

**Elliot 202
Planned Unit Development
Narrative**

CITY OF PHOENIX

JUN 02 2023

**Planning & Development
Department**

**Rezoning Case No. Z-72-22-8
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Planned Unit Development Statement

The Planned Unit Development (“PUD”) zoning district is authorized by Chapter 6, Section 671 of the Zoning Ordinance of the City of Phoenix (“Phoenix Zoning Ordinance”). A PUD is intended to be a stand-a-lone document that sets forth the regulatory framework, including permitted uses, development standards and design guidelines, for a particular project (“PUD Regulations”). The PUD may only modify provisions within the Phoenix Zoning Ordinance and does not modify other City of Phoenix codes, regulations or requirements.

A PUD may include background information and narrative discussion, including purpose and intent statements which are intended to illustrate the overall character and vision for the development. Such statements are not regulatory and are not requirements to be enforced by the City of Phoenix.

The PUD regulations apply to all property within the PUD project boundary. The PUD regulations supersede and replace all applicable Phoenix Zoning Ordinance requirements. If there is a conflict between PUD regulations and the Phoenix Zoning Ordinance, including the design guidelines within the Phoenix Zoning Ordinance, the terms of this PUD shall apply. If a provision is not addressed by the PUD, then the Phoenix Zoning Ordinance controls.

A. Purpose & Intent

1. Project Overview and Goals

Elliot 202 PUD (the “Project”) is a proposed 65.85-acre horizontal mixed-use development to be located at the southeast corner of South 59th Avenue and West Elliot Road (the “Site”), within Laveen Village. The Site is vacant agricultural land which is bound by Elliot Road to the north and the future alignment for 59th Avenue to the west. Beyond 59th Avenue is a planned build-for-rent residential community and a commercial storage development and beyond 59th Avenue is ADOT land and a residence/wedding venue (Whispering Tree Ranch). To the east is a single-family residential subdivision (Ellison Trails). The Site is bound by the Loop 202 Freeway beyond the future 59th Avenue alignment along the southwest perimeter of the Site. See **Exhibit 1: Vicinity Map and Aerial Map**.

In alignment with the City’s General Plan land use designations for the subject Site, as amended through a concurrent minor General Plan land use map amendment (Case No. GPA-LV-4-22-8), this application proposes a Planned Unit Development (“PUD”) for a horizontal mixed-use development which will include an employment district consisting of commerce park, office, technology, manufacturing, and other employment uses; commercial and multi-family residential housing opportunities which will support new employment to the area.

IDM, which is a fully integrated real estate company focused on investing, developing and managing a diverse and impressive portfolio of multi-family, commercial and commerce park developments, was established in 1993 and has since grown and established a meaningful presence in the Valley, including in the City of Phoenix, with more development planned or in the construction pipeline. IDM’s vision for the Site, as further outlined below, is to develop a high-quality horizontal mixed-use development that will provide quality employment and residential housing opportunities for this important area of growth. Notably, as part of its core philosophy, IDM develops, owns and manages all of its developments long-term, ensuring quality and thoughtful design and development, resident satisfaction and long-term partnerships within the communities in which it locates.

The primary goal of this PUD is to create a framework for development of a master planned horizontal mixed-use development that will:

- Establish entitlement flexibility to attract commerce park uses and major employment generators to the Site, as an extension of the envisioned “Tech Park” to the west of the freeway.
- Encourage future development to southwest Phoenix that incorporates commerce park, office, technology, manufacturing, and other employment uses near a key freeway corridor.

- Establish development and performance standards to ensure a high quality of design and land use compatibility.
- Provide retail opportunities to support new employment and residences that the proposed development will bring to the area.
- Provide new residential housing opportunities to help further the goal of The Housing Phoenix Plan, adopted by City Council in 2020, which has a key goal to create or preserve 50,000 dwelling units by 2030.

2. General Plan Amendment

The Site is currently designated for traditional (3.5-5 du/ac and 5-10 du/ac) density residential, as shown in **Exhibit 2: Current General Plan Land Use Map**. This PUD request is accompanied by a Minor General Plan Amendment request to amend the Site's Land Use Map designation to Commercial and Commerce/Business Park for the North Portion of the Property and 15+ du/acre – Higher density attached townhouses, condos, or apartments, as shown in **Exhibit 3: Proposed General Plan Land Use Map**.

3. Overall Concept

The purpose of the Elliot 202 Planned Unit Development is to create a regulatory framework for: (i) development of a commerce park that will permit a range of land uses intended to attract high-wage jobs in technology, bioscience, light manufacturing, finance and other office and commercial uses; and, (ii) development of two (2) quality multi-family communities, which will provide new and diverse housing options within the area. The conceptual land use plan proposes: (1) commerce park (general commerce park) and commercial uses on approximately 19.87 gross acres of the northwest site area ("Development Unit 1"); a multi-family residential development on approximately 27.43 gross acres of the south site area ("Development Unit 2"); and, a casita community on approximately 18.55 gross acres of the northeast site area ("Development Unit 3"). See **Figure 1: Development Unit Exhibit**.

As shown on **Exhibit 4: Existing Zoning Map**, the Site is currently zoned S-1 (Approved R1-6 and R-2 PCD*). Notably, the existing zoning permits residential density across the Site up to 579 dwelling units. To accommodate market demand and address the mixed-use nature of the overall proposed development, this is a request to rezone the Site to PUD to establish permitted uses and to facilitate development of the Site as a horizontal mixed-use development providing employment, commercial and residential uses. See **Exhibit 5: Proposed Zoning Map**.

This PUD provides the foundation for a well-planned, cohesive project that integrates employment, commercial and multi-family residential uses into a unified development. Specific commerce park and commercial tenants, building locations, building design, and overall layout will be refined as future uses materialize. This PUD establishes land use entitlement flexibility and design expectations to encourage and attract future users.

Additionally, this PUD encourages complementary land use types. The flexibility in design enabled by the PUD offers a desirable improvement over conventional zoning standards and directly promotes the appropriate and efficient use of land and infrastructure. The PUD establishes the foundation for a superior development that will provide future end users with a cohesive environment comprised of a variety of related and compatible uses.

4. Development Plan Administration

Recognizing that specific users and site plans are not yet known, given the speculative nature of commerce park development, this PUD establishes a framework for evaluating future uses and development within the PUD boundaries. Uses permitted by-right within DU1 include uses typically found in the Commerce Park District, as further detailed in **Section C**, and are subject to the City of Phoenix Site Plan Review Process. Uses permitted by-right within DU2 and DU3 include multi-family uses (See **Section C**). All plans included herein are conceptual and are subject to modification through the site planning process, subject to conformance with the standards of this PUD.

Amendments to the PUD, if any, will be processed under the requirements for PUD amendments within the City of Phoenix Zoning Ordinance. Any future PUD amendment application made by a future user or successor that seeks only to limit or expand the development standards applicable solely to the successor’s property, and where the proposed PUD Amendment would not affect any other provision of this PUD, such amendment may be processed as an isolated amendment to the PUD and apply only to the property of the successor requesting such change.

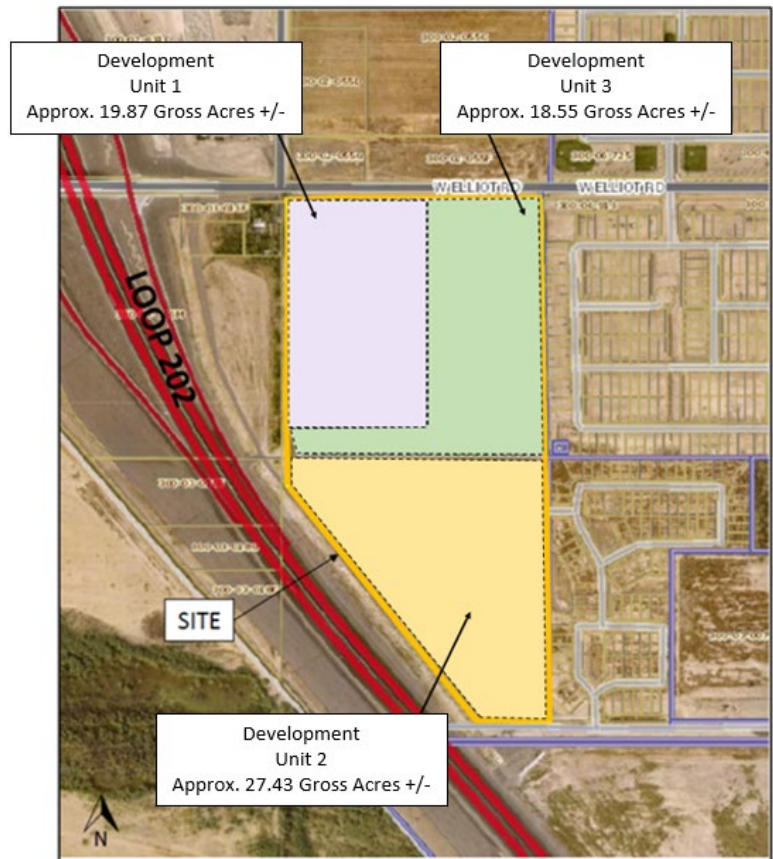


Figure 1: Development Unit Exhibit

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B. Land Use Plan

The approximately 65.85-acre site is designed for commerce park, and commercial uses on approximately 19.87 gross acres, multi-family residential uses on approximately 27.43 gross acres and a casita community on approximately 18.55 gross acres. Below is a summary of key site design features.

Development Unit 1:

This PUD proposes a mix of land uses for **Development Unit 1**, including commerce park, office, technology, manufacturing, warehouse and other employment uses, consistent with the Commerce Park – General Commerce Park development option. This development unit is designed to provide locations for commerce, service and employment activities which locations and site improvements are built such that a desirable appearance is projected toward public streets and such that compatibility can be maintained with adjacent land uses

The proposed conceptual site plan for Development Unit 1 includes flex office/commerce park/retail/restaurant buildings fronting onto Elliot Road, which range from approximately 16,000 square feet to 20,000 square feet and are further divisible into smaller tenant suites to accommodate smaller users. An outdoor patio / dining area is contemplated between Building B and Building C, further promoting interaction amongst site visitors. Additionally, a drive-thru coffee shop is contemplated at the northwest corner of the Site, which will provide a new convenience amenity for the community.

Buildings D and E are larger flex buildings which may be divided into smaller tenant suites. Building D fronts onto 59th Avenue, with Building E located behind it to ensure that dock doors are oriented internal to the development, effectively screening truck courts to mitigate the impacts of development. In addition to internalizing the development, healthy setbacks are provided along the development's east and south perimeters, with more than 100 feet of building setback being provided. Enhanced landscaping is also proposed along the east perimeter to promote compatibility, consistent with the intent and nature of the Commerce Park District. Additional meaningful landscape and open space is provided along the Development Unit 1



Figure 2: Development Unit 1 Site Layout

perimeter, which features a detached pedestrian path, furthering the goals of connectivity for the area. Refer to **Exhibit 6 and Figure 2: Conceptual Development Unit 1 Site Plan.**

Future development of Development Unit 1 may ultimately include a variety of service and/or support uses such as commercial and retail uses, which would complement the area in general. The development plan for Development Unit 1 will promote flexibility in uses and design while providing consistent development regulations and design guidelines to guide development of the individual parcels in a compatible manner.

Specific tenant users, building locations, sizes, design, and overall layout will be refined as future users materialize. However, the conceptual land use plan establishes a general circulation and access plan and development will be governed by the carefully planned standards provided herein. Vehicular access for Development Unit 1 is proposed via Elliot Road and 59th Avenue, . Access to the commerce park buildings in the southern portion of Development Unit 1 will be restricted to permitted traffic only by means of automatic gates, and loading dock traffic will access the Site via 59th Avenue driveway. See **Exhibit 6: Conceptual Development Unit 1 Plan.**

Development parcels may be modified, subdivided, combined or reconfigured during the platting and minor land division process.

Development Unit 2:

Two (2) residential housing product types are proposed within Development Unit 2, including two and three-story traditional garden style apartments and carriage units. Together, these will provide diverse housing options for a range of future residents and preferences, within a professionally managed and gated community. Refer to **Exhibit 7 and Figure 3: Conceptual Development Unit 2 Site Plan,**

Development Unit 2 has been designed to orient two-story units along the east perimeter of the Site, furthering compatibility with surrounding land uses. Each cluster provides pedestrian access to a network of walkways leading to open spaces within the community.

There is a seamless transition to the center and west of the development, which leads to traditional three-story garden style apartment buildings and several meaningful open space amenities including an agrarian themed clubhouse and amenity building. Additionally,

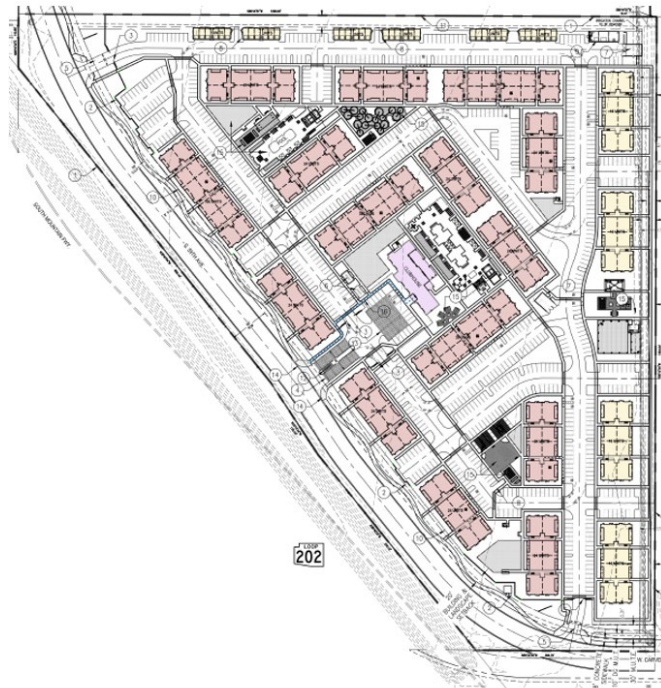


Figure 3: Development Unit 2 Site Layout

carriage units line the north perimeter of the Site.

A shared use path is extended from Development Unit 1 to the south end of Development Unit 2, before transitioning into a multi-use trail, providing opportunities for non-vehicular activities and connectivity.

The proposed residential development will provide much needed residential units within the immediate area and larger Valley, with convenient access to major transportation arteries and future employment envisioned in the area.

Development Unit 3:

Development Unit 3 features a professionally managed, gated single-story casita community, further promoting diverse housing options for the area. Refer to **Exhibit 8 and Figure 4: Conceptual Development Unit 3 Site Plan,**

Development Unit 3 has been designed with high quality single-story casita units to promote compatibility with existing surrounding land uses. Each cluster of single-story units has an open space at the end of the cluster providing pedestrian access to a network of walkways leading to open spaces within the community.

The proposed residential development provides an appropriate buffer between the freeway and commerce park/commercial uses to existing residential in the area.



Figure 4: Development Unit 3 Site Layout

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C. List of Uses

The Zoning Administrator may administratively approve a use analogous to those listed in the lists below, as authorized by Zoning Ordinance Section 307.A.3.

Development Unit 1 Permitted Uses

Permitted Uses:

- All uses permitted in the Commerce Park General Commerce Park option per Section 626.F of the Zoning Ordinance, excluding those uses included in the **Prohibited Use section** below
- All uses permitted in the C-2 (Intermediate Commercial) zoning district per Section 623.D (subject to all applicable conditions and restrictions)

Prohibited Uses:

- Motels and hotels
- Environmental remediation facility
- Non-profit dispensary
- Tobacco-oriented retailer
- Multifamily residential.

Performance Criteria for Distribution Uses:

No distribution and large-scale wholesale facilities are permitted as a primary use for a time period of 4 years from the date of rezoning approval.

*For the purposes of this PUD, “large-scale wholesale” is defined as wholesale as a primary use for an individual user occupying more than 50% of any individual building.

Temporary Uses:

- All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance.

Accessory Uses:

- All accessory uses permitted in the Commerce Park, General Commerce Park District (Section 626) in the City of Phoenix Zoning Ordinance.

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Special Permit Uses:

- Special Permit uses related to the Commerce Park District, per Section 647, shall be prohibited.

Development Unit 2 and 3 Permitted Uses

Permitted Uses:

- Multifamily residential
- All other uses are prohibited

Accessory Uses:

- Accessory uses to the residential uses shall be subject to Section 608 of the Phoenix Zoning Ordinance.

Temporary Uses:

- All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance.

Special Permit Uses:

- Special Permit uses are not applicable.



Conceptual SFR Rendering

D. Development Standards Table

1. Development and Landscape Standards for Development Unit 1

Development Unit 1 is subject to development standards generally based on the Commerce Park District, General Commerce Park Option, as identified within Section 626.F of the City of Phoenix Zoning Ordinance, except as modified by the Development Standards Table below.

Development Standards – Development Unit 1

<p>Building Setback</p>	<p>a) Streets:</p> <ul style="list-style-type: none"> • Elliot Road and 59th Avenue: Min. 30 Feet <p>b) Adjacent to Residential:</p> <ul style="list-style-type: none"> • East Perimeter: Min. 50 Feet • South Perimeter: Min. 30 Feet <p>*Except that shade structures used to shade surface parking lots may encroach up to 5 feet in the required building setbacks.</p>
<p>Separation of Commerce Park Buildings and DU3 Buildings</p>	<ul style="list-style-type: none"> • South Perimeter: Min. 100 Feet • East Perimeter: Min. 100 feet
<p>Sidewalks and Trails</p>	<p>a) A 5’ wide detached concrete sidewalk shall be provided along the south side of Elliot Road</p> <p>b) A 10-foot wide detached concrete Shared Use Path (SUP) shall be provided along the west property line within a 20-foot wide Shared Use Path Easement (SUPE) or sidewalk easement to be dedicated to the city.</p>
<p>Maximum Building Height</p>	<p>35 feet</p>
<p>Lot Coverage</p>	<p>Maximum 50% per individual development parcels</p>
<p>Open Space & Amenity Standards</p>	<p>Minimum 5% for the overall net area of Development Unit 1, exclusive of required landscape setbacks</p> <p>A minimum of two (2) employee amenity areas shall be provided, including but not limited to picnic tables, ramada, seating areas. The employee amenity areas shall each be a minimum of 250 square feet in area.</p>
<p>Parking Standards</p>	<p>Per Section 702 of the Phoenix Zoning Ordinance.</p>
<p>Electric Vehicle Parking</p>	<p>Minimum Percentage of installed Level 2 EV Charging Stations. 2% of Required Parking. A minimum of 20 electric vehicle charging spaces shall be required for the overall development (Dus 1, 2, and 3).</p>
<p>Bicycle Parking Standards</p>	<p>Bike racks shall be provided at a rate of one bicycle space per 50 vehicular parking spaces, up to a maximum of 10 bicycle parking spaces per building.</p>

	<p>A bicycle rack should be a minimum of 30 inches from a wall or other obstruction. The minimum length for a bicycle parking should be 72 inches.</p> <p>Bicycle parking should comply with ADA requirements and not impede on-site pedestrian access. A clearance of at least four feet in width must be provided for pedestrian access.</p> <p>Bicycle parking required may be placed in the setback and may be allowed in the right-of-way subject to review by the Planning and Development Department Traffic Engineer.</p> <p>Bike racks should be located within 50 feet from building entry points and secured bike parking is encouraged.</p>
Fences and Walls	<p>Fences and walls shall comply with the standards contained in Section 703 of the Phoenix Zoning Ordinance.</p>
Open Storage Standards	<p>Any open use or storage area, where permitted, shall be located no less than 100 feet from a perimeter (street) property line. Any open use, including loading spaces or docking areas, shall be fully screened with a minimum 8-foot-tall solid wall where visible from a public street or residential district.</p> <p>Where metal gates are provided for vehicular access, minor perforation may occur to accommodate wind loads. The perforation shall not exceed 50% of the gate surface area.</p>
Lighting	<p>All lighting standards shall comply with Section 507 Tab A.II.A.8 and Section 704 of the Phoenix Zoning Ordinance.</p>

Landscape Standards – Development Unit 1

General	<ul style="list-style-type: none"> Where utility conflicts arise, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.
Minimum Landscape Setbacks	<p>a) North: Min. 30 feet b) East: Min. 35 feet c) South: Min. 10 feet d) West: Min. 30 feet</p> <p>*Pedestrian-oriented shade structures are permitted within landscape setback.</p>
Planting Standards for Elliot Road	<p>Trees: Minimum 2-inch caliper (25% of required trees) Minimum 3-inch caliper (50% of required trees) Minimum 4-inch caliper (25% of required trees)</p> <p>Tree spacing 20-feet on center or in equivalent groupings</p> <p>All trees on both sides of the sidewalk shall be large canopy shade trees.</p> <p>Palm trees may be planted at primary entrances, or other key locations, within the development.</p> <p>Shrubs: Minimum five 5-gallon shrubs per tree</p> <ul style="list-style-type: none"> A minimum of 10% of required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more.
Planting Standards for Other Street Frontages	<p>Trees: Minimum 2-inch caliper (50% of required trees) Minimum 3-inch caliper (50% of required trees)</p> <p>Tree spacing 25-feet on center or in equivalent groupings</p> <p>All trees on both sides of the sidewalk shall be large canopy shade trees.</p>

	<p>Shrubs: Minimum five 5-gallon shrubs per tree</p> <ul style="list-style-type: none"> • A minimum of 10% of required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more.
Planting Standards for Interior Property Lines Adjacent to Residential Uses	<p>Trees: Minimum 3-inch caliper (60% of required trees) Minimum 2-inch caliper (40% of required trees)</p> <ul style="list-style-type: none"> • Tree spacing 20-feet on center or in equivalent groupings • Double row of large canopy evergreen shade trees • Minimum 75% live ground cover
Landscaping Between Curb and Sidewalk	<ul style="list-style-type: none"> • Minimum 2-inch caliper trees planted 25-feet on center or in equivalent groupings • Minimum five 5-gallon shrubs per tree • Minimum 75% live ground cover
Landscaping for Parking Areas	<ul style="list-style-type: none"> • 5% of the surface parking lot, exclusive of perimeter landscaping and all setbacks, must be landscaped. Landscaping shall be dispersed throughout the parking area. • All uncovered surface parking lot areas shall be landscaped with a minimum 2-inch caliper drought tolerant shade trees. Landscaping shall be dispersed throughout the parking area and achieve 25% shade at maturity.
Shade	<ul style="list-style-type: none"> • Minimum 75% shading of pedestrian sidewalks along all adjacent public roads • Shade to be provided by means of vegetation at maturity and/or shade structures.
Plant Material	<ul style="list-style-type: none"> • Drought-tolerant plant material shall be utilized within the required landscape setbacks except where permitted within landscape accent areas along street frontages.
Utility Conflict Resolution	<ul style="list-style-type: none"> • Where utility or easement conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution.

2. Development and Landscape Standards for Development Unit 2

Development Standards – Development Unit 2

Development Unit 2 is subject to development standards generally based on R-3A PRD Zoning District standards, except as modified by the Development Standards Table below.

Maximum Density	484 units Maximum 700 units for the overall PUD area
Building Setbacks	North: 25 feet East: 30 feet South: 20 feet West: 20 feet *Except that minor encroachments up to 5 feet may occur in the required building setbacks for fencing and appurtenances..
Sidewalks and Trails	<ul style="list-style-type: none"> a) A 10-foot wide detached concrete Shared Use Path (SUP) shall be provided along the west property line within a 20-foot wide Shared Use Path Easement (SUPE) or sidewalk easement to be dedicated to the city. b) The developer shall dedicate a 30-foot-wide multi-use trail easement (MUTE) along the south side of the property, along the Carver Drive alignment, and construct a minimum 10-foot-wide multi-use trail (MUT) within the easement in accordance with the MAG supplemental detail. Where conflicts or restrictions exist, the developer shall work with the Planning and Development Department (Site Planning Section) on an alternate design through the technical appeal process. c) A minimum of one (1) equestrian hitching post shall be provided along the multi-use trail section to complement the end of the trail.
Landscaping Along Multi-Use Trails	The multi-use trail shall be shaded a minimum of 50% using drought-tolerant shade trees at maturity.
Maximum Building Height	3 stories / 40 feet
Lot Coverage	Maximum 50%
Open Space	Minimum 15% of gross lot area

Parking Standards	1.75 parking spaces per unit
Electric Vehicle Parking	Minimum Percentage of installed Level 2 EV Charging Stations: 2% of Required Parking. Minimum Percentage of EV Capable spaces: 5%. A minimum of 20 electric vehicle charging spaces shall be required for the overall development (Dus 1, 2 and 3).
On-Site Loading	3 total spaces required
Bicycle Parking Standards	Bike racks shall be provided at a rate of .25 bicycle spaces per unit, not to exceed a total of 50 bicycle parking spaces. One (1) secured bike parking amenity shall be provided. One (1) publicly accessible bicycle use supporting feature shall be provided, which may be a repair station, drinking fountain, or other amenity that is utilized by bicyclists.
Fences and Walls	<ul style="list-style-type: none"> a) Fences and walls shall comply with Section 703 of the Phoenix Zoning Ordinance; except, b) A minimum 50% open view fencing shall be provided for residential development along public streets.
Lighting	All lighting standards shall comply with Section 507 Tab A.II.A.8 and Section 704 of the Phoenix Zoning Ordinance.

Landscape Standards – Development Unit 2

General	Where utility conflicts arise, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.
Minimum Landscape Setbacks	<p>North: 25 feet</p> <p>East: 20 feet</p> <p>South: 20 feet</p> <p>West: 20 feet</p>
Planting Standards for Street Frontages	<p>Trees:</p> <p>Minimum 2-inch caliper (50% of required trees)</p> <p>Minimum 3-inch caliper (50% of required trees)</p>

	<p>Tree spacing 25-feet on center or in equivalent groupings</p> <p>All trees on both sides of the sidewalk shall be large canopy shade trees.</p> <p>Shrubs: Minimum five 5-gallon shrubs per tree</p> <ul style="list-style-type: none"> • A minimum of 10% of required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more.
<p>Planting Standards for Interior Property Lines Adjacent to Residential Uses</p>	<p>Trees:</p> <p>Minimum 2-inch caliper (50% of required trees) Minimum 3-inch caliper (50% of required trees)</p> <ul style="list-style-type: none"> • Tree spacing 20-feet on center or in equivalent groupings • Large canopy evergreen shade trees shall be provided • Minimum 75% live ground cover
<p>Planting Standards for Interior Property Lines not Adjacent to Residential <u>U</u>ses</p>	<p>Trees:</p> <p>Minimum 2-inch caliper (50% of required trees) Minimum 3-inch caliper (50% of required trees)</p> <ul style="list-style-type: none"> • Tree spacing 20-feet on center or in equivalent groupings • Large canopy evergreen shade trees shall be provided • Minimum 75% live ground cover
<p>Landscaping Between Curb and Sidewalk</p>	<ul style="list-style-type: none"> • Minimum 2-inch caliper trees planted 20-feet on center or in equivalent groupings • Minimum five 5-gallon shrubs per tree • Minimum 75% live ground cover
<p>Shade</p>	<ul style="list-style-type: none"> • Minimum 75% shading of pedestrian sidewalks along all adjacent public roads • Shade to be provided by means of vegetation at maturity and/or shade structures.

Amenities	Development Unit 2 will feature a range of quality amenities to encourage social interaction between residents and visitors. The development will include a minimum of five (5) of the following amenities, or similar:	
	<ul style="list-style-type: none"> • Clubhouse • Gym Facilities • Community Room • Game Room • Work Stations • Bike Storage 	<ul style="list-style-type: none"> • Resident Pool(s) • Resident Community Garden • Dog Park • BBQ Areas • Tot lot
Plant Material	<ul style="list-style-type: none"> • Drought-tolerant plant material shall be utilized within the required landscape setbacks except where permitted within landscape accent areas along street frontages. 	
Utility Conflict Resolution	<ul style="list-style-type: none"> • Where utility or easement conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution. 	

3. Development and Landscape Standards for Development Unit 3

Development Standards – Development Unit 3

Development Unit 3 is subject to development standards generally based on R-3A PRD Zoning District standards, except as modified by the Development Standards Table below.

Maximum Density	<p>11 du/per gross acre</p> <p>Maximum 700 units for the overall PUD area.</p>
Building Setbacks	<ul style="list-style-type: none"> i. North (Adjacent to Elliott Road): 30 feet ii. North (Adjacent to Unit 1): 30 feet iii. East (Adjacent to Single Family Residential): 25 feet iv. South (Adjacent to Unit 2): 15 feet v. West (Adjacent to 59th Avenue): 25 feet vi. West (Adjacent to Unit 1): 20 feet <p>*Except that minor encroachments up to 5 feet may occur in the required building setbacks for fencing and appurtenances.</p>

Sidewalks and Trails	d) A 10-foot wide detached concrete Shared Use Path (SUP) shall be provided along the west property line within a 20-foot wide Shared Use Path Easement (SUPE) or sidewalk easement to be dedicated to the city.
Maximum Building Height	One Story and 20 Feet
Lot Coverage	Maximum 50%
Open Space	Minimum 10% of gross lot area
Parking Standards	1.75 parking spaces per unit
Electric Vehicle Parking	Minimum Percentage of installed Level 2 EV Charging Stations: 2% of Required Parking. Minimum Percentage of EV Capable spaces: 5%. A minimum of 20 electric vehicle charging spaces shall be required for the overall development (Dus 1, 3, and 3).
On-Site Loading	2 total spaces required
Bicycle Parking Standards	Bike racks shall be provided at a rate of .25 bicycle spaces per unit, not to exceed a total of 50 bicycle parking spaces. One (1) secured bike parking amenity shall be provided. One (1) publicly accessible bicycle use supporting feature shall be provided, which may be a repair station, drinking fountain, or other amenity that is utilized by bicyclists.
Fences and Walls	Fences and walls shall comply with Section 703 of the Phoenix Zoning Ordinance; except, A minimum 50% open view fencing shall be provided for residential development along public streets. An 8-foot-tall solid masonry wall shall be provided along the interior property line located between Unit 1 and Unit 3
Lighting	All lighting standards shall comply with Section 507 Tab A.II.A.8 and Section 704 of the Phoenix Zoning Ordinance.

Landscape Standards – Development Unit 3

<p>General</p>	<p>Where utility conflicts arise, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
<p>Minimum Landscape Setbacks</p>	<ul style="list-style-type: none"> i. North (Adjacent to Elliott Road): 30 feet ii. North (Adjacent to Unit 1): 10 feet iii. East (Adjacent to Single Family Residential): 25 feet iv. South (Adjacent to Unit 2): 15 feet v. West (Adjacent to 59th Avenue): 25 feet vi. West (Adjacent to Unit 1): 20 feet
<p>Planting Standards for Street Frontages</p>	<p>Trees: Minimum 2-inch caliper (50% of required trees) Minimum 3-inch caliper (50% of required trees)</p> <p>Tree spacing 25-feet on center or in equivalent groupings</p> <p>All trees on both sides of the sidewalk shall be large canopy shade trees.</p> <p>Shrubs: Minimum five 5-gallon shrubs per tree</p> <ul style="list-style-type: none"> • A minimum of 10% of required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more.
<p>Planting Standards for Interior Property Lines Adjacent to Residential Uses</p>	<p>Trees: Minimum 2-inch caliper (50% of required trees) Minimum 3-inch caliper (50% of required trees)</p> <ul style="list-style-type: none"> • Tree spacing 20-feet on center or in equivalent groupings • Large canopy evergreen shade trees shall be provided • Minimum 75% live ground cover
<p>Planting Standards for Interior Property Lines not Adjacent to Residential <u>Uses</u></p>	<p>Trees: Minimum 2-inch caliper (50% of required trees) Minimum 3-inch caliper (50% of required trees)</p> <ul style="list-style-type: none"> • Tree spacing 20-feet on center or in equivalent groupings

	<ul style="list-style-type: none"> • Large canopy evergreen shade trees shall be provided • Minimum 75% live ground cover 		
Landscaping Between Curb and Sidewalk	<ul style="list-style-type: none"> • Minimum 2-inch caliper trees planted 20-feet on center or in equivalent groupings • Minimum five 5-gallon shrubs per tree • Minimum 75% live ground cover 		
Shade	<ul style="list-style-type: none"> • Minimum 75% shading of pedestrian sidewalks along all adjacent public roads • Shade to be provided by means of vegetation at maturity and/or shade structures. 		
Amenities	<p>Development Unit 3 will feature a range of quality amenities to encourage social interaction between residents and visitors. The development will include a minimum of five (5) of the following amenities, or similar:</p> <table border="1"> <tr> <td> <ul style="list-style-type: none"> • Clubhouse • Gym Facilities • Community Room • Game Room • Work Stations • Bike Storage </td> <td> <ul style="list-style-type: none"> • Resident Pool(s) • Resident Community Garden • Dog Park • BBQ Areas • Tot lot </td> </tr> </table>	<ul style="list-style-type: none"> • Clubhouse • Gym Facilities • Community Room • Game Room • Work Stations • Bike Storage 	<ul style="list-style-type: none"> • Resident Pool(s) • Resident Community Garden • Dog Park • BBQ Areas • Tot lot
<ul style="list-style-type: none"> • Clubhouse • Gym Facilities • Community Room • Game Room • Work Stations • Bike Storage 	<ul style="list-style-type: none"> • Resident Pool(s) • Resident Community Garden • Dog Park • BBQ Areas • Tot lot 		
Plant Material	<ul style="list-style-type: none"> • Drought-tolerant plant material shall be utilized within the required landscape setbacks except where permitted within landscape accent areas along street frontages. 		
Utility Conflict Resolution	<ul style="list-style-type: none"> • Where utility or easement conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution. 		

E. Design Guidelines

Planned Unit Developments (PUD) within the City of Phoenix are required to define key design guidelines that will guide development across the project and ensure a high level of consistent design vernacular throughout the Site as it develops. Below is a discussion of how this PUD will establish design guidelines that contribute to a cohesive, high-quality project.

1. Development Unit 1 Design Guidelines

a. Architectural Design

Objective – Visual interest with unified elements to establish sense of place

- All structural elements such as buildings, walls, fences, accessory structures, and signs shall exhibit a cohesive architectural theme and style throughout the development.
- Each building will provide a minimum of two primary entrances that will provide facade variations, porticos, roof variations, recesses or projections, or other integral building forms.
- All building facades facing a public street shall be enhanced by incorporating a minimum of three (3) different building materials, with no more than sixty-five percent (65%) of the total façade being covered with one (1) single material and/or color. Building materials shall include:
 - Aluminum storefront
 - Insulated glazing
 - Masonry
 - Metal accents
 - Concrete tilt panels with various colors and/or textures
- At prominent locations, building offsets and recesses shall be a minimum of three (3) feet in depth. To create additional articulation and visual interest, embellishments will be provided such as projected coping details, window trims, door casings, or similar treatment.
- Building façades facing Elliot Road shall not have blank, uninterrupted wall lengths exceeding 100 feet without including at least two (2) of the following: change in plane, change in texture or masonry pattern, windows, trellis with vines, or an equivalent element that subdivides the wall into human scale proportions.
- Public building entries shall be clearly identifiable by design and shall incorporate functional shade elements such as awnings and canopies to create a comfortable entry experience while addressing pedestrian scale.
- Scuppers and/or downspouts are not allowed on any elevation of a building that faces a public street. Scuppers and downspouts shall be integrated into the building design.
- Vary building height along public way/street, by providing at least two (2) changes in height or roof forms that are varied over different portions of the building through changes in pitch, plane, and orientation. Flat roofs or facades with a horizontal eave, fascia, or parapet, in excess of 100 feet in length, must provide vertical modulation.
- Parapets shall conceal flat roofs and mechanical rooftop equipment, such as HVAC units, from public view. If height greater than what is permitted by Section 507.Tab.A.II.B.2.(2.2) of the Zoning Ordinance is proposed, then the following standard shall apply: The average height of such parapets shall not exceed twenty percent of the height of the supporting wall and such parapets shall not exceed, at any point, one-third of the height of the supporting wall.
- All air conditioning compressors, pool motors, and mechanical equipment are encouraged to be ground mounted to minimize noise. All electrical and large satellite equipment over 24 feet shall be ground mounted. Roof-mounted equipment, vents and

stacks must be completely screened by parapets or decorative shielding that is visually compatible with the primary building.

