to areas of privately owned undeveloped land. Traditional lot single family residential is the dominant land use west and northwest of the site in the form of the long established Jade Park Mobile Home Park and Del Monte Plaza neighborhood. Southwest of the site, a Catholic Church facility anchors the immediate southwest corner of 24<sup>th</sup> Street and Vineyard Road with the South Mountain Community College campus and G Barr Elementary School located slightly further to the south and west respectively. To the south is the established Legacy Golf Resort. The portion of the resort adjacent to The Arbors contains one of the golf course fairway areas and a portion of the resort's integral single family residential development area. To the east of the site is a mix of lower density residential of varied lot sizes and low intensity commercial agricultural business uses such as Whitfill Nursery and J&E Greenhouses. To the north, six privately owned parcels comprise the land area between the north boundary of The Arbors and Southern Avenue, which is located approximately 600 feet to the north. (See **Figure 4, Project Context and Vicinity**).





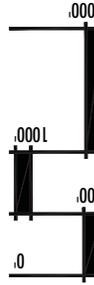
# PLANNED UNIT DEVELOPMENT

## FIGURE 4

### PROJECT CONTEXT & VICINITY

Subject to engineering and City review and approval.

APPROX. SCALE: 1" = 1000'



NORTH



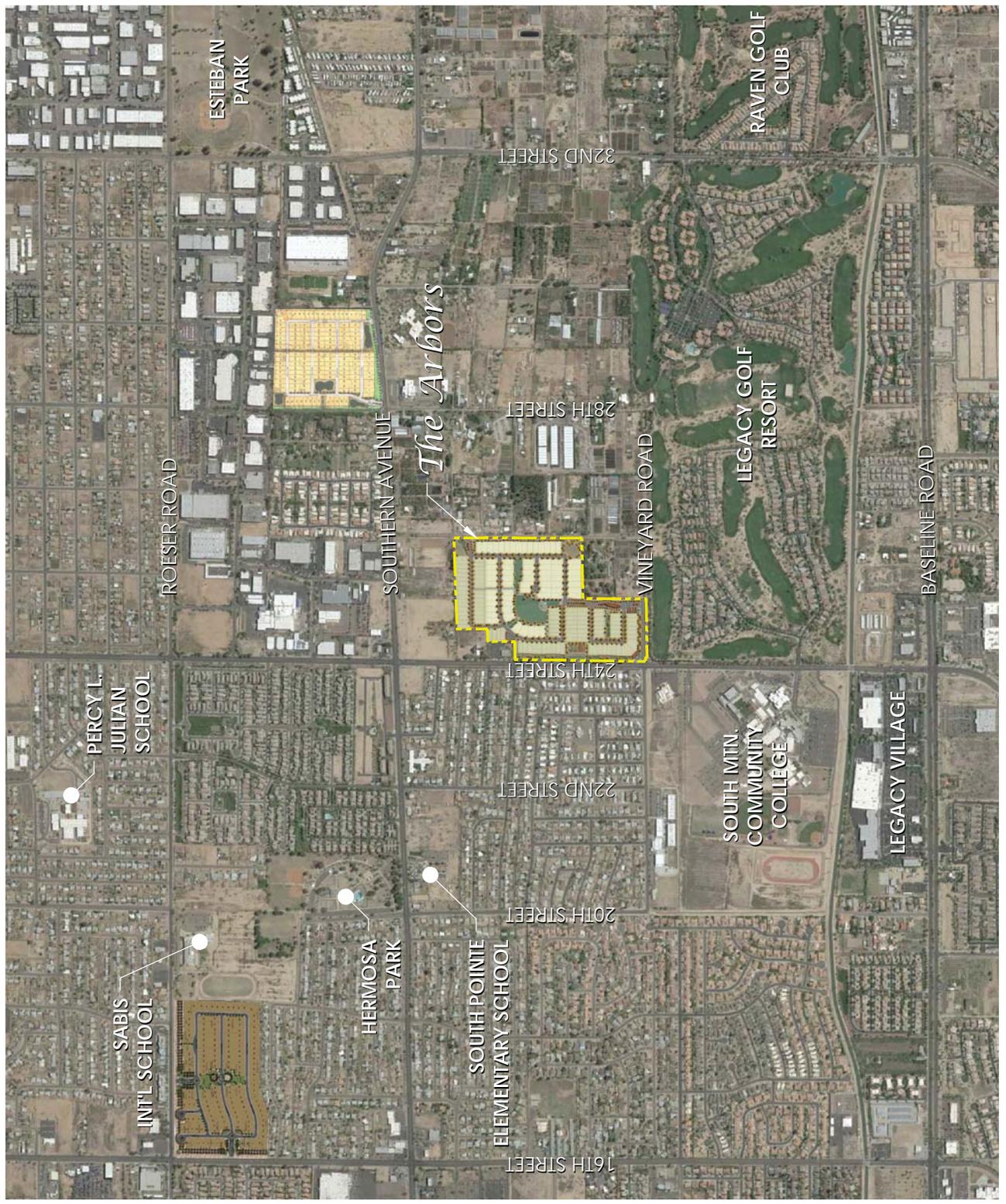
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## D. General Plan Conformance

### 1. A Statement of Conformity

The City of Phoenix General Plan designates The Arbors property as Mixed-Use Agriculture, representative of past uses on the property.

The Arbors PUD seeks to modify the uses depicted on the General Plan by providing a combination of Single-Family Residential and Open Space land uses. Although these land uses are consistent with many of the goals and policies outlined in the City of Phoenix General Plan and the Baseline Area Master Plan, it is appropriate to request a change to the General Plan land use designation which introduces a logical transition of residential density for this property which is uniquely located and along the very abrupt land use pattern change bisected by 24<sup>th</sup> Street. The accompanying minor General Plan Amendment request to this zoning application proposes a land use designation change from Mixed-Use Agriculture to a blend of Mixed-Use Agriculture and Traditional Lot (3.5 – 5 Du/Ac). Refer to **Figure 5, Existing & Proposed General Plan Land Use** for a depiction of the proposed amendment.

### 2. Conformance with General Plan Objectives / Core Values

The following elements have been selected from the current 2015 approved City of Phoenix General Plan update to demonstrate conformance with goals set forth in the General Plan.

#### Core Value – Connect People and Places

“Cores, Centers & Corridors”

*Phoenix residents should have an abundance of places to connect with services, resources and each other.*

The 2015 City of Phoenix General Plan update, which is now divided into a series of Core Values, specifically recognizes the intersection of 24<sup>th</sup> Street and nearby Baseline Road within the “Connect People and Places” Core Value as a newly evolved community center which now includes a major shopping center, community college and public library. Through the planned evolution of community growth within the South Mountain Village and Baseline Corridor area, this major intersection and surrounding areas will continue to evolve away from agricultural based uses and development concepts and become realized as a true secondary village core with a mix of uses striving to balance appropriate housing alternatives, employment opportunities and services for the community.

The Arbors project and proposed minor General Plan Amendment seek to increase the residential density within a small area along the western outer edge of the current Mixed-Use Agriculture land use area which borders 24<sup>th</sup> Street and promote direct pedestrian connection to the nearby existing and future planned community center uses located in proximity to this important growth area.

“Opportunity Sites”

*To promote development of vacant parcels or redevelopment of underutilized parcels within the developed area of the city that are consistent with the character of the area or with the area’s transitional objectives.*

As noted within the General Plan, development or redevelopment of vacant properties within urbanized areas of the city reduce the cost of managing growth where the primary infrastructure elements have already been developed. The Arbors project is located at an arterial and collector street intersection (24<sup>th</sup> Street and Vineyard Road) as well as being bordered by 26<sup>th</sup> Street. Water and Sewer infrastructure presently exists within these public roadways and will serve The Arbors project needs without the need to significantly upgrade existing public infrastructure, and will be an attribute to the character of the surrounding community by providing an appropriate transitional residential development between the

medium density residential neighborhoods which exist west of 24<sup>th</sup> Street and the established lower density residential areas to the east of the site.

**“Canals and Trails”**

*Create a functional network of shared urban trails which are accessible, convenient and connected to parks, centers, and major open spaces such as the Sonoran Preserve, connecting the entire city.*

Adhering to the City of Phoenix Master Trails Plan, The Arbors project will contribute to the city’s urban trail network by construction a 10-foot wide shared use path with associated public easement area for approximately 1,400 lineal feet along the project’s 24<sup>th</sup> Street frontage. The new trail will be an integral part of an enhanced streetscape design proposed with The Arbors project. This segment of trail will contribute to the pedestrian connectivity to the evolving community center uses at the intersection of 24<sup>th</sup> Street and Baseline Road and beyond to South Mountain Park and its 24<sup>th</sup> Street trailhead location.

Core Value – Celebrate Our Diverse Community & Neighborhoods

**“Certainty & Character”**

*Ensure that development, redevelopment and infrastructure supports and reinforces the character and identity of each unique community and neighborhood.*

As an area identified within the Baseline Area Master Plan for nearly 20 years, the Mixed-Use Agriculture General Plan land use designated area was defined at the time based upon existing patterns of historic agricultural uses. These specifically isolated areas of existing large lot single-family residential use, supported by small commercial and non-commercial agricultural land utilization, include the prior commercial nursery use of The Arbors property. In the time since the establishment of the Baseline Area Master Plan, much of the Mixed-Use Agricultural designated area has not been developed or redeveloped. While deemed an appropriate land use designation during the envisioning and creation of the Baseline Area Master Plan and examination of existing area land uses at that time, much change has occurred within Baseline corridor area including the evolution of the 24<sup>th</sup> Street and Baseline Road area now being fully recognized as a blossoming village center.

The Arbors project vision realizes the land use evolution of the greater community context through a thoughtful single-family residential neighborhood design approach. While proposing slightly higher density than that envisioned for the subject property in 1996, The Arbors project will institute a perimeter design approach, particularly along 24<sup>th</sup> Street, and visual aesthetic which sustain the unique character of the surrounding area while establishing a recognizable and diverse housing opportunity for the South Mountain Village.

Core Value – Build the Sustainable City

**“Trees and Shade”**

*Create a network of trees and shade that integrate with the built environment to conserve ecosystem functions and provide associated benefits to residents.*

The Arbors project landscape design intent strives to create an environment which utilizes shade trees of primarily non-native species both within and surrounding the project. From the new public Multi-Use Trail to be located along 24<sup>th</sup> Street to the internal private street network, the project will provide a consistent and well planned shade tree design pattern which provides ample summertime shade throughout the built residential community environment. Additionally, the fully mature pine trees which exist along 24<sup>th</sup> Street will remain in place and contribute to the built condition.



PLANNED UNIT DEVELOPMENT

**FIGURE 5**  
EXISTING & PROPOSED  
GENERAL PLAN LAND USE

LEGEND

- LAND USE**
- 1 to 1.5 acres - Large Lot
  - 1 to 2 acres - Large Lot
  - 2 to 3.5 acres - Traditional Lot
  - 3.5 to 5 acres - Traditional Lot
  - 5 to 10 acres - Traditional Lot
  - 10 to 15 acres - Higher density attached townhomes, condos, or apartments
  - 15+ acres - Higher density attached townhomes, condos, or apartments
  - Future Parks/Open Space - Privately Owned
  - Future Parks/Open Space - Publicly Owned
  - Mixed Use Agricultural
  - Nature's Power Gardens with alternative 3.5 to 5 acres
  - Community
  - Mixed Use (MUL)
  - Neighborhood Center (C) and Neighbored Area only
  - Neighborhood Center (C) and Neighbored Area only
  - Community (Business Park)
  - Public/Quasi-Public
  - Freeway
  - Undesignated Area

Subject to engineering and City review and approval.

APPROX. SCALE: 1" = 500'



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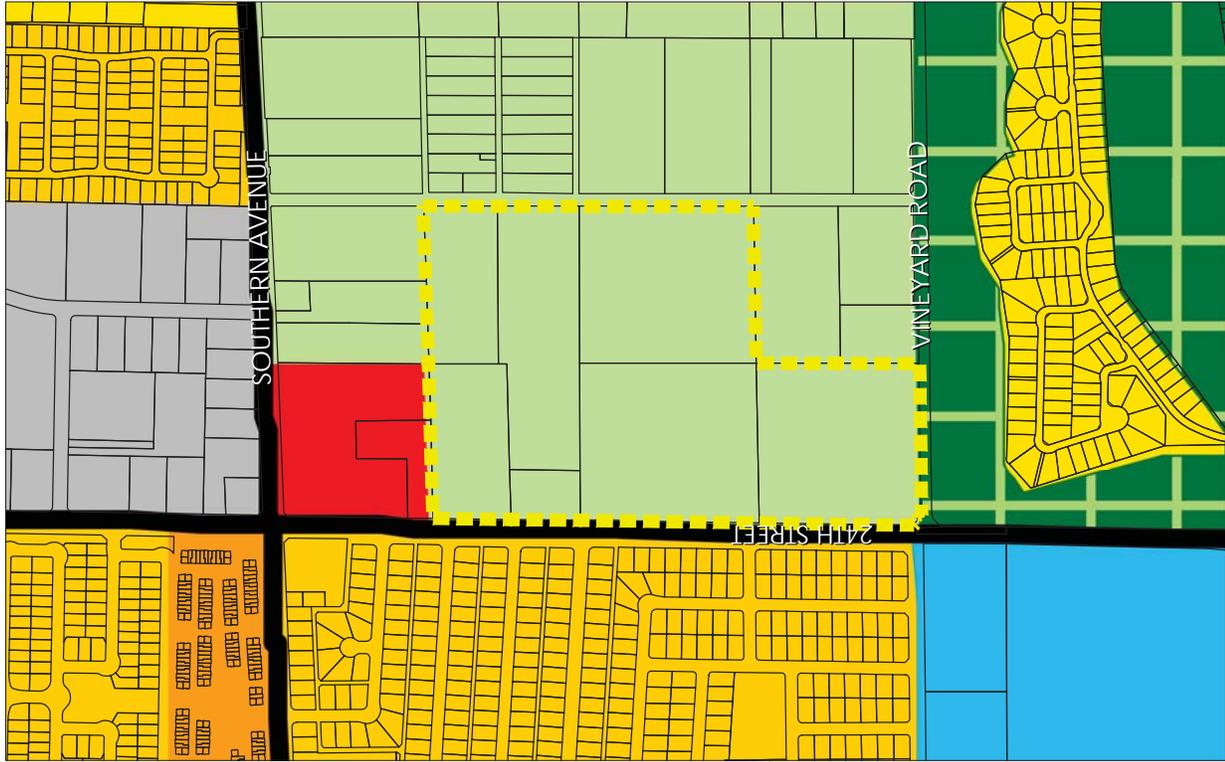
Date: 3/16/16 Project No. 1317.5



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PROPOSED



EXISTING

## E. Zoning and Land Use Compatibility

### 1. Surrounding Zoning and Land Use

The existing zoning on The Arbors property is MUA / BAOD. (Refer to **Figure 6, Existing & Proposed Zoning**)

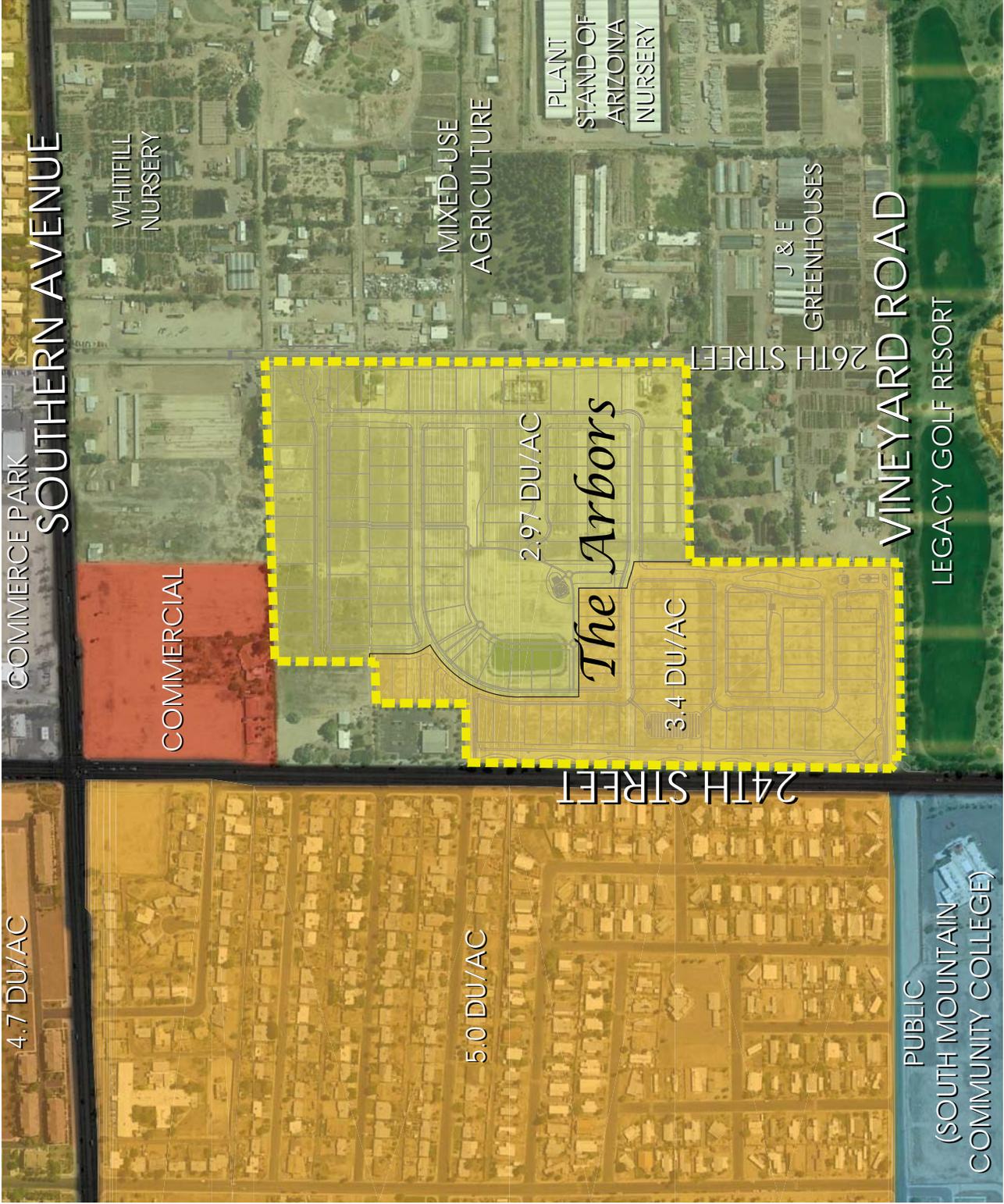
**Table 1: Surrounding Zoning**

Location	Ownership	General Plan	Zoning	Land Use
North	Private Ownership	Commercial / Mixed Use Agriculture	C-2 R-5 S-2	Primarily Vacant
South	Legacy Golf Resort	Parks / Open Space; 3.5 – 5 DU/Ac Traditional Lot	R1-8 SP, R1-8 PRD	Golf Course; Single-Family Residential
East	Private Ownership	Mixed Use Agriculture	S-2	Single Family Residential
West	Private Residential & Mobile Home Lot Ownership	3.5 – 5 DU/Ac Traditional Lot	R-5 R1-6	Single-Family Residential; Mobile Home Park

Properties adjacent to The Arbors PUD area are currently developed primarily with single family residential at varied densities with extremely varied character. The long established Jade Park Mobile Home Park and Del Monte Plaza single-family residential neighborhood located across 24<sup>th</sup> Street to the west average 4.5–5 dwelling units per acre with mobile home lots fronting 24<sup>th</sup> Street along a frontage road condition and directly across from the majority of The Arbors 24<sup>th</sup> Street frontage length. Existing development located west of 24<sup>th</sup> Street appears of very dated and poorly maintained residential homes lacking perimeter buffering or related improvements. Residential properties located to the east of the site vary in size and do not exceed 2 dwelling units per acre.

Framed by this abrupt transition in residential density and character which occurs along 24<sup>th</sup> Street and along The Arbors PUD area eastern boundary, The Arbors proposes an overall project gross density of 3.15 dwelling units per acre. The configuration of the Planned Unit Development Site Plan date stamped June 29, 2016 residential lotting scheme, which includes three proposed residential lot sizes, has been intentionally designed to transition densities down from west to east in an appropriate fashion and creates a land use buffer for lower density areas to the east through a high quality neighborhood design. Refer to **Figure 7, Density Transition Plan** for a depiction of the density transition areas described.





**PLANNED UNIT DEVELOPMENT**

**FIGURE 7**  
**NEIGHBORHOOD DENSITY**  
**TRANSITION PLAN**

Subject to engineering and City review and approval.



APPROX. SCALE: NTS

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Date: 08/05/16 Project No. 1316.5



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0.1316 - Withey Morris PC (WMA) and Sunrise Engineering (SE) prepared this development plan for LVA Urban Design Studio, LLC. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of LVA Urban Design Studio, LLC. Aug 5, 2016

## **F. Land Uses**

The following list of uses defines Permitted Primary Uses, uses permitted as an accessory use, and uses subject to Performance Standards allowed within The Arbors PUD. The developer(s) or any property owner within the defined limits of the PUD may request an interpretation of analogous use to the defined list below from the City of Phoenix Zoning Administrator. The Zoning Administrator may administratively approve a use analogous to those listed below.

### **1. Permitted Uses**

The following uses are permitted in this PUD district in accordance with the regulations and special standards established below.

1. Residential, Single Family Detached.
2. Residential Model Home Complex and Sales Office.

### **2. Permitted Accessory Uses**

Land in this PUD District may be used as permitted accessory uses and structures, incidental to and on the same zoning lot as the primary use, for the following uses:

1. Guesthouse, provided that it does not exceed six hundred square feet or twenty-five percent of the floor area of the principal structure, whichever is larger.
2. Instruction/classes pertaining to the primary use of the site, including horticulture classes at a plant nursery or community garden.
3. Community Garden

### **3. Temporary Uses**

A. The purpose of the temporary uses section is to regulate limited duration uses not otherwise allowed in the PUD zoning district. The Planning and Development Director may issue an administrative temporary use permit upon written request and submission of an application. Any approval is contingent upon this section, city policy, and written stipulations contained on the permit. A temporary use permit allows for a temporary use that does not meet the requirements of an administrative temporary use permit. An application per Zoning Ordinance Section 307 shall be filed to request approval of a temporary use permit.

B. General Regulations shall be in accordance with Section 708B, as amended.

C. Administrative Temporary Use Permit. An administrative temporary use permit (ATUP) is subject to the following:

1. An administrative temporary use permit is required for the following uses or analogous uses:
  - a. Temporary residential dwelling units or residential accessory structures during construction.
  - b. Temporary employment offices during construction.
  - c. Temporary generators.
  - d. Temporary construction yards or staging areas.
2. Applicants shall submit the following:
  - a. Application form.
  - b. Address or location of property.
  - c. Notarized letter of authorization from the property owner of record or a person who has been granted written authorization by the owner to act on his behalf giving permission to have the specified use on the property. If a notarized letter from the property owner is not provided then a notarized letter from the person who has been granted written authorization by the property owner to act on his behalf shall be provided at the time of application. The agent must be approved to authorize and locate a container on the parcel. A permit may be revoked if fraudulent materials are submitted as part of the application process.
  - d. Letter of authorization from the property owner giving permission to hold the event on specified days and times.
  - e. Site plan showing the location of event on subject property.
  - f. Submittal fee in accordance with Appendix A of the Zoning Ordinance.

3. The Planning and Development Director shall review applications and may grant approval based upon the following criteria:
    - a. The use shall not cause a significant increase in odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding that of ambient conditions.
    - b. The use shall comply with all other codes and ordinances.
    - c. The use shall not reduce the number of parking spaces below the number required by the Zoning Ordinance for the existing uses.
    - d. Dates, times, duration, and other requirements shall be in accordance with the following, or as otherwise may be limited by the Planning and Development Director and listed on the permit.
      - (1) The following uses may be approved for up to one year:
        - (a) Temporary residential dwelling units or residential accessory structures during construction.
        - (b) Temporary employment offices during construction.
        - (c) Temporary generators.
        - (d) Temporary construction yards or staging areas.
        - (e) Interim surface parking.
      - e. The use shall not emit direct light that is greater than one foot candle at the property line or broadcast sound beyond the boundaries of the property on which the use is conducted unless approved by the Planning and Development Director.
      - f. An administrative temporary use permit for a parcel may be denied when the property owner has been issued a notice of violation that was related to previous temporary uses within the last two years.
  4. Uses that require an administrative temporary use permit may not be altered or expanded unless approved by the Planning and Development Director.
- D. Temporary Use Permits. Other than a mobile vendor use or mobile vending unit, a temporary use permit shall be obtained pursuant to Section 307 as follows:
1. The Zoning Administrator may grant a temporary use permit for up to 36 months. A time extension of no more than six months may be granted only through an additional use permit hearing.
  2. The following will apply to sites with approved use permits prior to August 6, 2011, the effective date of Ordinance No. G-5644: If the temporary use is recurring and occurs less than 50 days during the calendar year, then a use permit must be obtained for each of the first two years. In the third and consecutive, subsequent years, no use permit approval shall be required to continue the temporary use permitted by the use permit upon complying with the following:
    - a. Payment of the application fee set forth in the City Code
    - b. Upon a finding by the Zoning Administrator that the temporary use has not been detrimental to persons residing or working in the vicinity, to adjacent property or to the neighborhood.

## G. Development Standards

### 1. Development Standards (Yard, Height and Area Requirements)

To protect surrounding neighborhoods and preserve the public welfare, standards are herein established for yard, height and area requirements to provide an appropriate transition between land uses, authorized under this Planned Unit Development. The standards identified herein pertain to density, building setbacks, landscape setbacks, building height, lot coverage and private common area open space. Additionally, this project falls within the boundary of the Baseline Area Overlay District (BAOD). Development Standards of the BAOD will be met and that in instances where the PUD conflicts or is silent on a particular standard, the regulations in the BAOD will supersede. This PUD has been crafted to modify the standards of current MUA zoning while also implementing the standards of the BAOD. All property in this PUD District shall be developed in accordance with the following standards and those standards of the BAOD.

The following table indicates approved development standards for The Arbors PUD.

<b>TABLE 2 – Development Standards</b>	
<b>ARBORS PUD</b>	
<b>MAXIMUM BUILDING OR STRUCTURE HEIGHT</b>	
Two-Stories or Thirty (30) feet – <i>Unless otherwise designated on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2); Twenty (20) feet and one story for lots * designated on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2).</i>	
<i>A maximum of 50% of Lots 111-122 depicted on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2) WHICH ARE NOT ALREADY DESIGNATED AS ONE-STORY ONLY are permitted to be two-stories or Thirty (30) feet in height.</i>	
<b>BUILDING SETBACKS</b>	
<u>Front Yard</u>	
Arterial/collector streets	Forty (40) feet
Local streets / Private Accessways	Thirty (30) feet (20 feet -Back of Sidewalk) Open projections may project no closer than 10 feet from back of sidewalk.
<u>Side Yard</u>	
Interior	Residential: Five (5) feet; Min., combined Ten (10) feet. <i>- Except for Lots 9 – 15 and 52 – 61 as depicted on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2) which are required Five (5) feet min.; combined Fifteen (15) feet.</i>
Street	Ten (10) feet
Rear yard	Twenty (20) feet
<b>LOT COVERAGE</b>	
Maximum lot coverage (Residential)	35%
Method of calculating maximum residential lot coverage permitted for each lot within the overall development shall be based on the following formula,	
Gross Site Area – (Perimeter Right-of-Way + Interior Street Tract) = Net Area	
Net Area (0.35) = X	
X / # of Lots = Maximum Square Foot Area (Building Footprint) Allowed Per Lot.	
<b>RESIDENTIAL DENSITY</b>	
Maximum density	3.15 dwelling units per acre
<b>REQUIRED OPEN SPACE (Refer to Section H.2 AND H.3.G for Additional Design Guidelines)</b>	
15% Min. of Net Area	
<b>STREET STANDARDS</b>	
Public Street or Private Accessway	

<b>LANDSCAPE SETBACKS – STREETScape (Refer to Section H for Landscape Design Guidelines)</b>	
24 <sup>th</sup> Street Landscape setback	Fifty (50) feet minimum width, tract
Vineyard Road Landscaped setback	Average 25', minimum 20' permitted for up to 50% of the frontage.
26 <sup>th</sup> Street Landscape setback	Average 25', minimum 20' for up to 50% of the frontage.
<b>PLANT TYPE</b>	<b>MINIMUM PLANTING SIZE</b>
Trees (average spacing of 20 Feet on center)	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk tree (25% of required trees) Min. 4-inch caliper or multi-trunk tree (25% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree

<b>LANDSCAPE SETBACK - PERIMETER PROPERTY LINES (NOT ADJACENT TO A STREET)</b>	
None	
<b>LANDSCAPE SETBACK – INTERIOR LOCAL STREET / PRIVATE ACCESSWAY</b>	
Six (6) feet minimum between curb and sidewalk	
<b>PLANT TYPE</b>	<b>MINIMUM PLANTING SIZE</b>
Trees ( <i>average spacing equal to residential lot width in internal local streets</i> )	Min. 2-inch caliper (60% of required trees) Min. 1-inch caliper (40% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree

## 2. Signs.

The following standards are intended to permit only signs which are attractive, low in profile, and consistent with the agricultural and rural character of the PUD District theme elements. Signs for residential development shall be governed by the regulations of Section 705 applicable to residential uses of residential property except as modified below. Signs which are not visible beyond the boundaries or the lot or parcel upon which they are situated shall not be regulated as signs.

As required by the Baseline Area Overlay District, Ground-mounted monument signs for single-family residential developments incorporated into the entry features are permitted provided they not exceed five (5) feet in height and twelve (12) square feet in sign area or two signs on either side with a maximum sign area of eight (8) square feet each. Signs a maximum of eight (8) feet in height may be permitted through design review approval.

As a “Design Presumption” of the Baseline Area Overlay District, natural materials such as wood and stone, or materials that give the appearance of wood or stone should be incorporated into the sign construction. Any proposal to deviate from this guideline shall be considered as a request to overcome a design presumption requiring approval from the Planning and Development Department per Section 507 of the Zoning Ordinance.

1. Prohibited signs.
  - a. Outdoor advertising/off-premises signs.

- b. Backlit awnings with or without sign copy.
- c. Balloons and banners adjacent to multiple-use trails.
- d. Roof-mounted signs.
- e. Multiple tenant identification ground signs identifying more than one tenant.
- f. Signs which move, rotate, flash, automatically or manually change copy, or simulate movement.
- g. Pole Signs

**3. Parking.**

Parking standards for the entirety of the site will be in compliance with all regulations and provisions of Section 702 of the Zoning Ordinance.

**H. Design Guidelines and Standards.**

The design guidelines and standards contained in this section reflect the desired goals and policies for development in this PUD District. The intent of the guidelines and standards is to encourage new development in the district which is consistent with the character of the context area and to maintain consistency with the applicable standards and guidelines of the Baseline Area Overlay District. The City’s general design review guidelines of Section 507 Tab A of the Phoenix Zoning Ordinance shall apply to development in this PUD District to the extent they do not conflict with the following standards. All development in this PUD District is subject to Site Plan Review.

**1. Fences and walls.**

a. Perimeter Fences and Walls

Per the Baseline Area Overlay District residential design guidelines, an established “Design Presumption” states open fencing (wrought iron, split rail or farm fencing) should be used for perimeter walls. Chainlink, barbed wire and chicken wire fencing are not permitted. Fencing shall be considered open if a minimum of sixty percent is open, excluding pillars and piers. The proposal to deviate from this guideline as described below shall be considered as a future request to overcome a design presumption, requiring approval from the Planning and Development Department per Section 507 of the Zoning Ordinance.

As result of contextual conditions and input received by immediate neighbors of the Arbors PUD, solid walls are proposed along project perimeters for the residential development plan and may vary in height with the maximum height not to exceed eight (8) feet and as depicted for those areas indicated on the following **Figure 8, Wall / Fence Plan**, expressing minimum height walls which shall maintain existing constructed walls or include new wall construction with minimum walls heights of six (6), seven (7) or eight (8) feet above finished grade. In addition, the provision for retaining wall heights, as defined by the Phoenix Zoning Ordinance shall apply.

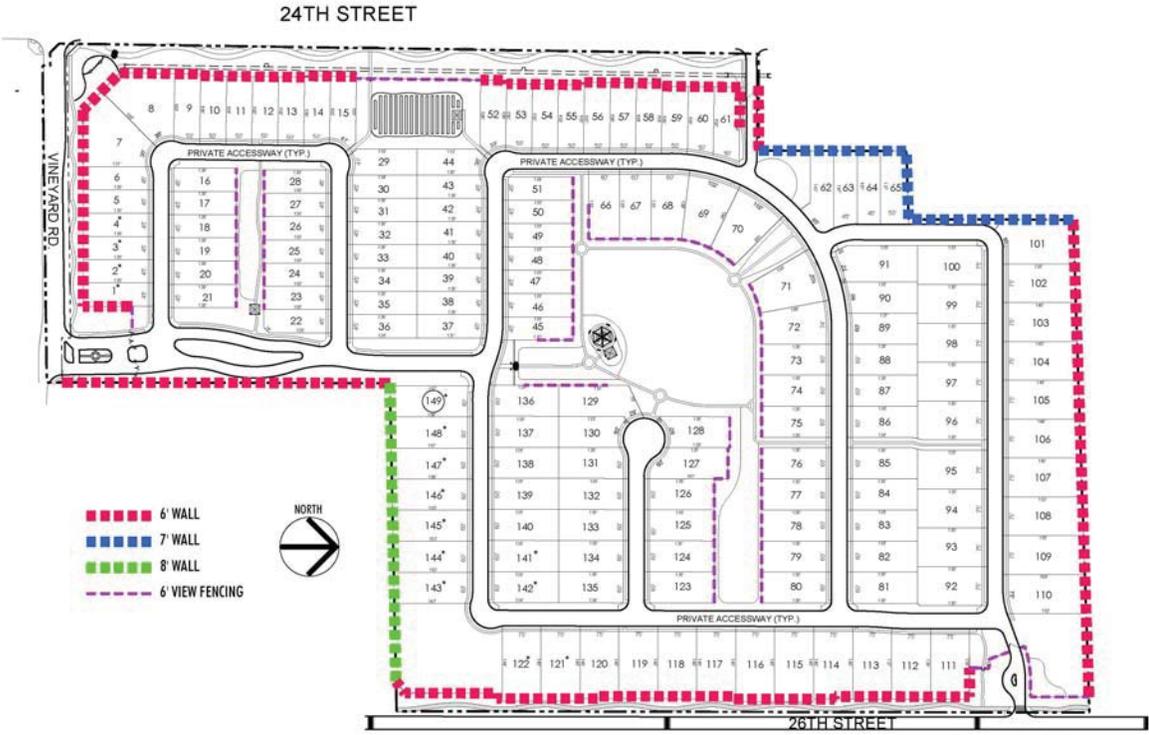
The alignment of perimeter walls or view fencing shall vary by a minimum of three feet every three-hundred lineal feet to visually reflect a meandering or staggered appearance; or design features should be used to break up the appearance of a long, straight wall or fence. Such design features may include planters, pilasters or dense landscaping adjacent to the wall or fence.