- If not already screened by a 6 foot tall wall or the building itself, mechanical equipment and refuse containers must be screened on all four sides, with the screening treatment as an integral part of the elevations and constructed of the same or compatible materials as the primary building. Electrical and other service boxes should be painted to match the building and/or screened from view.
- Street furniture such as benches, waste containers, bicycle racks, and bollards should be design and style appropriate to ensure compatibility with the architecture of surrounding buildings and the general area.

b. Walls and Fences

- The colors, materials, and appearance of walls and fences should be compatible with the overall design, character, and style of the development;
- Where security fencing is located within 75 feet from a public street, it should consist of wrought iron or tubular steel, or similar materials.

c. Site Design / Development

Objective – Innovative design of access, circulation, privacy, security, shelter, and other factors to create a unique location that complements the surrounding context.

- Shaded pedestrian pathways /sidewalks shall be connected to shaded amenities areas within the development.
- Site screen walls shall be designed to complement and emphasize the overall commerce architectural theme. Parking fronting onto streets shall have a minimum 3-foot masonry screen wall or 3-foot vegetation or a combination of the two.
- Loading docks and outdoor storage areas shall be fully screened from public view to a minimum height of 8-foot-tall
- Offices and other active uses should be located facing the street to engage the public realm.
- The front, public portions of buildings, should be separated from parking areas by landscaping and pedestrian walkways.
- Outdoor storage areas, where permitted, shall be located behind buildings and/or screened from public right-of-way
- Convenient public access and short-term visitor parking should be at the front of the building to produce the shortest route of travel from a building entrance.
- Any parking garage structures should be located behind buildings so that they are not visible from public right-of-way.
- Where pedestrian pathways cross drive aisles, they shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrast with the adjacent parking and drive aisle surfaces, as approved by the Planning and Development Department.

d. Landscaping Enhancements

Objective – Provide shade and soften the look of the development to create a more natural environment

- Tree lined streets and shaded walkways shall be provided with trees evenly spaced (per the Landscape Standards Table) to provide visual corridors to businesses while also shading the pedestrian walkway.
- Detached sidewalks with landscape between the curb and sidewalk will create an aesthetic and physical buffer for pedestrians.
- Trees provided along arterial streets are to exceed or meet minimum required caliper sizes as shown in the landscape standard table.
- Natural turf shall be discouraged from each individual parcel, while artificial turf shall be encouraged in-lieu of natural turf. Where natural turf is used, this shall not exceed 5% of the total landscape area for each individual parcel.
- The landscaping palette shall be desert, low- water use plants with enhanced features, such as accent trees and shrubs, along Elliot Road and primary entrances. Elliot Road streetscape shall be designed to include detached sidewalks and trees on both sides of the sidewalk per the Landscape Standards Table to provide an attractive and comfortable experience.
- The streetscape along Elliot Road may incorporate features and enhancements that pay homage to the agricultural heritage of the Laveen Village including but not limited to incorporation of the following (as represented on **Figure 5**):



Figure 5: Streetscape Concepts

- Metal - painted, galvanized, and weathered
 - Structural sections (Tubes, pipes, bars, wide flanges, angles, channels, plates)
 - Architectural metal accents
 - Panels – galvanized
 - Sheet metal
 - Corrugated

- Standing seam
- Expanded metal lath
- Masonry
 - River run stone masonry
 - Field stone masonry
 - Common brick
 - Salvaged specialized silo blocks – curved masonry units
 - Salvaged chunks of Farm-to-Market concrete road, 6-inches thick (behind the sidewalk and outside of right-of-way)

* Any of the above amenities will be located behind the sidewalk and outside of right-of-way.

2. Development Unit 2 and Development Unit 3 Design Guidelines

a. Architectural Design

Development Units 2 and 3 are designed with a high-quality focus and four-sided architecture. The design elements and scale/location of residential buildings have been carefully chosen to further the relationship between the multi-family development and the surrounding environment. The architectural vernacular of the traditional apartments and carriage units reflects an agrarian theming with a contemporary influence (See **Figure 6: Character Concepts** and **Figure 7: Apartment Rendering**), and a farmhouse vernacular is provided for the casita homes. Board and batten siding, brick veneer, and metal features are used on the clubhouse, which furthers the agrarian vernacular of the community. The envisioned architectural character for the non-apartment structures is represented below.

Figure 6: Character Concepts for Multi-Family



The design guidelines below apply to multi-family development. For standards not addressed herein, Ordinance Section 507 Tab A shall apply.

Design Guidelines for Apartment and Carriage Unit Elevations:

- Apartment elevations shall incorporate distinct and identifiable materials and/or architectural elements consistent with an agrarian theme.
- Apartment elevations shall incorporate at least three (3) materials, which may include but are not limited to: hardie plank, brick veneer, stucco systems, glazing and metal accents

including open metal railing. To achieve high-quality elevations, building elevations shall generally incorporate the following mix of materials:

Typical:

- 25% Glazing and metal railing
- 8% Brick veneer
- 7% Hardie plank
- 60% Stucco

Public street facing:

- 25% Min. Glazing and metal railing
- 10% Min. Brick veneer
- 15% Min. Hardie plank
- 50% Max. Stucco
- Apartment elevations shall feature large balconies and deep overhangs to visually create layered volumes and break up the mass of each building type.
- Balconies are encouraged to orient toward the streets, where possible.
- A minimum of three (3) apartment building types are provided.

Design Guidelines for Casita Units

- Casita units are limited to single story to ensure compatibility with adjacent existing residential uses.
- Gables and board & batten shall be provided as key features of the modern farmhouse architecture style.
- Front or side porch features are encouraged to foster community interaction.
- Oversized entry columns or pilasters are provided with clean profiles.
- Elevation will feature clean pop-out trim on all windows

b) Landscaping Enhancements

Objective – Provide shade and soften the look of the development to create a more natural environment

- Tree lined streets and shaded walkways shall be provided with trees evenly spaced (per the Landscape Standards Table)
- Detached sidewalks with landscape between the curb and sidewalk will create an aesthetic and physical buffer for pedestrians.
- Primary entryways to the development shall include a minimum of 250 square feet of enhanced landscaping, planted and maintained with a variety of at least three plant materials to maintain a variety of colors and textures throughout the year. Split-rail or other accent fencing shall also be provided to enhance the entry experience.
- Pedestrian pathways should have the most direct route between buildings.
- A minimum 50% open view fencing shall be provided for residential development along public streets.

Figure 7: DU2 Clubhouse Rendering



F. Signs

- Given the Site’s location adjacent to the Loop 202 freeway, this PUD will allow off-premise freeway signs that may advertise both on-site and off-site uses, consistent with Section 705.2 of the Phoenix Zoning Ordinance.
- There shall be a maximum of two digital off-premise signs each with a maximum of two sign faces at a maximum height of 48 feet
- Any off-premise sign shall incorporate design elements and be branded consistent with the village core design guidelines as defined in the following sections and Figure 8 of the PUD narrative (“Conceptual Billboard Rendering”).
- The required pole cover design will incorporate a mixed material façade and column that replicates the look of stone, wood, and/or metal as conceptually depicted in Figure 8 of the PUD narrative (“Conceptual Billboard Rendering”). The final design shall be presented to the Laveen Village Planning Committee for review and comment.
- An additional screen will be placed within the open “V” of the displays. The V-Screen will be branded with the Laveen Village branding identity similar to the pole cover.

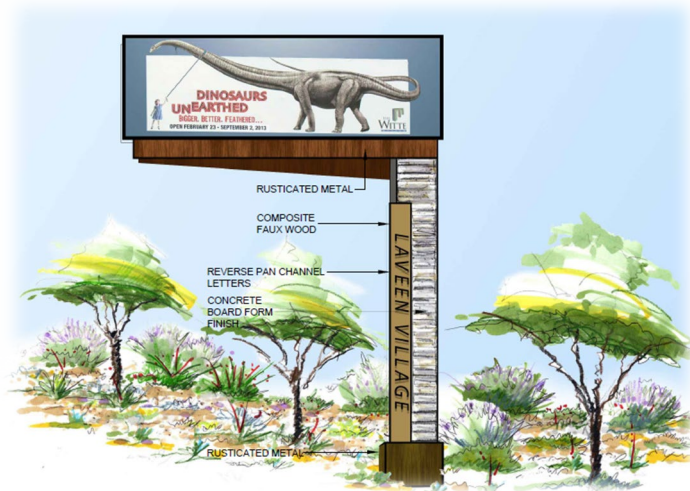


Figure 8: Conceptual Billboard Rendering

G. Sustainability

The following are sustainability practices that are encouraged for development throughout the PUD and divided into those that are city-enforced and those that are the developer goals.

1. City-Enforced Standards:

- Reduce heat island effect with a minimum shade requirement for sidewalks, paths, open space, and parking areas.
 - Minimum 75% shading of pedestrian sidewalks along all adjacent public roads
 - Shade to be provided by means of vegetation at maturity and/or shade structures.
 - Where utility, right-of-way or easement conflicts arise, the developer shall work with the Planning and Development Department on an alternative design solution.
- Encourage water conservation through the selection of drought tolerant plants and trees and smart and water efficient irrigation systems.
- Utilize low flow plumbing fixtures.
- Provide locations for secure bike parking such as visible public bike racks and/or bike lockers.
- A minimum of 20 EV Charging Stations shall be installed across Development Units 1, 2 and 3, as approved by the Planning and Development Department.

2. Developer Goals:

- The use of irrigation sensors may be implemented into the design of the irrigation system for the regulation and reduction of water consumption.
- Utilize “Smart” and water efficient irrigation control systems.
- Incorporate LED and energy efficient lighting technology into all lighting constructed on the Site, including parking lots and streets.
- Use roofing materials that specify a high Solar Reflectance Index for a minimum of 75% of the roof surface area.
- Select building materials and colors to reduce overall heat gain.
- Design to reduce energy loads by addressing passive design elements (i.e. daylight, natural ventilation, solar mass) and active design elements (i.e. environmental conditioning methods, radiant heating and cooling, shared building systems).
- Provide high performance windows, insulation, and HVAC systems.
- Provide slope stabilizing plant material where appropriate to limit erosion.
- Incorporate dual-pane, energy efficient windows.
- Install enhanced HVAC systems with 14 SEER or higher.
- Support enhanced indoor air quality and fresh airflow.

- Develop and implement a plan for recycling and materials management during construction.
- Encourage high-performance building designs that conserve resources, while balancing energy-efficient, water-efficient, cost-effective and low-maintenance engineering solutions and construction products through whole building life cycle assessment.
- Encourage the use of construction, roofing materials and paving surfaces with solar reflectance with thermal emittance values as shown in the Phoenix Green Construction Code or higher and which minimize heat island effects.
- Utilize low VOC paints, carpet and flooring materials.
- Recycled local materials may be used in the landscape and the hardscape designs.
- Encourage the use of recycling collection.

H. Infrastructure

1. Grading and Drainage

Development shall conform to the City of Phoenix regulations and design guidelines. Any drainage related items will be addressed during the site plan review process.

2. Water & Wastewater

Public sewer and water connections will be requested from the City of Phoenix to serve this development. The property is immediately bound by public rights-of-way with existing public facilities. Where existing public facilities are not provided, development will extend and connect to public water and sewer and will be designed and constructed in accordance with City Code requirements.

3. Circulation Systems

Development Unit 1 will be accessed primarily from 59th Avenue and Elliot Road. Access to the commerce park buildings in the southern portion of Development Unit 1 will be restricted to permitted traffic only by means of automatic gates. Loading dock traffic will access the Site via 59th Avenue driveways.

Development Unit 2 will be accessed primarily from 59th Avenue, with secondary access via Carver Road. Development Unit 3 will be access primarily via Elliot Road, with secondary access via 59th Avenue.

Future development will be required to dedicate and construct all typical half street right-of-way and roadways necessary to serve the development. The developer shall also submit a Traffic Impact Study (TIS) to the City for all development as determined by the City of Phoenix Street

Transportation Department. No preliminary approval of plans shall be granted until the study is reviewed and approved by the City of Phoenix Street Transportation Department. Upon completion of the TIS the developer shall submit the completed TIS to the Planning and Development Department counter with instruction to forward the study to the Street Transportation Department Development Coordination Section.

4. Complete Streets

The City of Phoenix Complete Streets Design Guidelines provides “design guidance” for all projects within the public right-of-way and all streets accepted by the City. Some of the guidelines are applicable to the proposed development as follows:

Design for Context / Connectivity:

“Bicycle treatments should be considered along all roadways...”

- The project will include bike infrastructure per Section D.1, D.2 and D.3.

“Design streets to enhance access to and contribute to the open space network within the city.”

““Design and connect neighborhoods via streets, sidewalks, and trails”

- This PUD includes the provision of a Shared Use Path and Multi-Use Trail, as applicable, and outlined in Section D.1,D.2 and D.3. These improvements will contribute to the open space network within the city.

Design for Safety:

“Design streets safely for all users...”

- As provided in Section D.1, D.2 and D.3, the development will incorporate detached sidewalks or shared use paths, where applicable, providing a buffer for pedestrians from the street and vehicular traffic.

Design for Comfort and Convenience:

“Shade should be a primary technique in projects to reduce ambient temperatures and reduce direct sunlight exposure for pedestrians and cyclists.”

- Shade trees will be provided per Section G.1 to promote pedestrian and cyclist thermal comfort.

Design for Sustainability:

“Reduce streets’ rate of heat absorption by maximizing tree canopy cover, reducing asphalt, and using high reflectivity materials or lighter colors.”

This design guideline will be furthered by the development as trees will be provided along publicly accessible sidewalks, including between the landscape strip between the roadway and sidewalk; thus, shade will be cast over a portion of the nearest roadway.

Design for Green Infrastructure:

“Green infrastructure (GI) is an important element of a sustainable complete street, using living, natural systems to provide environmental services, such as capturing, cleaning, and infiltrating stormwater; creating wildlife habitat; shading and cooling streets and buildings; and calming traffic”

- As noted herein, the development will incorporate shaded pedestrian sidewalks, as well as shaded open space amenities. A minimum 10% of required shrubs will also be a milkweed or other native nectar species, promoting wildlife habitat.

I. Comparative Development Standards Table

Standard	R-3A (PRD)	CP-GCP Zoning District	DU1	DU2	DU3
Maximum Building Height	3 stories or 40' for 150'; 1' in 5' increase to 48', 4-story maximum	18' within 30' of perimeter lot line; 1' increase per 3' additional setback, maximum 56' to 80' with use permit and site plan	35 feet	3 stories / 40'	One story / 20'
Maximum Lot Coverage	45%	50%	50% per individual development parcels	50%	50%
Required Building Setbacks	Perimeter: 20' adjacent to a public street; this area to be in common ownership unless lots front on the perimeter	a) 30' from perimeter lot line on a street, 20' not on a street b) 20' from interior lot line on a	Streets: Elliot Road and 59th Avenue: Min. 30 Feet Adjacent to Residential: East Perimeter: Min. 50 Feet	North: 25' East: 30' South: 20' West: 20' *Except that minor encroachments	i. North (Adjacent to Elliott Road): 30 feet ii. North (Adjacent to Unit 1): 30 feet

	<p>public street; 15' adjacent to property line</p> <p>10' front building setback</p>	<p>street, 0' not on a street</p>	<p>South Perimeter: Min. 30 Feet</p>	<p>up to 5 feet may occur in the required building setbacks for fencing and appurtenances.</p>	<p>i. East (Adjacent to Single Family Residential): 25 feet</p> <p>v. South (Adjacent to Unit 2): 25 feet</p> <p>v. West (Adjacent to 59th Avenue): 25 feet</p> <p>i. West (Adjacent to Unit 1): 20 feet</p> <p>*Except that minor encroachments up to 5 feet may occur in the required building setbacks for fencing and appurtenances.</p>
<p>Required Landscape Setbacks</p>	<p>20' adjacent to a public street; this area is to be in common ownership unless lots front on the perimeter public street; 15' adjacent to property line</p>	<p>a. Landscaping, when required, shall consist of both an appropriate ground cover which shall include living ground cover plant material and suitable placement of shrubs and trees so as to create a setting for uses which can enhance the visual</p>	<p>North: Min. 30 feet</p> <p>East: Min. 35 feet</p> <p>South: Min. 10 feet</p> <p>West: Min. 30 feet</p> <p>*Pedestrian-oriented shade structures are permitted within landscape setback.</p>	<p>North: 25 feet</p> <p>East: 20 feet</p> <p>South: 20 feet</p> <p>West: 20 feet</p>	<p>i. North (Adjacent to Elliott Road): 30 feet</p> <p>i. North (Adjacent to Unit 1): 10 feet</p> <p>i. East (Adjacent to Single Family Residential): 25 feet</p> <p>v. South (Adjacent</p>

		<p>attractiveness of the site and to offer a desirable transition to other uses. All landscaped areas shall be supplied with an appropriate watering system. Plant materials shall be maintained in a living condition and shall be selected on the basis of minimizing water consumption, the provision of shade and visual screening where appropriate, and enhancement of the site development.</p> <p>b. Required setbacks adjacent to a street or canal right-of-way shall be landscaped.</p> <p>c. Where a lot line, not on a street, abuts residential zoning, there shall be</p>			<p>to Unit 2): 15 feet West (Adjacent to 59th Avenue): 25 feet</p> <p>West (Adjacent to Unit 1): 20 feet</p>
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		provided a minimum five-foot-wide landscaped area containing at least fifteen gallon evergreen trees planted to average a minimum of twenty feet on center.			
Minimum Open Space	5% of gross area	N/A	Minimum 5% for the overall net area of Development Unit 1, exclusive of required landscape setbacks A minimum of two (2) employee amenity areas shall be provided, including but not limited to picnic tables, ramada, seating areas. The employee amenity areas shall each be a minimum of 250 square feet in area.	15% of gross area	10% of gross area
Maximum Residential Density	23.1; 26.4 du/ac with bonus	N/A	N/A	484 units	11 du/gross acre

J. Legal Descriptions

**LOOP 202 & ELLIOT
OVERALL SITE
LEGAL DESCRIPTION**

A portion of (GLO) Lot 1 lying within the Northwest Quarter of Section 17, Township 1 South, Range 2 East of the Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

BEGINNING at a found 3 inch brass cap in hand hole, stamped T1S, R2E, S7, S8, S17, S18, RLS 54404, dated 2020 accepted as the Northwest corner of said Section 17 from which a found 3 inch City of Phoenix brass cap in hand hole accepted as the North Quarter corner thereof bears South 89°54'45" East, 2619.11 feet;

THENCE South 89°54'45" East, 1267.68 feet on the northerly boundary of the Northwest quarter of said Section 17;

THENCE leaving said northerly boundary, South 01°05'33" East, 1304.07 feet on the westerly boundary of "Ellison Trails" per Book 1478, Page 50, Maricopa County Records, Arizona to the southwest corner thereof;

THENCE on the southerly boundary of said "Ellison Trails" being in common line with the north line of said (GLO) Lot 1, South 89°44'51" East, 12.41 feet to the northwest corner of "Tierra Montana Phase 1 - Parcel 6" per Book 1019, Page 16, Maricopa County Records, Arizona;

THENCE on the westerly boundary of said final plat being in common line with the east line of said (GLO) Lot 1, South 00°12'04" West, 1304.04 feet to the East-West Mid-Section line of said Section 17;

THENCE on said Mid-Section line being in common line with the south line of said (GLO) Lot 1, North 89°34'59" West, 399.07 feet to a line parallel with and 25.00 feet southwesterly of the Northeasterly right of way line of Loop 202;

THENCE on said parallel line the following 3 courses:

THENCE North 38°49'05" West, 496.93 feet;

THENCE North 33°15'34" West, 175.46 feet;

THENCE North 38°40'04" West, 797.22 feet to the westerly boundary of said Northwest Quarter;

THENCE on said westerly boundary, North 00°10'42" East, 1450.61 feet to the **POINT OF BEGINNING**.

The above described parcel contains 2,848,786 sq. ft. (65.399 acres) more or less.

Subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

Prepared by: HILGARTWILSON, LLC
2141 E. Highland Avenue, Suite 250
Phoenix, AZ 85016
Project No. 2399
Date: June 2023



ELLIOT ROAD

S89°54'45"E 2619.11'

S89°54'45"E 1267.68'

1351.43'

NORTH QUARTER CORNER

SECTION 17, T1S, R2E

FOUND 3" CITY OF PHOENIX
BRASS CAP IN HAND HOLE,
DOWN 0.6'

DOWN 0.6'

NORTHWEST CORNER

SECTION 17, T1S, R2E

FOUND 3" BRASS CAP IN
HAND HOLE, RLS 54404,
DATED 2020, DOWN 0.6'
POINT OF BEGINNING

N00°10'42"E 2391.28'

N00°10'42"E 1450.61'

S01°05'33"E 1304.07'

OVERALL SITE
2,848,786 SQ FT
65.3991 ACRES



S89°44'51"E
12.41'

N38°40'04"W
797.22'

S00°12'04"W 1304.04'



940.67'

LOOP 202

N33°15'34"W
175.46'

N38°49'05"W
496.93'

727.06'

1309.06'

CARVER ROAD N89°34'59"W 399.07'

N89°34'59"W 2435.18'

PROJ.NO.:	2399
DATE:	JUN 2023
SCALE:	N.T.S.
DRAWN BY:	JK
CHECKED BY:	PR

LOOP 202 & ELLIOT
OVERALL SITE
PHOENIX, ARIZONA
EXHIBIT

HILGARTWILSON
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
P: 602.490.0535 / F: 602.368.2436

ENVISION 202 ELLIOT
LEGAL DESCRIPTION - ZONING
DEVELOPMENT UNIT 1

A portion of (GLO) Lot 1 lying within the Northwest Quarter of Section 17, Township 1 South, Range 2 East of the Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at a found 3 inch City of Phoenix brass cap in hand hole accepted as the North quarter corner of said Section 17 from which a found 3 inch brass cap in hand hole, stamped T1S, R2E, S7, S8, S17, S18, RLS 54404, dated 2020 accepted as the Northwest corner thereof bears North 89°54'45" West, 2619.11 feet;

Thence North 89°54'45" West, 1882.59 feet along the north line of said Northwest Quarter to the **POINT OF BEGINNING**;

Thence leaving said north line, South 00°00'00" East, 1166.32 feet;

Thence North 90°00'00" West, 740.14 feet to the west line of said Northwest Quarter;

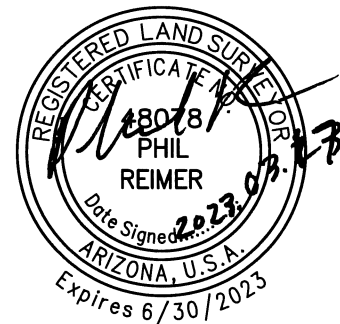
Thence along said west line, North 00°10'42" East, 1167.45 feet to the Northwest corner of said Section 17;

Thence South 89°54'45" East, 736.51 feet to the **POINT OF BEGINNING**.

The above described parcel contains a computed area of 861,540 sq. ft. (19.7782 acres) more or less and being subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

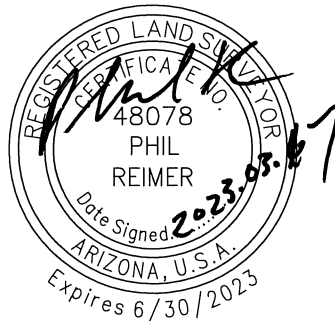
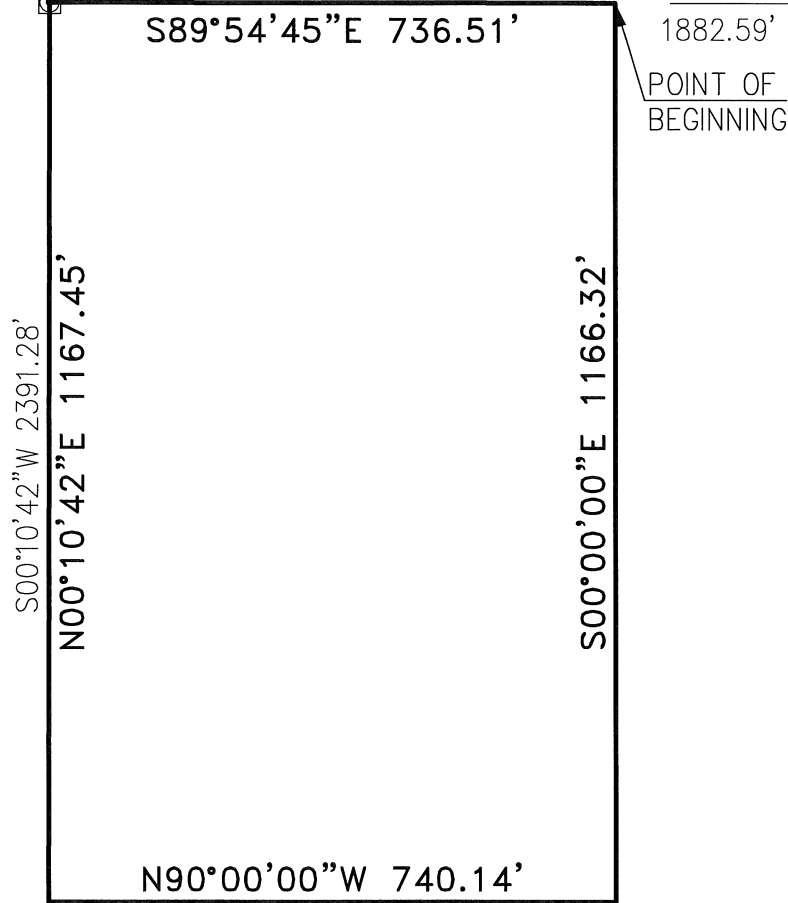
Prepared by: HILGARTWILSON, LLC
2141 E. Highland Avenue, Suite 250
Phoenix, AZ 85016
Project No. 2399
Date: March 2023



NORTHWEST CORNER
SECTION 17, T1S, R2E
FOUND 3" BRASS CAP
IN HAND HOLE, STAMPED
T1S, R2E, S7, S8, S17, S18,
RLS 54404, DATED 2020
DOWN 0.6'

NORTH QUARTER CORNER
SECTION 17, T1S, R2E
FOUND 3" CITY OF PHOENIX
BRASS CAP IN HAND HOLE, DOWN 0.6'
POINT OF COMMENCEMENT

ELLIOT ROAD
N89°54'45"W 2619.11'



PROJ.NO.: 2399	LOOP 202 & ELLIOT COMMERCE PARK PHOENIX, ARIZONA	 HILGARTWILSON 2141 E. HIGHLAND AVE., STE. 250 PHOENIX, AZ 85016 P: 602.490.0535 / F: 602.368.2436
DATE: MAR 2023		
SCALE: N.T.S.	EXHIBIT	
DRAWN BY: JK		
CHECKED BY: KJP		

**LOOP 202 & ELLIOT
MULTI-FAMILY PARCEL
LEGAL DESCRIPTION - ZONING
DEVELOPMENT UNIT 2**

A portion of (GLO) Lot 1 lying within the Northwest Quarter of Section 17, Township 1 South, Range 2 East of the Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at a found 3 inch City of Phoenix brass cap in hand hole accepted as the North quarter corner of said Section 17 from which a found 3 inch brass cap in hand hole, stamped T1S, R2E, S7, S8, S17, S18, RLS 54404, dated 2020 accepted as the Northwest corner thereof bears North 89°54'45" West, 2619.11 feet;

Thence North 89°54'45" West, 1351.43 feet along the north line of said Northwest Quarter;

Thence leaving said north line, South 01°05'33" East, 1304.07 feet along the west line of "Ellison Trails" per Book 1478, Page 50, Maricopa County Records, Arizona to the southwest corner thereof also being the **POINT OF BEGINNING**;

Thence along the south line of said "Ellison Trails" being in common line with the north line of said (GLO) Lot 1, South 89°44'51" East, 12.41 feet to the northwest corner of "Tierra Montana Phase 1 - Parcel 6" per Book 1019, Page 16, Maricopa County Records, Arizona;

Thence along the west line of said final plat being in common line with the east line of said (GLO) Lot 1, South 00°12'04" West, 1304.04 feet to the East-West Mid-Section line of said Section 17;

Thence along said Mid-Section line being in common line with the south line of said (GLO) Lot 1, North 89°34'59" West, 399.07 feet to a line parallel with and 25.00 feet southwesterly of the Northeasterly right of way line of Loop 202;

Thence on said parallel line the following 3 courses:

Thence North 38°49'05" West, 496.93 feet;

Thence North 33°15'34" West, 175.46 feet;

Thence North 38°40'04" West, 797.22 feet to the west line of said Northwest Quarter;

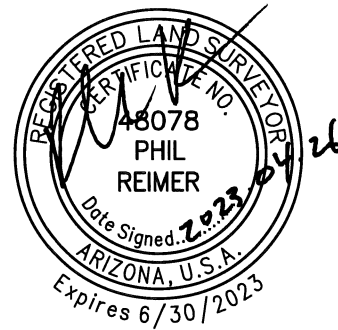
Thence along said west line being in common line with the west line of said (GLO) Lot 1, North 00°10'42" East, 150.55 feet;

Thence leaving said west line, South 89°44'51" East, 1296.60 feet along the north line of said (GLO) Lot 1 to the **POINT OF BEGINNING**.

The above described parcel contains a computed area of 1,179,557 sq. ft. (27.079 acres) more or less and being subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

Prepared by: HILGARTWILSON, LLC
2141 E. Highland Avenue, Suite 250
Phoenix, AZ 85016
Project No. 2399
Date: April 2023



NORTHWEST CORNER
SECTION 17, T1S, R2E
FOUND 3" BRASS CAP
IN HAND HOLE, STAMPED
T1S, R2E, S7, S8, S17, S18,
RLS 54404, DATED 2020
DOWN 0.6'

NORTH QUARTER CORNER
SECTION 17, T1S, R2E
FOUND 3" CITY OF PHOENIX
BRASS CAP IN HAND HOLE
DOWN 0.6'

POINT OF COMMENCEMENT
ELLIOT ROAD

N89°54'45"W 2619.11'
1267.68' 1351.43'

1300.06'

NORTH LINE
OF (GLO)
LOT 1

S01°05'33"E
1304.07'

POINT OF
BEGINNING

N89°44'51"W 1296.60'

S89°44'51"E
12.41'

N00°10'42"E
150.55'

MULTI-FAMILY PARCEL
1,179,557 SQ FT
27.079 ACRES

EAST LINE
OF (GLO)
LOT 1

N38°40'04"W
797.22'

N00°12'04"E 1304.04'

FINAL PLAT OF
"TIERRA MONTANA -
PHASE 1 - PARCEL 6"
BOOK 1019, PAGE 16,
M.C.R.



LOOP 202

N33°15'34"W
175.46'

N38°49'05"W
496.93'

S89°34'59"E
399.07'

WEST LINE
OF (GLO)
LOT 1

CARVER ROAD

SOUTH LINE
OF (GLO)
LOT 1

PROJ.NO.: 2399
DATE: APR 2023
SCALE: N.T.S.
DRAWN BY: JK
CHECKED BY: PR

LOOP 202 & ELLIOT
MULTI-FAMILY PARCEL
PHOENIX, ARIZONA

EXHIBIT


HILGARTWILSON
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
P: 602.490.0535 / F: 602.368.2436

CURATO 202 ELLIOT
LEGAL DESCRIPTION - ZONING
DEVELOPMENT UNIT 3

A portion of (GLO) Lot 1 lying within the Northwest Quarter of Section 17, Township 1 South, Range 2 East of the Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at a found 3 inch City of Phoenix brass cap in hand hole accepted as the North quarter corner of said Section 17 from which a found 3 inch brass cap in hand hole, stamped T1S, R2E, S7, S8, S17, S18, RLS 54404, dated 2020 accepted as the Northwest corner thereof bears North 89°54'45" West, 2619.11 feet;

Thence North 89°54'45" West, 1351.43 feet along the north line of said Northwest Quarter to the **POINT OF BEGINNING**;

Thence leaving said north line, South 01°05'33" East, 1304.07 feet along the west line of "Ellison Trails" per Book 1478, Page 50, Maricopa County Records, Arizona to the southwest corner thereof;

Thence leaving said west line, North 89°44'51" West, 1296.60 feet along the North line of said (GLO) Lot 1;

Thence leaving said north line, North 00°10'42" East, 132.61 feet along the west line of said Northwest Quarter;

Thence leaving said west line, North 90°00'00" East, 740.14 feet;

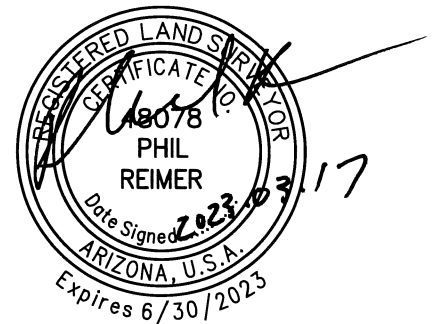
Thence North 00°00'00" East, 1166.32 feet to the north line of said Northwest Quarter;

Thence along said north line, South 89°54'45" East, 531.17 feet to the **POINT OF BEGINNING**.