Vines or shrubs shall be provided and maintained along the exterior of all solid perimeter fencing. Vines or shrubs shall be a minimum of five-gallon size and cover a minimum of fifty percent of the wall within two years of planting. Shrubs shall be of varying heights and

pruned for the health of the plant and not shaped (no topiary pruning). Where decorative walls are provided, the amount of coverage may be reduced to twenty-five percent.

The following wall materials shall be permitted for perimeter and theme wall design. A combination of at least two of the following elements shall be included in the final wall design,

- Concrete block with Stucco finish (painted)
- Decorative concrete block (split-faced or scored) which are integral color or painted.
- Accent stone (field stone)
- Pre-cast concrete accents (cap or trim elements)



**Figure 8 –Wall / Fence Plan**

b. Internal Fences and Walls

Also depicted on Figure 8 - Wall / Fence plan, internal home lots which are oriented along primary open space areas within the project will be provided with view fence (minimum 4-foot vertical dimension being open) along rear or side yards as suitable to allow for visual enjoyment and security of the open spaces areas.

Visible wall return sections and gates which occur between homes and shall be constructed of 6-foot tall decorative Vinyl (picket or semi-private style) fencing. This fencing shall be visible between homes along the internal streetscape. An example of an appropriate fence style is depicted below



**Semi-Private 6-foot tall Vinyl Fence Example**

## **2. Open Space & Pedestrian Connectivity Standards.**

- a. A minimum of fifteen (15) percent of the net site area of the residential development, not including perimeter landscaping tracts, shall be set aside as open space. A minimum of five (5) percent of the required open space shall be common area for residents.
- b. A primary common area for residents shall be centrally located.
- c. Required open space may be used for storm water retention.
- d. No single-family residential home shall exceed a maximum walking distance of 500-feet to an internal open area or access path connection.
- e. 24<sup>th</sup> Street Multi-Use Trail Connectivity: The Arbors development shall provide a minimum of three trail connection points which are not to be spaced in excess of 800-feet apart.
- f. Passageway tracts between homes (subdivision walls) provided for pedestrian pathway connections shall be a minimum of 15-feet wide and shall be visually unobstructed and accessible from the adjacent street.

## **3. Landscape Standards.**

Thoughtful design ideals begin with the understanding of “Place”. The South Mountain Village area that was once sprawling orchards, nursery farms and flower gardens has been developed over time into a well-established community in south Phoenix. This Village area has become an enclave of unique neighborhoods with varying lot sizes and architectural styles and characteristics, and has a common thread of the remaining stands of agricultural elements throughout isolated areas. As part of the development of this project, an important goal is to create a sense of “place” that compliments the area and showcases sustainable and contextually compatible landscape design elements envisioned within mixed use agricultural development areas. With the implementation of these standards, this PUD shall ensure continuity with the special character of this unique segment of the South Mountain Village community. Additional provisions for the preservation and utilization of the existing mature landscape materials, and re-vegetation, where feasible, are also encouraged.

A design element unique to The Arbors project, and inspirational to the project name selection is, the architectural Arbor feature itself. The first of two rustically inspired Arbors is planned to be located along 24<sup>th</sup> Street near the intersection with Vineyard Road. This “public” design element is envisioned to cover a small segment of the new trail along 24<sup>th</sup> Street and be a recognizable iconic element synonymous with the historic use of this project location and

which is enjoyed by the surrounding community on a regular basis. A second Arbor will be constructed within the core (center) of the project as a key design element working to visually frame the project’s large primary internal open space area and further promote the historic use of the property and character of the surrounding area.

a. Permitted Plant Materials

Plant materials in required landscape areas shall be limited to those listed within this PUD plant list (Refer to Appendix B), or their equivalent as approved by the Zoning Administrator. Additionally, the following Tree types listed on the approved PUD and Baseline Area Master Plan plant lists shall serve as the project’s primary “Theme” tree options within the Arbors project and final streetscape designs.

<u>Botanical Name</u>	<u>Common Name</u>
Pistacia Vera	Pistachio
Pistacia Chinensis	Chinese Pistachio
Fraxinus Uhdei	Shamel Ash
Fraxinus Velutina	Arizona Ash
Fraxinus Velutina “Modesto”	Modesto Ash

Any plants listed in the invasive species list in Appendix B of the Sonoran Preserve Edge Treatment Guidelines, Section 507 TAB A3.7 of the Phoenix Zoning Ordinance shall be prohibited in this PUD District.

b. Streetscape - 24<sup>th</sup> Street

The intentionally enlarged project frontage landscape area along 24<sup>th</sup> Street will set the tone for the development’s appearance and character from the public’s vantage point, and differentiate the project from the other nearby residential development visible along 24<sup>th</sup> Street. Mature existing trees combined with new project shade trees, and a mix accent plants and turf area will be provided between the development and the existing roadway to promote an attractive, and distinctive linear park edge treatment creating a comfortable and visually pleasing pedestrian environment in the spirit of “old Phoenix” open space treatments. A 10-foot wide shared use path will be installed along the project’s 24<sup>th</sup> Street frontage envisioned to meander through the landscape area within a public easement and integrally embrace the streetscape design. This new shared use path will serve a dual purpose as trail and a replacement for the existing 5-foot wide attached concrete sidewalk which presently exists along 24<sup>th</sup> Street and is proposed to be removed with development of The Arbors project to further the design character encouraged by the BAOD and MUA Districts

Subtle landscape mounding will be placed adjacent to the trail for added character to the pedestrian experience. Existing mature trees and new shade trees will provide sun and heat protection above the trail corridor and create the first layers of natural screening of direct visibility to the neighborhood within. At the project perimeter wall location, setback a minimum of 50-feet from the roadway right-of-way, a continuous row of oleander shrubs are planned which will be anticipated to grow into a substantial hedge and the final natural layer of visual screening to the neighborhood within. At approximately the mid-point of the Arbors 24<sup>th</sup> Street frontage, the residential perimeter gives way to a large community garden and open space within the Arbors project which will remain visible to the surrounding neighborhood traveling 24<sup>th</sup> Street. Again, this concept echoes similar treatments observed within historic neighborhoods and agriculturally characteristic areas throughout Phoenix. Additionally, the historic irrigation water supply channel which presently exists adjacent to the 24<sup>th</sup> street right-of-way is planned to be relocated further to the east within the streetscape area and remain as a contributing element of the existing agricultural character.

The following Landscape standards shall apply:

- (1) Shade trees (Existing or New) will be spaced at an interval (or average thereof) that is twenty (20) feet on center, and a minimum fifty percent (50%) coverage of shrubs, groundcover or turf area.
- (2) New Shade trees will be specified and planted with a minimum of two (2) inch caliper in accordance with the Arizona Nurseryman's Association Standards. Refer to Section G (Development Standards) of this PUD for additional minimum tree planting size requirements.
- (3) 24<sup>th</sup> Street shall have a ten (10) foot wide detached meandering public trail within a public Trail Easement which is paved or constructed with an alternative surface material as approved by the City of Phoenix Transportation and Parks and Recreation Departments. Mature / healthy trees which exist between the new trail location and existing street curb shall remain.

Refer to **Figure 9, 24<sup>th</sup> Street Streetscape Details** for the typical average street frontage landscaping for 24<sup>th</sup> Street.

c. Streetscape – Vineyard Road

Similar to 24<sup>th</sup> Street, the streetscape landscaping for the project frontage along Vineyard Road will be designed with the sensitivity of community character in mind. Located directly across from open space fairway of the Legacy Golf Course and leading from 24<sup>th</sup> Street to the project main entry location, this stretch of roadway will continue the tone around the project perimeter which is set through the design elements observed upon turning on to Vineyard Road from 24<sup>th</sup> Street. This street frontage will include street theme trees which are to match new trees types to be placed along 24<sup>th</sup> Street which will stagger through a series of rustically designed grapevine trellis sections to again create layers of landscaping which provide distinct character leading to the project entry experience and celebrating the Vineyard Road name. A detached sidewalk is proposed which will meander through the landscaping to allow the street trees. The project perimeter wall facing Vineyard Road and leading to the project primary entry gate shall include a series of accent columns which will include wall-mounted accent lighting per the Lighting Standards section of this PUD.

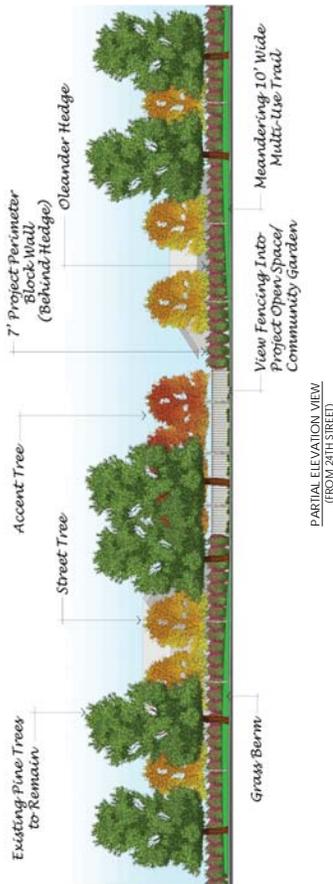
**FIGURE 9**  
24TH STREET  
STREETSCAPE DETAILS

Subject to engineering and City review and approval.

PREPARED BY: WINTER HARBINGER ARCHITECTURE + PLANNING  
DATE: 10/1/15  
PROJECT: 24TH STREET  
SHEET: 1015.5



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PARTIAL PLAN VIEW

PARTIAL ELEVATION VIEW  
(FROM 24TH STREET)

The following landscape standards shall apply:

- (1) Trees will be spaced at twenty (20) feet on center, average, with a supplement of three (3) shrubs per tree, and a minimum fifty percent (50%) coverage of groundcover or turf area.
- (2) Shade trees will be specified and planted with a minimum two (2) inch caliper in accordance with the Arizona Nurseryman's Association Standards.
- (3) Vineyard Road shall have a detached sidewalk a minimum of five (5) feet in width which is separated from the street with a minimum six (6) foot wide landscaped area.
- (4) A minimum of (5) five Grapevine trellis' shall be located along Vineyard Road between 24<sup>th</sup> Street and the project entry. The trellis' shall be placed in a staggered pattern located between the public sidewalk and project perimeter wall.

Refer to **Figure 10, Vineyard Road Streetscape Details** for the typical average street frontage landscaping for Vineyard Road.

d. Streetscape – 26<sup>th</sup> Street

As what may be considered the backside of the project for some, the 26<sup>th</sup> Street frontage will be viewed directly by others who not only travel 26<sup>th</sup> Street on a regular basis but who also live directly east of the project. The 26<sup>th</sup> Street streetscape treatment is considered with the same importance as the perimeter roadways described above, as well as, the residential plan configuration along this project boundary. To create additional buffer area between adjacent properties, the landscape common area requirement along this frontage has been increased from the typically required 15-foot minimum to a 25-foot minimum distance from the street right-of-way line to the project perimeter wall. This increased setback requirement will allow for a denser street landscape plan that otherwise might be experienced on a typical residential local street. This street frontage will include street theme trees which are to match new trees types to be placed along 24<sup>th</sup> Street and Vineyard Road completing the consistent perimeter roadway theme tree plan. Trees will be placed in a staggered array to allow area necessary for the required public shared use path, which is being proposed as detached from the roadway in a natural meandering alignment. The project perimeter wall facing Vineyard Road and leading to the project primary entry gate shall include a series of accent columns which may include wall-mounted accent lights per the Lighting Standards section of this PUD

The following landscape standards shall apply:

- (1) Trees will be spaced at twenty (20) feet on center, average, with a supplement of five (5) shrubs per tree, and a minimum twenty-five percent (25%) coverage of groundcover or turf area.
- (2) Shade trees will be specified and planted with a minimum two (2) inch caliper in accordance with the Arizona Nurseryman's Association Standards.
- (3) 26<sup>th</sup> Street shall have a detached shared use path a minimum of eight (8) feet in width that is separated from the street with minimum six (6) foot wide landscaped area. Unless this requirement is waived by the City of Phoenix Street transportation Director at the urging of the MUA community.

Refer to **Figure 11, 26<sup>th</sup> Street Streetscape Details** for the typical average street frontage landscaping for 26<sup>th</sup> Street.

e. Streetscape – Internal Local Street / Private Accessway Streetscape

The Arbors project will feature an internal private street network along, and east of, 26<sup>th</sup> Street, designed with the City of Phoenix Street calming paved street cross section and detached sidewalks where required to allow for ample opportunity to create an internal street tree program. Each internal street will be bordered by a combination Public Utility / Public Sidewalk Easement. Not only will the proposed design create the opportunity for the

detached sidewalks and landscaping immediately adjacent to the roadway, but it provides added available individual front yard depths which, combined with setback and staggering standards, can significantly contribute to the overall residential street scene character within the project. **Refer to Figure 12, Internal Streetscape Details.**

The following landscape standards shall apply:

- (1) Trees will be spaced at intervals of thirty (30) feet based on a linear dimension.
- (2) Shade trees will be specified and planted with a minimum two (2) inch caliper in accordance with the Arizona Nurseryman's Association Standards.
- (3) Interior streets shall have detached sidewalks a minimum of four (4) feet in width that are separated from the street with minimum six (6) wide foot landscaped areas.

**FIGURE 10**  
VINEYARD ROAD  
STREETSCAPE DETAILS

Subject to engineering and City review and approval.

PREPARED BY FOR DISTRIBUTION: 01/20/21 BY WINTER ANDERSON DESIGN, L.L.C.

Date: 07/11/21 Project No.: 2104



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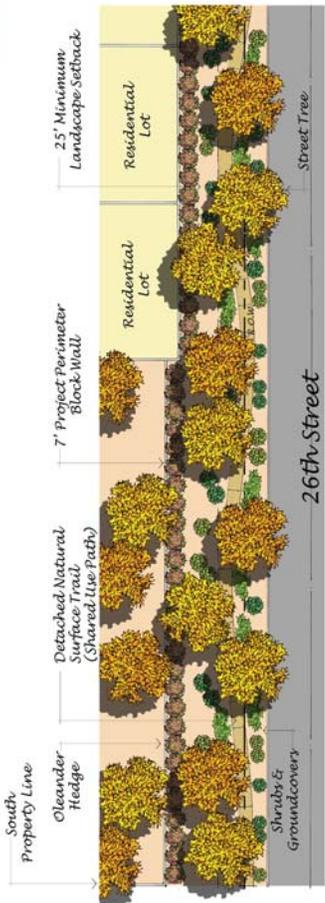
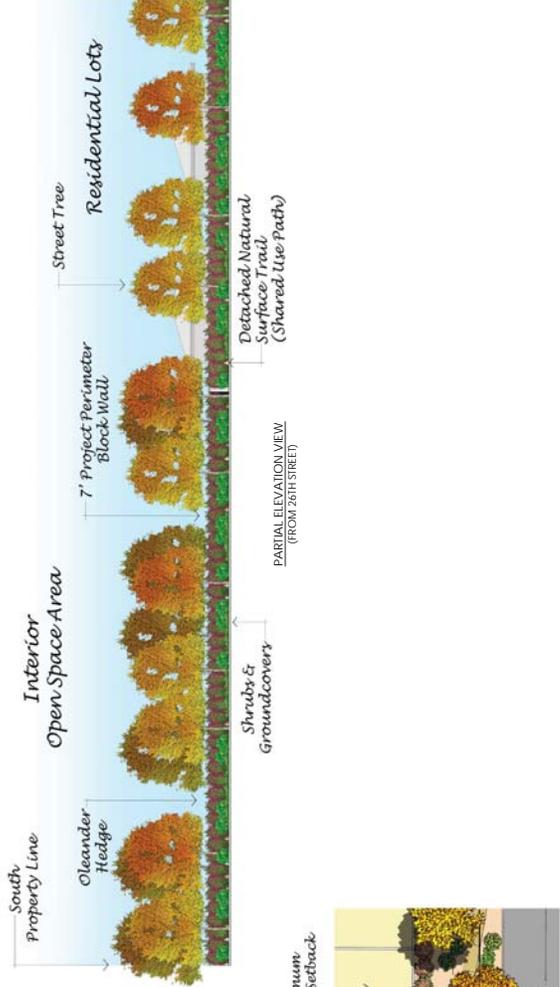


Subject to engineering and City review and approval.

PREPARED BY: WINTER ARCHITECTURE  
DATE: 10/1/15  
PROJECT: 26TH STREET

DESIGNED BY: SUNRISE ENGINEERING  
DATE: 10/1/15  
PROJECT: 26TH STREET

WINTER ARCHITECTURE  
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PARTIAL PLAN VIEW

26th Street



**PLANNED UNIT DEVELOPMENT**  
**FIGURE 12**  
 INTERNAL STREETSCAPE DETAILS

Refer to **Figure 13, Thematic Street Sections** for each proposed perimeter street section detail and the typical internal local street section detail.

f. Project Entries

The Arbors project will feature a primary gated community ingress / egress access location in addition to a set of separated secondary ingress and egress locations. The project access will be located off Vineyard Road and truly be a point of project arrival after traveling along the 24<sup>th</sup> Street and Vineyard Road streetscapes. The landscaping theme will continue to and through the primary project entry and exit gate location creating a continuous and consistent character and feel with median divided, tree-lined entry and exit lanes. Theme trees will be clustered along both sides of the entry corridor and continue onward into the project leading down a divided, tree-lined entry road which terminates on views into the project core internal open space and the second of the two planned iconic Arbor design feature.

Setback over 100-feet from Vineyard Road, the primary entry and exit gate design will incorporate transparent type design using full view wrought iron to allow views into the community, and will include a separate pedestrian access gate. The divided entry and exit gate will also frame a gatehouse structure which has been conceptually designed to resemble a rustic south Phoenix farm inspired building. The use of this element is intended to create a sense of arrival for the project.

The secondary project gated **exit only** lane will be located along 24<sup>th</sup> Street near the northwest corner of the project. This will be a scaled-down version of the primary entry gate and intended for resident use only. The secondary exit will feature a solitary 20-foot wide paved exit lane and identically designed gate as the primary exit. This exit lane will share area with a needed public water and sewer easement tract.

The secondary project gated **entry only** lane will be located along 26<sup>th</sup> Street near the northeast corner of the project. This will be a scaled-down version of the primary exit gate and intended for resident use only. The secondary entry will feature a solitary 20-foot wide paved entry lane and identically designed gate as the primary entry. Street theme trees along 26<sup>th</sup> Street will continue along each side of the secondary entry gate continuing into the project, then blending with the internal street tree network.

The following standards shall apply:

- (1) The Arbors community entry and landscaped open areas located outside project gates between the adjacent roadway and gate locations will incorporate shade tree species to match the adjacent street theme trees.
- (2) The shade trees used in these areas will be a minimum of two (2) inch caliper in accordance with the Arizona Nurseryman's Association Standards.

Refer to **Figure 14, Entry & Arbor Character Details** for the typical internal local street section and additional character details.

g. Common and Retention Areas

In addition to substantial perimeter landscape areas, The Arbors project will feature a series of internal community open spaces anchored by a 4-acre primary active common space within the core area of the project, and will feature a community garden along the 24<sup>th</sup> Street edge.

The ancillary open spaces within the project, which are not generally intended for recreational use, will be primarily utilized for stormwater retention and street buffering along the ends of residential lots. These spaces may be improved with or without turf and will be required to be landscaped in accordance with the standards listed below.

The primary common open space for The Arbors project is centrally located within the community and is accessible from all parts of the internal community. This open space will provide opportunities for the provision of community amenities, as well as both active and passive open space. The provisions of this open space are intended to promote quality of life for residents and enhance the community character. Landscaping within the common space area will include a mix of canopy trees, groundcover, shrubs and active turf areas. The use of the permitted plant materials is intended to identify with the historic agricultural and tree nursery production that was once the primary use of the subject site. The community primary common open space will require the inclusion of the following amenities:

- playground
- shade structure
- seating furniture
- open turf area (minimum 5,000 square feet in area)

**A COMMUNITY GARDEN AMENITY SHALL BE PROVIDED IN** an open space situated along 24<sup>th</sup> Street. This 10,000 square foot (minimum) garden area shall be located behind view fencing and remain visible to the public traveling along 24<sup>th</sup> Street.

The following standards shall apply:

- (1) Open space tract areas, and all common area amenities, within this PUD will be owned, managed and maintained by the land owners (or Home Owners Association) of the community.
- (2) Landscaping within the primary common open space area, will incorporate a mix of shade trees species.
- (3) Trees, shrubs, and groundcover will provide a minimum of fifty percent (50%) live coverage throughout the community open spaces.
- (4) Trees will have a minimum caliper size per of two (2) inch caliper in accordance with the Arizona Nurseryman's Association Standards.

h. General Landscape Requirements

The following items shall be incorporated into all spaces of the site that are developed as landscape areas:

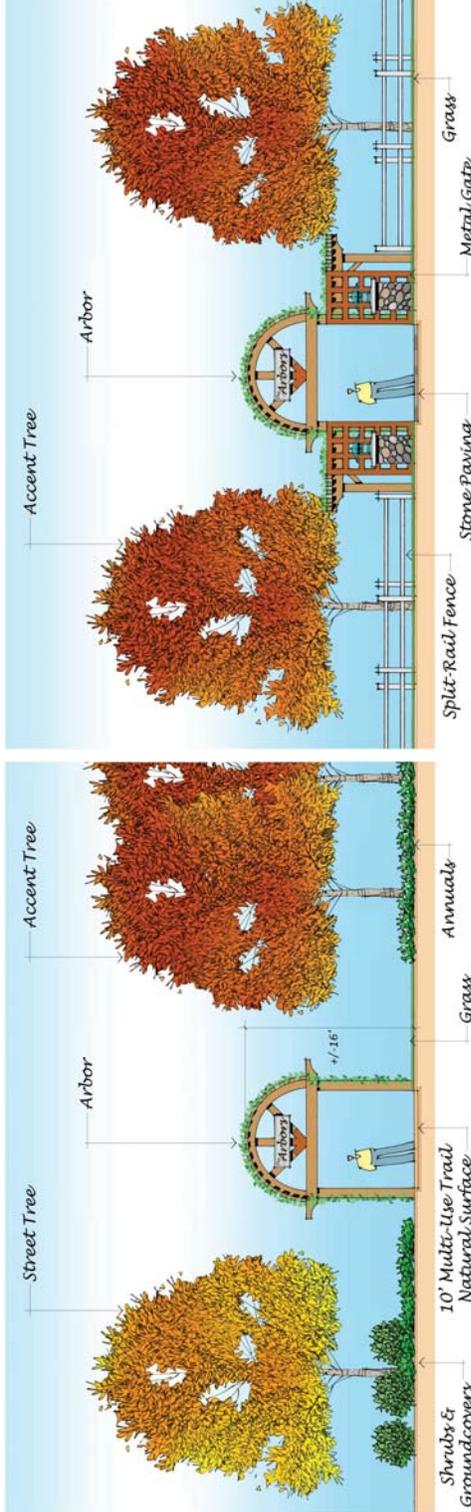
- (1) All landscape areas are to be treated with an appropriate and approved top dressing material for dust control and aesthetic treatment. Material(s) must conform with the approved list of dustproofing materials as defined by the Zoning Ordinance.
- (2) A minimum of fifty percent (50%) of all landscape areas shall be covered with trees, shrubs or groundcover.
- (3) Berms shall not exceed a ratio of four (4): one (1) side slopes.
- (4) Basins shall not exceed a ratio of three (3): one (1) side slopes.
- (5) All landscape areas are to have an automatic irrigation system. Trees, shrubs and groundcover shall be watered by a drip irrigation system and turf areas shall incorporate high efficiency spray heads.

i. Landscape Sustainability

Sustainable landscape and irrigation design practices shall be considered. This project is encouraged to implement items described below with each phase of development.

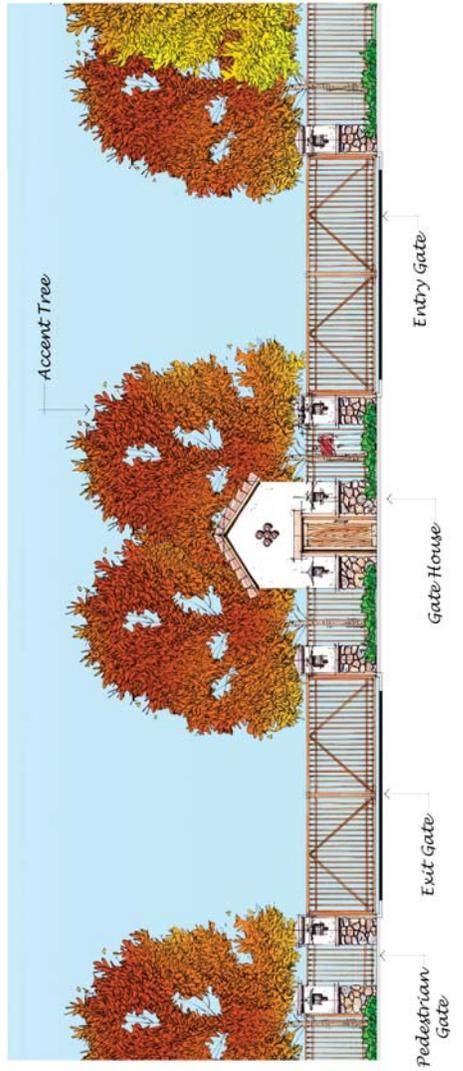
- (1) Capture storm water discharge from the site and re-use for landscape irrigation.
- (2) Utilize "Smart" irrigation control systems.
- (3) Utilize efficient drip irrigation technology.
- (4) Locate plant material in or near storm water drainage swales or basins to maximize water benefit for landscape areas.
- (5) Provide slope stabilizing plant material where appropriate to limit erosion.





Conceptual 24th Street  
Arbor Elevation Looking East

Conceptual Internal  
Private Arbor Elevation



Conceptual Vineyard Street  
Gated Entry



PLANNED UNIT DEVELOPMENT

FIGURE 14  
ENTRY & ARBOR  
CHARACTER DETAILS

Subject to engineering and City review and approval.

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Date: 12/11/15 Project No: 1316.5



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#### 4. Shade

All pedestrian walkways shall be shaded by shade trees as measured at noon on the Summer Solstice with minimum 50% coverage provided at the anticipated full maturity as demonstrated on the landscape improvement plans.

#### 5. Lighting Standards

To promote safety and continuity in design of the fixtures as well as the color and intensity of light, this PUD shall comply with lighting standards as defined within the Environmental Performance Standards and the Guidelines for Design Review Section of the Phoenix Zoning Ordinance except as modified below. Refer to **Figure 15, Lighting Plan** for proposed lighting project lighting locations, and standards below for specific lighting requirements.

##### a) Landscape/Accent Lighting

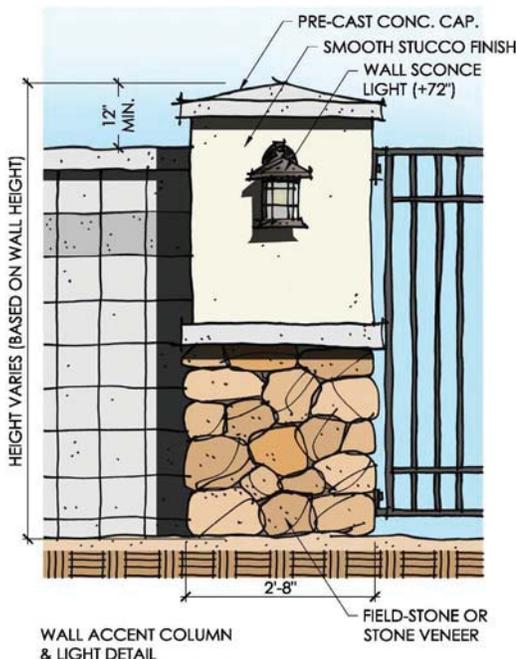
The Preliminary Landscape Plan and Landscape Construction documents for each phase of development within this PUD may promote landscape and accent lighting in accordance with the following:

- (1) Select landscape features, specimen trees and directional signage will be highlighted throughout the project with “up-light” and/or floodlight fixtures.
- (2) Lighting shall emphasize the project theme, informational and dramatic elements within the landscape (monument signs, groups of trees, pedestrian passageways, gathering structures, shrubs and architectural features) rather than uniform, flat lighting of the entire development. Refer to Figure 15, Lighting Plan.
- (3) Special attention may be given to lighting the project entries, amenities and building entries.

##### b) Wall Lighting

Wall (sconce) accent lighting shall be permitted at project perimeter wall accent columns and entry areas as illustrated on Figure 15, Lighting Plan and the Wall Accent Column & Light Detail below.

Wall / Sconce Light Specification: “Kichler - Town Light” Model 49620Z, Old Bronze Color. An alternate fixture type of similar design character **WHICH CONTRIBUTES TO A RURAL OR AGRARIAN ATMOSPHERE** may be used upon approval by the City of Phoenix Planning Hearing Officer.



Kichler Town Light (wall sconce)



# PLANNED UNIT DEVELOPMENT

## FIGURE 15 CONCEPTUAL LIGHTING PLAN

Subject to engineering and City review and approval.

APPROX. SCALE: 1" = 200'

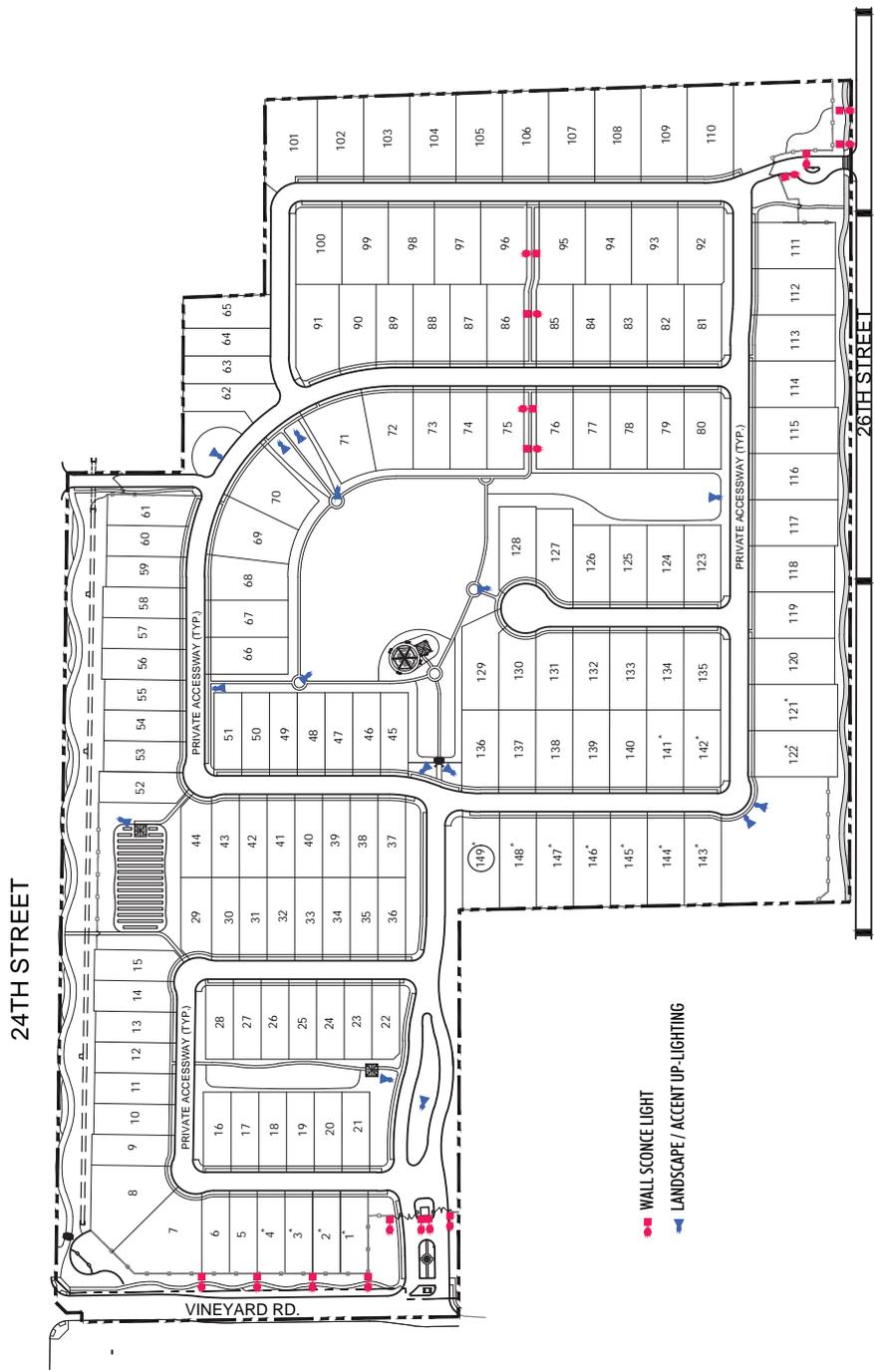


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- WALL SCONCE LIGHT
- ▲ LANDSCAPE / ACCENT UP-LIGHTING

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**6. City Administered Design Guidelines**

Development within this PUD area will be required to comply with all Design Guidelines as defined within Development Review Section of the Phoenix Zoning Ordinance.