The above described parcel contains a computed area of 807,688 sq. ft. (18.5420 acres) more or less and being subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

Prepared by: HILGARTWILSON, LLC
2141 E. Highland Avenue, Suite 250
Phoenix, AZ 85016
Project No. 2399
Date: March 2023

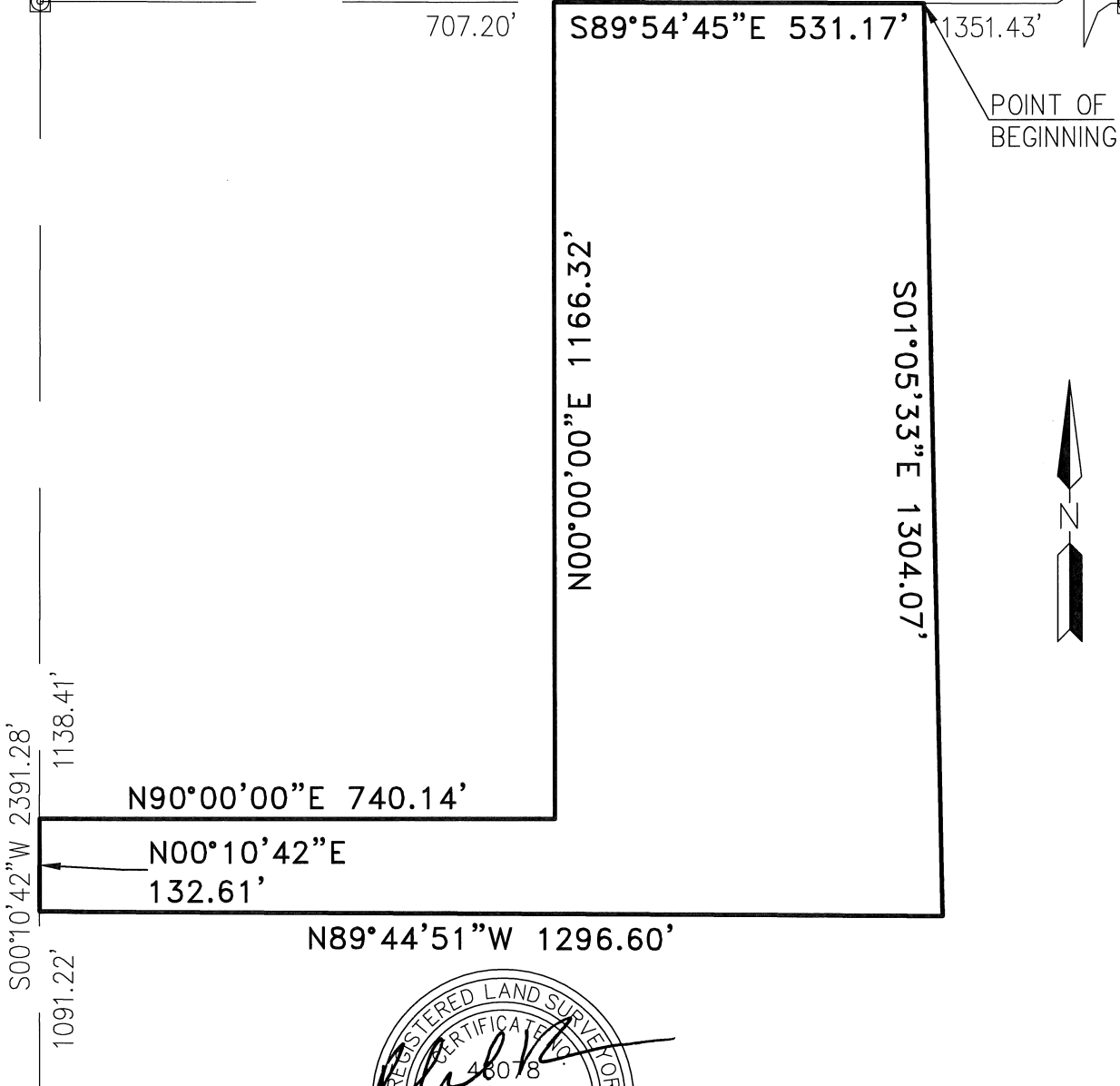


NORTHWEST CORNER
SECTION 17, T1S, R2E
FOUND 3" BRASS CAP IN HAND HOLE,
STAMPED T1S, R2E, S7, S8, S17, S18,
RLS 54404, DATED 2020, DOWN 0.6'

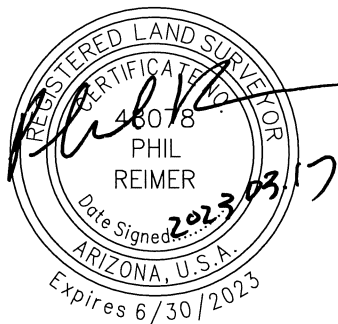
NORTH QUARTER CORNER
SECTION 17, T1S, R2E
FOUND 3" CITY OF PHOENIX
BRASS CAP IN HAND HOLE, DOWN 0.6'
POINT OF COMMENCEMENT

ELLIOT ROAD

N89°54'45"W 2619.11'



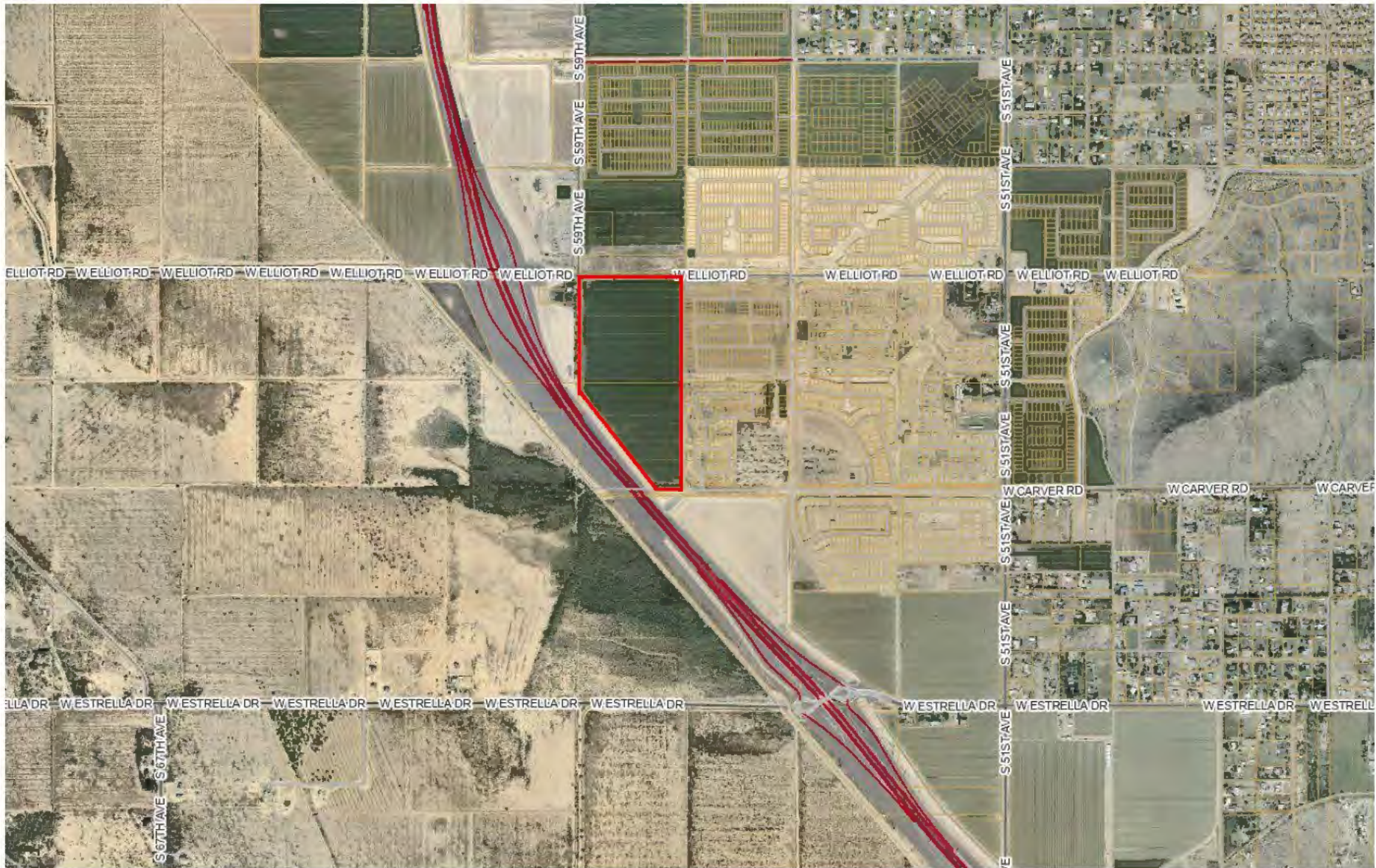
POINT OF BEGINNING



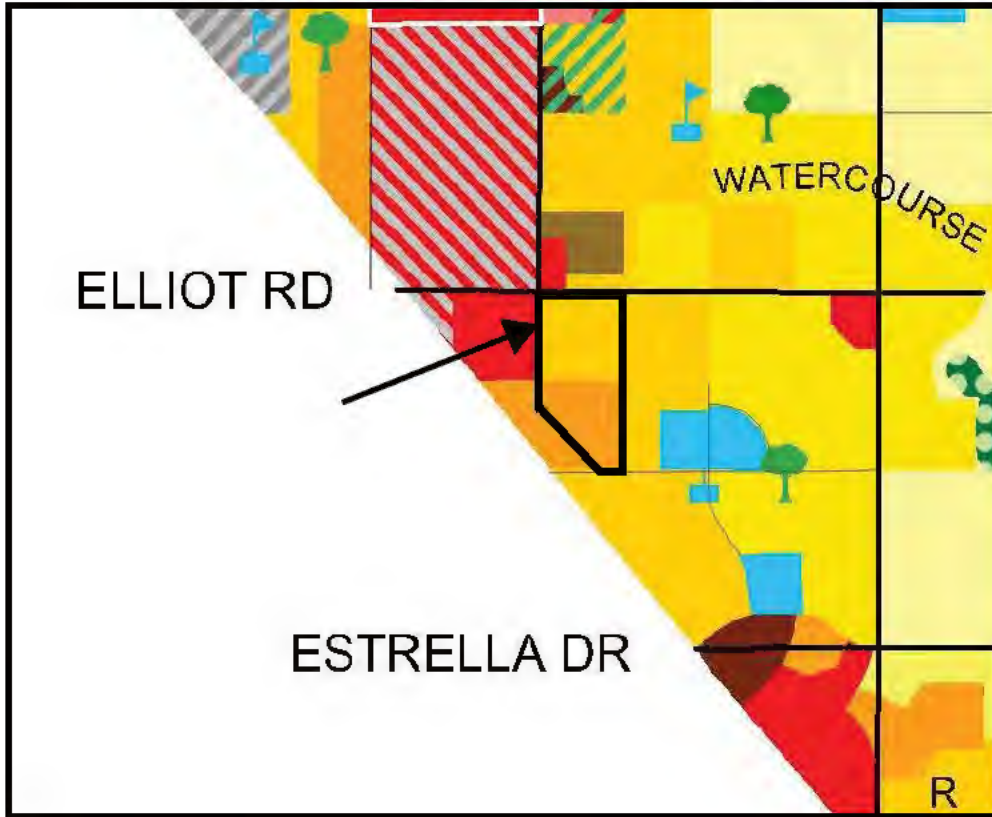
PROJ.NO.: 2399	LOOP 202 & ELLIOT	 HILGARTWILSON 2141 E. HIGHLAND AVE., STE. 250 PHOENIX, AZ 85016 P: 602.490.0535 / F: 602.368.2436
DATE: MAR 2023		
SCALE: N.T.S.	CASITA MULTI-FAMILY PHOENIX, ARIZONA	
DRAWN BY: JK	EXHIBIT	
CHECKED BY: KJP		

Tab 1





Tab 2



LEGEND

LAND USE

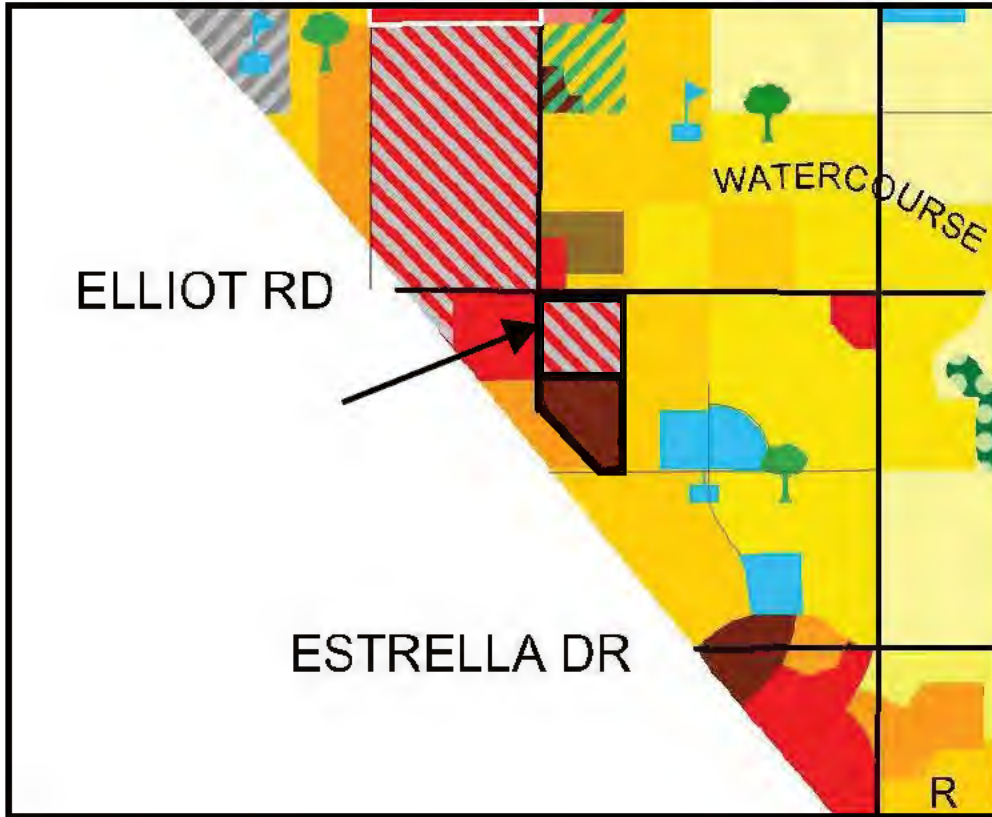
- 0 to 1 du/acre - Large Lot
- 1 to 2 du/acre - Large Lot
- 2 to 3.5 du/acre - Traditional Lot
- 3.5 to 5 du/acre - Traditional Lot
- 5 to 10 du/acre - Traditional Lot
- 10 to 15 du/acre - Higher density attached townhouses, condos, or apartments
- 15+ du/acre - Higher density attached townhouses, condos, or apartments
- Parks/Open Space - Publicly Owned
- Parks/Open Space - Privately Owned
- Future Parks/Open Space or 1 du/acre
- Mixed Use Agricultural
- Nurseries/Flower Gardens with alternative 3.5 to 5 du/acre
- Commercial
- Mixed Use (MU)
- Mixed Use (Areas C, D and Northwest Area only)
- Industrial
- Commerce / Business Park
- Public/Quasi-Public
- Floodplain
- Undesignated Area

NOTE:
Movement within large lot, traditional lot and higher density residential categories does not require a General Plan amendment.

- Proposed Park in Area
- Proposed School in Area
- R Resort (See NOTES: below)
- 10 Density Cap
- Density Cap Limit
- Primary Core
- Secondary Core
- Canal, Watercourse, Wash
- Existing Railroad
- Arterial and Collector Streets
- Future Transportation
- Light Rail
- Laveen Conveyance Channel
- Infrastructure Limit Line (North Black Canyon)



Tab 3

















LEGEND

LAND USE

-  0 to 1 du/acre - Large Lot
-  1 to 2 du/acre - Large Lot
-  2 to 3.5 du/acre - Traditional Lot
-  3.5 to 5 du/acre - Traditional Lot
-  5 to 10 du/acre - Traditional Lot
-  10 to 15 du/acre - Higher density attached townhouses, condos, or apartments
-  15+ du/acre - Higher density attached townhouses, condos, or apartments
-  Parks/Open Space - Publicly Owned
-  Parks/Open Space - Privately Owned
-  Future Parks/Open Space or 1 du/acre
-  Mixed Use Agricultural
-  Nurseries/Flower Gardens with alternative 3.5 to 5 du/acre
-  Commercial
-  Mixed Use (MU)
-  Mixed Use (Areas C, D and Northwest Area only)
-  Industrial
-  Commerce / Business Park
-  Public/Quasi-Public
-  Floodplain
-  Undesignated Area

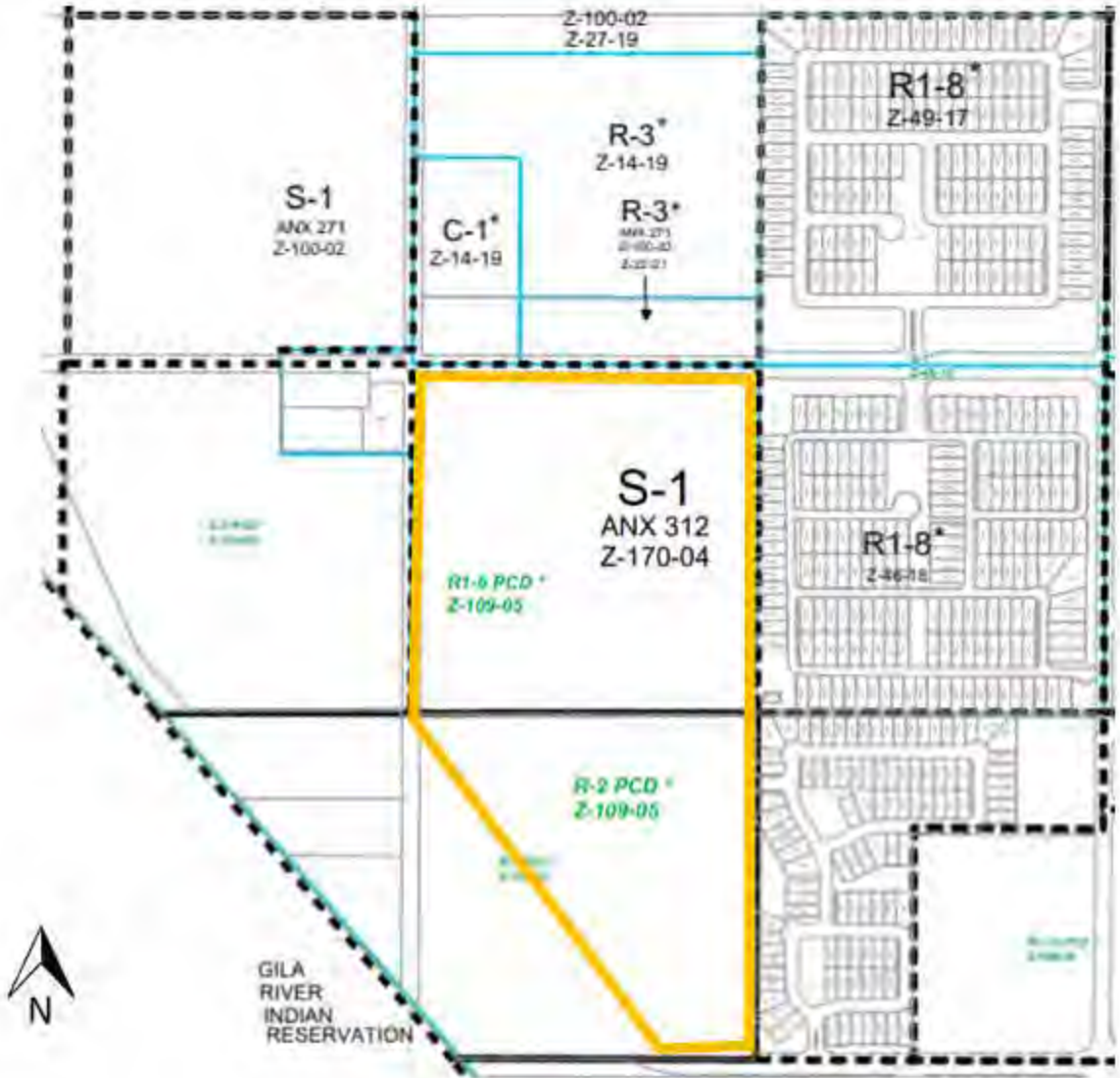
NOTE:
Movement within large lot, traditional lot and higher density residential categories does not require a General Plan amendment.

-  Proposed Park in Area
-  Proposed School in Area
-  Resort (See NOTES: below)
-  Density Cap
-  Density Cap Limit
-  Primary Core
-  Secondary Core
-  Canal, Watercourse, Wash
-  Existing Railroad
-  Arterial and Collector Streets
-  Future Transportation
-  Light Rail
-  Laveen Conveyance Channel
-  Infrastructure Limit Line (North Black Canyon)



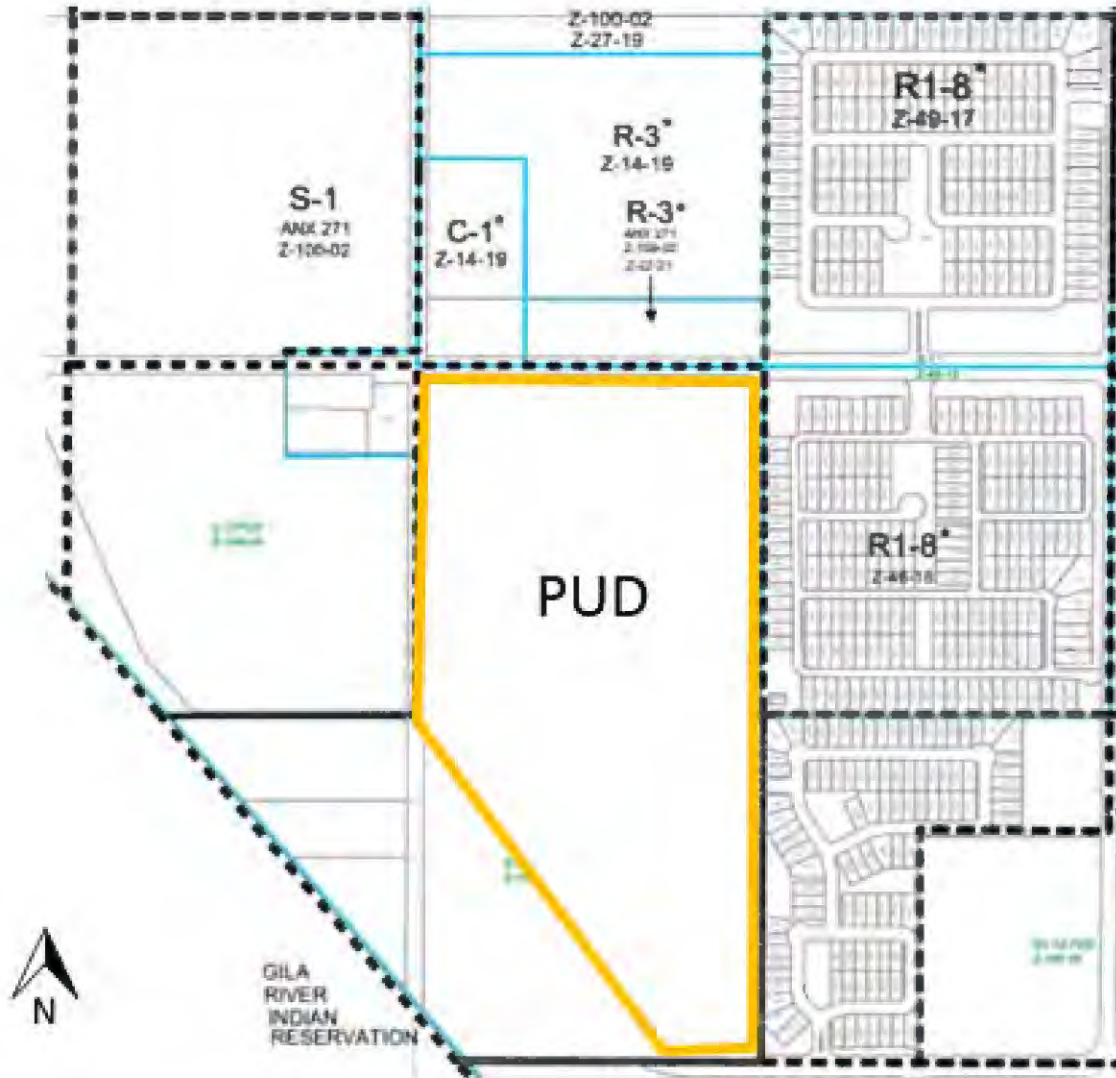
Tab 4

Existing Zoning Index Map: S-1 (Approved R1-6 and R-2 PCD)

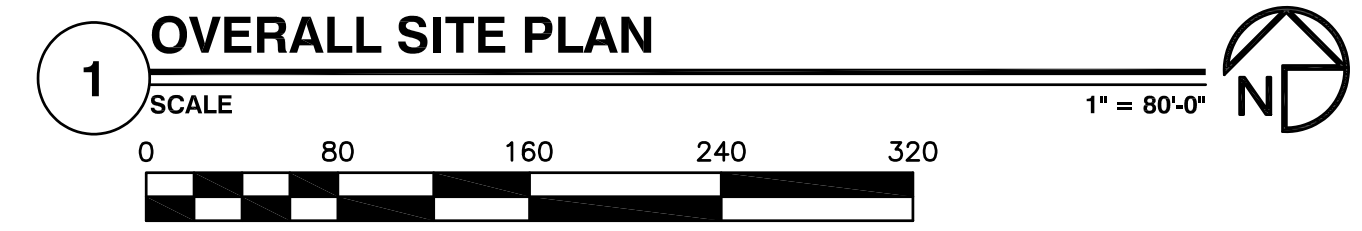
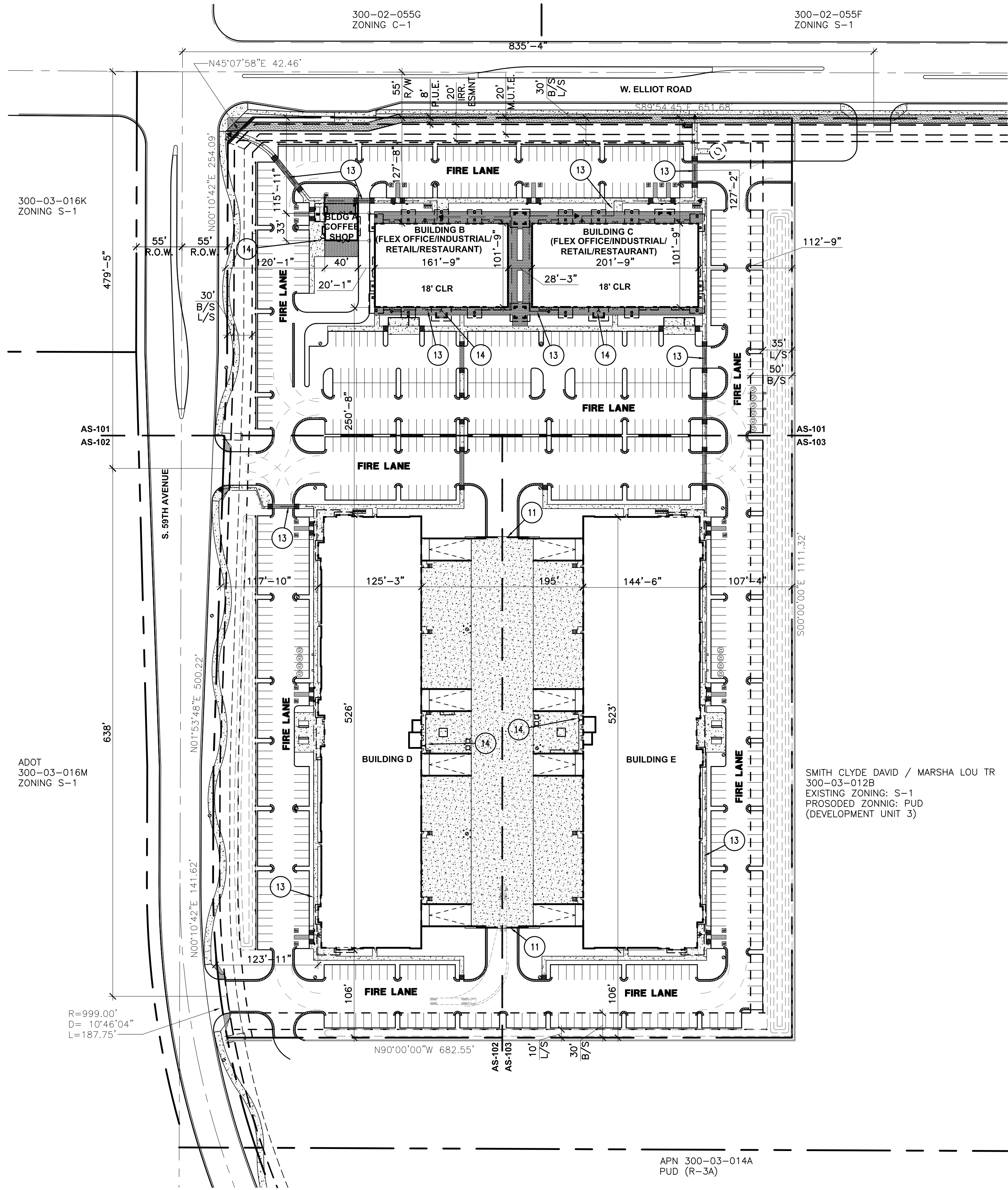


Tab 5

Proposed Zoning Index Map: PUD



Tab 6



ADOT
300-03-016M
ZONING S-1

SMITH CLYDE DAVID / MARSHA LOU TR
300-03-012B
EXISTING ZONING: S-1
PROPOSED ZONING: PUD (DEVELOPMENT UNIT 3)

APN 300-03-014A
PUD (R-3A)

SITE DATA

APN: 300-03-012B
ZONING: PUD (GENERAL COMMERCE PARK / INDUSTRIAL)

CONSTRUCTION TYPE: III-B
CONSTRUCTION TYPE:

THIS PROJECT PROPOSES TO DEVELOP EXISTING FARM LAND ADJACENT TO THE NEW 202 LOOP IN THE SOUTH VALLEY INTO A COMMERCE BUSINESS PARK WITH POSSIBLE USES INCLUDING OFFICE, RETAIL, RESTAURANTS AND LIGHT INDUSTRIAL, WHICH MAY INCLUDE MANUFACTURING AND WAREHOUSE USES. THE PROJECT WILL INCLUDE A MIXTURE OF BUILDING SIZES, ALL WITH COMPLEMENTARY ARCHITECTURAL STYLES. THE BUILDINGS ARE DESIGNED SUCH THAT THEY CAN ACCOMMODATE ONE TENANT OR MULTIPLE FUTURE TENANTS.

SITE AREA:
GROSS SITE = 860,490 S.F. (19.8 ACRES)
NET SITE = 766,979 S.F. (17.6 ACRES)

BUILDING AREA

BUILDING A BUILDING FOOTPRINT	1,320 S.F.
BUILDING B BUILDING FOOTPRINT	16,458 S.F.
BUILDING C BUILDING FOOTPRINT	20,528 S.F.
BUILDING D BUILDING FOOTPRINT	63,580 S.F.
BUILDING E BUILDING FOOTPRINT	74,010 S.F.

LOT COVERAGE:
NET AREA COVERAGE = 175,896/766,979 = 23%

OPEN SPACE CALCULATIONS:

OPEN SPACE AREA	= 105,327 S.F.
97,145/766,979	= 12.7% PROVIDED
MIN. REQUIRED	= 5%

BUILDING HEIGHT RESTRICTION:
ALLOWED: 35' TOP OF ROOF DECK
PROPOSED: 35' MAX.

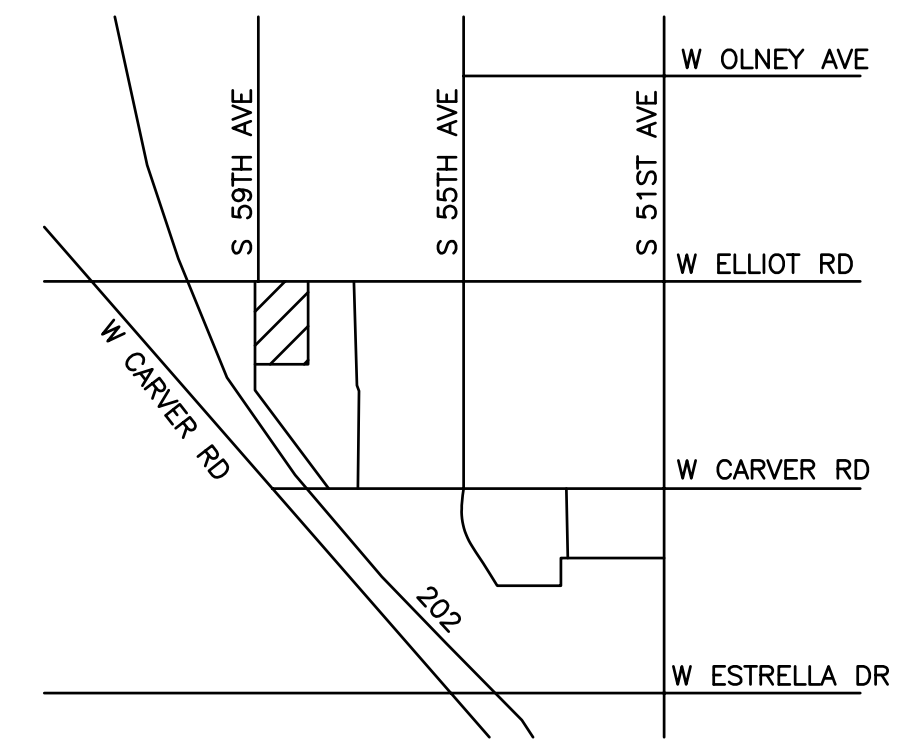
LOCATION ON PROPERTY:
REQUIRED SETBACK:
FRONT (NORTH) BUILDING SETBACK = 30'-0"
SIDE (EAST) BLDG SETBACK = 50'-0"
REAR (SOUTH) BUILDING SETBACK = 30'-0"
SIDE (WEST) BLDG SETBACK = 30'-0"
PROVIDED SETBACK:
NORTH = VARIES - 115'-11" MIN.
EAST = VARIES - 107'-4" MIN.
SOUTH = 106'-0"
WEST = VARIES - 117'-10" MIN.

SITE LANDSCAPING:
REQUIRED LANDSCAPE SETBACK:
NORTH SETBACK = 30'-0"
EAST SETBACK = 35'-0"
SOUTH SETBACK = 10'-0"
WEST SETBACK = 30'-0"
PROVIDED LANDSCAPE SETBACK:
NORTH SETBACK = 30'-0"
EAST SETBACK = 35'-0"
SOUTH SETBACK = 10'-0"
WEST SETBACK = 30'-0"
SURFACE PARKING LOT:
SURFACE PARKING AREA = 117,495 SF
PARKING AREA LANDSCAPING = 7,144 SF
PARKING LANDSCAPE RATIO = 7,144 / 117,495 SF = 6% PROVIDED
MIN. REQUIRED = 5%

PROJECT TEAM

OWNER: IDM 6720 N. SCOTTSDALE RD., SUITE 200 SCOTTSDALE, AZ 85253 PHONE: (317) 966-3137 EMAIL: PATRICE.MARCOLLA@IDMBUILDS.COM CONTACT: PATRICE MARCOLLA	ARCHITECT: DEUTSCH ARCHITECTURE GROUP 4600 EAST INDIAN SCHOOL ROAD PHOENIX, AZ 85018 PHONE: (602) 840-2929 x139 E-MAIL: SSTAMBOLOS@2929.COM CONTACT: SHARON STAMBOLOS
--	--

VICINITY MAP



**C.O. PHOENIX
SITE PLAN NOTES**

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
4. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
5. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33'X33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
6. AN ASSOCIATION, INCLUDING ALL PROPERTY OWNERS IN THE DEVELOPMENT, WILL BE FORMED AND HAVE RESPONSIBILITY FOR MAINTAINING ALL COMMON AREAS NOTED AS "TRACTS" OR "EASEMENTS", INCLUDING PRIVATE STREETS, LANDSCAPED AREAS, AND DRAINAGE FACILITIES IN ACCORDANCE WITH APPROVED PLANS.
7. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
8. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY. IN ACCORDANCE WITH APPROVED PLANS, ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
9. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
10. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
11. ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.
12. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

LEGEND

- FIRE HYDRANT
- SIGHT VISIBILITY TRIANGLE
- PAINT CONCRETE PARKING CURB RED PER COP FIRE DEPARTMENT STANDARDS
- SINGLE SIDED "NO PARKING" SIGN PER COP FD FIGURE 5-4 AND CHAPTER 503.3.2
- DOUBLE SIDED "NO PARKING" SIGN PER COP FD FIGURE 5-4 AND CHAPTER 503.3.2
- KNOX BOX PER COP FIRE DEPARTMENT STANDARDS, MOUNTED 5-1/2 TO 6 FEET ABOVE GRADE.
- ACCESSIBLE ROUTE FROM PUBLIC WAY
- FIRE TRUCK TURN RADIUS
 - * 20' WIDE
 - * 35' INTERIOR RADIUS
 - * 55' OUTER RADIUS
- FDC

KEYNOTES

11. METAL PICKET SLIDING GATE
13. ACCESSIBLE ROUTE TO PUBLIC WAY
14. FIRE DEPARTMENT CONNECTION

LEGAL DESCRIPTION

A PORTION OF (GLO) LOT 1 LYING WITHIN THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 10°46'04", AN ARC LENGTH OF 187.75 FEET TO A TANGENT LINE;

THENCE CONTINUING ALONG SAID EASTERLY RIGHT OF WAY THE FOLLOWING 4 COURSES; THENCE NORTH 00°10'42" EAST, 141.62 FEET;

THENCE NORTH 01°53'48" EAST, 500.22 FEET;

THENCE NORTH 00°10'42" EAST, 254.09 FEET;

THENCE NORTH 45°07'58" EAST, 42.46 FEET TO THE SOUTHERLY RIGHT OF WAY OF ELLIOT ROAD;

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY, SOUTH 89°54'45" EAST, 651.68 FEET TO THE POINT OF BEGINNING.