**7. Sustainability Guidelines**

This PUD should be a development that recognizes the trend to incorporate sustainable development practices where feasible. The concept of sustainability recognizes that projects should seek to integrate within, and conform to the character, of the existing community. The South Mountain Village and immediately surrounding neighborhoods have a rich history of agriculture that is still prevalent throughout the surrounding community. The Arbors project will seek to recognize character components borrowed from historic rural agrarian elements. In addition, more modern sustainability practices can be implemented throughout the project through consideration of all of the following items with the required direct application of a minimum of four (4) enforceable items listed below, two of which are required as noted by an “(R)”

- a) Implement a community garden within the PUD which provides fruits and/or vegetables for community members. To be enforced through review and approval of future site plan and landscape construction documents and field inspection. **(R)**
- b) Retain the open irrigation ditch along 24<sup>th</sup> Street. **(R)**
- c) Design for effective water usage and conservation methods in buildings by using low flow plumbing fixtures using minimal amounts of potable water. To be enforced through future review and permitting of building plans and building construction inspecting.
- d) Incorporate “Smart” irrigation control systems into the design and development of the development open spaces. To be enforced through review and permitting of future landscape and irrigation construction documents and field inspection.
- e) Design for effective use of energy efficient appliances and HVAC systems by demonstrating reductions in on-going power consumption building designs. To be enforced through future review and permitting of building plans and energy compliance reporting, and building construction inspecting.
- f) Utilize LED type light fixtures for common area or street lighting. To be enforced through review and approval of lighting construction documents and field inspection.
- g) Building designs should respond to the harsh southwest climate by incorporating materials and design and building insulating methods suitable for the region.
- h) Use recycled and/or salvaged, non-hazardous, construction and demolition materials. Develop and implement a construction waste management plan to identify the materials to be diverted from disposal and whether the materials will be sorted on-site or comingled.
- i) Coordinate with Salt River Project for the extension and use of SRP surface water as may be feasible to irrigate the central open space turf area.

**8. Baseline Area Overlay District Standards**

In addition to the standards and design guidelines contained within this PUD, **ALL OF** the standards and guidelines contained in the Baseline Area Overlay District shall be applicable **INCLUDING THE FOLLOWING,**

- a) All single-family developments (regardless of lot width) shall be subject to the single-family design review guidelines found in Section 507 Tab A of the Zoning Ordinance.
- b) Residential developments shall have primary entry features that incorporate landscaping with the entry sign. The landscaping should be a minimum of two hundred fifty square feet held in a common tract, planted, and maintained with a variety of at least three plant materials including a series of annuals that will each maintain a constant bloom throughout the year. The landscaped area may be split into two one hundred twenty-five square feet areas where two signs are provided.

- c) There shall be a minimum is ten-foot spacing between each single-family home unless the homes are attached. Any walls or fencing shall be placed a minimum of five (5) feet back from the front plane of the home.
- d) Front yard setback lines shall be staggered to allow a range of six feet offset with a minimum variation of two feet increments from house to house.
- e) Alternative garage locations (i.e. side-loaded garages) shall be provided for ten percent of the homes in the development.
- f) Covered porches a minimum of sixty (60) square feet in area at a depth of at least six (6) feet shall be provided in the front yard of fifty percent of the homes in a subdivision. No porch shall terminate within the plane of a door or window.
- g) A common open space tract should be visible from the entry of the development.
- h) Where a common open space is provided, fifty percent of the homes along the perimeter of the open space should be oriented toward the open space. For purposes of this PUD, home lots which border open space along a rear or side yard may construct view fencing (per Figure 8 – Wall/Fence Plan) adjacent to open space areas to comply with this requirement. View fencing shall be minimum 5-foot tall open fence over 1-foot base wall.
- i) Medians. The following design guidelines shall apply to all medians on private streets or privately owned median tracts:
  - 1) Medians should contain a variety of plant materials and trees.
  - 2) Medians provided on private streets should be a minimum of ten feet in width.

**9. Residential Driveway Standard** (Note: This is not a standard requirement of any base or overlay district in the City of Phoenix).

All individual residence driveways shall be constructed of a decorative brick or concrete paver surface. Paver style and color options should vary between neighboring residences. The following paver character images serve as an example of the types of unique driveway treatments required within The Arbors PUD.



Rationale: Alternative driveway treatments will set The Arbors apart from other residential neighborhoods within the South Mountain Village and contribute to a unique streetscape.

**10. Architectural Design Guidelines**

The planned Arbors Neighborhood, located within a portion of the historic Bartlett-Heard Lands subdivision (portions of parcels 8, 9, 10, 12 and 13) subdivided in 1927, and within the later established South Mountain village area of Phoenix is situated in a unique context representative of the transitional division and land use within the area. The Bartlett-Heard Lands Plat established large agricultural lots generally south of the San Francisco Canal, north of the Vineyard Road alignment (half section alignment), west of the 16<sup>th</sup> Street alignment and west of the 48<sup>th</sup> Street alignment. While much of the original agricultural land use remains

today, the majority of the original subdivision has been further subdivided and land use has transitioned with the growth of the Phoenix City Center. To the immediate west of 24<sup>th</sup> Street the Del Monte (original Bartlett-Heard Lands parcels 4 and 5) and Jade Park (original Bartlett Heard Lands Parcel 6) were subdivided creating average lot sizes of 6000 square feet in 1955 and 1958, respectively.<sup>1</sup>

Acknowledging the importance of community compatibility, and with respect to the original Bartlett-Heard Lands plat and the establishment of the original land use for this geographic area of Phoenix, the Architectural Design Guidelines for the Arbors development contained in this section are provided to encourage a community architectural design theme which respects elements, materials and color schemes expected to be representative of traditional form and character affiliated with the Bartlett-Heard Lands. The Arbors planned neighborhood design strives to promote a transitional subdivision pattern which recognizes the transitional patterns established in years past while looking to the future with a recognition of the stature of Phoenix within regional, national and global context. By implementation of the following guidelines, homes within The Arbors community will be designed with a theme expected to build upon the traditional agrarian character in which the project strives to achieve.

Prior to Preliminary Site Plan Approval for The Arbors, architectural elevations are to be prepared for each of the homes to be offered within each of the three parcel sizes. The architectural elevations will be presented to the South Mountain Village Planning Committee for review and comment regarding the implementation of the standards defined below.

a) Architectural Style

The Arbors following architectural styles are to be represented within the completed neighborhood as indicated below:

- 1) Farmhouse <sup>(1) (2)</sup>
- 2) Craftsman <sup>(2)</sup>
- 3) Ranch Adobe <sup>(3)</sup>
- 4) Western Cottage <sup>(3)</sup>
- 5) Western Prairie <sup>(3)</sup>

(1) Required architectural style for neighborhood entry, wall details, hardscape, and lighting details.

(2) Require architectural style for homes in The Arbors Neighborhood.

(3) Option architectural style for homes in The Arbors Neighborhood.

b) Architectural Form

As described above, The Arbors will strive to provide architecture styling reminiscent of farmhouse, craftsman and other defined styles to promote architectural diversity. Much of this will be achieved through the architectural detailing applied to the future homes. Homes styles are encouraged to include covered porches, pitched roofs and traditional detailing which are synonymous with these styles.

---

<sup>1</sup> Bartlett-Heard Lands, A subdivision of parts of sections 25, 26, 27, 34,35 and 36 – T1NR3E and section 30 – T1NR4E Maricopa County Arizona. 1927. Recorded plat on file with Maricopa County Clerk.

Del Monte Plaza, A subdivision of parts of Lots 4 & 5, Bartlett-Heard Lands situated in Sections 27 &34 – T1NR3E G&SR B&M, Maricopa County Arizona. 1955. Recorded plat on file with Maricopa County Clerk.

Jade Park, A subdivision of Lot 6, Bartlett-Heard Lands situated in Section 34 – T1NR3E G&SR B&M, Maricopa County Arizona. 1958. Recorded plat on file with Maricopa County Clerk.

In addition to the Baseline Area Overlay District residential design guidelines included in this narrative, the architectural design guideline elements items listed below are provided to further promote the desired project theming for The Arbors.

1. Pitched roofs shall be provided for homes and are encouraged to include multiple roof planes.
2. Barrel tile and flat tile, masonry or composite masonry roof materials are encouraged.
3. Overhanging wooden eaves with exposed rafters are encouraged.
4. Decorative wooden columns are encouraged at covered front porch and home entry overhangs.
5. Windows in homes shall be either divided lite with mullion forms being responsive to the defined architectural styles.
6. Covered front porch or other exterior spaces shall be defined by additional detailing which may include hand-railing, decorative columns, wood trim accents or other architectural features.
7. Garage doors shall include divided lite windows or decorative paneling detailing which promotes proportions consistent with the home front elevation.
8. Finished floor elevations for homes inclusive of a front porch should be raised above the predominant lot grade to encourage a “step up” to the front porch of six inches or greater.

c) Materials

The following building materials, and proportional use of the materials, should be incorporated into residential home elevations:

1. Board and Batten;
2. Clapboard siding;
3. Exposed wood / timbers
4. Adobe style finish
5. Field stone or stone veneer
6. Stucco (not to exceed 70% of the exterior wall surface)
7. Flat, masonry roof tiles with diversity of tones
8. Barrel, masonry roof tiles with diversity of tones

d) Colors

To provide additional design character and to encourage diversity, The Arbors community shall adhere to a color program which incorporates an array of traditional colors promoting a lively agrarian neighborhood theme, and in addition discourage only the use of standard earth-tone desert shades which have become commonly overused in planned residential communities. Proposed color schemes should include yellows, greens, browns, reds and other colors which may add to the unique character sought for The Arbors while managing the spectrum of tones.



*Sample color types representative of the use of color included within The Arbors community home architecture.*

The Arbors project shall incorporate a minimum of six (6) residential paint color schemes which shall be available to home buyers.

## 11. Infrastructure Standards

### a. Circulation System

Street classifications of the roadway network adjacent to the PUD area were determined according to the current *City of Phoenix Street Classification Map*. 24<sup>th</sup> Street is classified as an arterial roadway and is presently constructed to its ultimate improved width. There are no street classifications indicated for Vineyard Road or 26<sup>th</sup> Street adjacent to the project area indicating these are considered local streets. Vineyard Road however does maintain a collector roadway classification west of 24<sup>th</sup> Street and is presently misaligned with the Vineyard Road intersection located east of 24<sup>th</sup> Street.

The proposed development anticipates adequate dedication as needed along the project south boundary to shift the alignment of adjacent Vineyard Road into a corrected intersection condition with 24<sup>th</sup> Street. The project will construct half street paving, curb, gutter and detached sidewalk along the project side of Vineyard Road and provide an additional sidewalk easement area as needed to accommodate the proposed detached sidewalk.

The project will provide 25-foot half street right-of-way dedication for the west half of 26<sup>th</sup> Street which borders the project and will construct half street paving, curb, gutter and detached shared use path along 26<sup>th</sup> Street and provide an additional easement area as needed to accommodate the proposed detached shared use path alignment.

### b. Storm water/Grading and Drainage

The parcel of land allotted for this subdivision has historically been used for agricultural purposes. The only existing structures on the site are related to irrigation on site. The natural terrain generally slopes from the south to the north at approximately 0.90 percent.

The existing offsite street runoffs are collected by an existing public storm drain system. The flows are conveyed to low points, where existing culverts carry the flow under the road into the storm drain system. Onsite drainage will involve collecting all flows, originating on the property, in retention basins which will be sized accordingly. The retention provided will be the difference between pre-development and post-development runoff for the 100-year, 2-hour storm.

Floodplain: The site is located within Zone X (shaded) on the Flood Insurance Rate Map (FIRM); FIRM Map 04013C2220L, October 16, 2013. Zone X (shaded) is defined by FEMA as:

“Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than one foot or with drainage areas less than one square mile; and areas protected by levees from 1% annual chance flood.”

### c. Water

There is an existing 12” water main in 24th Street and existing 6” water main in 26th Street. This development will create a looped system by connecting to the existing 12" main in 24th Street through a tract near the northwest corner of the development, route through the interior roadway network and connect to the existing 6" main in 26th street at two (2) connection points. The first connection will be at the northeast corner of the development and the second will be at the south end of the development near 26th Street & Vineyard Road.

### d. Wastewater

There is an existing 12" sewer main in 24th Street. This main is not deep enough to connect and gravity feed. This development will gravity flow to the northeast and construct a main in 26th Street connecting to an existing 36" sewer main in Southern Avenue.

e. Dry Utilities

The project site will be served by SRP (power), Century Link Communications (telephone), Cox (cable) and Southwest Gas (natural gas).

f. SRP Irrigation

24<sup>th</sup> Street

Salt River Project currently maintains an irrigation water supply along the east side of 24<sup>th</sup> Street south of Vineyard Road and The Arbors project location. This supply line currently extends northerly underneath Vineyard Road to an existing above grade turn-out structure located on the northeast corner of 24<sup>th</sup> Street and Vineyard Road. From this existing irrigation supply turn-out structure location, a privately maintained open irrigation ditch presently exists along 24<sup>th</sup> Street within The Arbors project property ownership area that was previously utilized as irrigation water supply to the subject property. This system will remain and be utilized for irrigation water supply to a private single residential parcel located adjacent to the northwest corner of The Arbors project area along 24<sup>th</sup> Street (APN 122-88-020A).

After preliminary investigations and discussions with Salt River Project Water Engineering staff, The Arbors project proposal to relocate the existing privately maintained open irrigation ditch slightly further to the east and remain as part of the project perimeter landscaped open space buffer area has been deemed acceptable. As part of the roadway alignment shift of Vineyard Road described above in Section 14.a, an extension of underground piping will be provided to the newly proposed origination point of the open irrigation ditch adding to the proposed streetscape character vision along 24<sup>th</sup> Street.

Vineyard Road

In addition to the privately maintained open irrigation supply ditch located along 24<sup>th</sup> Street, the irrigation supply turn-out structure at the northeast corner of 24<sup>th</sup> Street and Vineyard Road also provides irrigation water supply to an existing open irrigation ditch along the north side of Vineyard Road which is located along The Arbors south project boundary. This irrigation supply will be maintained as it presently provides water to properties located to the southeast of The Arbors project boundary (APN 122-88-004 & 122-88-003A). Per discussions with Salt River Project Water Engineering staff the Arbors project anticipates removing the open water supply ditch and installing an underground irrigation water supply connection in its place which will maintain existing irrigation supply to neighboring properties.

# Appendices

## Appendix A: PUD Area Legal Description

# EXHIBIT A

## LEGAL DESCRIPTION

THAT PORTION OF "BARTLETT-HEARD LANDS" AS RECORDED IN BOOK 13, PAGE 35, RECORDS OF MARICOPA COUNTY, ARIZONA LOCATED IN A PORTION OF SECTION 34 AND 35, TOWNSHIP 1 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 10 OF SAID LANDS BEING A "PK" NAIL WITH A BRASS TAG MARKED "LS18436" FROM WHICH THE SOUTHEAST CORNER OF LOT 11 OF SAID LANDS BEARS NORTH 89°13'26" EAST A DISTANCE OF 658.54 FEET AND BEING A 1 INCH IRON PIPE, THENCE SOUTH 89°13'26" WEST ALONG THE SOUTH LINE OF LOT 10, 694.93 FEET TO A POINT ON THE MONUMENT LINE OF 24TH STREET, SAID POINT BEING A CITY OF PHOENIX BRASS CAP IN A HAND HOLE;

THENCE NORTH 00°57'45" EAST ALONG SAID MONUMENT LINE, 33.51 FEET TO AN ANGLE POINT ALONG SAID MONUMENT LINE, BEING A CITY OF PHOENIX BRASS CAP IN A HAND HOLE;

THENCE CONTINUING ALONG SAID MONUMENT LINE NORTH 00°50'39" EAST, 637.79 FEET TO A POINT ON THE WESTERLY PROLONGATION OF THE SOUTH LINE OF LOT 9 OF SAID LANDS;

THENCE CONTINUING ALONG SAID MONUMENT LINE NORTH 00°50'39" EAST, 723.41 FEET TO A POINT ON THE WESTERLY PROLONGATION OF THE SOUTH LINE OF LOT 8 OF SAID LANDS;

THENCE NORTH 89°47'36" EAST ALONG AFOREMENTIONED LINE, 226.84 FEET TO A POINT ON THE WEST LINE OF THE EAST 450.47 FEET OF SAID LOT 8 ACCORDING TO DOCUMENT 2005-0236091 RECORDS OF MARICOPA COUNTY, ARIZONA SAID POINT BEING A #4 REBAR WITH A BRASS TAG MARKED RLS 29272;

THENCE NORTH 00°09'10" EAST ALONG SAID WEST LINE, 284.15 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 317.00 FEET OF SAID LOT 8 ACCORDING TO SAID DOCUMENT 2005-0236091 AND SAID POINT BEING A #4 REBAR WITH A BRASS TAG MARKED RLS 18436;

THENCE NORTH 88°06'01" EAST, 131.92 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE NORTH 317.00 FEET OF SAID LOT 8;

THENCE NORTH 00°09'22" EAST ALONG SAID WEST LINE, 316.81 FEET TO THE NORTH LINE OF SAID LOT 8;

THENCE NORTH 88°09'03" EAST ALONG SAID NORTH LINE TO A 1 INCH IRON PIPE WITH A BRASS TAG MARKED RLS39954 AT THE NORTHWEST CORNER OF SAID LOT 13;

THENCE NORTH 88°05'01" EAST ALONG THE NORTH LINE OF SAID LOT 13, 665.18 FEET TO A "PK" NAIL WITH A BRASS TAG MARKED RLS 41773 AT THE NORTHEAST CORNER OF SAID LOT 13;

THENCE SOUTH 00°06'41" WEST ALONG THE EAST LINE OF SAID LOT 13, 631.79 FEET TO THE A #4 REBAR AT THE NORTHEAST CORNER OF LOT 12 OF SAID LANDS;

THENCE SOUTH 00°06'41" WEST ALONG THE EAST LINE OF SAID LOT 12, 702.821 FEET TO A 3/4 INCH IRON BAR AT THE NORTHEAST CORNER OF LOT 11 OF SAID LANDS;

THENCE SOUTH 88°50'32" WEST ALONG THE NORTH LINE OF SAID LOT 11, 658.32 FEET TO A #4 REBAR AND PLASTIC CAP MARKED RLS 27239 AT THE NORTHEAST CORNER OF SAID LOT 10;

THENCE SOUTH 00°08'11" WEST ALONG THE EAST LINE OF SAID LOT 10, 675.70 FEET TO THE POINT OF BEGINNING.