THENCE NORTH 90°00'00" WEST, 682.55 FEET TO A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 999.00 FEET, THE CENTER OF WHICH BEARS NORTH 79°24'37" EAST ALSO BEING THE EASTERLY RIGHT OF WAY OF 59TH AVENUE;

CITY STAMP

FIRST ISSUED: 09/22/22

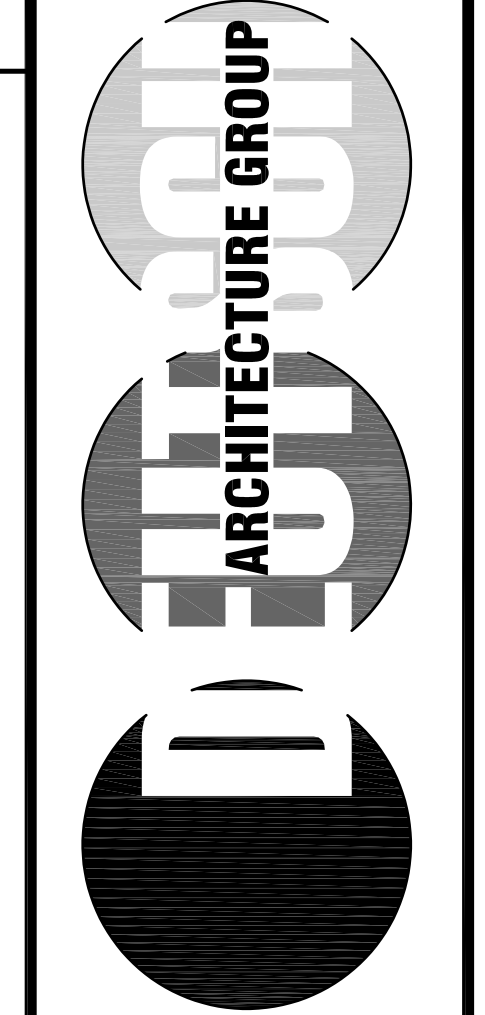
Revisions	

PROJECT NO: 22137.00
DRAWN BY: JN
CHK'D BY: SES
COPYRIGHT 2022: DEUTSCH ARCHITECTURE GROUP

MASTER SITE PLAN & SITE DATA

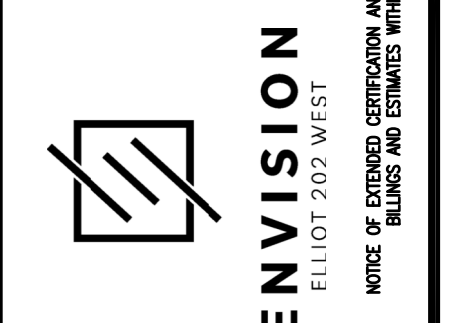
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2929.COM

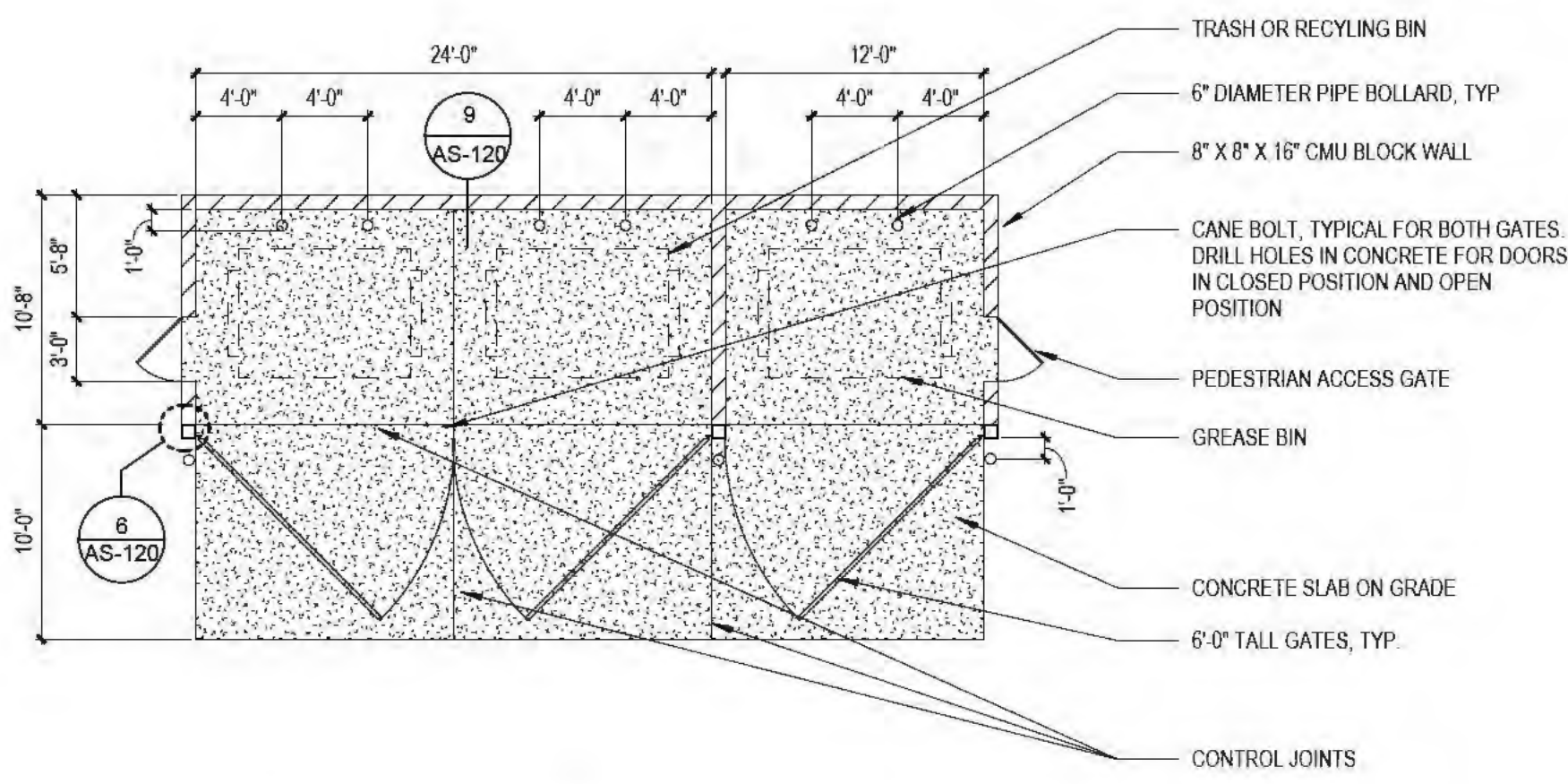


**4600 EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
602-840-2929 P
602-840-6646 F**

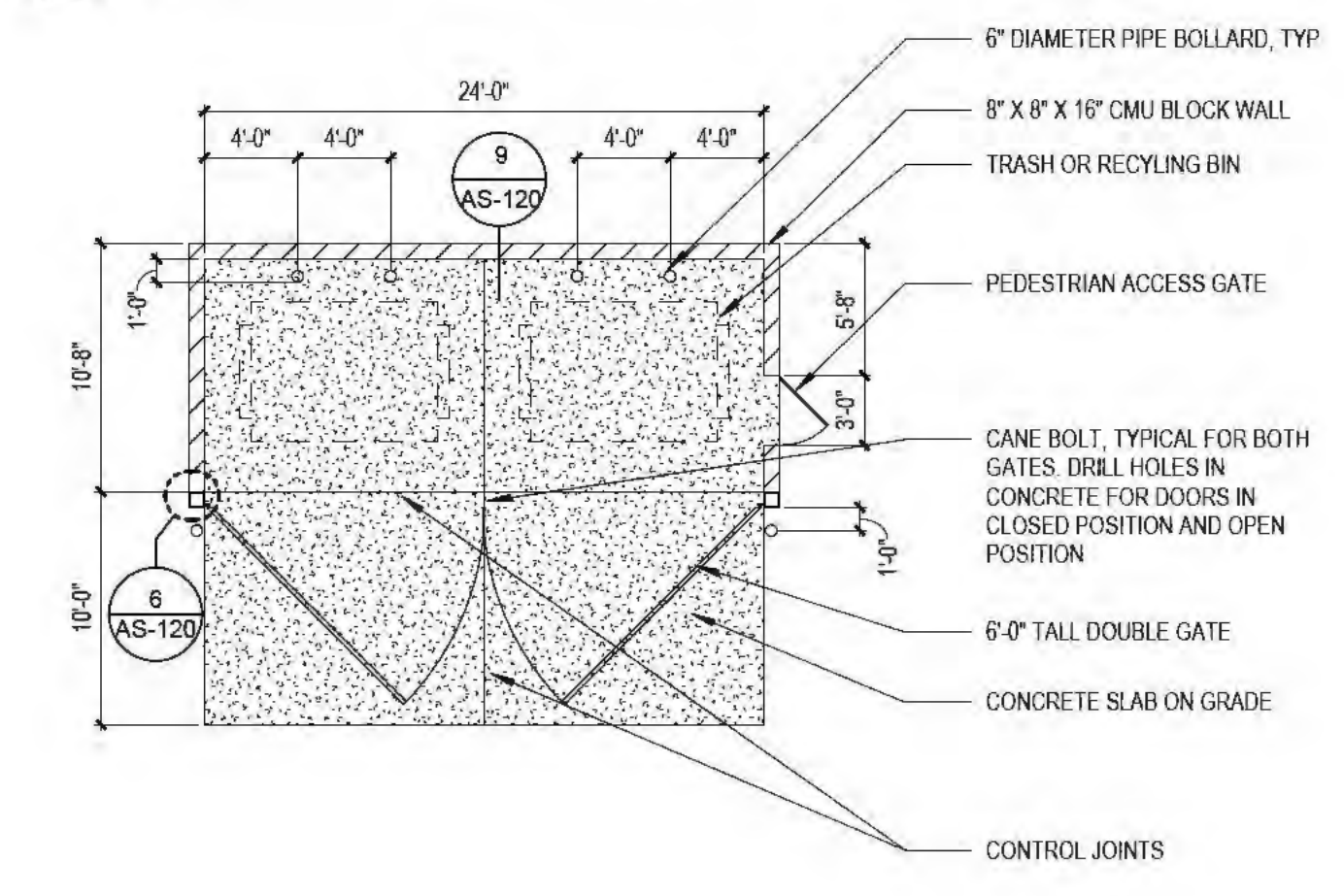
ENVISSION ELLIOT 202 WEST
SE CORNER OF W. ELLIOT RD. & S. 59TH AVE.
PHOENIX, AZ 85039



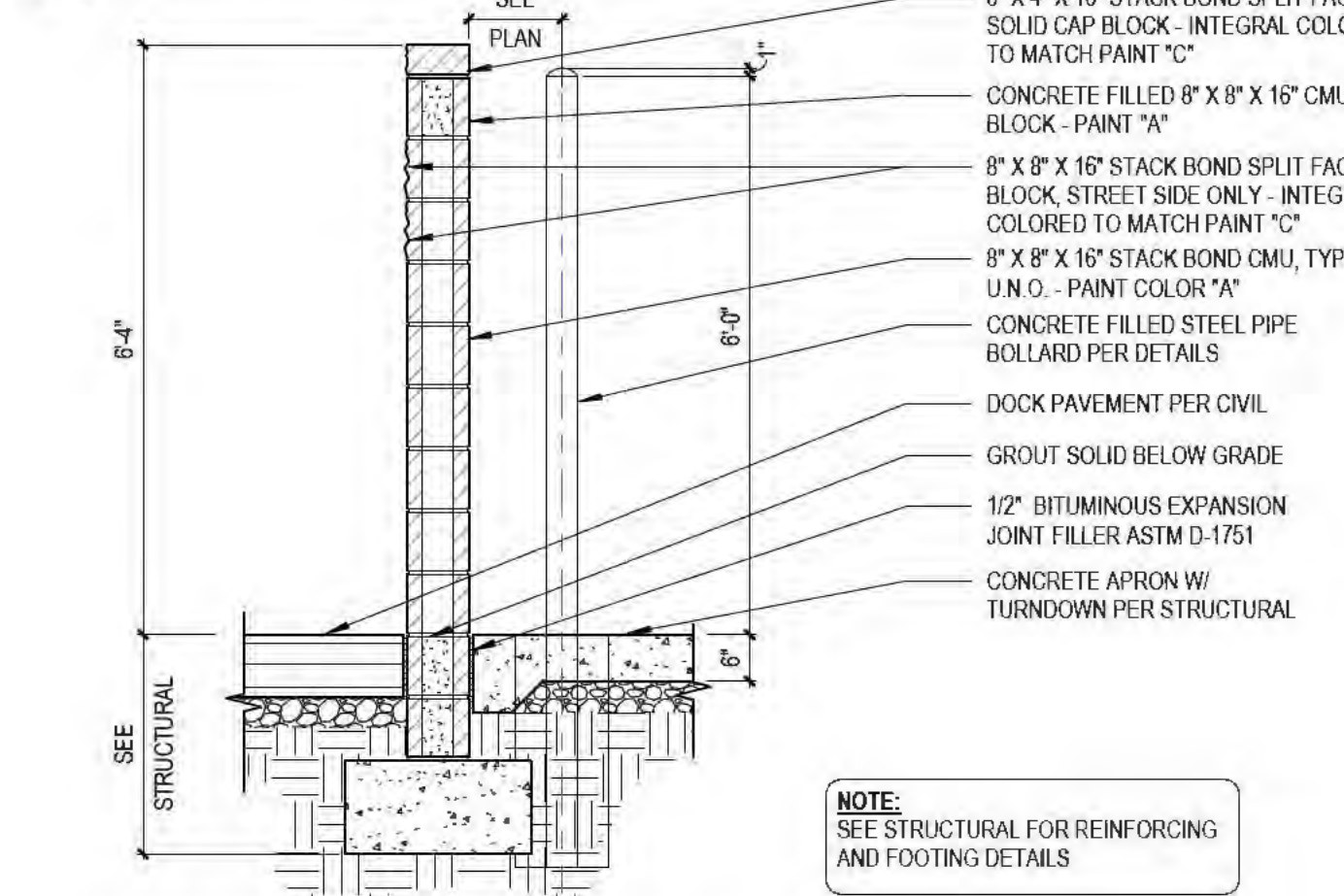
PRELIMINARY - NOT FOR CONSTRUCTION



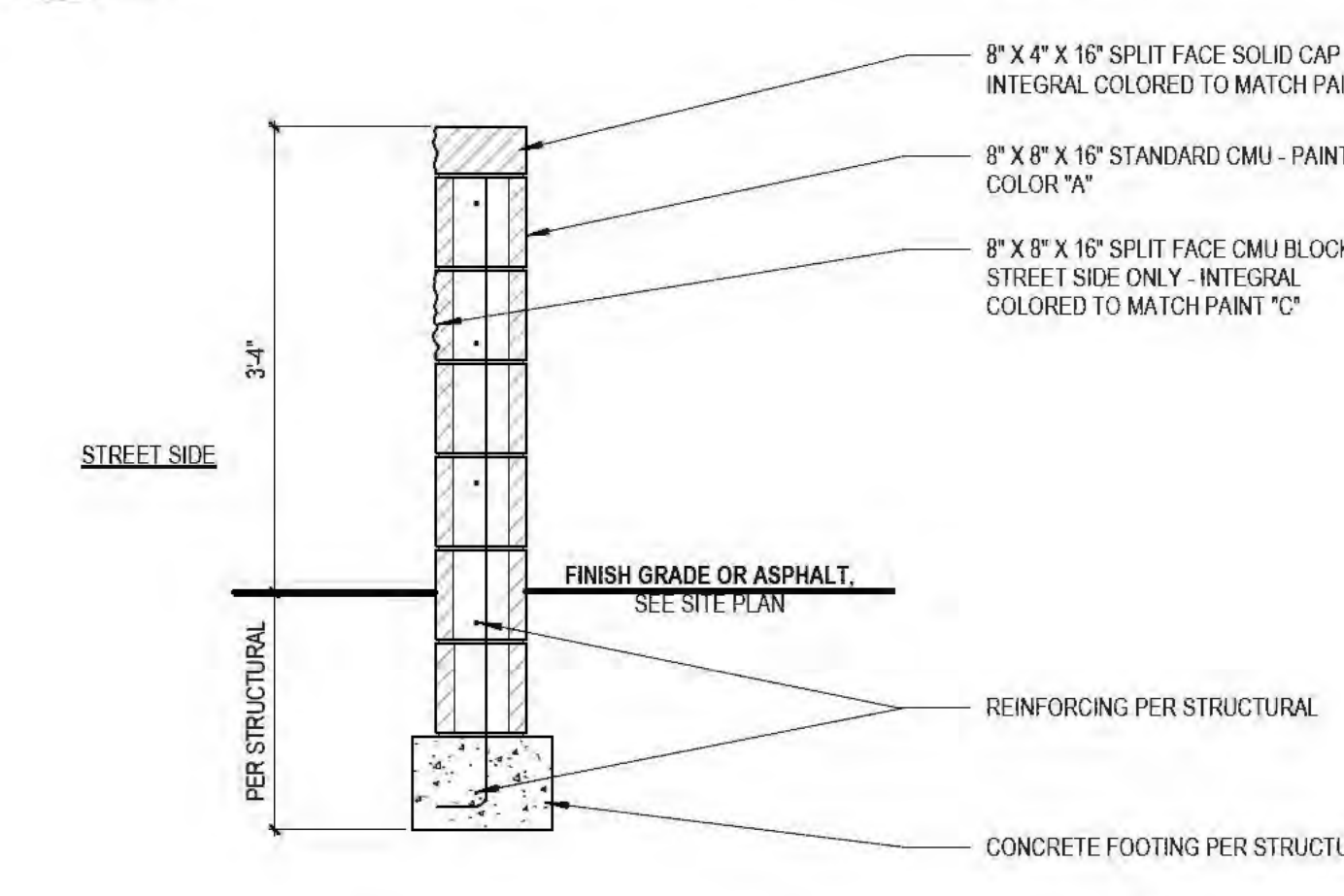
1 TRASH & GREASE ENCLOSURE WITH MAN GATE
SCALE 1/8" = 1'-0"



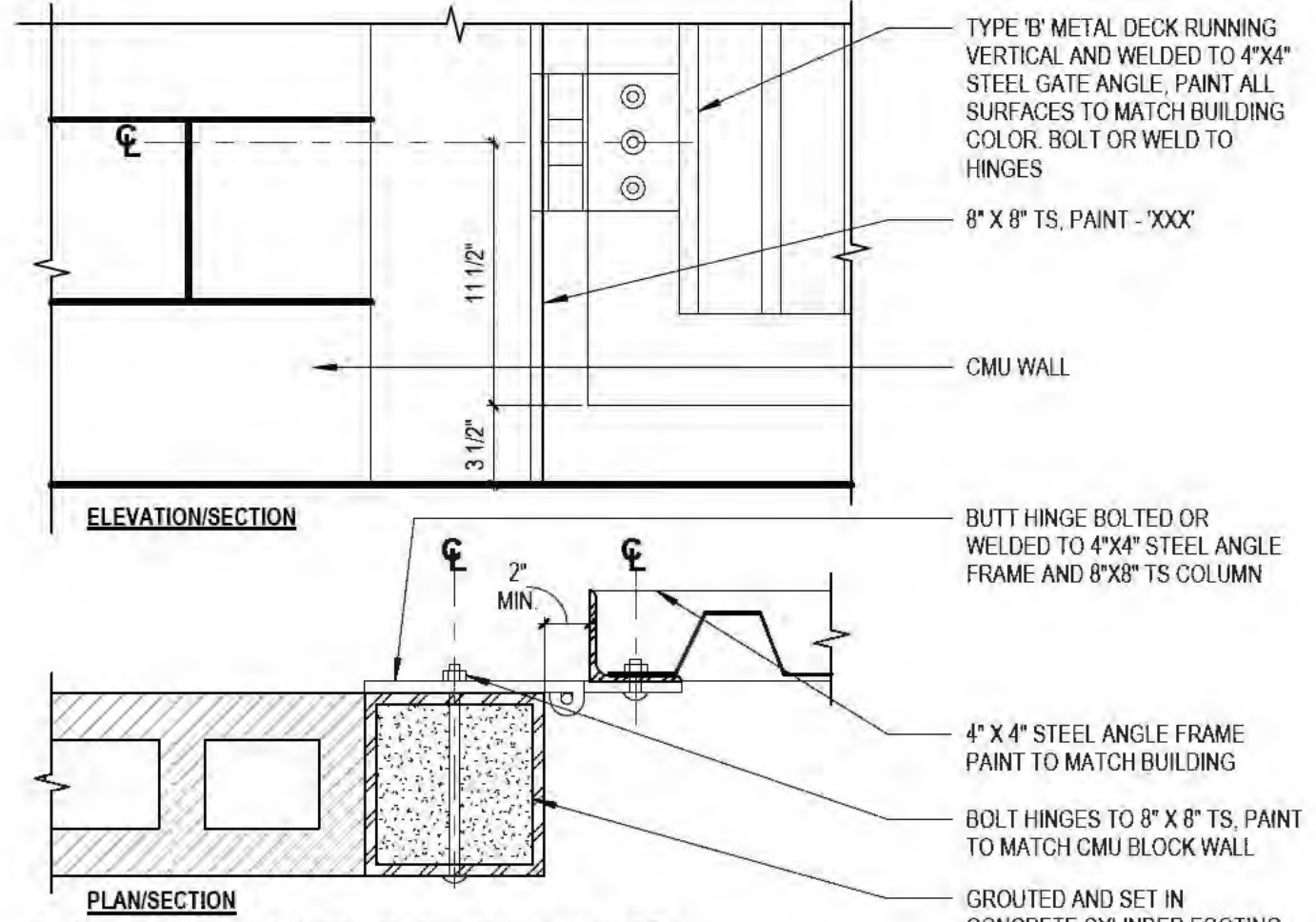
5 TRASH ENCLOSURE WITH MAN GATE
SCALE 1/8" = 1'-0"



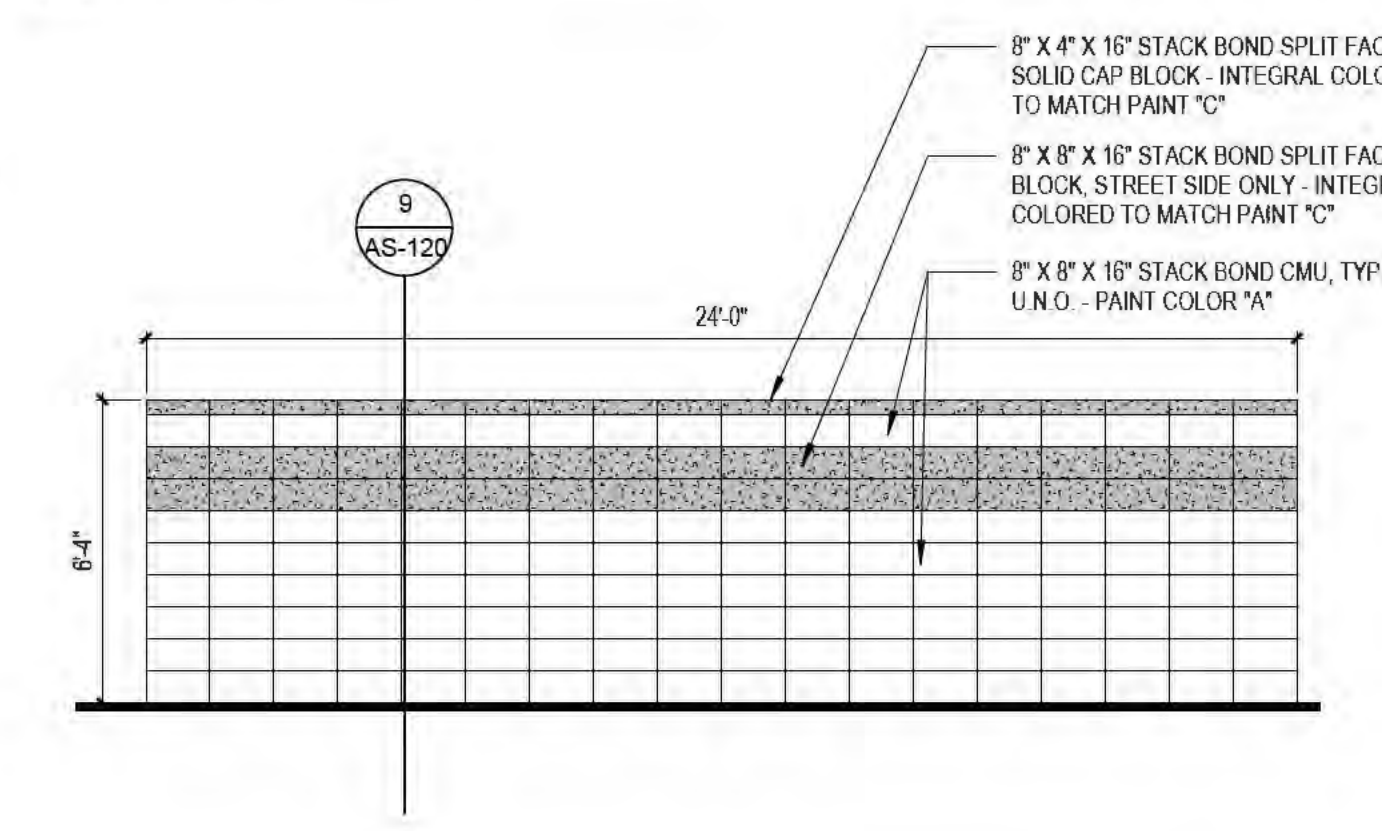
9 TRASH ENCLOSURE - SECTION
SCALE 1/2" = 1'-0"



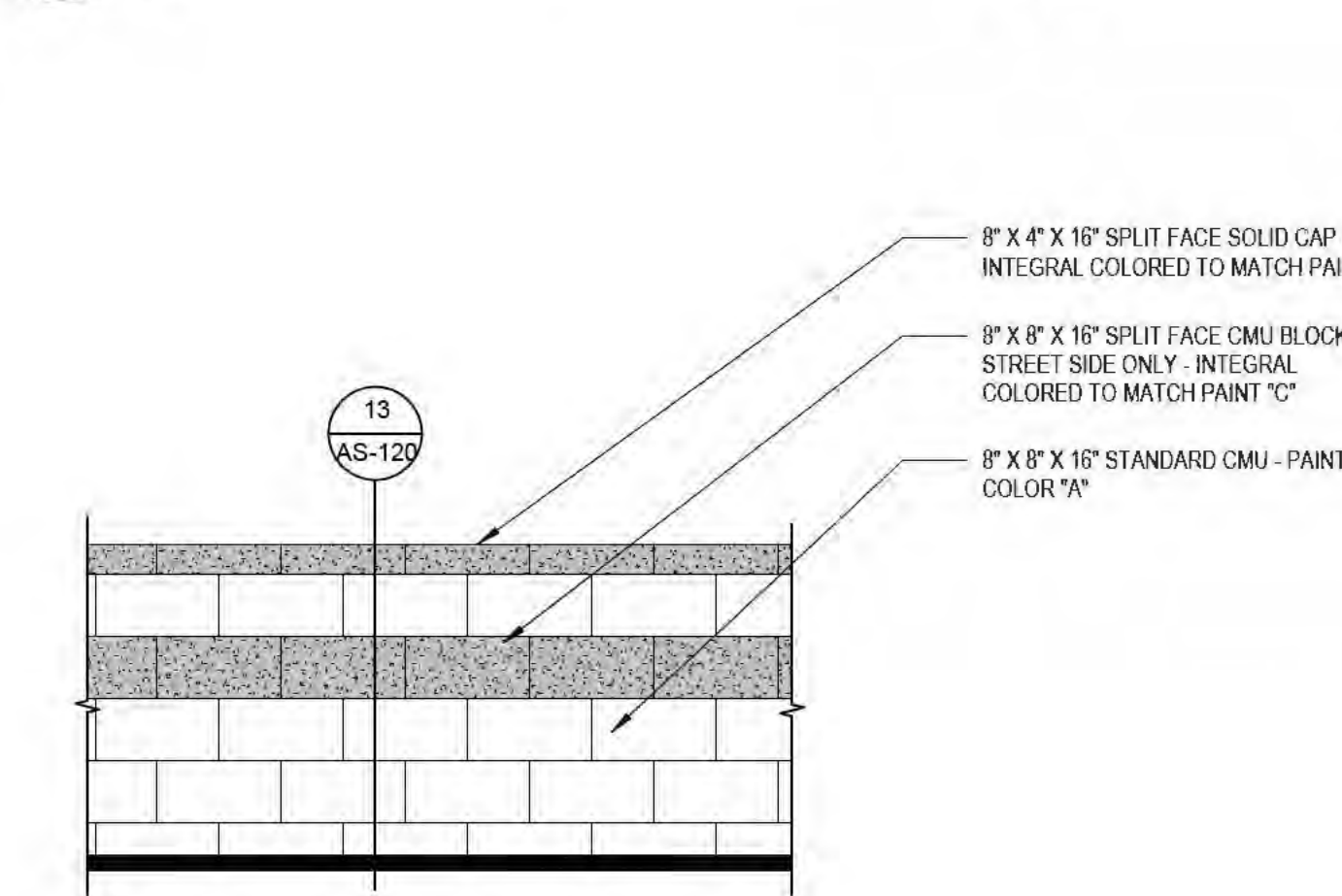
13 SECTION AT PARKING SCREEN WALL
SCALE 3/4" = 1'-0"



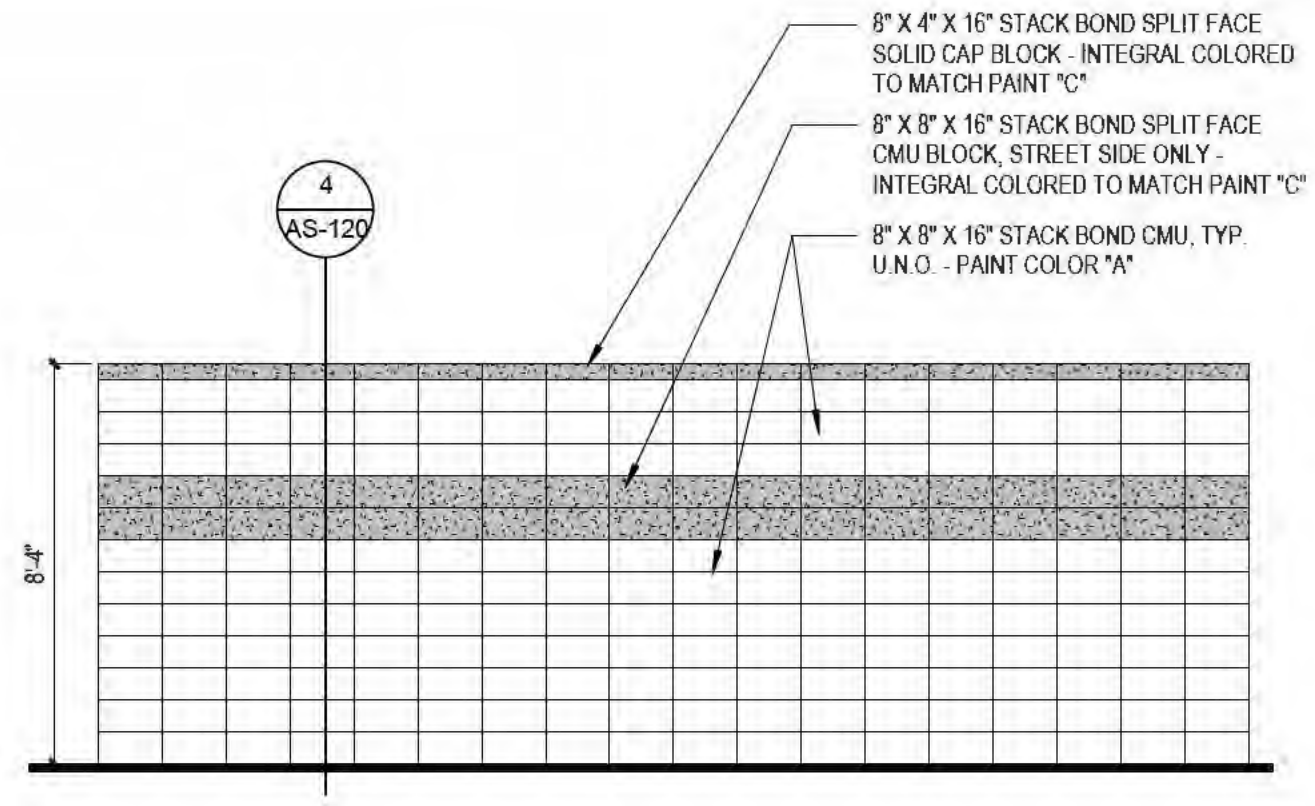
6 TRASH ENCLOSURE - HINGE
SCALE 1 1/2" = 1'-0"



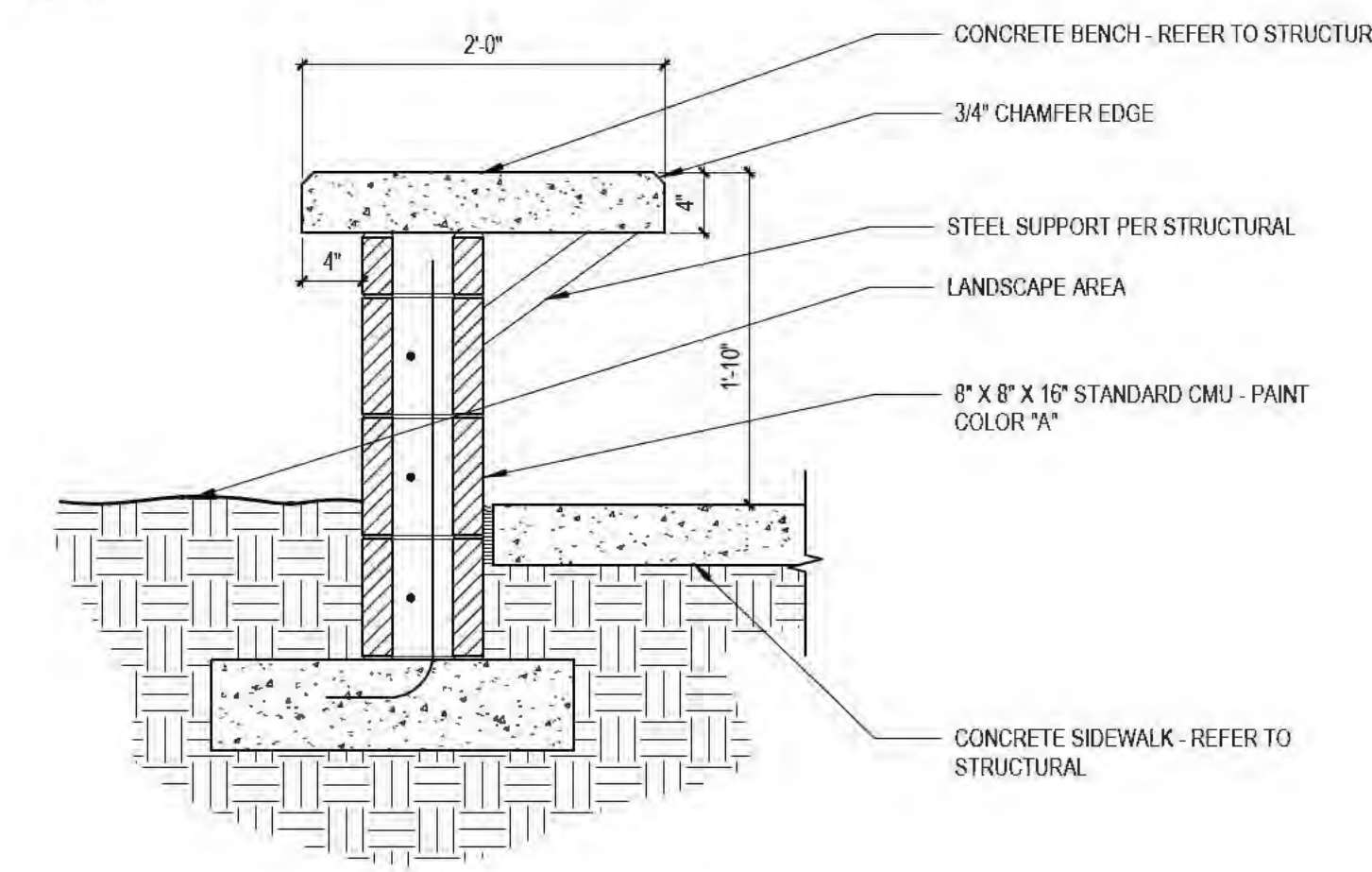
10 TRASH ENCLOSURE - ELEVATION
SCALE 1/4" = 1'-0"