## Appendix B: PUD Plant List

## PUD Plant List

Trees	
<u>Latin Name</u>	<u>Common Name</u>
Acacia salicina	Willow-leaf Acacia
Bauhinia congesta	Anacacho Orchid Tree
Brachychiton populneus	Bottle Tree
Butia capitata	Jelly Palm
Caesalpinia calacao	Cascalote
Callistemon viminalis	Weeping Bottlebush
Carya Illinoensis*	Pecan
Causarina cunninghamiana	River She Oak
Celtis reticulate	Netleaf Hackberry
Cercidium microphyllum	Foothills Palo Verde
Cercidium praecox	Sonoran Palo Verde, Palo Brea
Cercis Canadensis v. texensis	Texas Redbud
Cercis Canadensis v. Mexicana	Mexican Redbud
Ceratonia silique	Carbo
Chamaerops humilis	Mediterranean Fan Palm
Chilopsis linearis	Desert-willow
Chitalpa tashkentensis	Chipalta
Cordia boissieri	Texas Olive
Dalbergia sissoo	Sissoo Tree
Eucalyptus ssp	Gum, Ironbark, Mallee
Giejera parviflora	Australian Willow
Gledistia triacanthos	Honey Locust
Olea europaea	Olive
Olneya testota	Ironwood
Phoenix canariensis	Canary Island Date Palm
Phoenix dactylifera	Date Palm
Pinus eldarica*	Afghan PineAleppo Pine
Pinus halepensis	Aleppo Pine
Pinus pinea	Italian Stone Pine
Pinus roxburghii	Chir Pine
Pistacia chinensis	Chinese Pistachio
Pistacia vera	Pistachio
Pithecellobium flexicaule	Texas Ebony
Pittosporum phillyraeoides	Willow Pittosporum
Populous fremontii*	Cottonwood
Prosuopis velutina	Mesquite
Quercus virginiana	Southern Live Oak
Rhus lancea	African Sumac
Sophora secundiflora	Mescal Bean
Tipuana tipu	Tipu Tree
Ulmus parviflora	Evergreen Elm
Vitex angus casus	Monk's Pepper, Chaste Tree
Washingtonia Robusta	Mexican Fan Palm
Zizyphus jujuba	Chinese Jujube

<b>Shrubs</b>	
<b><u>Latin Name</u></b>	<b><u>Common Name</u></b>
Abutilon palmeri	Superstition Mallow
Ambrosia trifoliata	Bursage
Anisacanthus quadrifidus	
Artemesia 'Powis Castle'	Powis Castle
Atriplex nummularia	Old Man Salt Bush
Buddleia marrubifolia	Wooly Butterfly Bush
Caesalpinia Mexicana	Mexican Bird of Paradise
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Baja Fairy duster
Callistemon viminalis	Dwarf Bottlebrush
Cassia nemophila	Desert Cassia
Chrysactinia Mexicana	Damianita
Celtis pallida	Desert Hackberry
Convolvulus cnerorum	Bush Morning Glory
Cordia boissieri	Anachuita
Cordia parviflora	Little Leaf Cordia
Dodonaea viscosa	Hopbush
Encelia farenosa	Brittlebush
Ericameria laricidolia	Turpentine Bush
Forestiera neomexicana	Desert Olive
Fraxinus greggii	Little leaf Ash
Fraxinus Uhdei	Shamel Ash
Fraxinus Velutina	Arizona Ash
Fraxinus Velutina "Modesto"	Modesto Ash
Hamelia patens	Fire Brush
Jasminum mesneyi	Primrose Jasmine
Justicia candicens	Red Justicia
Justicia spicigera	Mexican Honeysuckle
Lantana camara	Bush Lantana
Larrea tridentate	Creosote Bush
Leucophyllum laevigatum	Chihuahuan Sage
Lonicera sempervirens	Trumpet Honeysuckle
Nerium oleander	Oleander
Myrtus communis	True Myrtle, Roman Myrtle
Myrtus communis cv. Boetica	Twisted Myrtle
Myrtus communis cv. Compacta	Dwarf Myrtle
Plumbago scandens	Plumbago
Punica granatum	Pomegranate
Pracantha coccinea	Pyracantha
Rhus ovata	Sugarbrush
Rosemarinus officinalis	Rosemary
Rosmarinus spp.	Brush Rosemary
Ruellia peninsularis	Ruellia
Ruellia brittoniana	Britton's Ruellia
Ruellia spp.	Ruellia
Salvia greggii	Autumn Sage
Salbia leucantha	Mexican Bush Sage

Salvia clevelandii	Chapparal Sage
Simmondsia chinensis	Jojoba
Tagetes palmeri	Bush Marigold
Tecoma sp. Orange jubilee	
Tecoma stans	Yellow Bells
Tecomaria capensis	Cape Honeysuckle
Thevetia peruviana	Yellow Oleander
<b>Groundcovers</b>	
<b><u>Latin Name</u></b>	<b><u>Common Name</u></b>
Asparagus densiflorus	Sprenger Asparagus
Baccharis 'Centennial'	
Ephorbia rigida	
Gazania rigens csv.	
Lantana spp.	Lantana
Verbena rigida, tenera	Verbena
Dalea capitate	
Oenothera sp.	Primroses
	Ice Plants
Oenothera berlandieri	Mexican Evening Primrose
Oenothera stubbei	Saltillo Primrose
Rosmarinus officianalis cv. Prostrates	Dwarf Rosemary
Salvia chamaedryoides	Blue Sage
Salvia farinacea	Mealy Cup Sage
Teucrium chamaedrys cv. Prostratum	Germander
Hymenoxys acaulis	Angelita Daisy
Ruellia brittoniana prostrata	
Verbena peruviana	Peruvian Verbena
Wedelia trilobata	Yellow Dot
<b>Vines</b>	
<b><u>Latin Name</u></b>	<b><u>Common Name</u></b>
Antigonon leptopus	Coral Vine, Queen's Wreath
Bougainvillea cvs.	Bougainvillea
Campsis radicans	Common Trumpet Creeper
Mascagnia macroptera	Yellow Orchid Vine
Podranea ricasoliana	Pink Trumpet Vine
Rosa banksiae Alba Plena, Lutea	Lady Bank's Rose
Hardenbergia comptiana	Lilac Vine, Wild Wisteria
<b>Accents/Perennial Wildflowers</b>	
<b><u>Latin Name</u></b>	<b><u>Common Name</u></b>
Aloes	Aloe
Berlandiera lyrata	Chocolate Flower
Gaura lindheimeri	Desert Orchid
Opuntia ficus indica	Indian Fig
Penstemon spp.	Penstemon
Psilostrophe tagetina	Paperflower

Muhlenbergia sp	Deer Grass
Penstemons	
Sphaeralcea spp.	Globe-mallow
Tagetes palmeri (lemmonii)	Mt. Lemmon Marigold
Zephyranthes	Rain Lily

## Appendix C: Definitions

## Definitions

Common Area Open Space: Land within or related to The Arbors, not dedicated for public use, and identified as tracts on a preliminary and final plat, that is designated and intended for the common use or enjoyment of the residents and their guests and may include such complementary structures and improvements as are necessary and appropriate.

Central Open Space: Defined by depiction of the Central Open Space outline as shown on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2).

Community Garden: A community amenity within The Arbors, within the Central Open Space, which promotes community agriculture and resident access to gardening plots. This amenity is to be maintained by the Homeowners Association managed by the Homeowners Association Board of Directors.

24<sup>th</sup> Street Linear Park: A linear open space adjacent to 24<sup>th</sup> Street, intended to promote a minimum fifty (50) foot landscape setback within a tract managed by the Homeowners Association.

## Appendix D: Citizen Participation Efforts and Summary



PLANNED UNIT DEVELOPMENT

**PUBLIC PARTICIPATION**  
**SUMMARY**

PUD Zoning Case # Z-81-15  
General Plan Amendment Case # GPA-SM-1-15-8



PLANNED UNIT DEVELOPMENT

**NEIGHBORHOOD MEETING SUMMARY**

PUD Zoning Case # Z-81-15  
General Plan Amendment Case # GPA-SM-1-15-8

January 15, 2016

Meeting Date: January 7, 2016

December 23, 2015

Dear *Property Owner* or *Neighborhood Association President*:

The purpose of this letter is to inform you that our firm has recently filed a rezoning request and minor General Plan amendment for a 48 acre area of property located at the northeast corner of 24<sup>th</sup> Street & Vineyard Road, rezoning case number Z-81-15 and General Plan amendment case number GPA-SM-1-15-8. We would like to invite you to a neighborhood meeting to discuss these requests and proposed development. This meeting will be held from 6:00-7:00 pm on Thursday, January 7, 2015 at the following location,

South Mountain Community College, Library Room L-163  
7050 S. 24<sup>th</sup> Street  
Phoenix, Arizona 85042

Please be advised that meetings and hearings before the South Mountain Village Planning Committee and the Planning Commission are planned to review this case. Specific meeting and hearing dates have not yet been set. You should receive a second mailing in approximately 4 weeks identifying the date and locations of the meetings / hearings.

You are welcome to attend these meetings to learn about the case and make your opinions known. Please confirm the meeting details with the City of Phoenix Planning and Development Department before attending as they are subject to change. Hearing information may also be found on signs posted on the site and in the Record Reporter. You may also make your feelings known on this case by writing to the City of Phoenix Planning and Development Department, Zoning Division, 200 West Washington Street, 2nd Floor, Phoenix, Arizona 85003 and referencing the case number. Your letter will be made part of the case file.

Attached is a copy of the cover page of our application(s) and the proposed site plan. A copy of the entire PUD Development Narrative containing the complete details of this request is on file with the City of Phoenix Planning and Development Department and available on-line at <http://phoenix.gov/pdd/pz/pzservices/pudcases.html>. The following describes our request:

**Proposed change:** This proposal is to rezone approximately 48 acres of property area to create "The Arbors" residential community. This will require a zoning designation change from MUA (Mixed Use Agricultural) to PUD (Planned Unit Development), as well as, a minor amendment to the City of Phoenix General Plan land use designation for the property. The current City of Phoenix General Plan land use designation for this property is Mixed Use Agricultural. The proposed minor amendment requests a land use designation change to incorporate a blend of MUA (Mixed Use Agriculture) and Traditional Lot Residential.

**Existing use:** The subject development parcels are currently vacant and have never been developed. While the City Council can stipulate to a specific site plan and development standards, we, and all other developers, have the opportunity to file later with the Planning Hearing Officer to amend those conditions through an advertised public hearing process should market conditions or ownership change.

The South Mountain Planning Committee will forward a recommendation to the Planning Commission and City Council after considering testimony from affected parties and reviewing the staff report prepared by the Planning and Development Department. The village planner who will staff this meeting is *Adam Stranieri* and can be reached at (602) 534-5829 or [adam.stranieri@phoenix.gov](mailto:adam.stranieri@phoenix.gov). This planner can answer

your questions regarding the village review and city hearing processes as well as the staff position once their report is complete. You are also urged to contact me or one of my staff at (480) 994-0994 or [abeaudoin@lvadesign.com](mailto:abeaudoin@lvadesign.com) to learn more about the case and express your concerns.

Again, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. You may reach me at (480) 994-0994 or email at [abeaudoin@lvadesign.com](mailto:abeaudoin@lvadesign.com).

A handwritten signature in black ink, appearing to be 'A. Beaudoin', written in a cursive style.

Sincerely,  
Alan Beaudoin,  
Principal

## **1. PUBLIC MEETING INFORMATION**

### **Applicant / Project Team Attendees:**

Scott Ward – Ward Real Estate Development – Developer/Owner Representative

Alan Beaudoin – LVA Urban Design Studio – Land Planner

Ron Harris – LVA Urban Design Studio – Land Planner

Jessi Thornton – Withey Morris – Legal Representative's Land Planner

## **2. PROJECT DESCRIPTION**

This application requests a rezoning from MUA to PUD and a minor General Plan Amendment on approximately 48 gross acres of vacant land north of Vineyard Road and east of 24<sup>th</sup> Street. The request is necessary in order to facilitate a proposal for a single family residential community of 167 homes (3.46 du/ac). The community will be gated with primary access from Vineyard Road and secondary resident-only access from 26<sup>th</sup> Street. It includes common open space with planned community amenities.

## **3. MEETING LOCATION**

As required per Rezoning PUD standards, the applicant hosted a neighborhood meeting to discuss the proposed project with surrounding homeowners and community members. The meeting was held at the South Mountain Community College Library located at 7050 S 24th St, Phoenix, AZ 85042 on Thursday, January 7, 2015 from 6:00-7:00PM.

## **4. NOTIFICATION**

A 600 foot property owner and 1-mile Neighborhood Association notification mailing was completed as required by the City notification process. The attached "Property Owner List" shows the contacted parties. These neighboring parties were all notified of the rezoning application and invited to attend a neighbor meeting Thursday, January 7, 2016 from 6:00pm – 7:30pm at South Mountain Community College's Library. The notifications were sent out on December 23, 2015; 11 working days prior to the meeting. The "Outlined Map of Areas of Notification" is an attached document that shows the 600ft. buffer area and the associated parcels.

## **5. MEETING SUMMARY**

The applicant arrived at the meeting location at 5:30PM to set up exhibit display boards and a sign in/comment card table. Signs were posted in the adjoining facility hallways to direct attendees to the meeting room.

Although only 18 names were provided on the meeting sign-in sheet, provided below, we estimate approximately 30 individuals were in attendance. The meeting was formatted as an open house type setting with seven project exhibit boards placed on easels welcoming neighbors to browse from exhibit to exhibit and have discussion with any of the four project team members present. The majority of neighbors gathered around the Conceptual Development Plan asking various questions related to lot sizes proposed, perimeter wall heights, landscape setbacks, project access and traffic circulation.

The general consensus taken away from the one on one and group discussions which occurred was that of project support, with several complimentary comments made of the project design

and desire to have this vacant parcel of land developed with residential. The primary comment of concern stated by multiple neighbors pertained to traffic generated by the project and the potential for added delays to access 24<sup>th</sup> Street from Vineyard Road during peak hours of travel. The question was asked if a traffic signal would be installed at the intersection of 24<sup>th</sup> Street and Vineyard Road with the development of The Arbors project. A summary of the six comment card responses received as result of the meeting have also been provided below for reference.

NEIGHBORHOOD MEETING SIGN-IN SHEET			
NAME	ADDRESS	PHONE	EMAIL
Ken Cleckner	2626 E. Alta Vista	602-268-2817	<a href="mailto:kencleckner@yahoo.com">kencleckner@yahoo.com</a>
Charles Cleckner	2626 E. Alta Vista	602-268-2817	
Dante & Mary Ann Fierros	2422 E. Glass Ln. Phoenix	602-561-4837	<a href="mailto:maryann@nicholsprecision.com">maryann@nicholsprecision.com</a>
Kay Shepard	2320 E. Baseline Rd. Ste. 48-624	602-432-5745	
Rebecca Larios	5660 S. 9 <sup>th</sup> St.	602-472-6194	<a href="mailto:Becy.larios@gmail.com">Becy.larios@gmail.com</a>
James Muenich	2451 E. Darrel Rd.		<a href="mailto:Jimuenich@cox.net">Jimuenich@cox.net</a>
Bill & Margaret Dickinson	7035 S. 27 <sup>th</sup> Way	602-305-8274	<a href="mailto:wmdickinson@cox.net">wmdickinson@cox.net</a>
Jeff & Michele Miller	6416 S. 26 <sup>th</sup> St.	602-418-7112	<a href="mailto:jeff@mwkfirm.com">jeff@mwkfirm.com</a>
Judy Rollings	2714 E. Carson Rd.	602-331-8455	
Dan Peitzmeyer		602-331-1998	<a href="mailto:Danpeitz@yahoo.com">Danpeitz@yahoo.com</a>
Tamala L Daniels Realty Group		602-688-6327	<a href="mailto:bestofphxliving@gmail.com">bestofphxliving@gmail.com</a>
Dee & Dan Davis	7023 S. 27 <sup>th</sup> Way		<a href="mailto:Drd2484@g.com">Drd2484@g.com</a>
Bev Karst	2711 E. Fremont Rd.		<a href="mailto:Beverlykarst276@gmail.com">Beverlykarst276@gmail.com</a>
Molly O'Neill	2719 E. Darrel Rd.	602-595-7570	<a href="mailto:mollyon@gmail.com">mollyon@gmail.com</a>

## 6. MEETING PARTICIPANT FEEDBACK

COMMENT CARDS RECEIVED				
NAME	ADDRESS	EMAIL	PHONE #	COMMENT
Ken Cleckner	2626 E. Alta Vista	<a href="mailto:kencleckner@yahoo.com">kencleckner@yahoo.com</a>		"Traffic Lights"
Mary Ann Fierros	2422 E. Glass Ln. Phoenix, AZ 85042	<a href="mailto:maryann@nicholsprecision.com">maryann@nicholsprecision.com</a>	602-561-4837	"The proposed plan is an excellent one for the south"

				mountain district! Please do not change it and ensure that it goes through as is and if I can help (as a very invested resident whose property backs directly to this proposed community) in anyway, please let me know!"
Dee & Dan Davis	7023 S. 27 <sup>th</sup> Way	<a href="mailto:Drd2484@g.com">Drd2484@g.com</a>		"Traffic? Landscaping – low water – A2 Trees & Plants
Beverly Karst	2711 E. Fremont Rd.	<a href="mailto:Beverlykarst276@gmail.com">Beverlykarst276@gmail.com</a>	602-268-6023	
Diane Szaniawski	2633 E. Fremont Rd.	<a href="mailto:Itsadryheat@msn.com">Itsadryheat@msn.com</a>	602-232-2312	"Please provide a book for we to share w/ our board – "HOA Fairways at Legacy"
No Name Provided				"Excellent plan. Good luck with development."