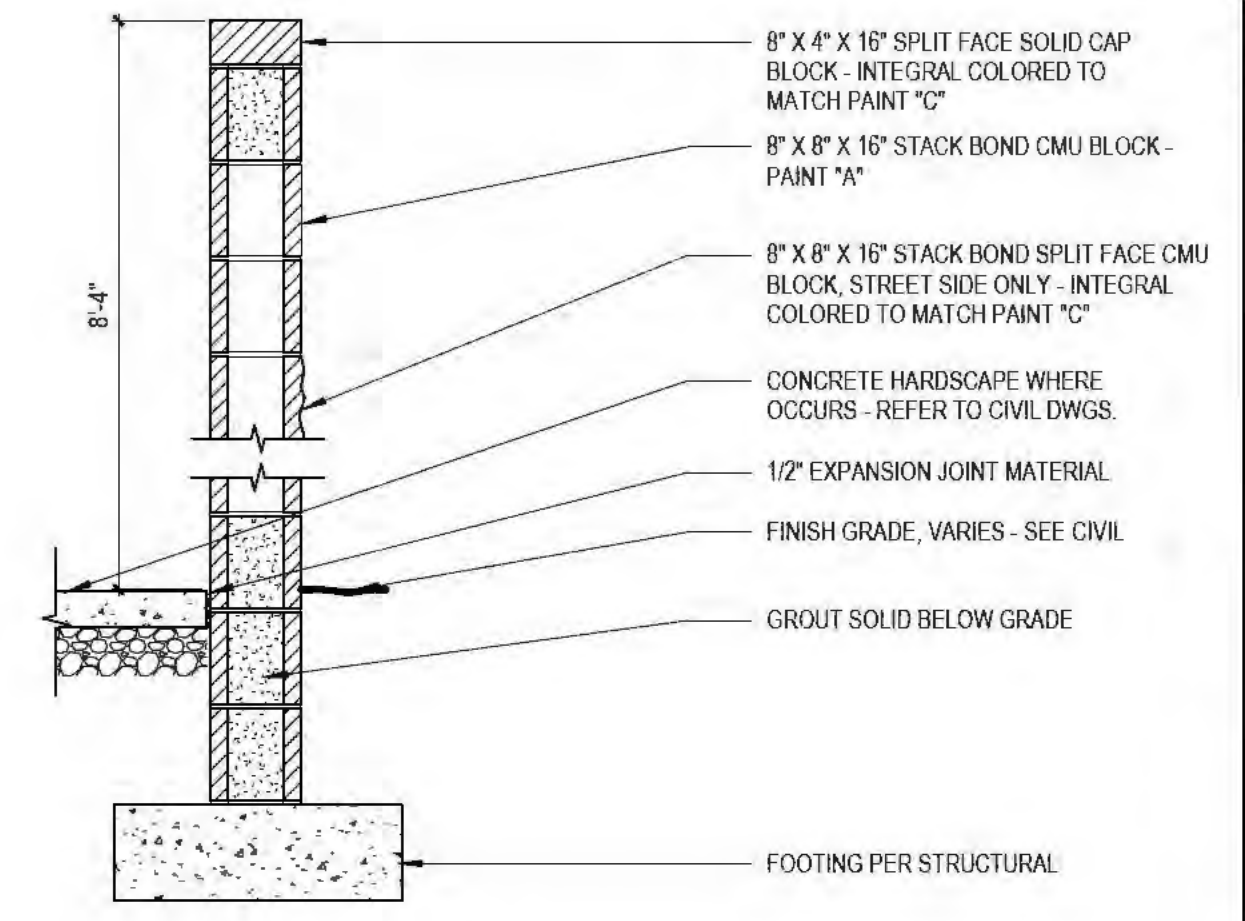
14 PARKING SCREEN WALL - ELEVATION
SCALE 1/2" = 1'-0"



3 TRUCK SCREEN WALL - ELEVATION
SCALE 1/4" = 1'-0"



7 AMENITY AREA BENCH - SECTION
SCALE 1" = 1'-0"



4 SECTION @ TRUCK SCREEN WALL
SCALE 3/4" = 1'-0"



4600
EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
602-840-2929 P

ENVISION ELLIOT 202 WEST
SE CORNER OF W. ELLIOT RD. & S. 50TH AVE.
PHOENIX, AZ 85038

FIRST ISSUED: 09/22/22

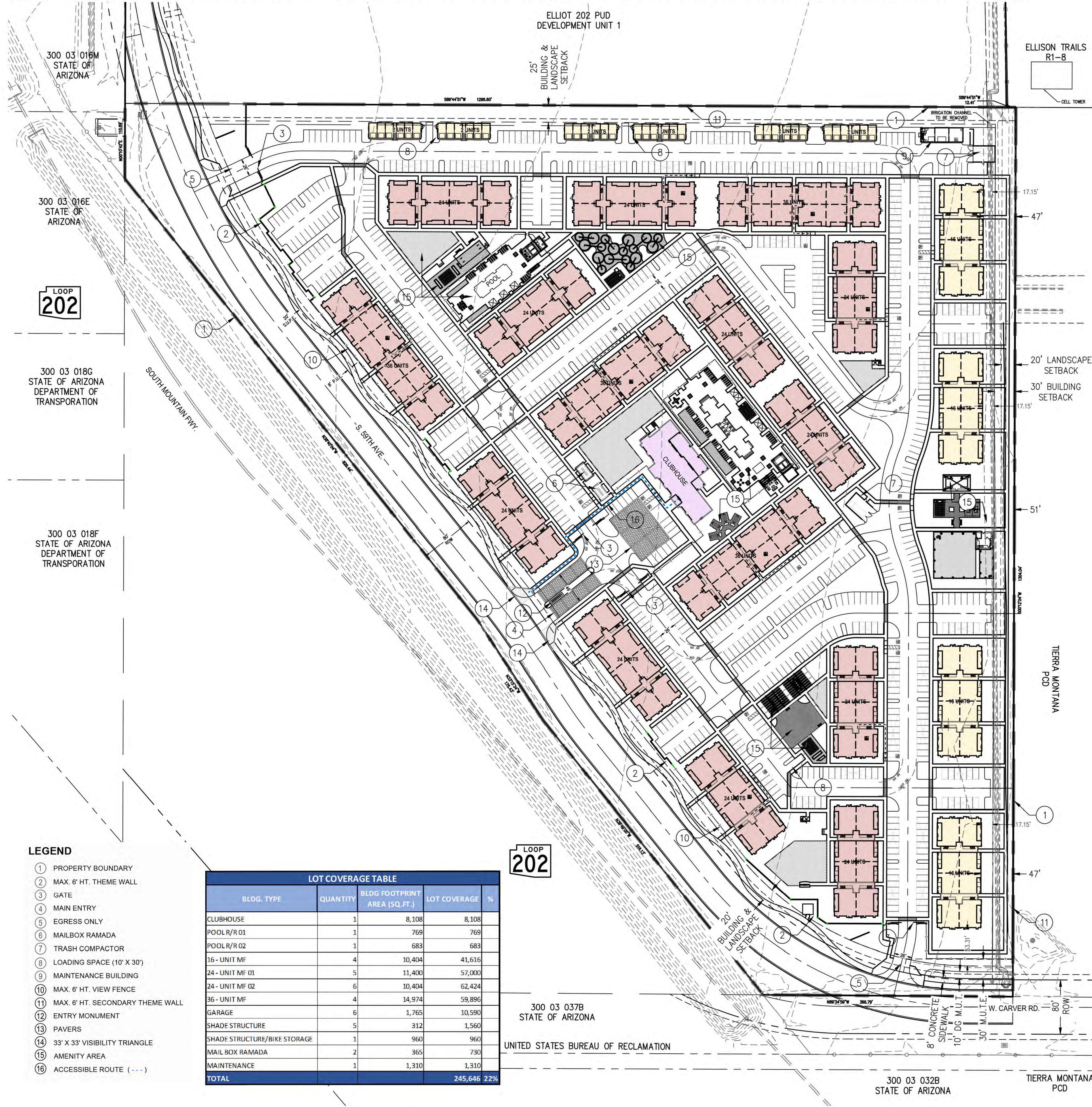
REVISIONS

No.	DATE	DESCRIPTION

PROJECT NO: 22137.00
DRAWN BY: JN, NB
CHECKED BY: SES
COPYRIGHT 2022: DEUTSCH ARCHITECTURE GROUP

SITE DETAILS

Tab 7



ELLIOT 202 PUD
DEVELOPMENT UNIT 1

ELLISON TRAILS
R1-8

TERRA MONTANA
PCD

LOOP
202

300 03 037B
STATE OF ARIZONA

300 03 032B
STATE OF ARIZONA

UNITED STATES BUREAU OF RECLAMATION

TERRA MONTANA
PCD

- LEGEND**
- ① PROPERTY BOUNDARY
 - ② MAX. 6' HT. THEME WALL
 - ③ GATE
 - ④ MAIN ENTRY
 - ⑤ EGRESS ONLY
 - ⑥ MAILBOX RAMADA
 - ⑦ TRASH COMPACTOR
 - ⑧ LOADING SPACE (10' X 30')
 - ⑨ MAINTENANCE BUILDING
 - ⑩ MAX. 6' HT. VIEW FENCE
 - ⑪ MAX. 6' HT. SECONDARY THEME WALL
 - ⑫ ENTRY MONUMENT
 - ⑬ PAVERS
 - ⑭ 33' X 33' VISIBILITY TRIANGLE
 - ⑮ AMENITY AREA
 - ⑯ ACCESSIBLE ROUTE (---)

LOT COVERAGE TABLE				
BLDG. TYPE	QUANTITY	BLDG FOOTPRINT AREA (SQ. FT.)	LOT COVERAGE	%
CLUBHOUSE	1	8,108	8,108	
POOL/R 01	1	769	769	
POOL/R 02	1	683	683	
16- UNIT MF	4	10,404	41,616	
24- UNIT MF 01	5	11,400	57,000	
24- UNIT MF 02	6	10,404	62,424	
36- UNIT MF	4	14,974	59,896	
GARAGE	6	1,765	10,590	
SHADE STRUCTURE	5	312	1,560	
SHADE STRUCTURE/BIKE STORAGE	1	960	960	
MAIL BOX RAMADA	2	365	730	
MAINTENANCE	1	1,310	1,310	
TOTAL			245,646	22%

SITE DATA

PROJECT DESCRIPTION
THIS PROJECT IS PART OF THE PROPOSED ELLIOT 202 PUD. THE PUD SEPARATES THE TOTAL AREA INTO TWO DEVELOPMENT UNITS. THIS SITE PLAN IS FOR DEVELOPMENT UNIT 2, THE MULTI-FAMILY HOUSING PORTION. THE SITE IS CURRENTLY VACANT LAND.

SITE AREA
26.22 Ac. (GROSS)
22.77 Ac. (NET)

JURISDICTION
CITY OF PHOENIX, AZ

APN
300-03-014A

LOCATION
2015 CITY OF PHOENIX
GENERAL PLAN LAND USE
15+ DU/AC - HIGHER DENSITY

ZONING
EXISTING: R-2 PCD
PROPOSED: PUD (ELLIOT 202)
VILLAGE: LAVEEN

PROJECT DATA

DEVELOPMENT STANDARDS	ELLIOT 202 PUD REQUIREMENT	PROVIDED
MAX. DENSITY	18.50 DU/AC. (485 UNITS)	18.46 DU/AC. (484 UNITS)
MAX. BUILDING HT.	40' / 3 STORIES	40' / 3 STORIES ¹
MAX. LOT COVERAGE (GROSS)	50% OR 13.11 AC.	5.6 AC. OR 22%
MIN. OPEN SPACE (GROSS)	15% OR 3.93 AC.	4.3 AC. OR 16%
MIN. AMENITIES	05	9 - COMMUNITY GARDEN, GAMES, 2 POOLS BBQ, CLUBHOUSE W/ FITNESS, FIRE PIT SHADE, BIKE STORAGE, OUTDOOR KITCHEN, PLAY EQUIPMENT, TURF

SETBACKS	BUILDING	LANDSCAPE	NOTE
NORTH	25'	25'	
EAST	30'	20'	
SOUTH	20'	20'	30' MULTI-USE TRAIL EASE, REQUIRED
WEST	20'	20'	20' SHARED-USE PATH EASE, REQUIRED

¹ CLUBHOUSE AMENITY BUILDING IS 28' / 1 STORY IN HEIGHT; MULTI-FAMILY BUILDINGS ARE 40' / 3 STORIES IN HEIGHT.

MIN. BUILDING SEPARATION
MULTI-FAMILY: 20'

REQUIRED PARKING
ON-SITE LOADING: 1 SPACE
BICYCLE: 0.25 SPACES / UNIT UP TO 50 SPACES + 1 BICYCLE UTILITY

BLDG. TYPE	QUANTITY	UNITS	PARKING RATIO	PARKING REQUIRED
24 - UNIT FP	11	264	1.75	462
36 - UNIT FP	04	144	1.75	252
2 - UNIT CARRIAGE FP	06	12	1.75	21
16 - UNIT FP	04	64	1.75	112
LEASING OFFICE	01	2,258 SQ. FT.	1:300 SQ. FT.	08
TOTAL		484		855

PROVIDED PARKING	
PARKING TYPE	
UNCOVERED PARKING	337
COVERED PARKING	480
GARAGED PARKING	36
UNCOVERED ACCESSIBLE	11
TOTAL	864

LEGEND

- TWO STORY BUILDING
- THREE STORY BUILDING

NOTES

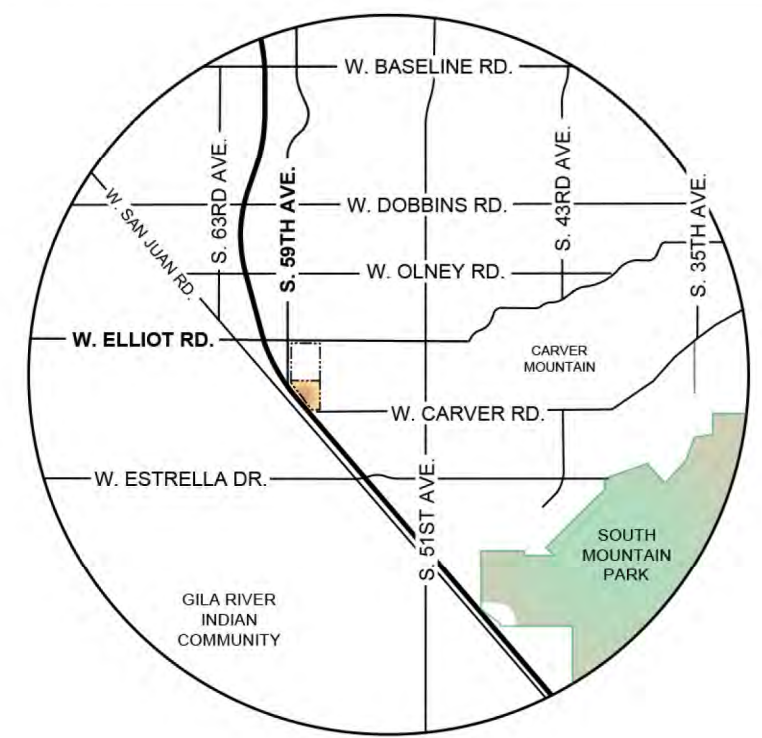
- "DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES."
 - "ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND."
 - "STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'."
 - "STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'."
 - "ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE."
 - "OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS."
 - "ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT."
 - "ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS."
 - "BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS."
 - "ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN."
- I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE PROFESSIONALS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE MODIFIED PORTIONS OF THE PLAN.

SIGNATURE OF COPYRIGHT OWNER PRINTED NAME OF COPYRIGHT OWNER DATE

PROJECT DIRECTORY

APPLICANT	DEVELOPER	CIVIL ENGINEER
WITHEY MORRIS P.L.C. ATTORNEY: JASON MORRIS, ESQ. LU PLANNER: STEPHANIE WATNEY 2625 E. ARIZONA BILTMORE CIRCLE, A-212 PHOENIX, AZ 85016 (602) 230-0900 JASON@WITHEYMORRIS.COM STEPHANIE@WITHEYMORRIS.COM	IDM COMPANIES CHUCK MACKIE 6720 N. SCOTTSDALE RD., SUITE 200 SCOTTSDALE, AZ 85253 (480) 977-3457 CHUCK.MACKIE@IDMCOMPANIES.COM	HILGART WILSON TED LUTHER 2141 E. HIGHLAND AVE., SUITE 250 PHOENIX, AZ 85016 (602) 490-9535 TLUTHER@HILGARTWILSON.COM
BFR ARCHITECT	MULTI-FAMILY ARCHITECT	LANDSCAPE ARCHITECT
HEBRID ARCHITECTURE JONATHAN HELLMAN 6111 N. CATTLETRAC RD. SCOTTSDALE, AZ 85250 (480) 371-4830 JHELLMAN@HEBRID.COM	PEREZ MCGEE RICK MCGEE, AIA 3115 N. 71ST ST. SCOTTSDALE, AZ 85251 (602) 796-7700 RMCREE@PEREZMCGEEUSA.COM	ANDERSON DESIGN COMPANY, LLC BRETT ANDERSON 815 N. 1ST AVE. STE. 3 PHOENIX, AZ 85003 (480) 313-8653 BRETT@ANDERSONDESIGN.COM

VICINITY MAP



LEGAL DESCRIPTION

A portion of (GLO) Lot 1 lying within the Northwest Quarter of Section 17, Township 1 South, Range 2 East of the Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at a found 3 inch City of Phoenix brass cap in hand hole accepted as the North quarter corner of said Section 17 from which a found 3 inch brass cap in hand hole, stamped T1S, R2E, S7, S8, S17, S18, RLS 54404, dated 2020 accepted as the Northwest corner thereof bears North 89°54'45" West, 2619.11 feet;

Thence North 89°54'45" West, 1351.43 feet along the north line of said Northwest Quarter;

Thence leaving said north line, South 01°05'33" East, 1304.07 feet along the west line of "Ellison Trails 2" per Book 1478, Page 50, Maricopa County Records, Arizona to the southwest corner thereof also being the **POINT OF BEGINNING**;

Thence along the south line of said "Ellison Trails" being in common line with the north line of said (GLO) Lot 1, South 89°44'51" East, 12.41 feet to the northwest corner of "Tierra Montana Phase 1 - Parcel 6" per Book 1019, Page 16, Maricopa County Records, Arizona;

Thence along the west line of said final plat being in common line with the east line of said (GLO) Lot 1, South 00°12'04" West, 1304.04 feet to the East-West Mid-Section line of said Section 17;

Thence along said Mid-Section line being in common line with the south line of said (GLO) Lot 1, North 89°34'59" West, 366.79 feet to the Northeast line of Loop 202;

Thence along said northeast line, North 38°49'05" West, 516.13 feet; Thence continuing along said northeast line, North 33°15'34" West, 175.43 feet;

Thence continuing along said northeast line, North 38°40'04" West, 829.44 feet to the west line of said Northwest Quarter;

Thence along said west line being in common line with the west line of said (GLO) Lot 1, North 00°10'42" East, 110.69 feet;

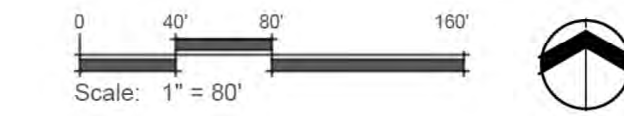
Thence leaving said west line, South 89°44'51" East, 1296.60 feet to the **POINT OF BEGINNING**.

The above described parcel contains a computed area of 1,142,175 sq. ft. (26,2207 acres) more or less and being subject to any easements, restrictions, rights-of-way of record or otherwise.

The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

KIVA # 21-5801 SDEV # 2100579 FACT # 2110273

ACERO LAVEEN
PHOENIX, AZ
ELLIOT 202 PUD - DEVELOPMENT UNIT 2
SITE PLAN - OPTION 2



SCALE: 1" = 80' (24X36)
2399 FEBRUARY 2023 NORTH

HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE



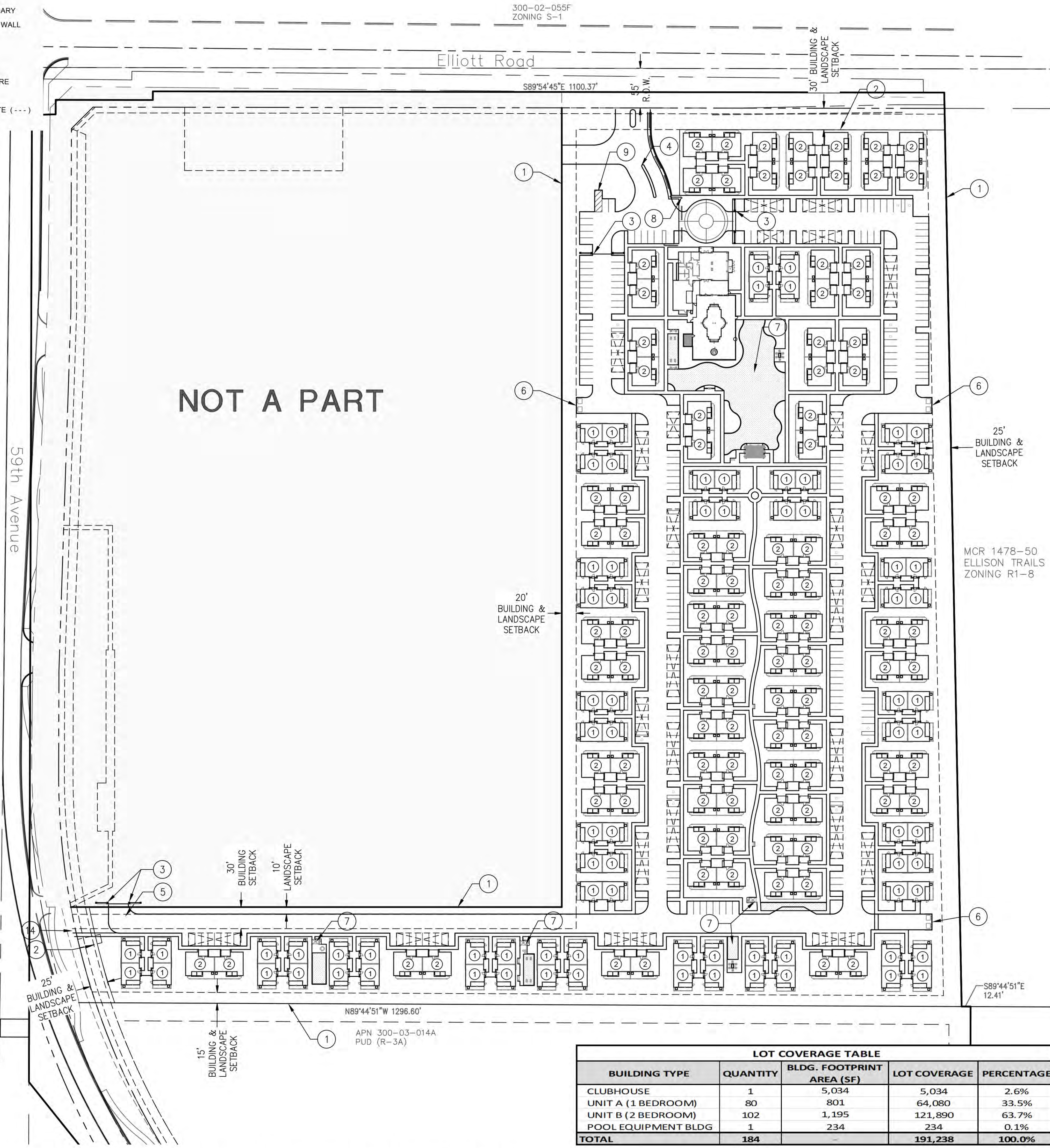
PLANT MATERIALS LEGEND

Trees	Caliper	Height
<i>Acacia aneura</i>	2"	9'
Mulga Acacia		
<i>Acacia smallii</i>	2"	7'
Sweet Acacia		
<i>Citrus sp.</i>	1"	4'
Naval Orange		
<i>Havardia mexicana</i>	2"	10'
Mexican Ebony		
<i>Olneya tesota</i>	3"	8'
Ironwood		
<i>Parkinsonia hyb.</i>	3"	14'
'Desert Museum' Palo Verde		
<i>Parkinsonia praecox</i>	2"	9'
Palo Brea		
<i>Phoenix dactylifera</i>		20'
Date Palm		
<i>Pistacia chinensis</i>	2"	11'
Chinese Pistache		
<i>Pistacia lentiscus</i>	1"	7'
Mastic Tree		
<i>Prosopis hybrid</i>	3"	14'
Thornless Mesquite		
<i>Quercus virginiana</i>	2"	12'
'Cathedral' Oak		
<i>Sophora secundiflora</i>	2"	6'
Texas Mountain Laurel		

Tab 8

LEGEND

- ① PROPERTY BOUNDARY
- ② MAX. 6' HT. THEME WALL
- ③ GATE
- ④ MAIN ENTRY
- ⑤ EGRESS ONLY
- ⑥ REFUSE ENCLOSURE
- ⑦ AMENITY AREA
- ⑧ ACCESSIBLE ROUTE (---)
- ⑨ LOADING SPACE



LOT COVERAGE TABLE				
BUILDING TYPE	QUANTITY	BLDG. FOOTPRINT AREA (SF)	LOT COVERAGE	PERCENTAGE
CLUBHOUSE	1	5,034	5,034	2.6%
UNIT A (1 BEDROOM)	80	801	64,080	33.5%
UNIT B (2 BEDROOM)	102	1,195	121,890	63.7%
POOL EQUIPMENT BLDG	1	234	234	0.1%
TOTAL	184		191,238	100.0%

SITE DATA

PROJECT DESCRIPTION
THIS PROJECT IS PART OF THE PROPOSED ELLIOT 202 PUD. THE PUD SEPARATES THE TOTAL AREA INTO THREE DEVELOPMENT UNITS. THIS SITE IS FOR DEVELOPMENT UNIT 3, THE MULTI-FAMILY-CASITA HOUSING PORTION. THE SITE IS CURRENTLY VACANT LAND.

PLAN

SITE AREA
18.54 Ac. (GROSS)
17.67 Ac. (NET)

JURISDICTION
CITY OF PHOENIX, AZ

APN
300-03-012B

LOCATION
EAST OF SEC OF S. 59TH AVE. AND W. ELLIOT RD.

2015 CITY OF PHOENIX GENERAL PLAN LAND USE
15+ DU/AC. - HIGHER DENSITY

ZONING
EXISTING: R-2 PCD
PROPOSED: PUD (ELLIOT 202)
VILLAGE: LAVEEN

PROJECT DATA

DEVELOPMENT STANDARDS	ELLIOT 202 PUD REQUIREMENT	PROVIDED
MAX. DENSITY	11 DU/GROSS AC (204 UNITS)	9.8 DU/GROSS AC (182 UNITS)
MAX. BUILDING HT.	20' / 1 STORY	15' / 1 STORY
MAX. LOT COVERAGE (GROSS)	50% OR 9.2 Ac.	23.7% OR 4.4 Ac.
MIN. OPEN SPACE (GROSS)	10% OR 2.78 Ac.	10.2% OR 1.9 Ac.
MIN. AMENITIES	05	05

SETBACKS	BUILDING	LANDSCAPE	NOTE
NORTH (Adjacent to Elliot Rd)	30'	30'	20' MULTI-USE TRAIL EASE. REQUIRED
NORTH (Adjacent to Unit 1)	30'	10'	
EAST (Adjacent SFR)	25'	25'	
SOUTH (Adjacent to Unit 2)	15'	15'	
WEST (Adjacent to 59th Ave)	25'	25'	
WEST (Adjacent to Unit 1)	20'	20'	

MIN. BUILDING SEPARATION
BTR: 12'

REQUIRED PARKING
BICYCLE: 0.25 SPACES/UNIT UP TO 50 SPACES + 1 BICYCLE UTILITY + 1 SUPPORT FEATURE
LOADING SPACE: 1 SPACE FOR 26-150 MF UNITSE
EV PARKING: 2% OF REQUIRED PARKING - MINIMUM 20 EV CHARGING STATIONS INSTALLED ACROSS DEV UNITS 1, 2 & 3

BUILDING TYPE	QUANTITY	PARKING RATIO	PARKING REQUIRED
1-BDR CASITA	80 UNITS	1.75	140
2-BDR CASITA	102 UNITS	1.75	179
LEASING OFFICE	1 (2,255 SQ.FT.)	1,300 SQ.FT.	8
TOTAL			327

PROVIDED PARKING 381 2.1 SPACES/UNITS

CASITA	ACCESSIBLE ¹	LEASING OFFICE
COVERED (9'X18')	182	CASITA 18 LEASING 2
OPEN (8.5'X18')	199	OPEN (8.5' X 18') 14
TOTAL	381	TOTAL 14

LOADING SPACE (10' x 30') 1
EV PARKING 7

¹ ACCESSIBLE COVERED SPACES ARE 14' - 2" X 18' - 0"; ACCESSIBLE OPEN SPACES ARE 11' - 0" X 18' - 0"

NOTES

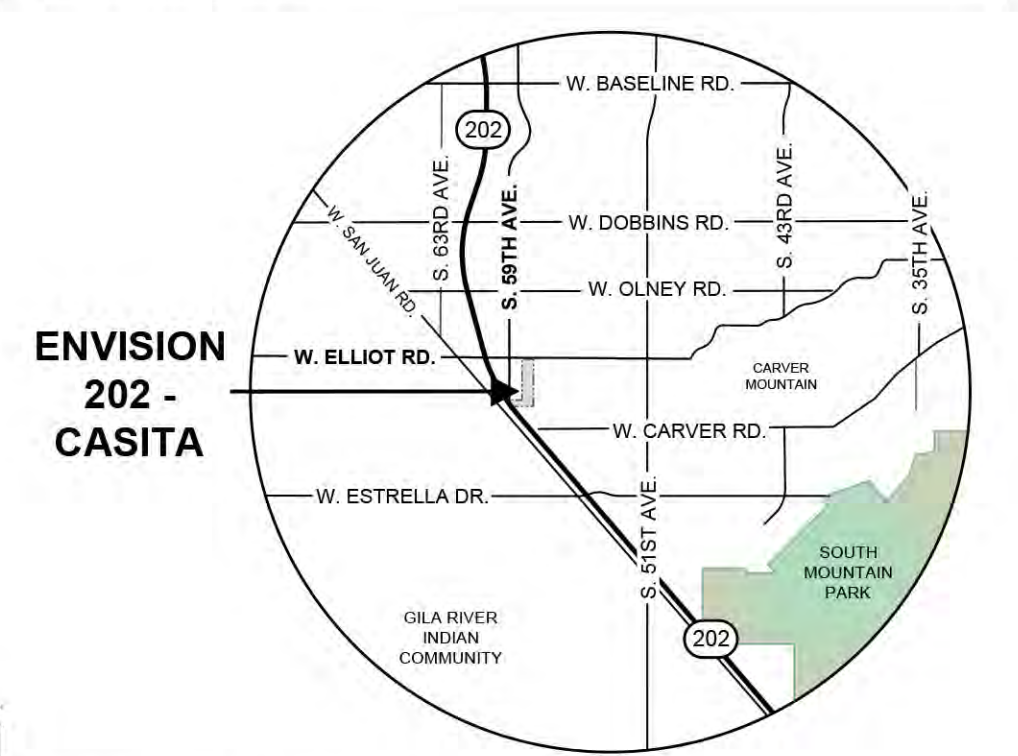
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 - "STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'."
 - "ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE."
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- I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE PROFESSIONALS WHO MAKE SUCH CHANGES ASSUME FULL RESPONSIBILITY AND LIABILITY FOR THE MODIFIED PORTIONS OF THE PLAN.

SIGNATURE OF COPYRIGHT OWNER _____ PRINTED NAME OF COPYRIGHT OWNER _____ DATE _____

PROJECT DIRECTORY

APPLICANT WITHEY MORRIS P.L.C. ATTORNEY: JASON MORRIS, ESQ. LU PLANNER: STEPHANIE WATNEY 2525 E. ARIZONA BILTMORE CIRCLE, A-212 PHOENIX, AZ 85016 (602) 230-3830 JASON@WITHEYMORRIS.COM STEPHANIE@WITHEYMORRIS.COM	DEVELOPER IDM COMPANIES CHUCK MACKIE 6720 N. SCOTTSDALE RD., SUITE 200 SCOTTSDALE, AZ 85253 (480) 977-3457 CHUCK.MACKIE@IDMCOMPANIES.COM	CIVIL ENGINEER HILGART WILSON TED LUTHER 2141 E. HIGHLAND AVE., SUITE 250 PHOENIX, AZ 85016 (602) 490-0535 TLUTHER@HILGARTWILSON.COM
BFR ARCHITECT DAVIS ARCHITECTURE MIKE EDWARDS 3033 N. CENTRAL AVE., SUITE 800 PHOENIX, AZ 85012 (480) 638-1100 MEDWARDS@THEDAVISEXPERIENCE.COM	LANDSCAPE ARCHITECT ANDERSON DESIGN COMPANY, LLC BRETT ANDERSON 815 N. 1ST AVE, STE. 3 PHOENIX, AZ 85003 (480) 313-8863 BRETT@ANDERSON.DESIGN	

VICINITY MAP



LEGAL DESCRIPTION

A PORTION OF (GLO) LOT 1 LYING WITHIN THE NORTHWEST QUARTER OF SECTION 17, TOWNSHIP 1 SOUTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND 3 INCH CITY OF PHOENIX BRASS CAP IN HAND HOLE ACCEPTED AS THE NORTH QUARTER CORNER OF SAID SECTION 17 FROM WHICH A FOUND 3 INCH BRASS CAP IN HAND HOLE, STAMPED T1S, R2E, S7, S8, S17, S18, RLS 54404, DATED 2020 ACCEPTED AS THE NORTHWEST CORNER THEREOF BEARS NORTH 89°54'45" WEST, 2619.11 FEET;

THENCE NORTH 89°54'45" WEST, 1351.43 FEET ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER TO THE POINT OF BEGINNING;

THENCE LEAVING SAID NORTH LINE, SOUTH 01°05'33" EAST, 1304.07 FEET ALONG THE WEST LINE OF "ELLISON TRAILS" PER BOOK 1478, PAGE 50, MARICOPA COUNTY RECORDS, ARIZONA TO THE SOUTHWEST CORNER THEREOF;

THENCE LEAVING SAID WEST LINE, NORTH 89°44'51" WEST, 1296.60 FEET ALONG THE NORTH LINE OF SAID (GLO) LOT 1;

THENCE LEAVING SAID NORTH LINE, NORTH 00°10'42" EAST, 132.61 FEET ALONG THE WEST LINE OF SAID NORTHWEST QUARTER;

THENCE LEAVING SAID WEST LINE, NORTH 90°00'00" EAST, 740.14 FEET;

THENCE NORTH 00°00'00" EAST, 1166.32 FEET TO THE NORTH LINE OF SAID NORTHWEST QUARTER;

THENCE ALONG SAID NORTH LINE, SOUTH 89°54'45" EAST, 531.17 FEET TO THE POINT OF BEGINNING.

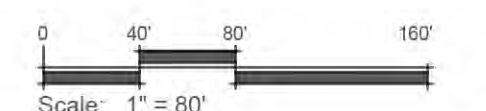
KIVA # 21-5801 SDEV # 2100579 FACT # 2110273

**CURATO LAVEEN-ENVISION 202 PUD
DEVELOPMENT UNIT 3
PHOENIX, AZ
SITE PLAN**



SCALE: 1" = 80'
RESUBMITTED

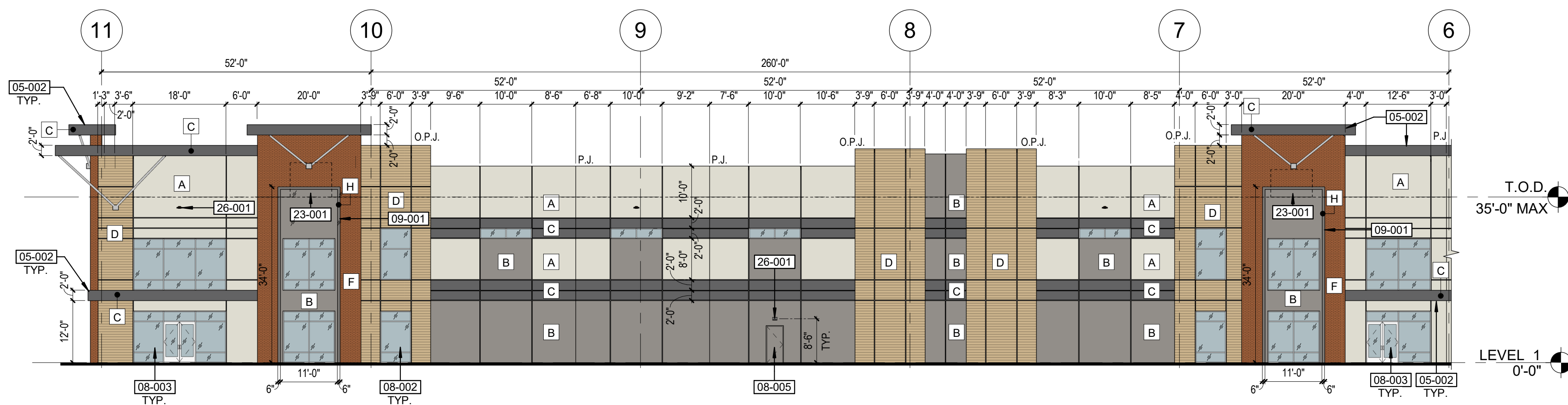
(24X36)
2023-0403 NORTH



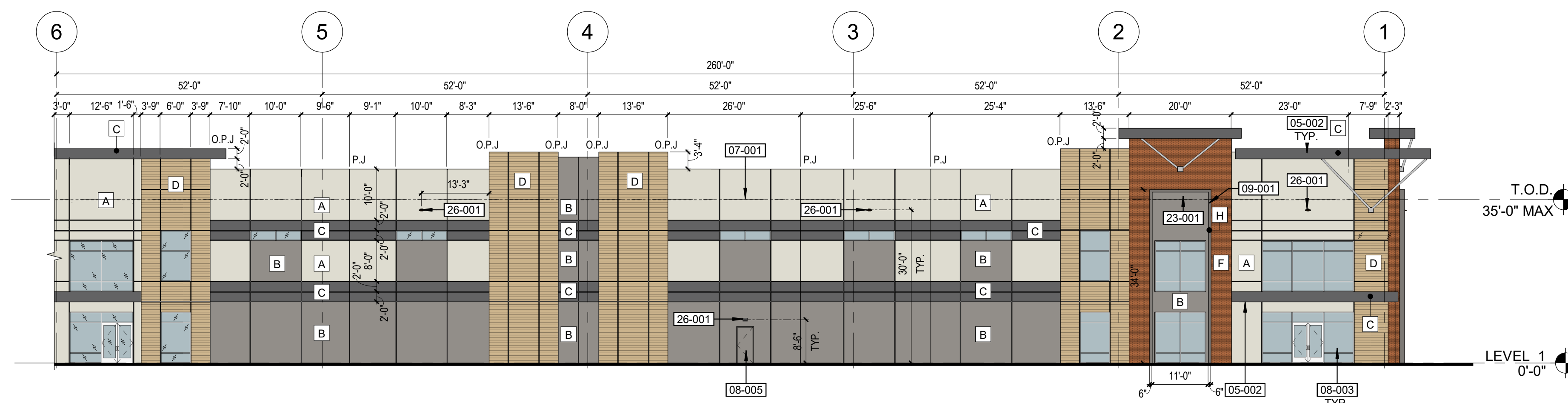
Tab 9



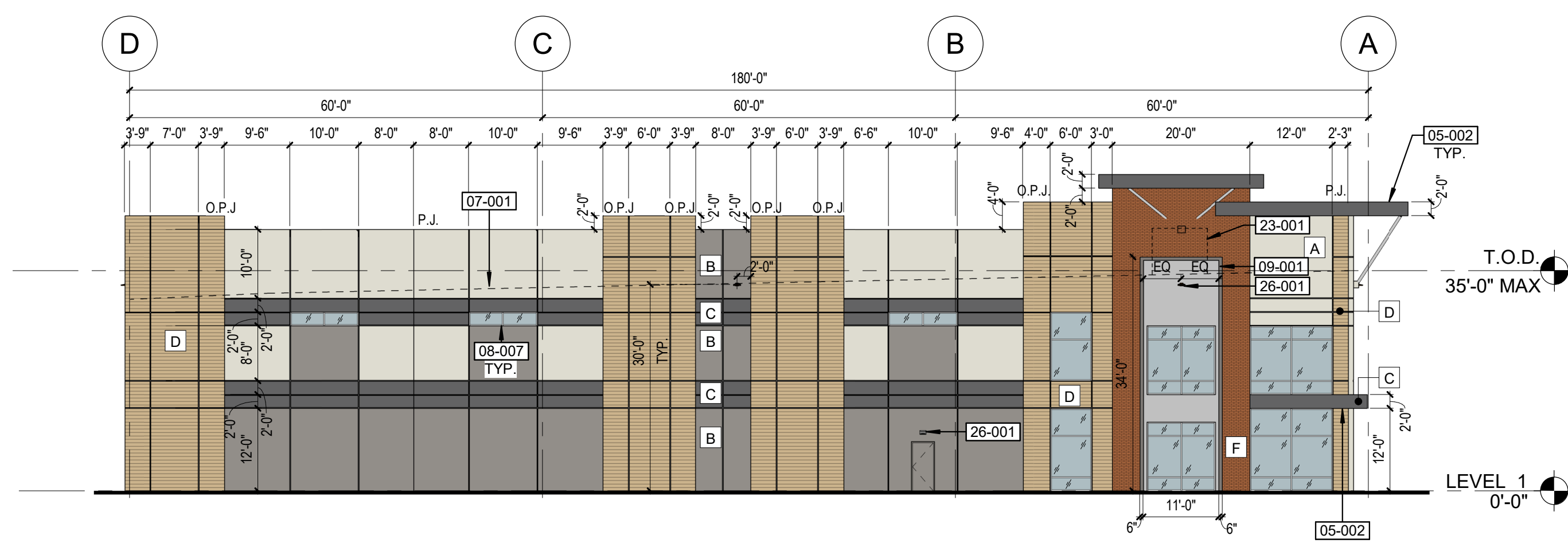
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2 SOUTH ELEVATION
SCALE 1/16" = 1'-0"



3 WEST ELEVATION
SCALE 1/16" = 1'-0"



EXTERIOR MATERIAL LEGEND

- A SW7570 "EGRET WHITE" SHERWIN-WILLIAMS
- B SW7018 "DOVETAIL" SHERWIN-WILLIAMS
- C SW7674 "PEPPERCORN" SHERWIN-WILLIAMS
- D SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS WITH 6" HORIZONTAL FORMLINER OR REVEALS @ 6" O.C.
- E GLAZING
- F BRICK VENEER - PACIFIC CLAYLIGHT IRON SPOT - 'V' HORIZONTAL TOOLING
- G SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS
- H SW7019 "GAUNTLET GRAY" SHERWIN-WILLIAMS

KEYNOTES

- 05-002 STEEL CANOPY, PAINTED
- 07-001 DASHED LINE INDICATES ROOF LINE
- 08-002 ALUMINUM FRAMED WINDOW WITH TINTED INSULATED GLASS
- 08-003 STOREFRONT ENTRY SYSTEM
- 08-005 HOLLOW METAL DOOR, PAINTED
- 08-007 ALUMINUM CLERESTORY WINDOWS
- 23-001 SAND STUCCO FINISH OVER EXTERIOR SHEATHING OVER METAL STUDS
- 23-001 FUTURE MECHANICAL UNIT
- 26-001 LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS.

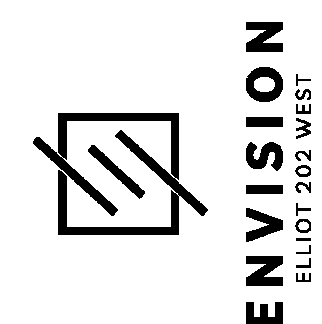
2929.COM



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EAST INDIAN SCHOOL RD
PHOENIX, ARIZONA 85018
602-840-2929 P

ENVISION ELLIOT 202 WEST
SE CORNER OF W ELLIOT RD & S. 50TH AVE
PHOENIX, AZ 85039



FIRST ISSUED: 3/17/23

REVISIONS

No. DATE DESCRIPTION

PROJECT NO: 22137.00

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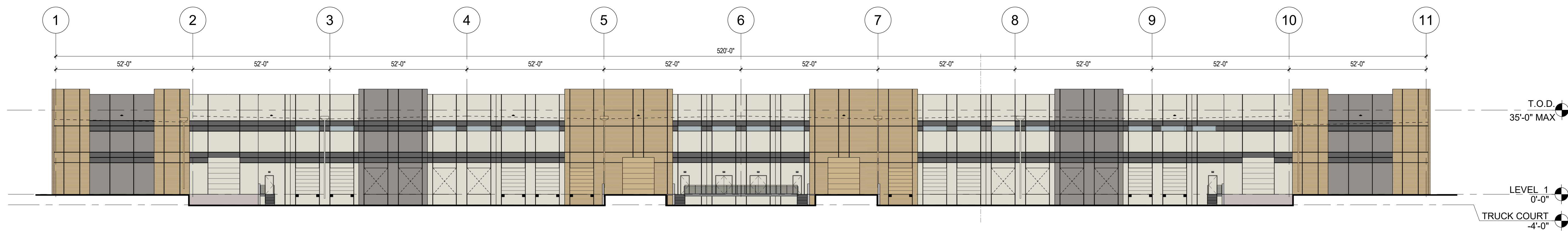
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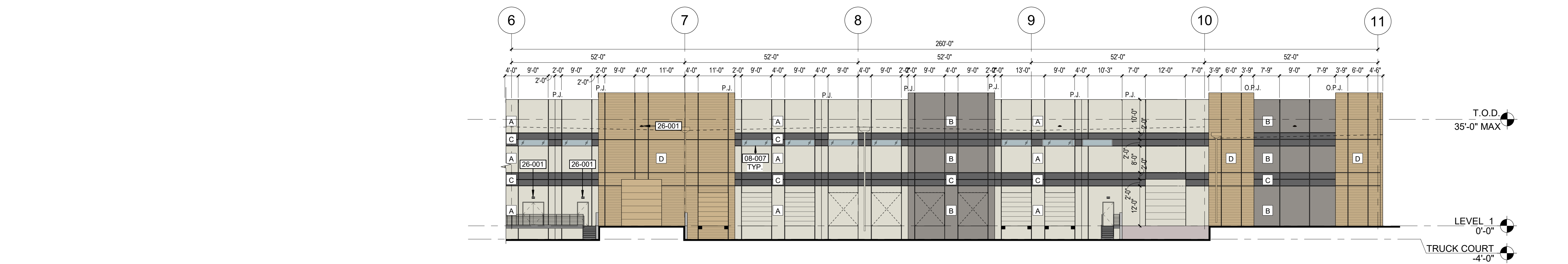
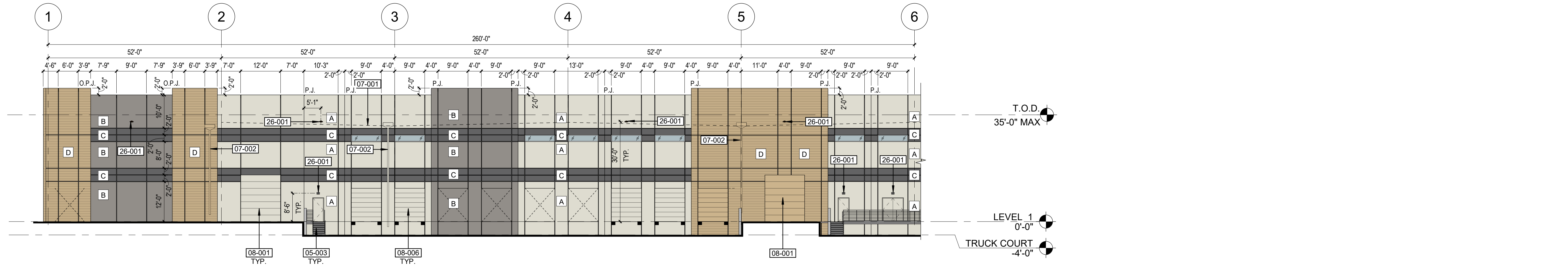
BUILDING D
EXTERIOR
ELEVATIONS

A-200

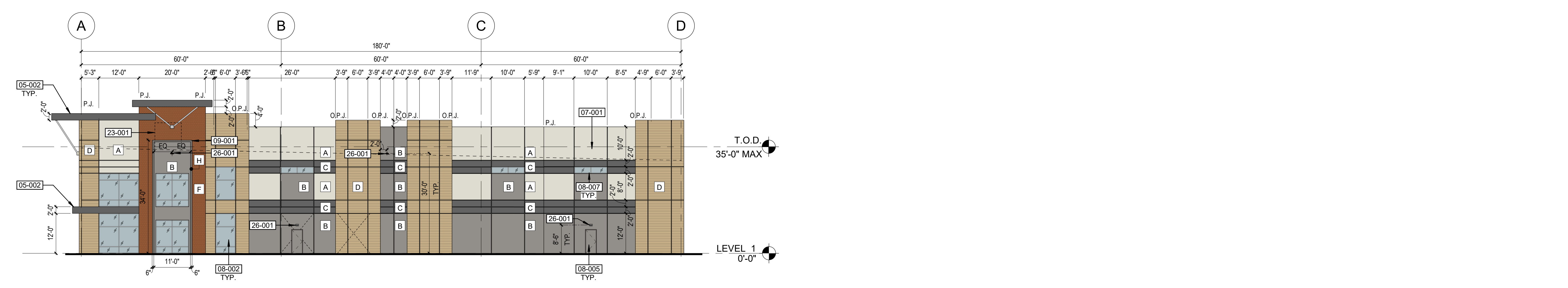
PRELIMINARY - NOT FOR CONSTRUCTION



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SCALE 1" = 20'-0"



2 NORTH ELEVATION
SCALE 1/16" = 1'-0"



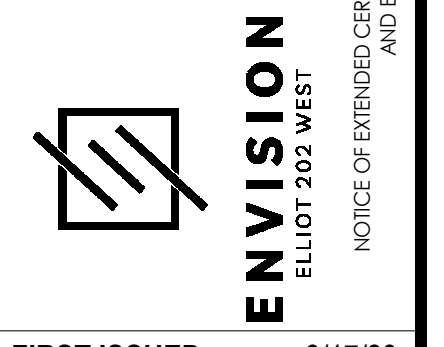
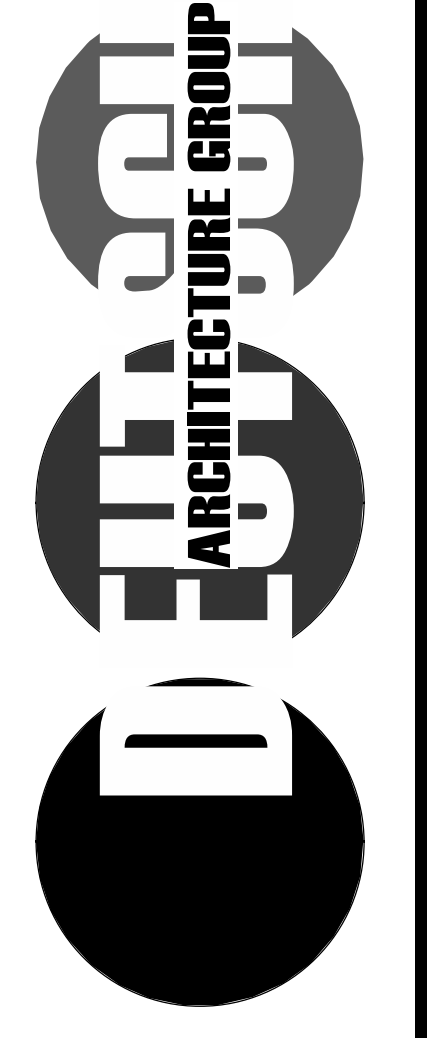
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SCALE 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

- A SW7570 "EGRET WHITE" SHERWIN-WILLIAMS
- B SW7018 "DOVETAIL" SHERWIN-WILLIAMS
- C SW7674 "PEPPERCORN" SHERWIN-WILLIAMS
- D SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS WITH 8" HORIZONTAL FORMLINER OR REVEALS @ 8" O.C.
- E GLAZING
- F BRICK VENEER - PACIFIC CLAYLIGHT IRON SPOT - 'V' HORIZONTAL TOOLING
- G SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS
- H SW7019 "GAUNTLET GRAY" SHERWIN-WILLIAMS

KEYNOTES

- 05-002 STEEL CANOPY, PAINTED
- 05-003 STEEL EXIT STAIRS
- 07-001 DASHED LINE INDICATES ROOF LINE
- 07-002 SCUPPER AND DOWNSPOUT WITH OVERFLOW SCUPPER, PAINTED
- 08-001 INSULATED SECTIONAL OVERHEAD GRADE DOOR
- 08-002 ALUMINUM FRAMED WINDOW WITH TINTED INSULATED GLASS
- 08-005 HOLLOW METAL DOOR, PAINTED
- 08-006 OVERHEAD SECTIONAL DOOR
- 08-007 ALUMINUM CLERESTORY WINDOWS
- 09-001 SAND STUCCO FINISH OVER EXTERIOR SHEATHING OVER METAL STUDS
- 23-001 FUTURE MECHANICAL UNIT
- 26-001 LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS.



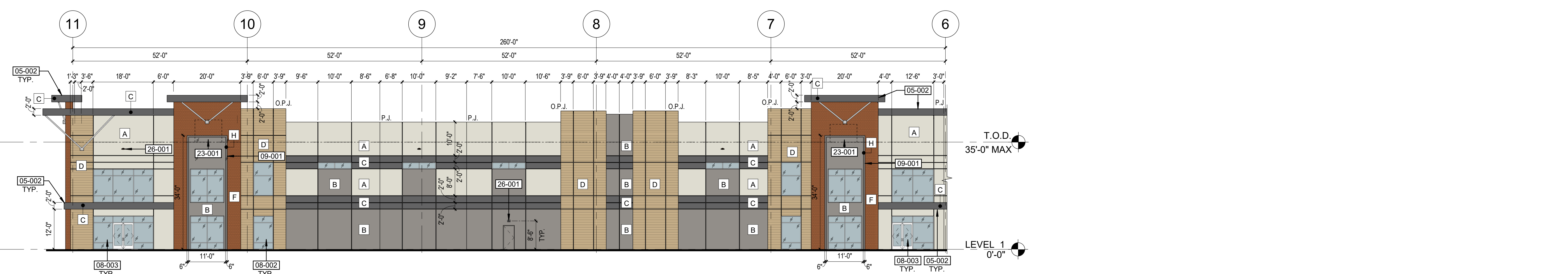
REVISIONS

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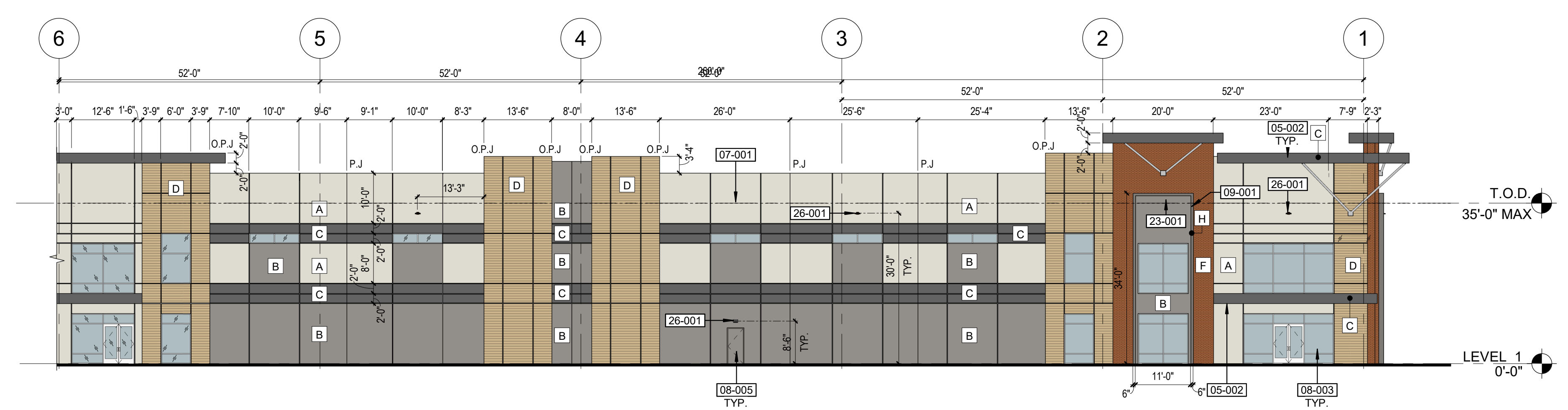
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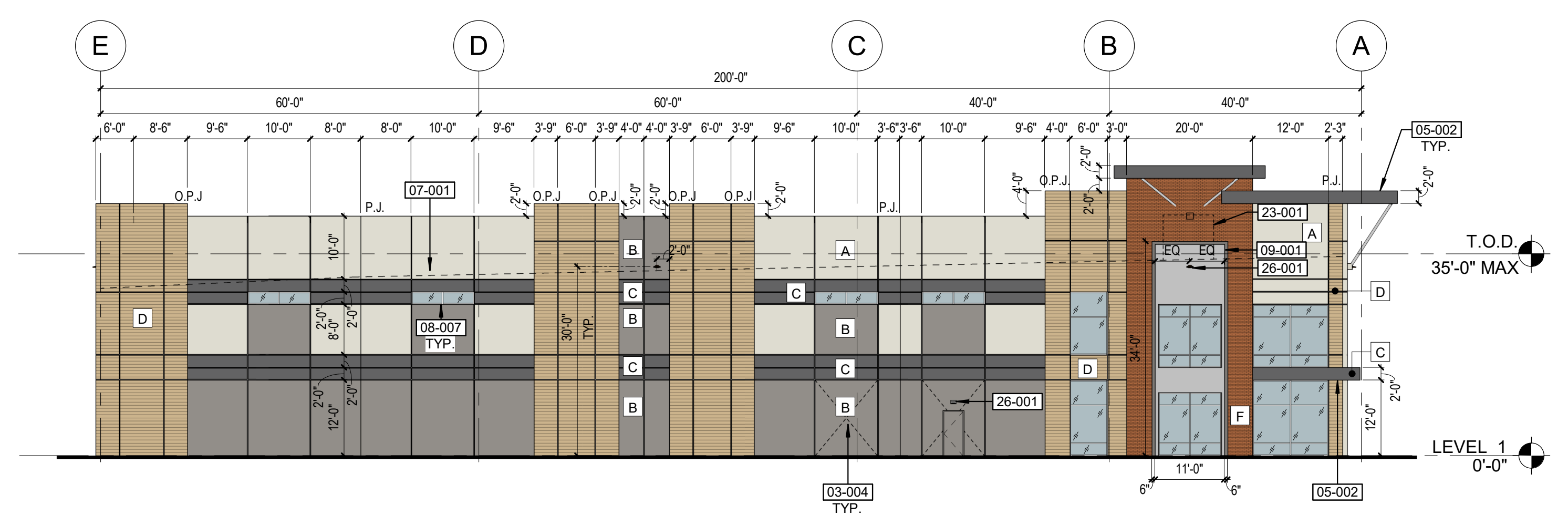
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SCALE 1" = 20'-0"



2 NORTH ELEVATION
SCALE 1/16" = 1'-0"



3 EAST ELEVATION
SCALE 1/16" = 1'-0"

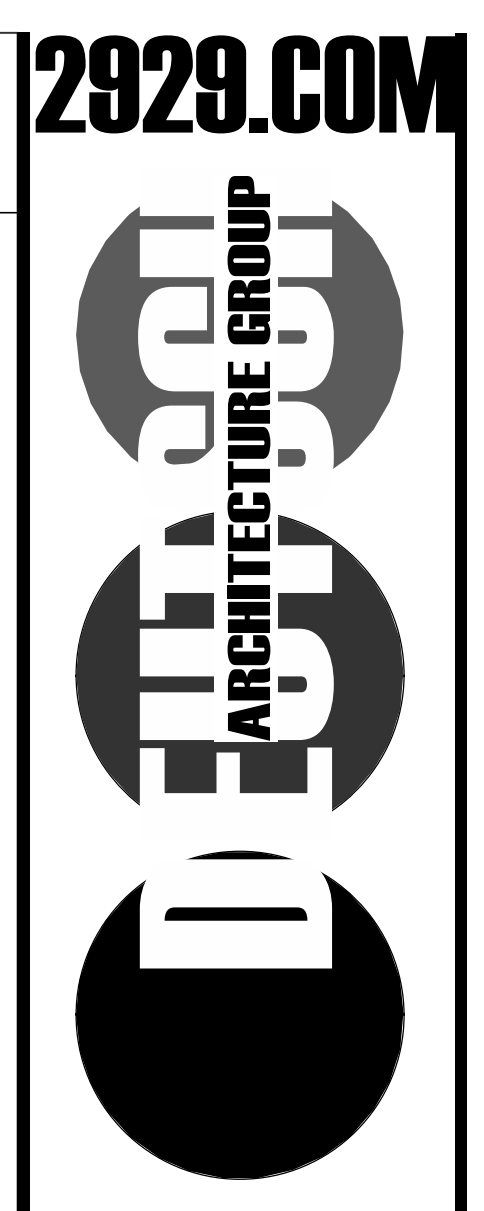


EXTERIOR MATERIAL LEGEND

A	SW7570 "EGRET WHITE" SHERWIN-WILLIAMS
B	SW7018 "DOVETAIL" SHERWIN-WILLIAMS
C	SW7674 "PEPPERCORN" SHERWIN-WILLIAMS
D	SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS WITH 8" HORIZONTAL FORMLINER OR REVEALS @ 8" O.C.
E	GLAZING
F	BRICK VENEER - PACIFIC CLAYLIGHT IRON SPOT - 'V' HORIZONTAL TOOLING
G	SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS
H	SW7019 "GAUNTLET GRAY" SHERWIN-WILLIAMS

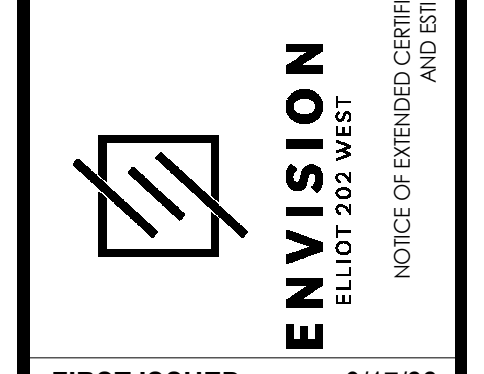
KEYNOTES

03-004	CONCRETE KNOCK OUT PANEL
05-002	STEEL CANOPY, PAINTED
07-001	DASHED LINE INDICATES ROOF LINE
08-002	ALUMINUM FRAMED WINDOW WITH TINTED INSULATED GLASS
08-003	STOREFRONT ENTRY SYSTEM
08-005	HOLLOW METAL DOOR, PAINTED
08-007	ALUMINUM CLERESTORY WINDOWS
09-001	SAND STUCCO FINISH OVER EXTERIOR SHEATHING OVER METAL STUDS
23-001	FUTURE MECHANICAL UNIT
26-001	LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS.



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PHOENIX, AZ 85039



FIRST ISSUED: 3/17/22
REVISIONS

No.	DATE	DESCRIPTION
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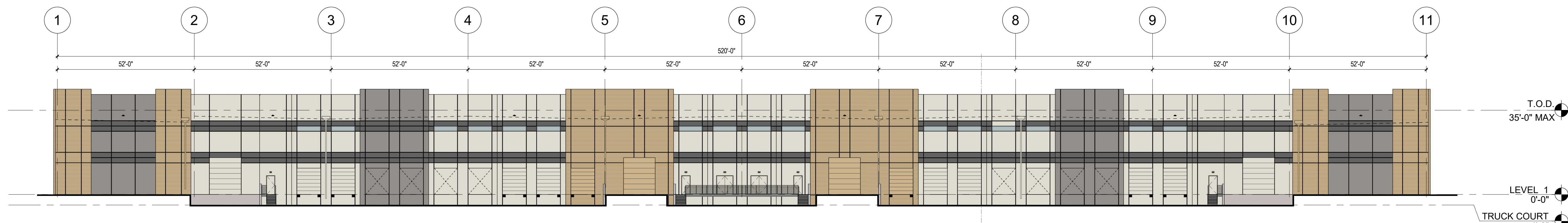
PROJECT NO: 22137.00
DRAWN BY: JM,RH
CHKD BY: SES
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**BUILDING E
EXTERIOR
ELEVATIONS**

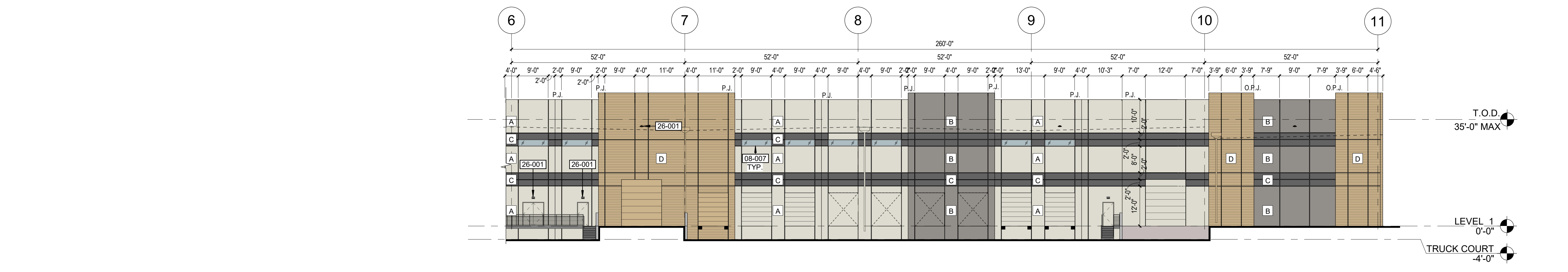
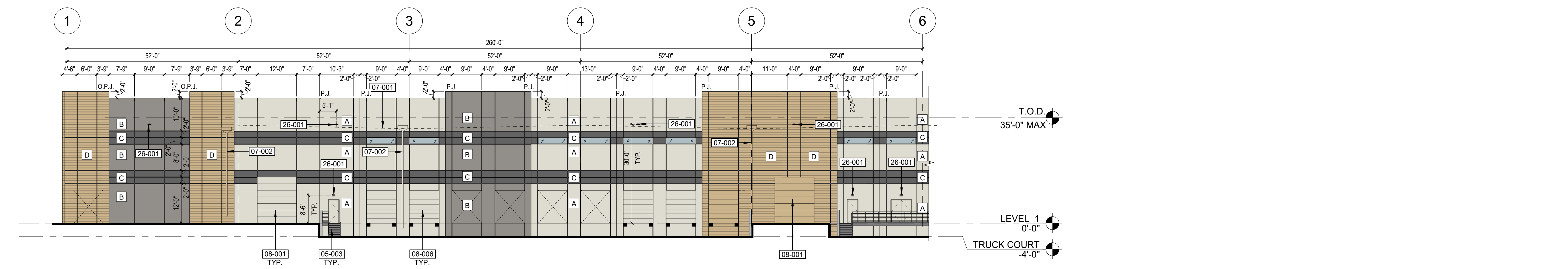
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PRELIMINARY - NOT FOR CONSTRUCTION

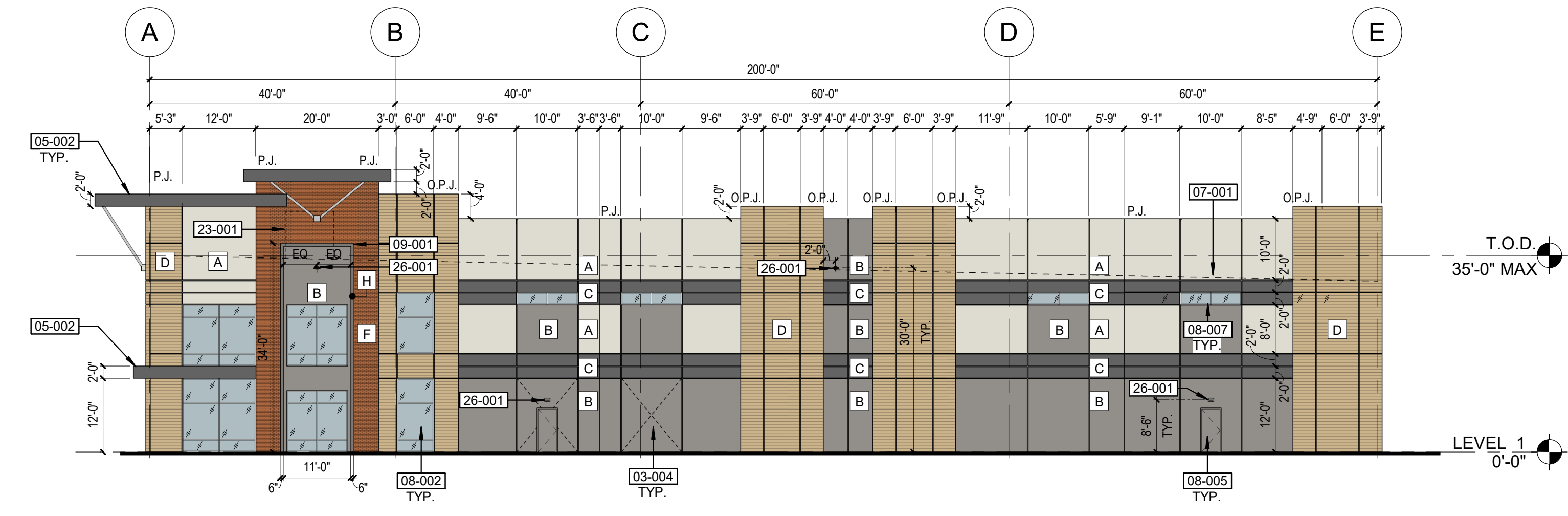
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1 SOUTH ELEVATION - OVERALL
SCALE 1" = 20'-0"



2 SOUTH ELEVATION
SCALE 1/16" = 1'-0"



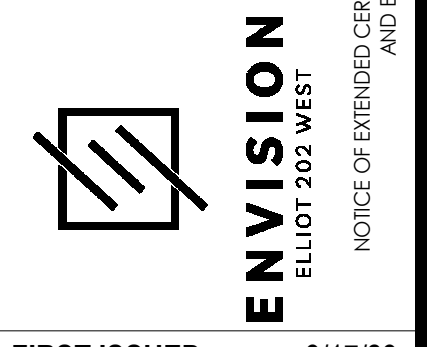
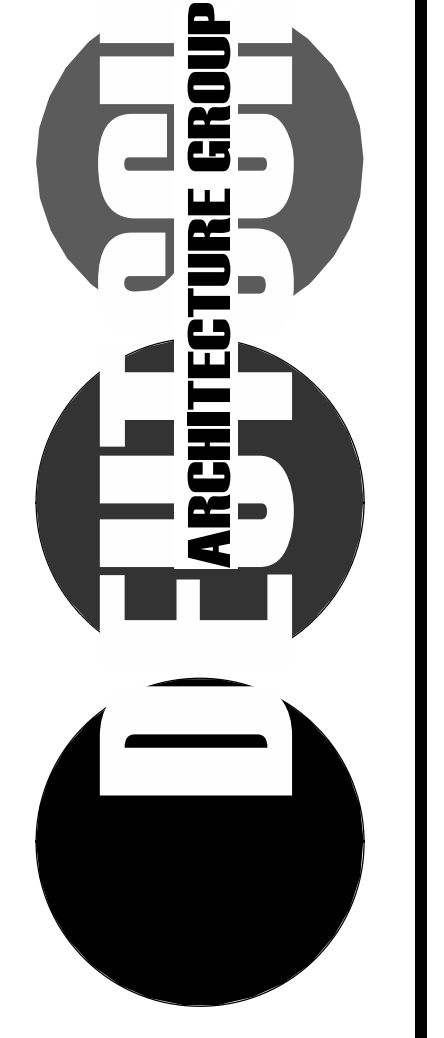
3 WEST ELEVATION
SCALE 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

- A SW7570 "EGRET WHITE" SHERWIN-WILLIAMS
- B SW7018 "DOVETAIL" SHERWIN-WILLIAMS
- C SW7674 "PEPPERCORN" SHERWIN-WILLIAMS
- D SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS WITH 8" HORIZONTAL FORMLINER OR REVEALS @ 8" O.C.
- E GLAZING
- F BRICK VENEER - PACIFIC CLAYLIGHT IRON SPOT - V HORIZONTAL TOOLING
- G SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS
- H SW7019 "GAUNTLET GRAY" SHERWIN-WILLIAMS

KEYNOTES

03-004	CONCRETE KNOCK OUT PANEL
05-002	STEEL CANOPY, PAINTED
05-003	STEEL EXIT STAIRS
07-001	DASHED LINE INDICATES ROOF LINE
07-002	SCUPPER AND DOWNSPOUT WITH OVERFLOW SCUPPER, PAINTED
08-001	INSULATED SECTIONAL OVERHEAD GRADE DOOR
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08-007	ALUMINUM CLERESTORY WINDOWS
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23-001	FUTURE MECHANICAL UNIT
26-001	LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS.