PLANNED UNIT DEVELOPMENT

2<sup>nd</sup> NEIGHBORHOOD MEETING - SUMMARY

PUD Zoning Case # Z-81-15  
General Plan Amendment Case # GPA-SM-1-15-8

March 21, 2016

Meeting Date: March 16, 2016

March 2, 2016

Dear *Property Owner* or *Neighborhood Association President*:

The purpose of this follow-up letter is to inform you that our firm has recently filed a rezoning request, rezoning case number Z-81-15, to change the zoning from Mixed Use Agriculture (MUA) to Planned Unit Development (PUD) and a minor General Plan amendment, case number GPA-SM-1-15-8.

We would like to invite you to a second neighborhood meeting to discuss these requests and the proposed development plan.

The meeting will be held per the following,

**Date and Time:**

**Wednesday, March 16, 2016 (7:00–8:00 pm)**

**Location:**

**South Mountain Community College,  
Library Room L162 & L163  
7050 S. 24<sup>th</sup> Street  
Phoenix, Arizona**

A copy of the entire PUD Development Narrative containing the complete details of this request is on file with the City of Phoenix Planning and Development Department and available on-line at <http://phoenix.gov/pdd/pz/pzservices/pudcases.html>. The following describes our request:

**Proposed change:** This proposal is to rezone approximately 48 acres of property area to create “The Arbors” residential community. This will require a zoning designation change from MUA / BAOD (Mixed Use Agricultural / Baseline Area Overlay District) to PUD / BAOD (Planned Unit Development / Baseline Area Overlay District), as well as, a minor amendment to the City of Phoenix General Plan land use designation for the property. The current City of Phoenix General Plan land use designation for this property is Mixed Use Agricultural. The proposed minor amendment requests a land use designation change to incorporate a blend of MUA (Mixed Use Agriculture) and Traditional Lot Residential.

The Arbors development plan has evolved since the first neighborhood meeting was held on January 7<sup>th</sup>. The plan density has been reduced from 167 lots to 164 lots (3.39 dwelling units / acre overall) with an emphasis placed on enlarging the home lots which border 24<sup>th</sup> and 26<sup>th</sup> Streets that will maintain an average of 15-foot spacing between homes. Interior home setbacks are maintained at 20-foot front yard (measured from the street) and 20-foot rear yard with a maximum of 35% lot coverage permitted. Maximum home height permitted will be 30-feet or two-stories with certain home lots designated for single-story only in response comments from our surrounding property owners. The project maintains a total internal open space area of over 8 acres, which equates to approximately 18% of the net site area. In addition the project will include a minimum 50-foot landscape buffer setback along 24<sup>th</sup> Street with enhanced landscaping, a new public trail, and a minimum 25-foot landscape buffer setback along Vineyard Road and 26<sup>th</sup> Street.

**Existing use:** The subject development parcels are currently vacant and were previously utilized as plant and tree nursery. As mentioned above, the current property zoning is MUA / BAOD and current General Plan land use designation is MUA.

Please be advised that meetings and hearings before the South Mountain Village Planning Committee and the Planning Commission are planned to review this case. Specific meeting and hearing dates have not yet been set. You should receive a subsequent mailing identifying the date and location of the meeting / hearings when they have been scheduled.

Please contact me or one of my staff at (480) 994-0994 to learn more about the case and express your comments or concerns. The City of Phoenix Village Planner assigned to this case is *Adam Stranieri* and can be reached at (602) 534-5829 or [adam.stranieri@phoenix.gov](mailto:adam.stranieri@phoenix.gov). This planner can answer your questions regarding the City review and hearing processes as well as the staff position once their report is complete. You are also urged to contact me or one of my staff at (480) 994-0994 or [abeaudoin@lvadesign.com](mailto:abeaudoin@lvadesign.com). You may also make your feelings known on this case by writing to the City of Phoenix Planning and Development Department, 200 West Washington Street, 2<sup>nd</sup> Floor, Phoenix, Arizona 85003 and referring to the case numbers. Your letter will be made part of the case file.

Again, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal. You may reach me at (480) 994-0994 or email at [abeaudoin@lvadesign.com](mailto:abeaudoin@lvadesign.com).

A handwritten signature in black ink, appearing to read 'Alan Beaudoin', with a large, stylized initial 'A' and 'B'.

Sincerely,  
Alan Beaudoin,  
Principal

## **1. PUBLIC MEETING INFORMATION**

### **Applicant / Project Team Attendees:**

Scott Ward – Ward Real Estate Development – Developer/Owner Representative

Alan Beaudoin – LVA Urban Design Studio – Land Planner

Ron Harris – LVA Urban Design Studio – Land Planner

Jessi Thornton – Withey Morris – Legal Representative's Land Planner

## **2. PROJECT DESCRIPTION**

This application requests a rezoning from MUA to PUD and a minor General Plan Amendment on approximately 48 gross acres of vacant land north of Vineyard Road and east of 24<sup>th</sup> Street. The request is necessary in order to facilitate a proposal for a single family residential community of 165 homes (3.42 du/ac). The community will be gated with primary access from Vineyard Road and secondary resident-only access from 26<sup>th</sup> Street. It includes common open space with planned community amenities.

## **3. MEETING LOCATION**

As recommended by City staff and the South Mountain Village Planning Committee, the applicant hosted a second neighborhood meeting to discuss the proposed project with surrounding homeowners and community members. The meeting was held at the South Mountain Community College Library located at 7050 S 24th St, Phoenix, AZ 85042 on Wednesday, March 16, 2016 from 7:00-8:00PM.

## **4. NOTIFICATION**

A 600 foot property owner and 1-mile Neighborhood Association notification mailing was completed as required by the City notification process. The attached "Property Owner List" shows the contacted parties. These neighboring parties were all notified of the rezoning application and invited to attend a 2<sup>nd</sup> neighbor meeting Wednesday, March 16, 2016 from 7:00pm – 8:00pm at South Mountain Community College's Library. The notifications were sent out on March 2, 2016; 10 business days prior to the meeting.

## **5. MEETING SUMMARY**

The applicant arrived at the meeting location at 6:30PM to set up exhibit display boards and a sign in/comment card table. Signs were posted in the adjoining facility hallways to direct attendees to the meeting room.

17 names were provided on the meeting sign-in sheet, provided below, but we estimate approximately 20 individuals were in attendance. The meeting was formatted as an open house type setting with seven project exhibit boards placed on easels welcoming neighbors to browse from exhibit to exhibit and have discussion with any of the four project team members present. The majority of neighbors gathered around the Conceptual Development Plan asking various questions related to lot sizes proposed, perimeter wall heights, landscape setbacks, irrigation, project access and traffic circulation.

An overview was provided to any interested individuals of changes which have occurred to the plan since the time of our first neighborhood meeting. These elements included reduction of

lots, increased lot widths along 24<sup>th</sup> Street, enhanced treatment of 24<sup>th</sup> Street and the community garden placement.

The majority consensus taken away from the one on one and group discussions which occurred was that of project support or non-objection, with again several complimentary comments made of the project design and desire to have this vacant parcel of land developed with residential.

<b>NEIGHBORHOOD MEETING SIGN-IN SHEET</b>			
<b>NAME</b>	<b>ADDRESS</b>	<b>PHONE</b>	<b>EMAIL</b>
Jerry & Josephine Jordan	6033 S. 24 <sup>th</sup> St.	602-276-0137	
Bob Brown	2430 E. Glass Ln.	602-763-1307	
Bill Aqll	6457 S. 23 <sup>rd</sup> Pl.		
Ned Ussher	6462 S. 23 <sup>rd</sup> Pl.		
John Moeller	2732 E. Carson Rd.		
Felipe Salas			
Andrew Cunningham	2020 E. Baseline Rd.		
Tanis Earle	3602 E. Vineyard Rd	602-469-0617	tanis@cox.net
Thom & Sandy Bowden	3232 E. Vineyard Rd.	602-276-5755	Skb5775@gmail.com
Ramesh Somaiya	6401 S. 26 <sup>th</sup> St	480-540-3254	rsomaiya@msn.com
Kathryn & Donald Blumenfeld-Jones	5625 S. 27 <sup>th</sup> Pl.	602-268-6559	<a href="mailto:dbj@asu.edu">dbj@asu.edu</a> corbeau@linuxmail.org
Maria Huerta Salas	6602 S. 23 <sup>rd</sup> St.	623-205-6988	
Kay Shepard		602-432-5745	
Larry Cuzzocrea	3502 E. Vineyard Rd.	602-908-3401	larryc@fcss1.com



## **1. PUBLIC CORRESPONDENCE SUMMARY**

### **1. Phone Calls Received**

1. From – Mary Dempsey (630-301-1466) – December 30, 2015

Comment – Ms. Dempsey lives in the neighboring Legacy community with her lot directly facing The Arbors site. She called to voice her strong support for the proposed development.

2. From – Joanita Davis (602-710-5823) – January 7, 2016

Comment – Mrs. Davis called to voice her concerns about being a retired resident living directly along 24<sup>th</sup> Street across from The Arbors site. She does not drive and would not be able to attend our neighborhood meetings. Her concerns and questions pertained to the proposed building heights, home setbacks from 24<sup>th</sup> Street, effects on air circulation, and impacts to area traffic.

*Applicant Response – After a lengthy discussion with Mrs. Davis explaining the project in more detail and addressing her questions and concerns, she stated that she was now much more comfortable with the proposed development and appreciative of the efforts made by the project team to provide the enlarged buffer area and increased lot depths along 24<sup>th</sup> Street so she would not feel like “tall buildings would be right on top of her”. A follow-up package of exhibits to be displayed in the neighborhood meeting was mailed to her on January 8, 2016.*

### **2. Letters and Emails Received – See Attached**



Ron Harris <[rharris@lvadesign.com](mailto:rharris@lvadesign.com)>

---

**Fw: Versailles, NEC 24th Street and Vineyard**

1 message

---

**Ward Development** <[warddevelopment@yahoo.com](mailto:warddevelopment@yahoo.com)>  
Reply-To: Ward Development <[warddevelopment@yahoo.com](mailto:warddevelopment@yahoo.com)>  
To: Ron Harris <[rharris@lvadesign.com](mailto:rharris@lvadesign.com)>

Fri, Oct 2, 2015 at 3:19 PM

FYI

**Scott F. Ward, Broker**  
Ward Real Estate & Development  
2152 S. Vineyard Suite 123  
Mesa, AZ 85210  
[480-899-4330](tel:480-899-4330) office  
[602-377-6553](tel:602-377-6553) cell

----- Forwarded Message -----

**From:** Patty Mckinstry <[pjmckinstry@q.com](mailto:pjmckinstry@q.com)>  
**To:** Ward Development <[warddevelopment@yahoo.com](mailto:warddevelopment@yahoo.com)>  
**Sent:** Friday, October 2, 2015 11:45 AM  
**Subject:** Re: Versailles, NEC 24th Street and Vineyard

Hello Mr. Ward,  
Thank you for the outreach on your new project Versailles, I'm quite flattered to be remembered by both Mr. Stephenson and Mrs. Shepard as someone who deeply cares about South Phoenix.  
Thank you also for bringing residential development. It is a complex undertaking and I'm sure you're getting plenty of advice from all corners. No meeting necessary. Please accept my best wishes and appreciation for taking the risks of development. Not for the weak of heart!!

Warm regards,

Patty McKinstry

On Oct 2, 2015, at 9:32 AM, Ward Development <[warddevelopment@yahoo.com](mailto:warddevelopment@yahoo.com)> wrote:

Please see attachment.

**Scott F. Ward, Broker**  
Ward Real Estate & Development  
2152 S. Vineyard Suite 123  
Mesa, AZ 85210  
[480-899-4330](tel:480-899-4330) office  
[602-377-6553](tel:602-377-6553) cell



Ron Harris <rharris@lvadesign.com>

---

**Fw: Versailles**

1 message

---

**Ward Development** <warddevelopment@yahoo.com>

Wed, Oct 7, 2015 at 1:56 PM

Reply-To: Ward Development <warddevelopment@yahoo.com>

To: Jason Morris <jason@withemorris.com>, Alan Beaudoin <abeaudoin@lvadesign.com>, Ron Harris <rharris@lvadesign.com>

**Scott F. Ward, Broker**

Ward Real Estate & Development

2152 S. Vineyard Suite 123

Mesa, AZ 85210

480-899-4330 office

602-377-6553 cell

----- Forwarded Message -----

**From:** Jeff Miller <jeff@mwkfirm.com>

**To:** Ward Development <warddevelopment@yahoo.com>

**Sent:** Wednesday, October 7, 2015 12:10 PM

**Subject:** RE: Versailles

Hi Scott—

Thank you for the update. I'll plan to be at the hearing. I have forwarded the attachment to Renz and some of the other neighbors. Renz may contact you directly if he has any concerns I don't address. The addition of an entrance/exit at the northeast corner helps to ameliorate the neighborhood's major traffic concerns as much as possible without an exit onto 24<sup>th</sup> itself. Thank you for that.

I still have three concerns (none of these are new).

One is having adequate documentation in a binding way that single story houses only will be built along my north side. Once you sell the property I don't want to be hearing from the new owner that there wasn't anything to bind them. I accept your word and your intention, but recognize the reality that lots of things can happen when property changes hands. Let's discuss that.

The second is that the new plan (as compared to the currently-approved plan) increases the number of lots on my north. We've discussed possible reduction in the number. While I would strongly prefer that the number of lots be as they exist on the approved plat (so that the development appears to be lower density than it is), I could probably live with lots 56, 57 and 58 being combined into two lots rather than three. Those lots are most visible, even with single story roofs, and are also the greatest potential liability for me from irrigation. I don't care if you pick up the lot somewhere else. Both Renz and I are primarily concerned with the exterior appearance of the development as being lower density.

The third concern is that there be an adequate wall between my property and the development to help prevent irrigation leakage and provide a visual barrier. Again, you have agreed to this, but I don't want to be surprised by a five foot chain link fence later.

With these issues resolved, I can speak in support of the development even at the substantially increased density. I do look forward to ending the graffiti access for local punks by getting something built (we got hit again), but I'm not looking to move and the new development is long term going to decrease my property value. I'm trying to be as reasonable and realistic as I can. Feel free to give me a call.

Jeff

---

**From:** Ward Development [mailto:[warddevelopment@yahoo.com](mailto:warddevelopment@yahoo.com)]

**Sent:** Monday, October 05, 2015 1:46 PM

**To:** Jeff Miller

**Subject:** Versailles

Please see attachment.

***Scott F. Ward, Broker***

Ward Real Estate & Development

2152 S. Vineyard Suite 123

Mesa, AZ 85210

[480-899-4330](tel:480-899-4330) office

[602-377-6553](tel:602-377-6553) cell

Kathleen Shepard  
2320 E Baseline Rd, Ste 148-624  
Phoenix, AZ 85042  
602-276-2592

October 12, 2015

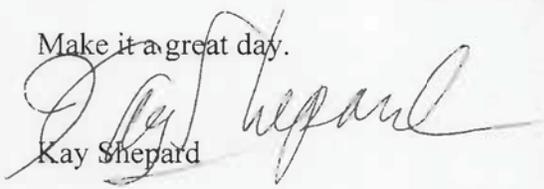
Scott F. Ward, Broker  
Ward Real Estate & Development  
2152 S Vineyard Suite 123  
Mesa, Arizona 85210

Dear Mr. Ward,

This letter is in sport of your revise site plan for the property located on the NEC of Vineyard and 24<sup>th</sup> Street, Phoenix, AZ 85042.

The detached sidewalks, beautiful landscaping far in excess of what is required, keeping the open canal are the main reasons I am supporting this development.

Make it a great day.

  
Kay Shepard



Ron Harris <rharris@lvadesign.com>

---

**Re: 24th St. and Vineyard**

1 message

---

**Alan Beaudoin** <abeaudoin@lvadesign.com>

Wed, Jan 6, 2016 at 1:26 PM

To: Rich Strozewski <rstrozewski@golflegacyresort.com>

Bcc: rharris@lvadesign.com

Thanks you for your comments Rich. It would have been nice to meet you. I will make sure the City of Phoenix is aware of your position. Hope to see you at the public hearings that will follow the meeting tomorrow night. You will get another notice for the dates of those meetings. I appreciate your contact.

On Wed, Jan 6, 2016 at 11:33 AM, Rich Strozewski <rstrozewski@golflegacyresort.com> wrote:

Mr. Beaudoin,

I won't be able to make the meeting tomorrow night regarding your project on 24<sup>th</sup> Street and Vineyard, but I did want to let you know that I think that the plans you have for the spot look excellent. If there is anything I can do to assist you with the project at any point just let me know.

Best of luck at the meeting! Legacy is looking forward to a bunch of new neighbors!

Rich Strozewski

General Manager

*The Legacy Golf Club*

P: (602)305-5550 \*210

C: (602)363-1596

---

**Alan Beaudoin**, chief operating officer, principal

**LVA urban design studio**

abeaudoin@lvadesign.com · 480.994.0994

120 south ash avenue · tempe, arizona 85281 · lvadesign.com



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Ron Harris <rharris@lvadesign.com>

---

**RE: The Arbors - NEC 24th Street & Vineyard Road**

1 message

---

**Ted Szaniawski** <itsadryheat@msn.com>

Thu, Jan 14, 2016 at 11:39 AM

To: Ron Harris <rharris@lvadesign.com>

Cc: alison sanchez <asanchez@cityproperty.com>, Lillian Aiken <lmaiken24@cox.net>, larry jolyn <azjolyn@msn.com>, "jimjulie muenich@cox.net" <jimuenich@cox.net>, Richard Stewart <rdeanstewart@gmail.com>

Ron ---

Thanks so much. I will share this link with our HOA Board Members!!

Best of luck. We look forward to you joining our neighborhood.

Ted Szaniawski

---

From: [rharris@lvadesign.com](mailto:rharris@lvadesign.com)

Date: Wed, 13 Jan 2016 09:40:28 -0700

Subject: The Arbors - NEC 24th Street & Vineyard Road

To: [itsadryheat@msn.com](mailto:itsadryheat@msn.com)

Ms. Szaniawski,

I am writing in response to the comment card you provided at our neighborhood meeting held last Thursday evening for the subject project. You requested a book to share with your community board "HOA Fairways at Legacy".

The following link will take you to the City website and a PDF of the application book. You can view, print or download the document for your reference. Please cut and paste the following in your web browser.

<https://www.phoenix.gov/pddsite/Documents/Z-81-15.pdf>

Please do not hesitate to give me a call if you have any questions.

Very Best...

**Ron Harris**, senior planner

**LVA urban design studio**

[rharris@lvadesign.com](mailto:rharris@lvadesign.com) · 480.994.0994 · c 602.292.4514

120 south ash avenue · tempe, arizona 85281 · [lvadesign.com](http://lvadesign.com)



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January 20, 2016

Mr. George Young  
Chairman South Mountain Village Planning Committee  
Mr. Adam Stranieri  
SMVPC: Planner II  
City of Phoenix  
200 W Washington Street  
Phoenix, AZ 85003

Re: The Arbors

Dear Mr. Young and Mr. Stranieri

My name is Jerry Jordan. I live south of the Southeast corner of S. 24<sup>th</sup> Street and Southern Ave. contiguous to the westside of The Arbors project. I am writing this letter to give my support to The Arbors project. Mr. Ward has done a great job of meeting with the neighbors and listening to their needs. I believe The Arbors will be an improvement to the community and help raise property values in our neighborhood.

Sincerely,

A handwritten signature in cursive script that reads "Jerry Jordan". The signature is written in black ink and is positioned below the word "Sincerely,".

Jerry Jordan

January 22, 2016

Regarding the Arbors Development

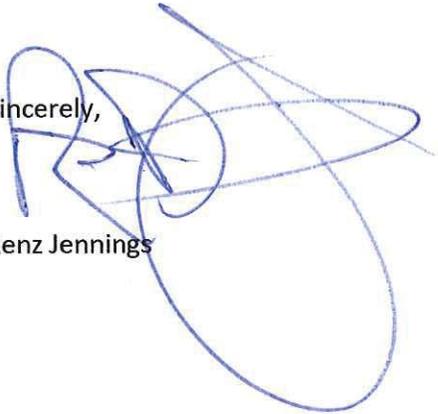
Chairman George Young and Committee Members

As an across the street neighbor of the Arbors Development, I have been asked to write a letter in support of the Application.

With no sign of a developer interested in pursuing the current MUA, and the continuing impact on the neighborhood of a gaping exposure to the West, and a current developer who has made a significant effort to buffer the transition from rural to urban, I support the Application.

Sincerely,

Renz Jennings



January 28, 2016

Mr. George Young  
Chairman South Mountain Village Planning Committee  
Mr. Adam Stranieri  
SMVPC: Planner II  
City of Phoenix  
200 W Washington Street  
Phoenix, AZ 85003

Re: *The Arbors*  
*NEC 24<sup>th</sup> Street and Vineyard*

Dear Mr. Young and Mr. Stranieri

*My name is Roy Somaiya and I live at 6401 S 26<sup>th</sup> Street just east of The Arbors project. I also own the property (5 Acres) just north of The Arbors between 24<sup>th</sup> Street and 26<sup>th</sup> Street on the south side of Southern Avenue. I would like to voice my total support for The Arbors project. Mr. Ward has done an excellent job of meeting with the neighbors and listening to their needs. I believe The Arbors will be an improvement to the community and help raise property values in our neighborhood.*

Sincerely,



Roy Somaiya

Kay Shepard, CPA  
2320 E Baseline Rd Ste 148-624  
Phoenix, AZ 85042

February 17, 2016

Mr. George Young  
Chairman  
South Mountain Village Planning Committee  
City of Phoenix

Scott F. Ward, Broker  
Ward Real Estate & Development  
2152 S Vineyard, Suite 123  
Mesa, Arizona 85210

Dear Mr. Ward and Mr. Young,

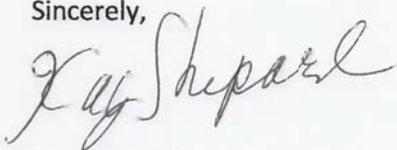
This is a letter of sport for the revised site plan for the property located on the NEC of Vineyard and 24<sup>th</sup> Street, Phoenix, AZ 85042.

Ward Development is to be thanked for all his outreach to the community trying to make sure everyone has been contacted in the neighborhood.

The Arbors subdivision will be one of the best communities in the South Mountain area. The community garden adds a unique amenity that will ensure the residents will know all of their neighbors. The open space far exceeds what the City of Phoenix requires. The sidewalks set back from the curb provide better safety for the people living in the Arbors.

One of the benefits this development is the beautiful landscaping on 24<sup>th</sup> Street, Vineyard and 26<sup>th</sup> Street.

Sincerely,

A handwritten signature in cursive script that reads "Kay Shepard". The signature is written in dark ink and is positioned above the printed name.

Kay Shepard

## Appendix E: PUD Development Standards & Comparison Table

TABLE 2 - PUD DEVELOPMENT STANDARDS & COMPARISON REFERENCE			
ARBORS PUD		MUA	BAOD
<b>MAXIMUM BUILDING OR STRUCTURE HEIGHT</b>			
Two-Stories or Thirty (30) feet – <i>Unless otherwise designated on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2); Twenty (20) feet and one story for lots * designated on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2).</i>		Residential: Thirty (30) feet	Two-Stories not to exceed thirty feet.
<i>A maximum of 50% of Lots 111-122 depicted on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2) WHICH ARE NOT ALREADY DESIGNATED AS ONE-STORY ONLY are permitted to be two-stories or Thirty (30) feet in height.</i>			
<b>BUILDING SETBACKS</b>			
<u>Front Yard</u>			
Arterial/collector streets	Forty (40) feet	Forty (40) feet	50 feet adjacent to Baseline Road. 30 feet adjacent to Dobbins Road.
Local streets / Private Accessways	Thirty (30) feet (20 feet -Back of Sidewalk) Open projections may project no closer than 10 feet from back of sidewalk.	Thirty (30) feet	No Standard
<u>Side Yard</u>			
Interior	Residential: Five (5) feet; Min., combined Ten (10) feet. <i>-Except for Lots 9 – 15 and 52 – 61 as depicted on the Planned Unit Development Site Plan date stamped June 29, 2016 (Figure 2) which are required Five (5) feet min.; combined Fifteen (15) feet.</i>	Fifteen (15) feet	Min. 10 feet spacing between each single family detached home.
Street	Ten (10) feet	Twenty (20) feet	No Standard
Rear yard	Twenty (20) feet	Twenty (20) feet	No Standard
<b>LOT COVERAGE</b>			
Maximum lot coverage (Residential)	35%	35%	No Standard
Method of calculating maximum residential lot coverage permitted for each lot within the overall development shall be based on the following formula,			
<u>Gross Site Area – (Perimeter Right-of-Way + Interior Street Tract) = Net Area</u>			
<u>Net Area (0.35) = X</u>			
<u>X / # of Lots = Maximum Square Foot Area (Building</u>			

Footprint) Allowed Per Lot.			
<b>RESIDENTIAL DENSITY</b>			
Maximum density	3.15 dwelling units per acre	2 units per acre	No Standard
<b>REQUIRED OPEN SPACE (Refer to Section H.2 AND H.3.G for Additional Design Guidelines)</b>			
15% Min. of Net Area		25% Min. of net site area for Office, Commercial or Mixed Use	No Standard
<b>STREET STANDARDS</b>			
Public Street or Private Accessway		No Standard	No Standard

<b>LANDSCAPE SETBACKS – STREETScape (Refer to Section H for Landscape Design Guidelines)</b>			
24 <sup>th</sup> Street Landscape setback	Fifty (50) feet minimum width, tract	Avg. 35' along arterial streets, min. 30'.	No Standard
Vineyard Road Landscaped setback	Average 25', minimum 20' permitted for up to 50% of the frontage.	Avg. 25' along local streets, min. 20'	No Standard
26 <sup>th</sup> Street Landscape setback	Average 25', minimum 20' for up to 50% of the frontage.	Avg. 25' along local streets, min. 20'	No Standard
<b>PLANT TYPE</b>	<b>MINIMUM PLANTING SIZE</b>		
Trees (average spacing of 20 Feet on center)	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk tree (25% of required trees) Min. 4-inch caliper or multi-trunk tree (25% of required trees)	Same as PUD Standards	No Standard
Shrubs	Min. five (5) 5-gallon shrubs per tree		

<b>LANDSCAPE SETBACK - PERIMETER PROPERTY LINES (NOT ADJACENT TO A STREET)</b>			
None		Min. 10-foot	No Standard
<b>LANDSCAPE SETBACK – INTERIOR LOCAL STREET / PRIVATE ACCESSWAY</b>			
Six (6) feet minimum between curb and sidewalk		No Standard	Interior streets shall have detached sidewalks a minimum of four feet in width that are separated from the street with six-foot landscaped areas.
<b>PLANT TYPE</b>	<b>MINIMUM PLANTING SIZE</b>		
Trees ( <i>average spacing equal to</i> )	Min. 2-inch caliper (60% of required trees)	No Standard	<b>ROW OF TREES ON EACH SIDE OF</b>

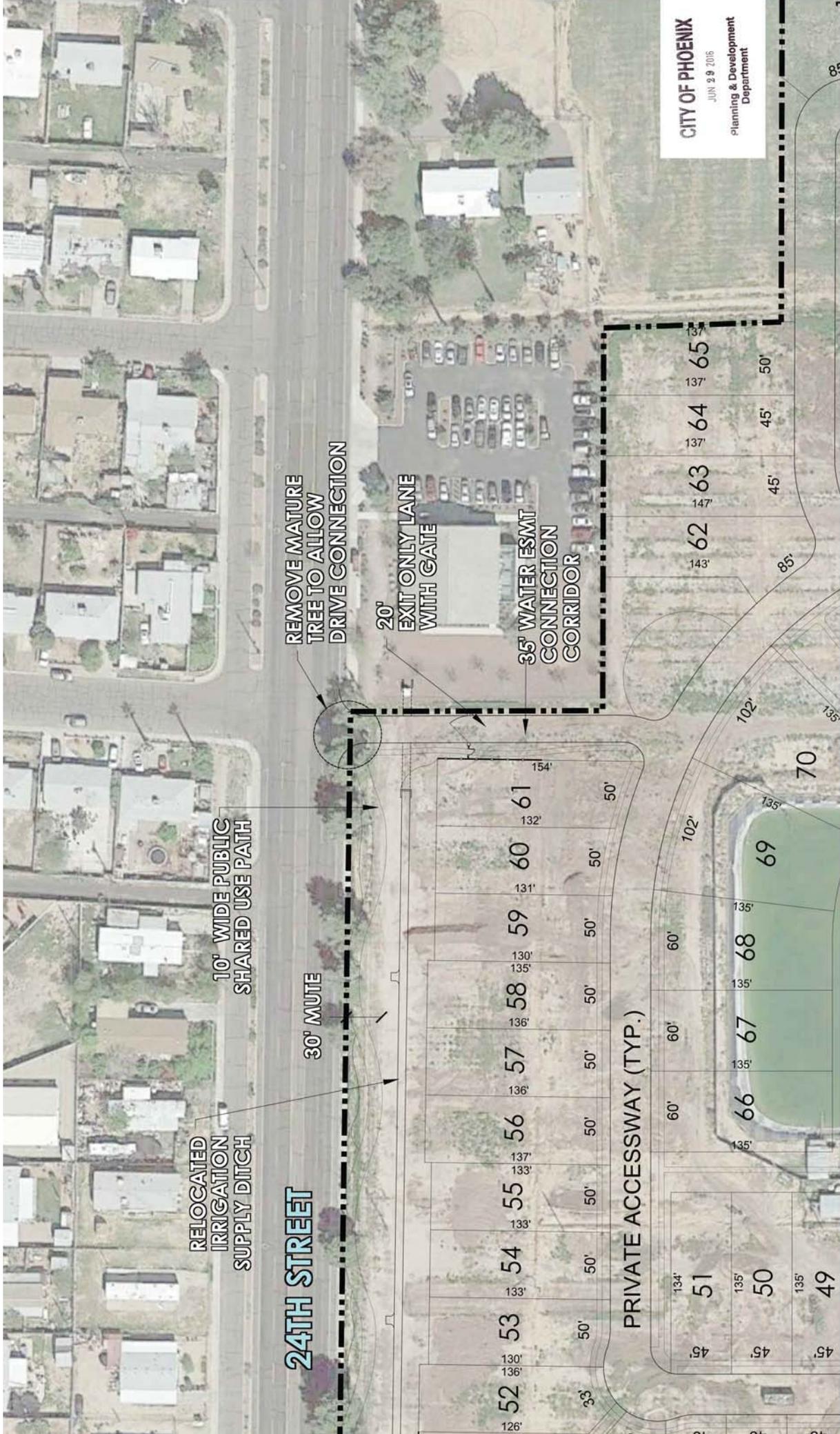
<i>residential lot width in internal local streets)</i>	Min. 1-inch caliper (40% of required trees)		SIDEWALK. MINIMUM TWO-INCH CALIPER AND TWENTY-FOUR-INCH BOX SIZE AT TIME OF PLANTING. AVERAGE OF ONE TREE PER TWENTY-FIVE FEET OF STREET FRONTAGE. TREES TO BE MAINTAINED BY PROPERTY OWNER AND/OR HOA.
Shrubs	Min. five (5) 5-gallon shrubs per tree		

Appendix F: Conditions of Zoning Approval Minutes  
(Reserved)

Appendix G: PUD – Conditions of Zoning Approval  
(Reserved)

## Appendix H:

- ~ 24<sup>th</sup> Street Exit Detail
- ~ 26<sup>th</sup> Street Ingress and Traffic Calming Detail



**CITY OF PHOENIX**  
 JUN 29 2016  
 Planning & Development  
 Department

**APPROX. SCALE: NTS**  
 13165 DRAWN BY: PR  
 6/29/16

*The Arbors*  
 24TH STREET EXIT DETAIL

**LVA urban design studio**  
 land planning - development entitlements - landscape architecture  
 1720 south ash avenue • tempe, arizona 85281 • 480.994.0994

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 Q:\13165 - Midtown Farm\13165\402 LVA SUBMITTALS\TYPESHEET-EXIT-LOTTING BASE - OFF P. 2014-06-23.dwg Jun 29, 2016



**CITY OF PHOENIX**  
 JUN 29 2016  
 Planning & Development  
 Department



*The Arbors*

26TH STREET INGRESS & TRAFFIC CALMING DETAIL

**LVA urban design studio**  
 land planning • development entitlements • landscape architecture  
 1720 south oak avenue • tempe, arizona 85281 • 480.994.0994

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 G:\1316 - Midland Farm\1316.5\402 LVA SUBMITTAL TYPES\STREET LOTTING BASE - OFF P, 2014-06-23.dwg - Jun 29, 2016