FIRST ISSUED: 3/17/23

REVISIONS		
No.	DATE	DESCRIPTION

PROJECT NO:	22137.00
DRAWN BY:	JM/RH
CHKD BY:	SES
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BUILDING E EXTERIOR ELEVATIONS

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EXTERIOR MATERIAL LEGEND

- A SW7570 "EGRET WHITE" SHERWIN-WILLIAMS
- B SW7018 "DOVETAIL" SHERWIN-WILLIAMS
- C SW7674 "PEPPERCORN" SHERWIN-WILLIAMS
- D SW9105 "ALMOND ROCA" SHERWIN-WILLIAMS WITH 6" HORIZONTAL FORMLINER OR FORMLINER @ 6" O.C.
- E GLAZING
- F BRICK VENEER - PACIFIC CLAYLIGHT IRON SPOT - "V" HORIZONTAL TOOLING

KEYNOTES

- 03-002 CONCRETE TILT PANEL
- 03-003 CONCRETE TILT PANEL REVEAL
- 03-004 KNOCK OUT PANEL
- 05-002 STEEL CANOPY PAINTED
- 08-002 ALUMINUM FRAMED WINDOW WITH TINTED INSULATED GLASS
- 08-003 STOREFRONT ENTRY SYSTEM



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ENVISION ELLIOT 202 WEST
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PHOENIX, AZ 85038

NOTICE OF EXTENDED CERTIFICATION AND APPROVAL PERIOD PROVIDED. THIS CONTRACT ALLOWS THE OWNER TO CERTIFY AND APPROVE BILLINGS AND ESTIMATES WITHIN 30 DAYS AFTER THE BILLINGS AND ESTIMATES ARE RECEIVED FROM THE CONTRACTOR.

FIRST ISSUED: 9/22/22

REVISIONS

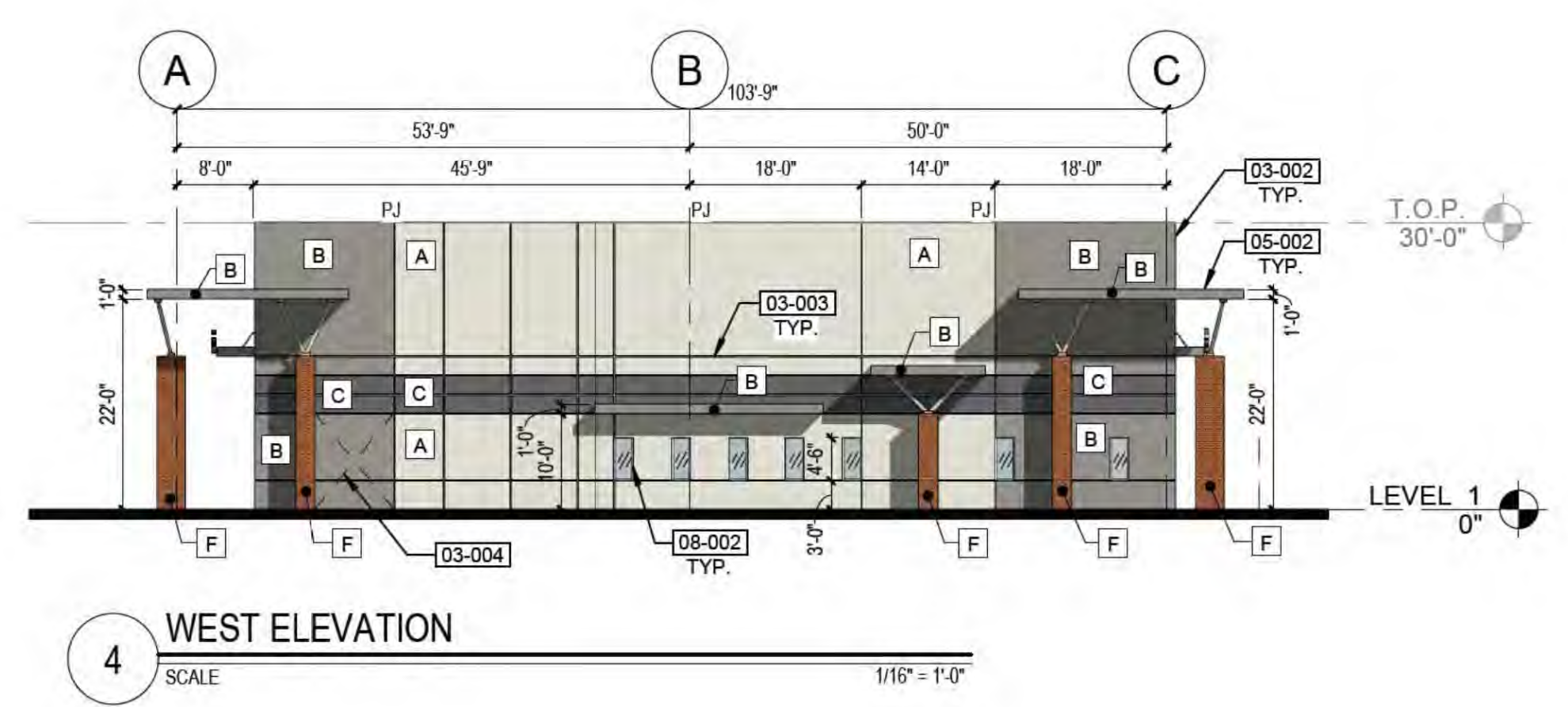
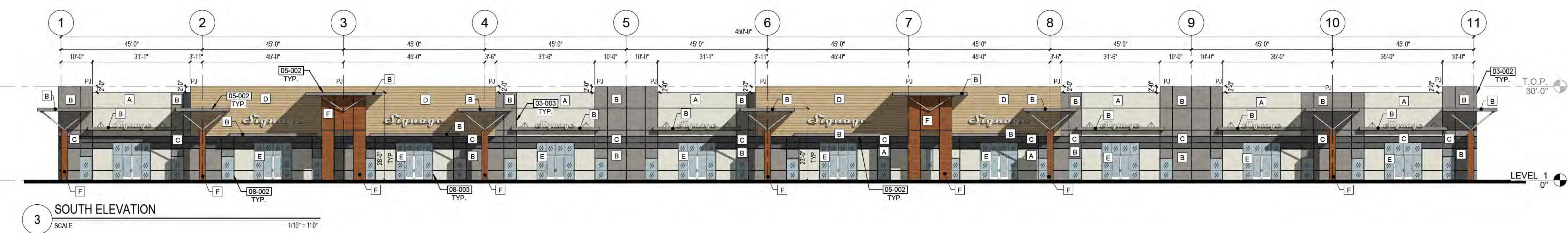
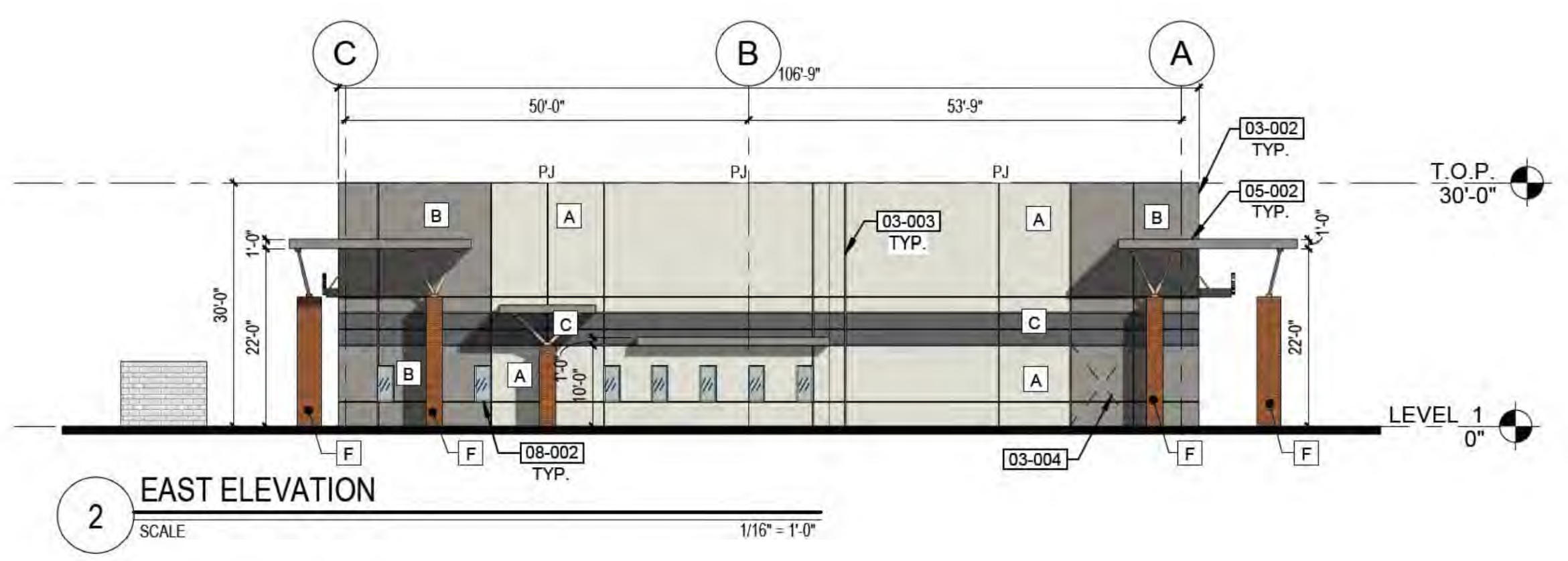
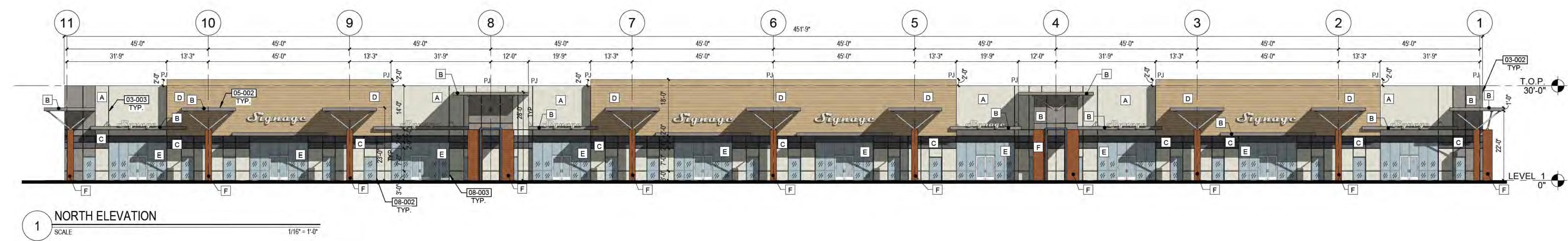
No.	DATE	DESCRIPTION

PROJECT NO: 22137.00
DRAWN BY: JN, NB
CHK'D BY: SES
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BUILDING D
EXTERIOR
ELEVATIONS

A-200

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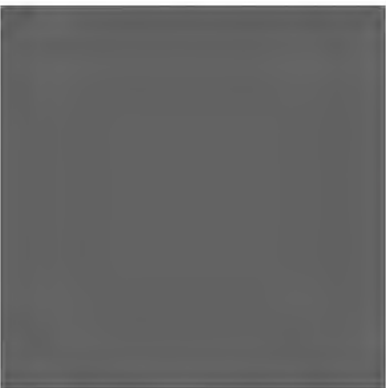
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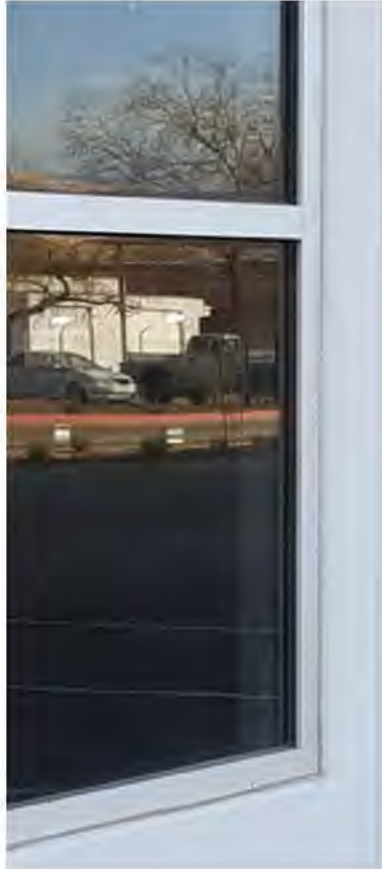
**PT 1 - SW7570 "EGRET WHITE"
SHERWIN-WILLIAMS**



**PT 2 - SW7018 "DOVETAIL"
SHERWIN-WILLIAMS**



**PT 4 - SW7674 "PEPPERCORN"
SHERWIN-WILLIAMS**



**CLEAR ANODIZED ALUMINUM
STOREFRONT SYSTEM
1" INSULATED GLASS
(ARCADIA TC-670)**



BRICK VENEER - SALTILLO



**COLOR D - SW9105 "ALMOND
ROCA" SHERWIN-WILLIAMS
WITH 6" HORIZONTAL FORMLINER
OR REVEALS AT 6" O.C.**



**COLOR D - SW9105 "ALMOND
ROCA" SHERWIN-WILLIAMS**

Tab 10



FRONT / REAR ELEVATION - BUILDING TYPE 1
1/8" = 1'-0"



RIGHT / LEFT ELEVATION - BUILDING TYPE 1
1/8" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
2	HARDIE PLANK	ALMOND ROCA	
5	BRICK VENEER	SALTILLO	
A1	1 COAT STUCCO SYSTEM	EGRET WHITE	
B1	1 COAT STUCCO SYSTEM	DOVETAIL	
C1	1 COAT STUCCO SYSTEM	GAUNTLET GREY	
D1	1 COAT STUCCO SYSTEM	IRON ORE	
G4	METAL GUARDRAIL	DARK GREY	
10	HOLLOW METAL	URBAN BRONZE	

CONTROL JOINT MATERIAL (CJ)
ROOF LEVEL (RL)

KEYED NOTES:

WINDOW / DOOR / RAILINGS

7. METAL GUARDRAIL. 42" MIN. A.F.F TOP OF GUARDRAIL.
8. DARK GREY ANODIZED ALUMINUM WINDOW SYSTEM.
9. DARK GREY ANODIZED ALUMINUM SLIDING DOOR.
11. METAL DOOR TO MATCH WALL PAINT.

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273



ARCHITECT



EXP RES: 09-30-24

ACERO 202 & ELLIOT
 202 & ELLIOT ROAD PHOENIX, ARIZONA
BUILDING TYPE 1
EXTERIOR ELEVATIONS

REMARKS
PRELIMINARY SET

MODIFICATIONS:		
No.	DATE	DESCRIPTION

PROJECT CODE:	AZ1006
SCALE:	As indicated
DATE:	12/05/2022

DRAWING NUMBER
A2.13C

OWNER:



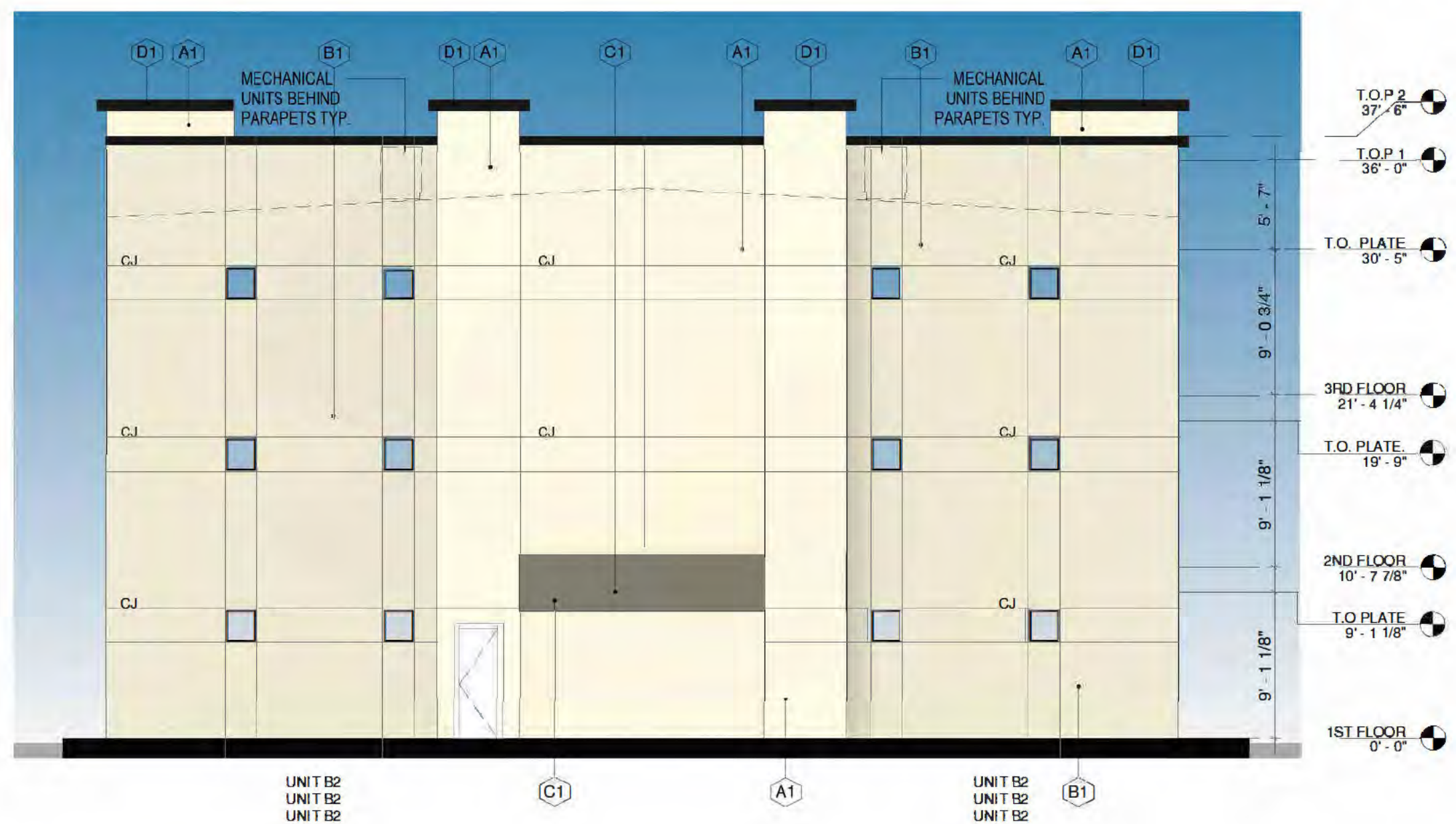
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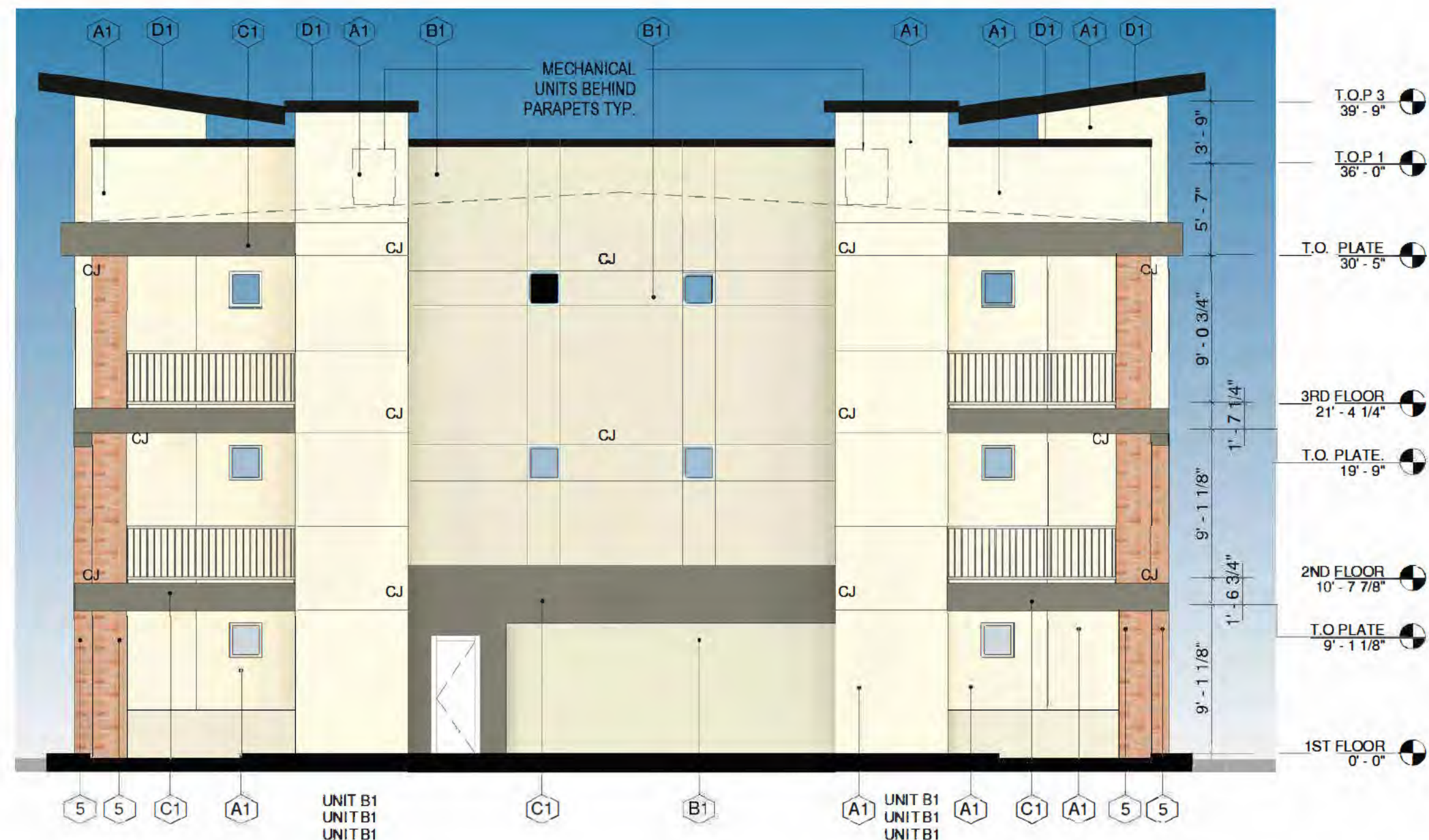
EXP RES: 09-30-24



FRONT / REAR ELEVATION - BUILDING TYPE 2
1/8" = 1'-0"



LEFT ELEVATION - BUILDING TYPE 2
1/8" = 1'-0"



RIGHT ELEVATION - BUILDING TYPE 2
1/8" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
2	6" HARDIE PLANK	ALMOND ROCA	
5	BRICK VENEER	SALTILLO	
A1	1 COAT STUCCO SYSTEM	EGRET WHITE	
B1	1 COAT STUCCO SYSTEM	GREY PEARL	
C1	1 COAT STUCCO SYSTEM	STUDIO TAUPE	
D1	1 COAT STUCCO SYSTEM	IRON ORE	
G4	METAL GUARDRAIL	DARK GREY	
10	HOLLOW METAL	URBAN BRONZE	

CONTROL JOINT MATERIAL (CJ)

KEYED NOTES:

WINDOW / DOOR / RAILINGS

7. METAL GUARDRAIL. 42" MIN. A.F.F TOP OF GUARDRAIL.
8. DARK GREY ANODIZED ALUMINUM WINDOW SYSTEM.
9. DARK GREY ANODIZED ALUMINUM SLIDING DOOR.
11. METAL DOOR TO MATCH WALL PAINT.

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273

REMARKS

PRELIMINARY SET

MODIFICATIONS:

No.	DATE	DESCRIPTION

PROJECT CODE:	AZ1006
SCALE:	As indicated
DATE:	12/05/2022

DRAWING NUMBER

A2.23C

OWNER:



ARCHITECT



EXP. RES. 08-30-24



TOP 3 39'-8"
 TOP 2 37'-8"
 TOP 1 36'-0"
 T.O. PLATE 30'-8 3/8"
 3RD FLOOR 21'-4 1/2"
 T.O. PLATE 19'-9 3/4"
 2ND FLOOR 10'-7 7/8"
 T.O. PLATE 9'-1 1/8"
 1ST FLOOR 0'-0"

FRONT / REAR ELEVATION - BUILDING TYPE 3
3/32" = 1'-0"



TOP 3 39'-8"
 TOP 1 36'-0"
 T.O. PLATE 30'-8 3/8"
 3RD FLOOR 21'-4 1/2"
 T.O. PLATE 19'-9 3/4"
 2ND FLOOR 10'-7 7/8"
 T.O. PLATE 9'-1 1/8"
 1ST FLOOR 0'-0"

RIGHT / LEFT ELEVATION - BUILDING TYPE 3
3/32" = 1'-0"

TAG	MATERIAL	COLOR	PICTURE
2	6" HARDIE PLANK	ALMOND ROCA	
5	BRICK VENEER	SALTILLO	
A1	1 COAT STUCCO SYSTEM	FINE GRAIN	
B1	1 COAT STUCCO SYSTEM	GREY PEARL	
C1	1 COAT STUCCO SYSTEM	STUDIO TAUPE	
D1	1 COAT STUCCO SYSTEM	IRON ORE	
G4	METAL GUARDRAIL	DARK GREY	
10	HOLLOW METAL	URBAN BRONZE	

CONTROL JOINT MATERIAL (CJ)

KEYED NOTES:

WINDOW / DOOR / RAILINGS

- 7. METAL GUARDRAIL. 42" MIN. A.F.F TOP OF GUARDRAIL.
- 8. DARK GREY ANODIZED ALUMINUM WINDOW SYSTEM.
- 9. DARK GREY ANODIZED ALUMINUM SLIDING DOOR.
- 11. METAL DOOR TO MATCH WALL PAINT.

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273

ACERO 202 & ELLIOT
202 & ELLIOT ROAD PHOENIX, ARIZONA

BUILDING TYPE 3
EXTERIOR ELEVATIONS

REMARKS

PRELIMINARY SET

MODIFICATIONS:

No.	DATE	DESCRIPTION

PROJECT CODE:	AZ1006
SCALE:	As indicated
DATE:	12/05/2022

DRAWING NUMBER

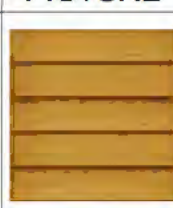






A2.33C



FRONT / REAR ELEVATION - BUILDING TYPE 6
 1/8" = 1'-0"



RIGHT / LEFT ELEVATION - BUILDING TYPE 6
 1/8" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
2	HARDIE PLANK 6"	ALMOND ROCA	
5	BRICK VENEER	SALTILLO	
A1	1 COAT STUCCO SYSTEM	EGRET WHITE	
B1	1 COAT STUCCO SYSTEM	DOVETAIL	
C1	1 COAT STUCCO SYSTEM	GAUNTLET GREY	
D1	1 COAT STUCCO SYSTEM	IRON ORE	
G4	METAL GUARDRAIL	DARK GREY	
10	HOLLOW METAL	URBAN BRONZE	

CONTROL JOINT MATERIAL (CJ)

KEYED NOTES:

WINDOW / DOOR / RAILINGS

- 7. METAL GUARDRAIL. 42" MIN. A.F.F TOP OF GUARDRAIL.
- 8. DARK GREY ANODIZED ALUMINUM WINDOW SYSTEM.
- 9. DARK GREY ANODIZED ALUMINUM SLIDING DOOR.
- 11. METAL DOOR TO MATCH WALL PAINT.

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
 SDEV #: 2100579
 FACT #: 2110273

ACERO 202 & ELLIOT
 202 & ELLIOT ROAD PHOENIX, ARIZONA
 BUILDING TYPE 6
 EXTERIOR ELEVATIONS

REMARKS
 PRELIMINARY SET

MODIFICATIONS:

No.	DATE	DESCRIPTION

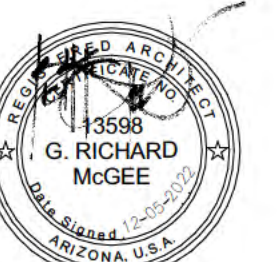
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OWNER:



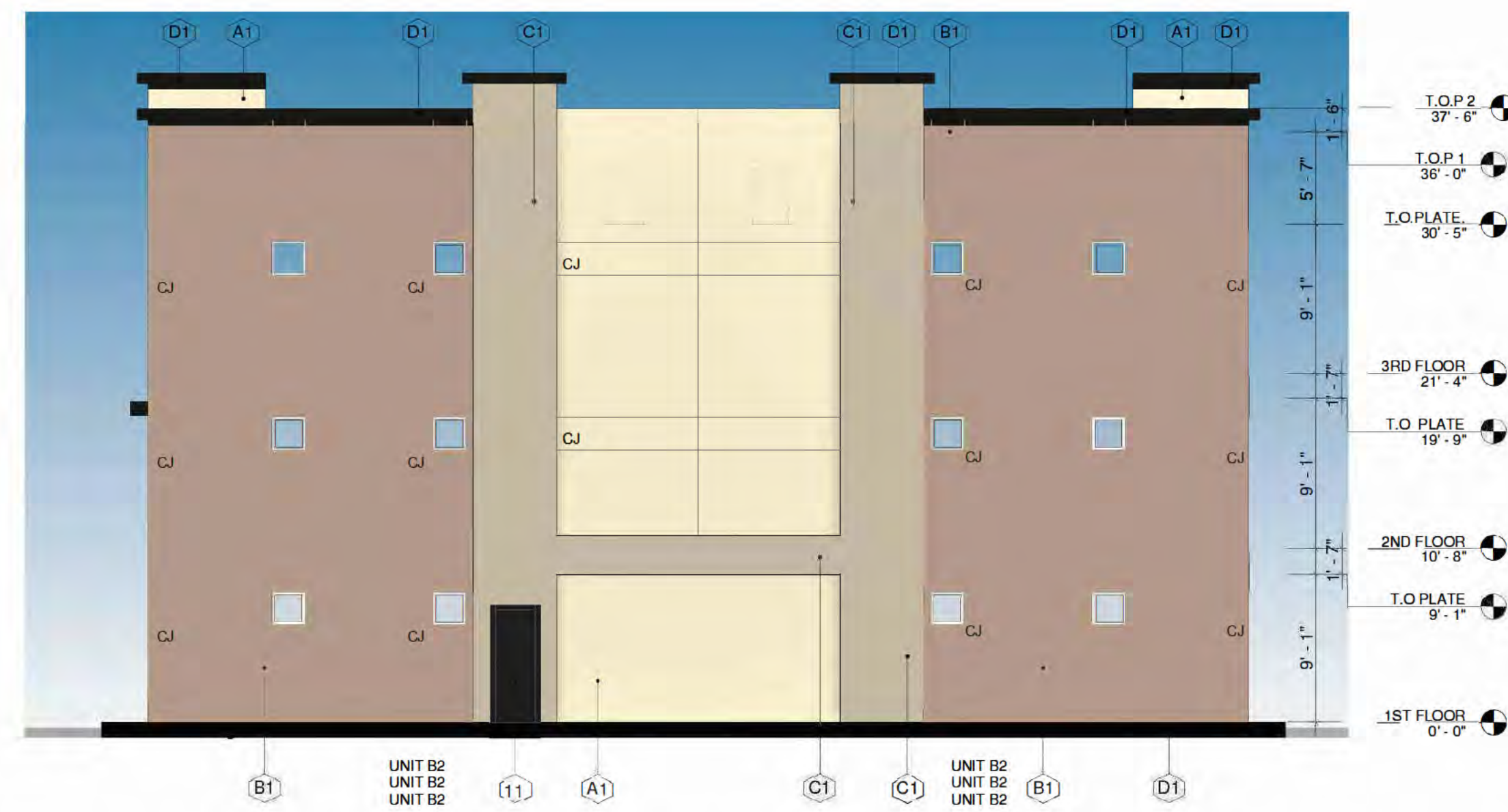
ARCHITECT



EXP RES: 09-30-24



FRONT / REAR ELEVATION - BUILDING TYPE 7
1/8" = 1'-0"



RIGHT / LEFT ELEVATION - BUILDING TYPE 7
1/8" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
2	HARDIE PLANK	ALMOND ROCA	
5	BRICK VENEER	SALTILLO	
A1	1 COAT STUCCO SYSTEM	FINE GRAIN	
B1	1 COAT STUCCO SYSTEM	STUDIO TAUPE	
C1	1 COAT STUCCO SYSTEM	DOVETAIL	
D1	1 COAT STUCCO SYSTEM	IRON ORE	
G4	METAL GUARDRAIL	DARK GREY	
10	HOLLOW METAL	URBAN BRONZE	

CONTROL JOINT MATERIAL (CJ)

KEYED NOTES:

WINDOW / DOOR / RAILINGS

- 7. METAL GUARDRAIL. 42" MIN. A.F.F TOP OF GUARDRAIL.
- 8. DARK GREY ANODIZED ALUMINUM WINDOW SYSTEM.
- 9. DARK GREY ANODIZED ALUMINUM SLIDING DOOR.
- 11. METAL DOOR TO MATCH WALL PAINT.

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273

ACERO 202 & ELLIOT
202 & ELLIOT ROAD PHOENIX, ARIZONA

BUILDING TYPE 7
EXTERIOR ELEVATIONS

REMARKS

PRELIMINARY SET

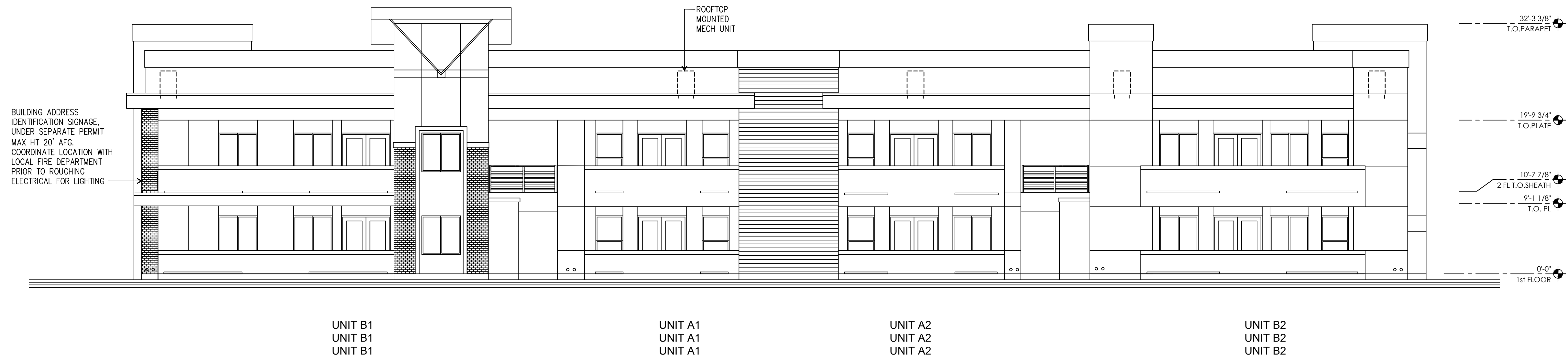
MODIFICATIONS:

No.	DATE	DESCRIPTION

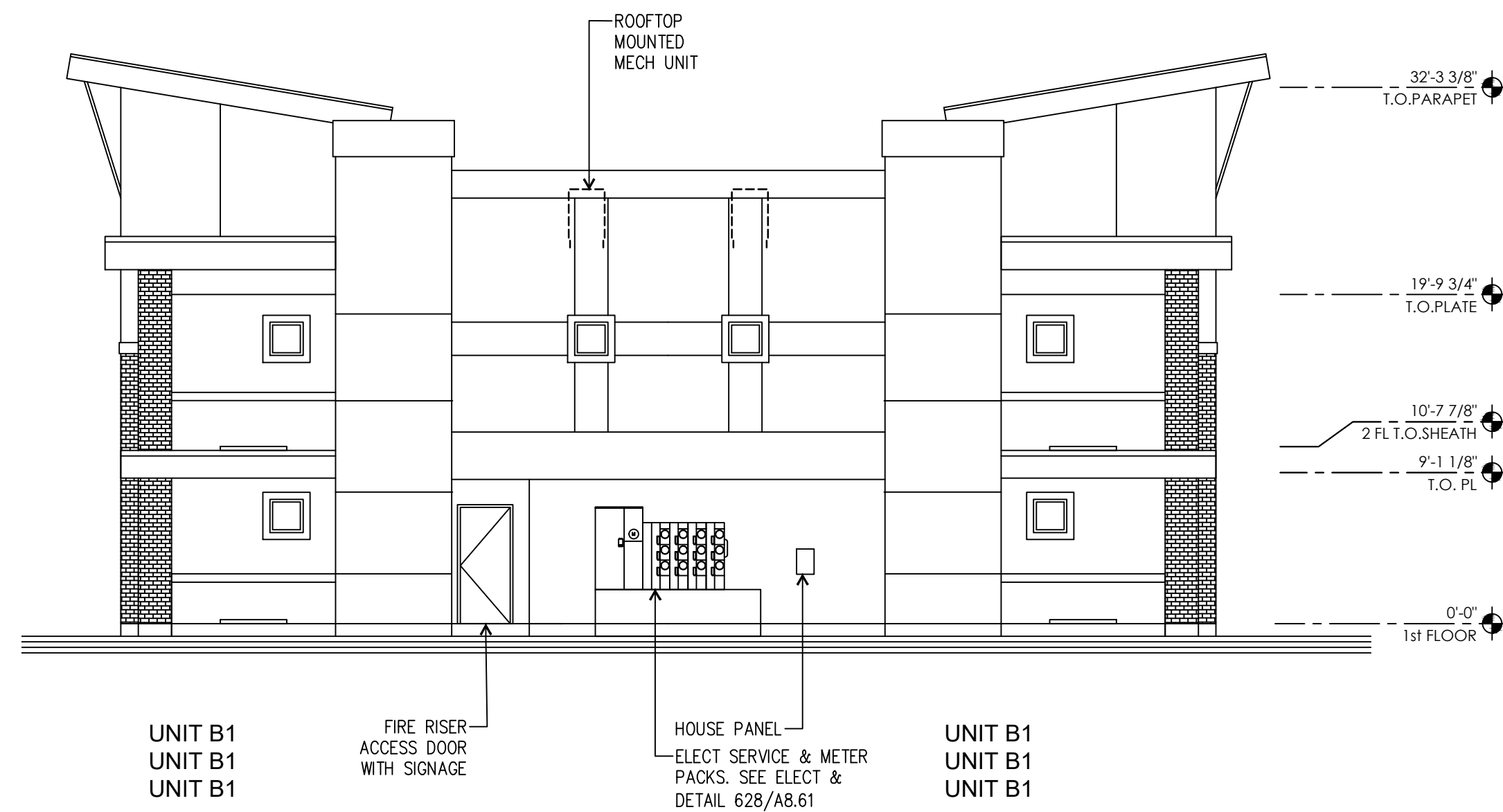
PROJECT CODE:	AZ1006
SCALE:	As indicated
DATE:	12/05/2022

DRAWING NUMBER

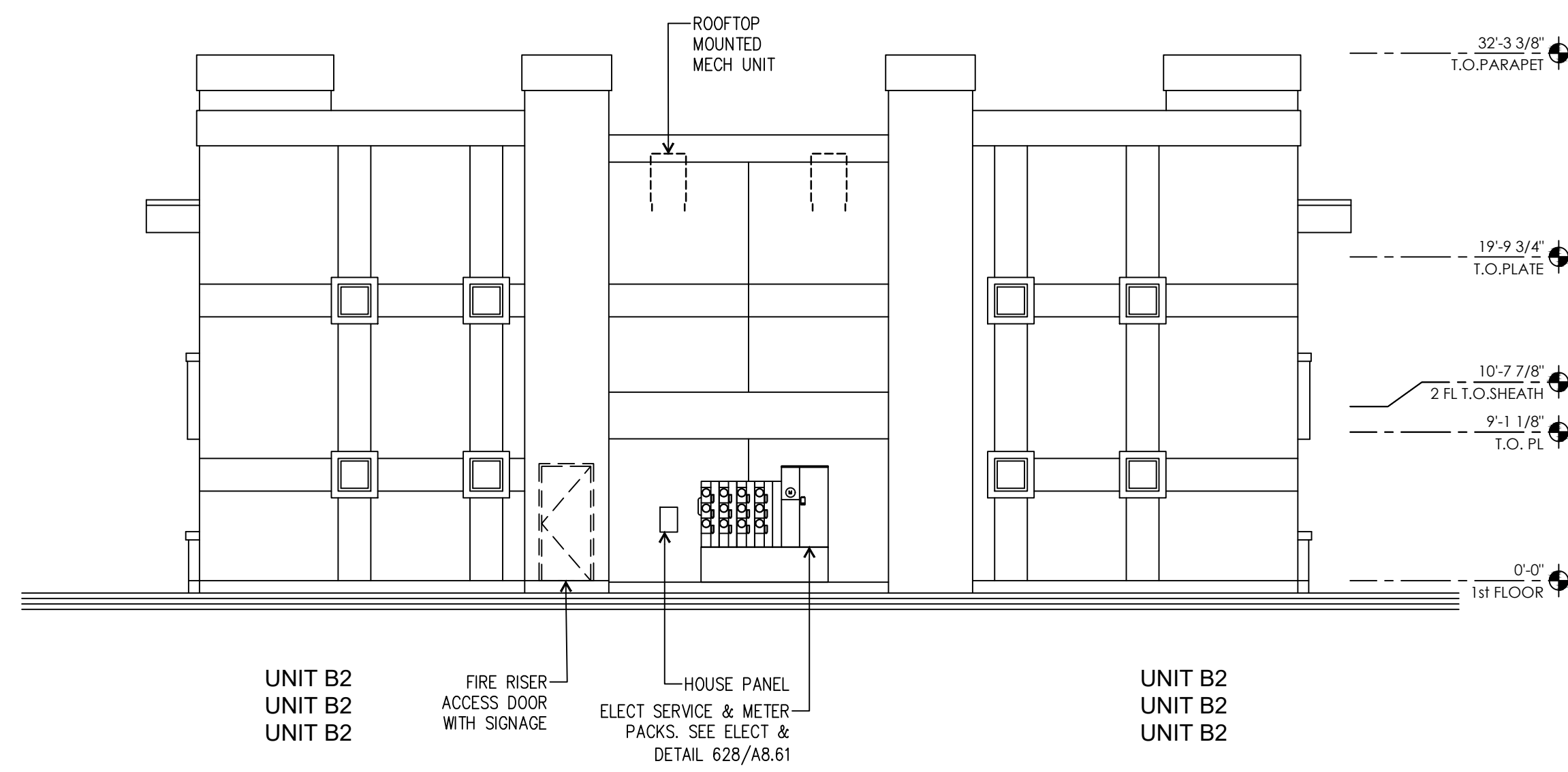
A2.73C



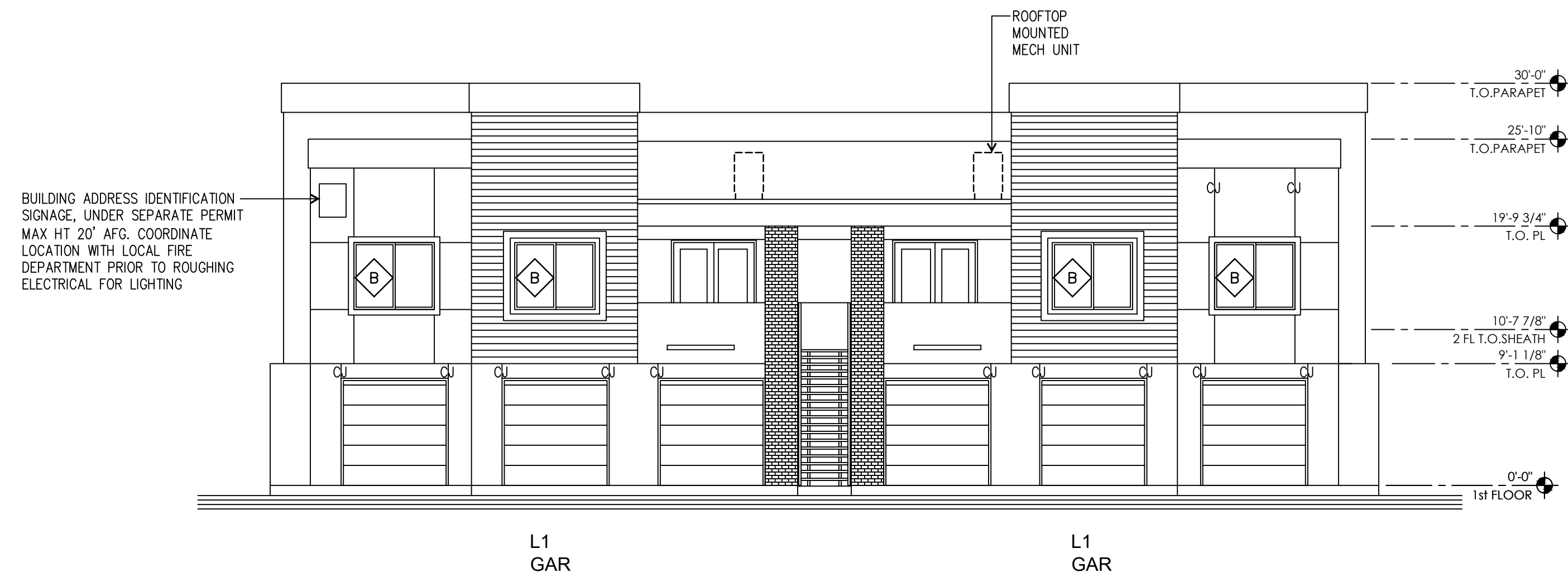
FRONT / REAR ELEVATION - 2-STORY
 SCALE: 1/8" = 1'-0"



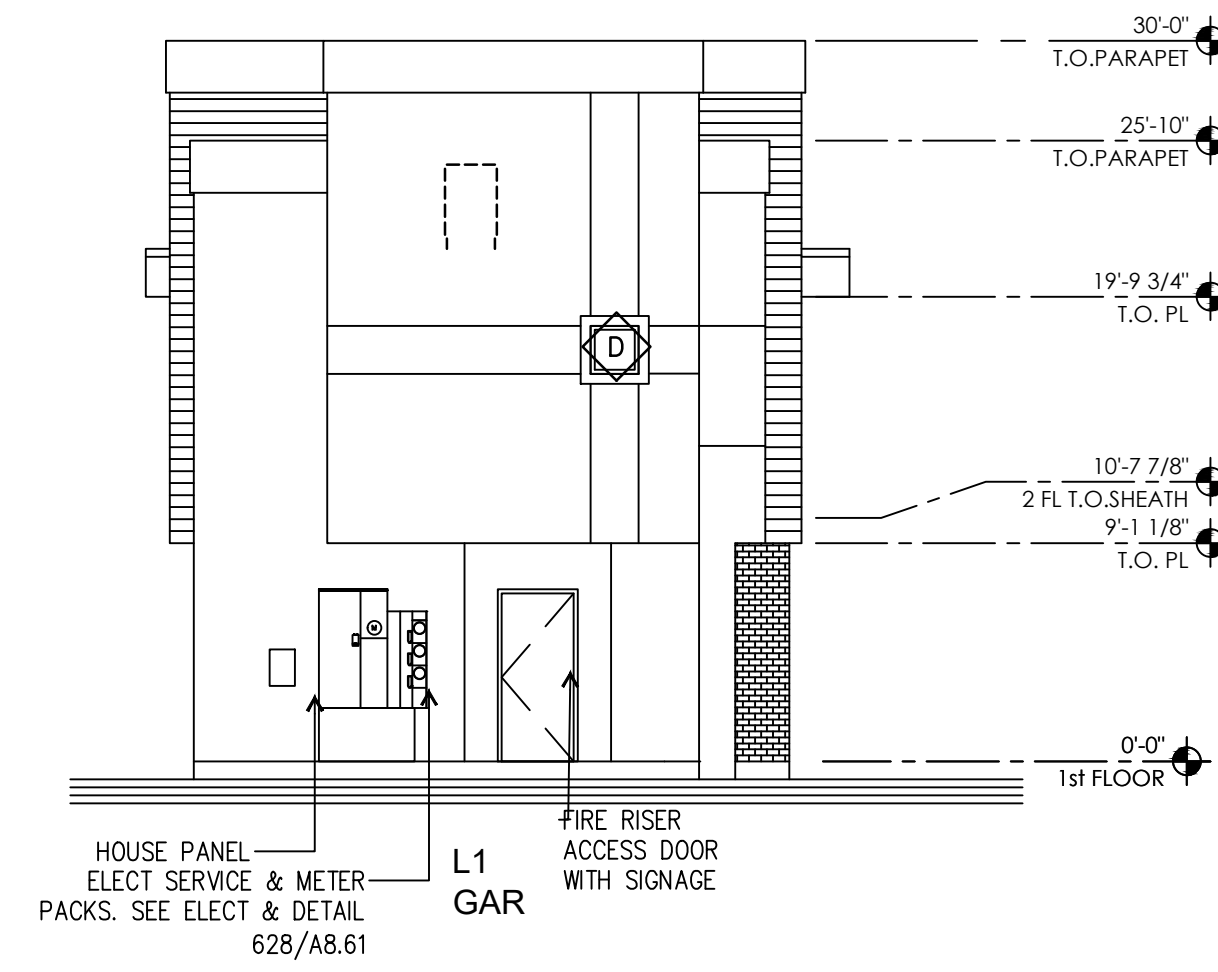
LEFT ELEVATION - 2-STORY
 SCALE: 1/8" = 1'-0"



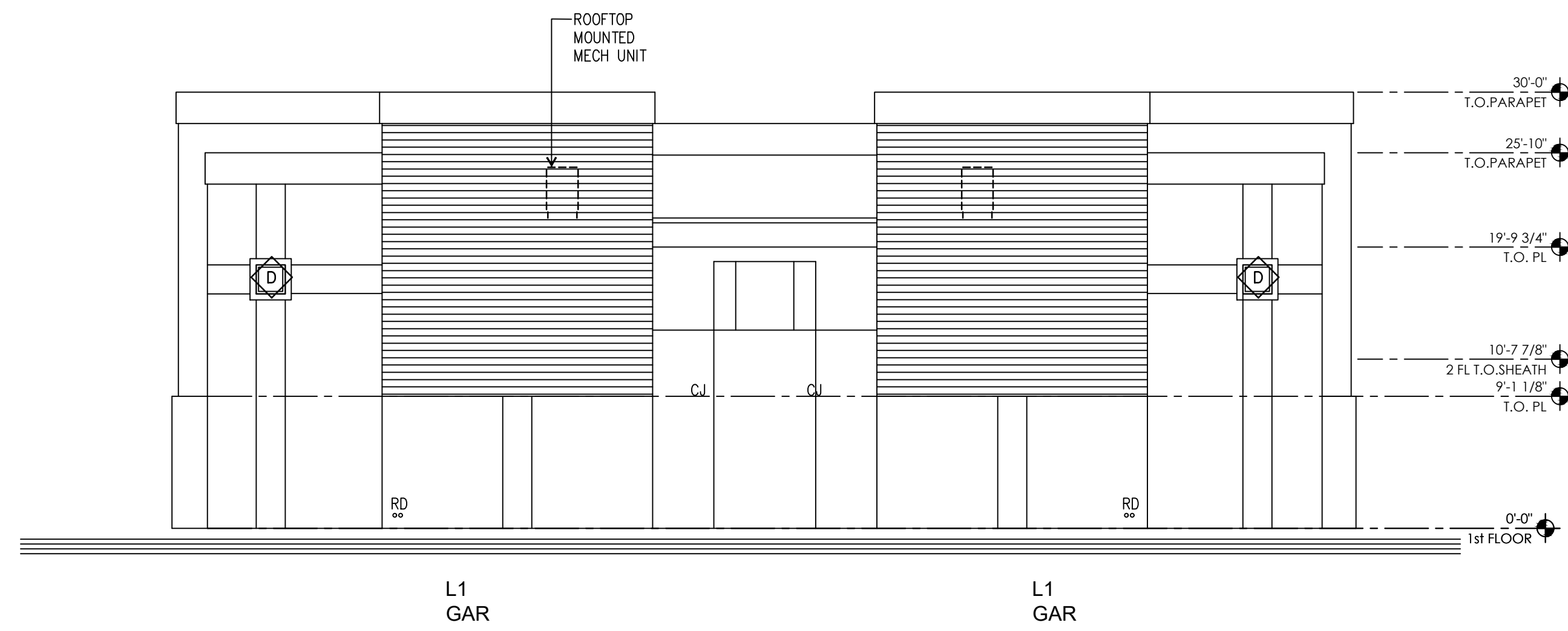
RIGHT ELEVATION - 2-STORY
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION - BLDG TYPE 5
SCALE: 1/8" = 1'-0"



LEFT / RIGHT ELEVATION - BLDG TYPE 5
SCALE: 1/8" = 1'-0"

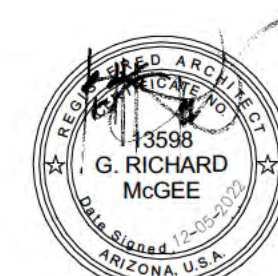


REAR ELEVATION - BLDG TYPE 5
SCALE: 1/8" = 1'-0"

OWNER:



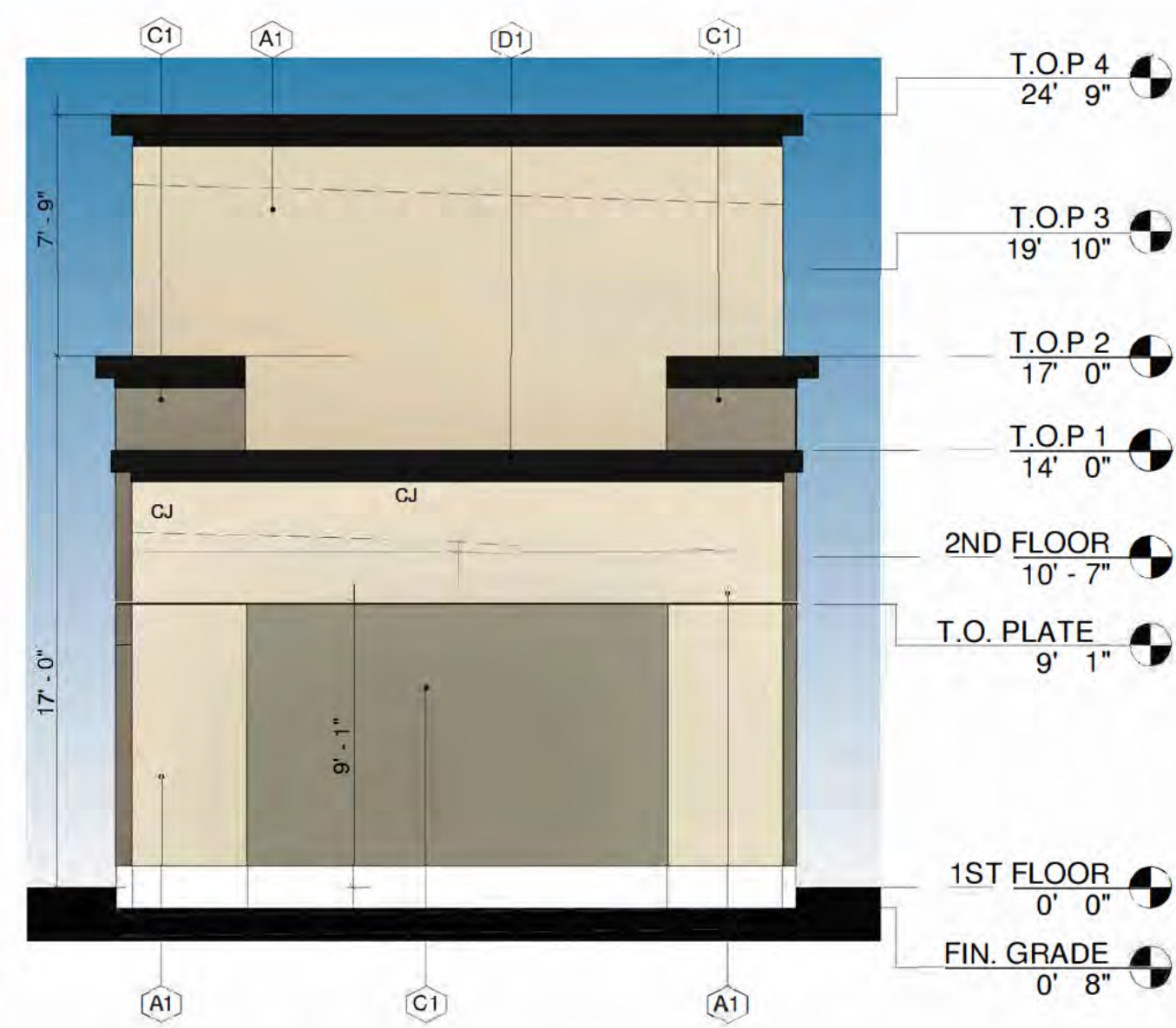
ARCHITECT



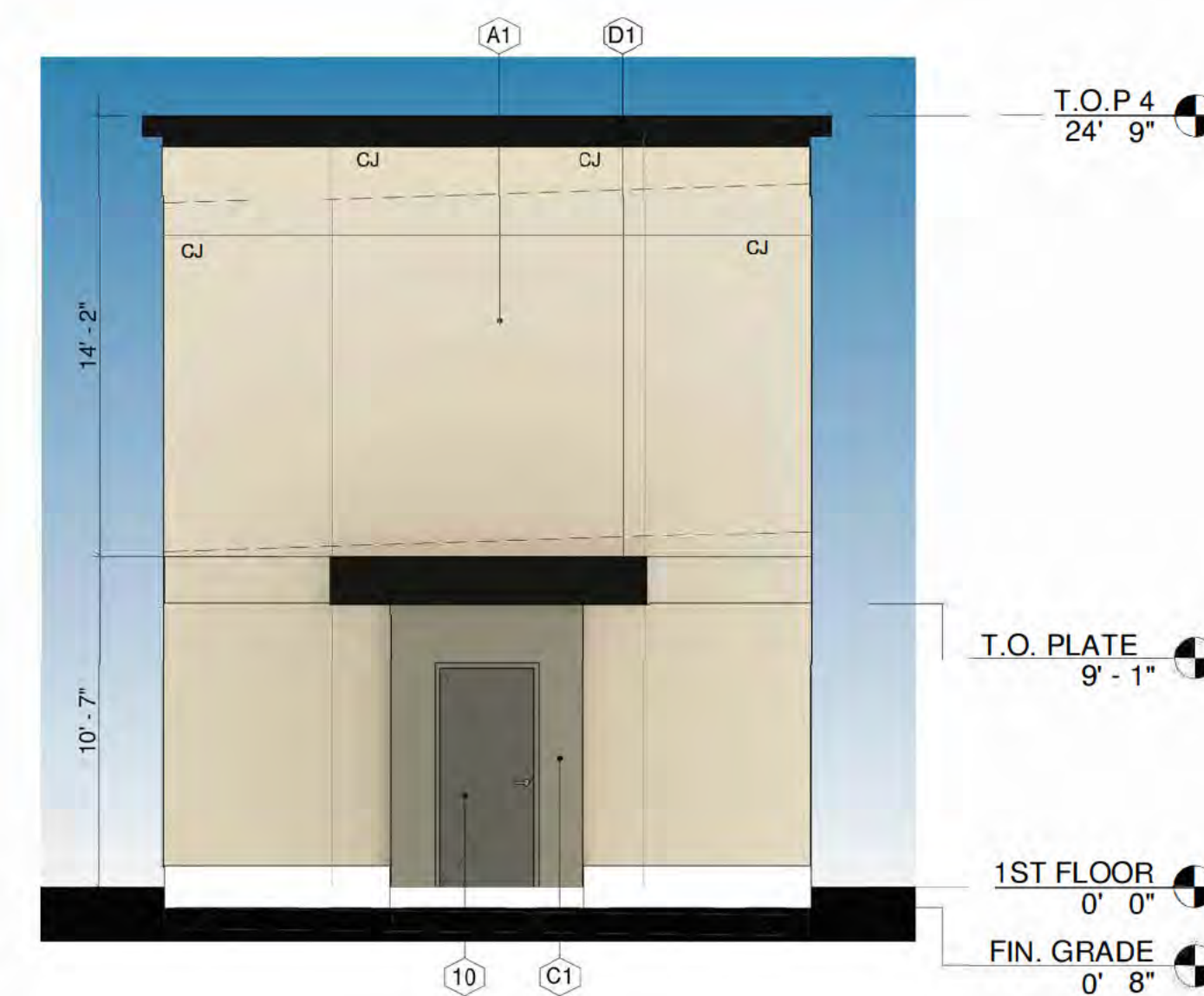
EXP RES: 09-30-24



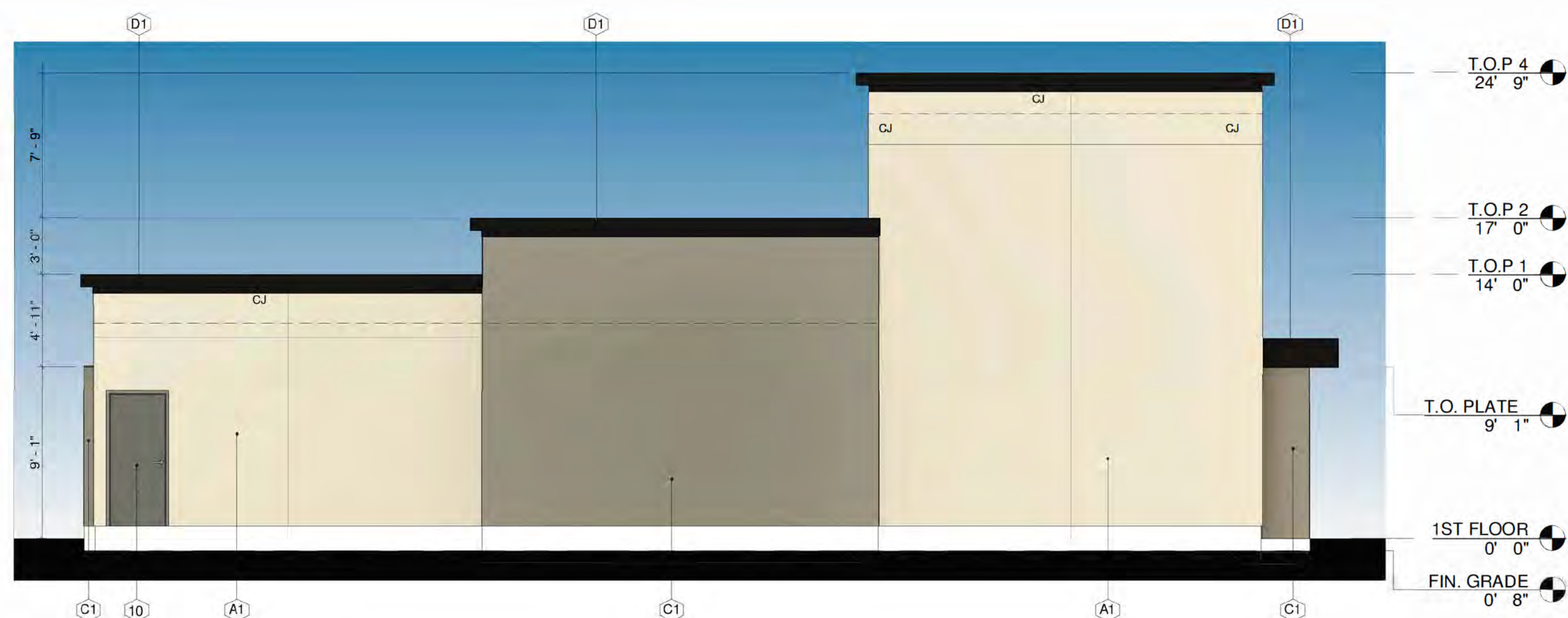
FRONT ELEVATION
3/16" = 1'-0"



RIGHT ELEVATION
3/16" = 1'-0"



LEFT ELEVATION
3/16" = 1'-0"



REAR ELEVATION
3/16" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
A1	1 COAT STUCCO SYSTEM	FINE GRAIN	
C1	1 COAT STUCCO SYSTEM	GAUNTLET GREY	
D1	1 COAT STUCCO SYSTEM	IRON ORE	
10	HOLLOW METAL	URBAN BRONZE	

CONTROL JOINT MATERIAL (CJ)

KEY NOTES:

- WINDOW / DOOR / RAILINGS
- 8. DARK GREY ANODIZED ALUMINUM WINDOW SYSTEM.
- 17. URBAN BROZE GARAGE DOOR

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273

ACERO 202 & ELLIOT
202 & ELLIOT ROAD PHOENIX, ARIZONA

MAINTENACE/GARAGE
EXTERIOR ELEVATIONS

REMARKS
PRELIMINARY SET

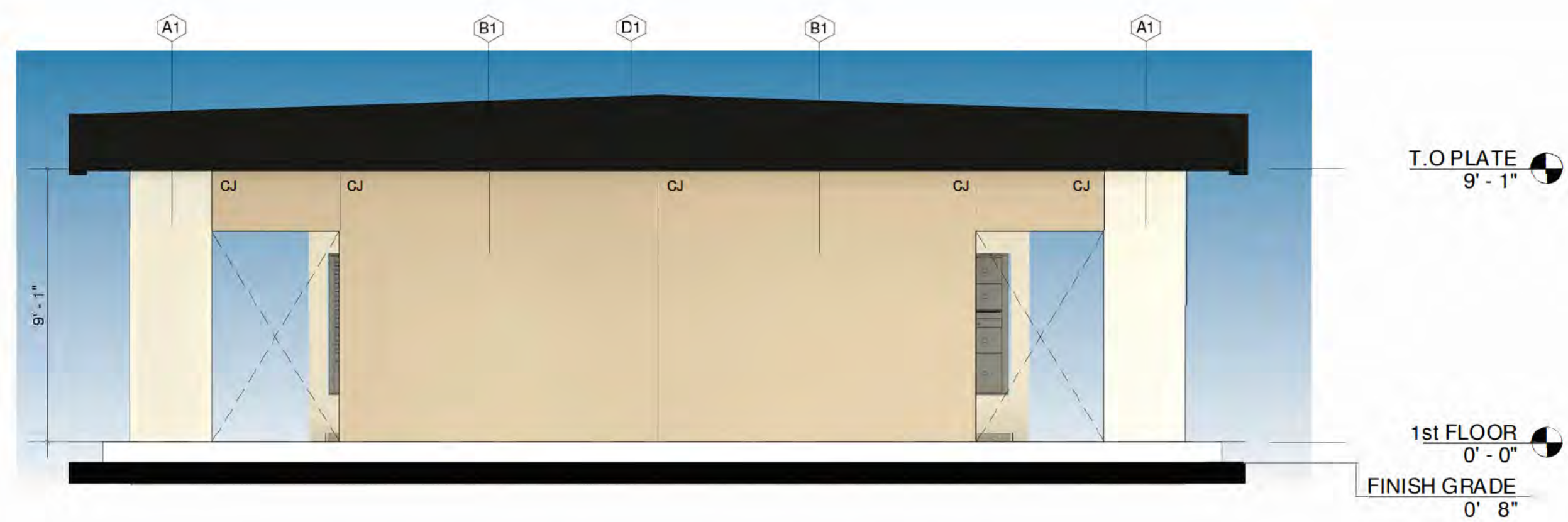
MODIFICATIONS:

No.	DATE	DESCRIPTION

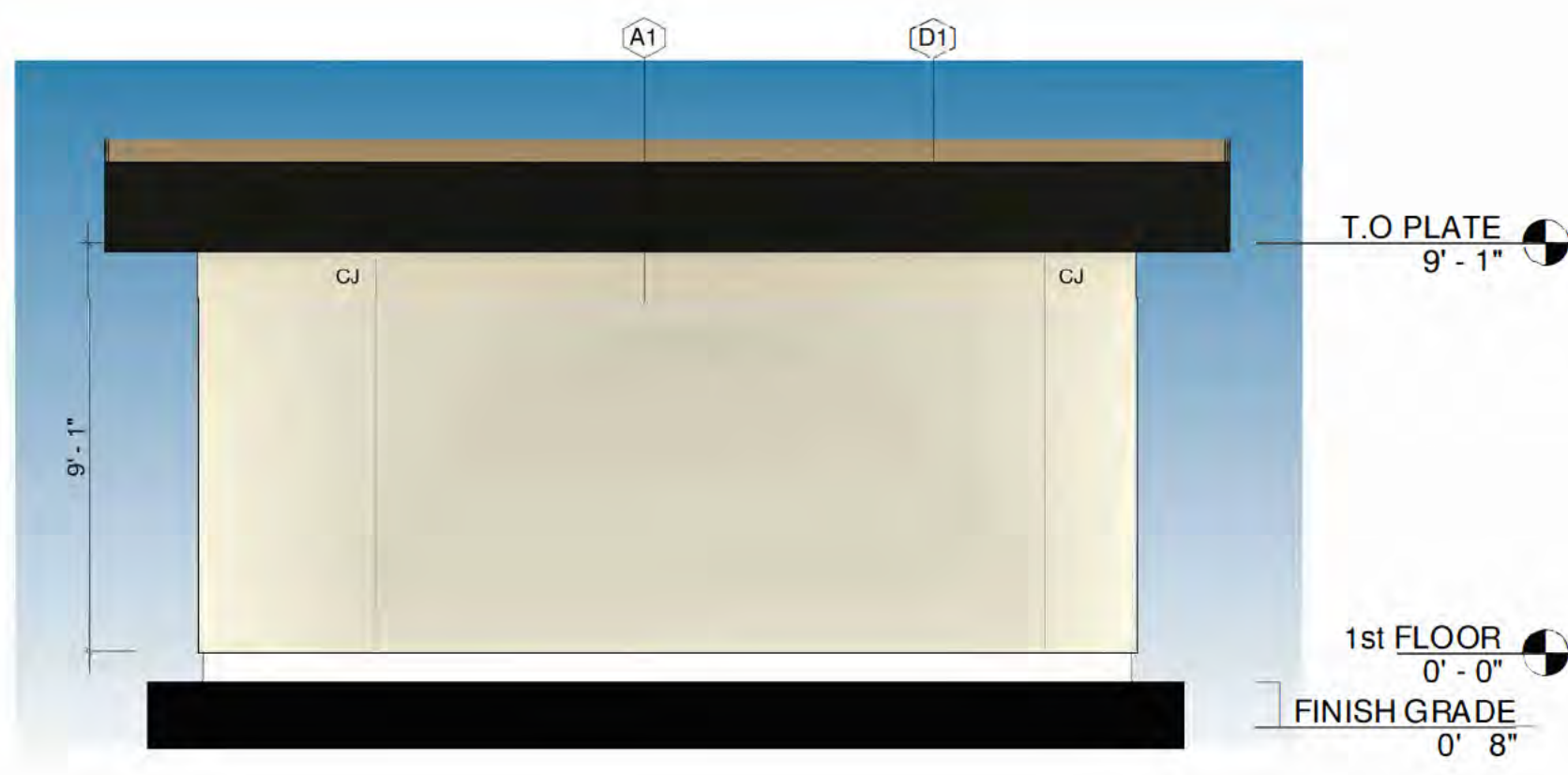
PROJECT CODE:	AZ1006
SCALE:	3/16" = 1'-0"
DATE:	12/05/2022

DRAWING NUMBER




A2.80C



FRONT/ REAR ELEVATIONS - MAILBOX RAMADA
1/4" = 1'-0"



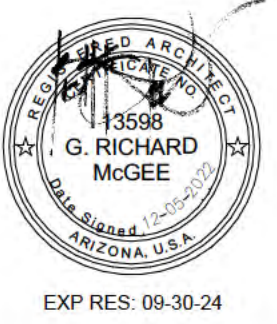
SIDE ELEVATIONS - MAILBOX RAMADA
1/4" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
A1	1 COAT STUCCO SYSTEM	EGRET WHITE	
B1	1 COAT STUCCO SYSTEM	STUDIO TAUPE	
D1	1 COAT STUCCO SYSTEM	IRON ORE	

CONTROL JOINT MATERIAL (CJ)

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273



ACERO 202 & ELLIOT
202 & ELLIOT ROAD PHOENIX, ARIZONA

MAILBOX RAMADA
EXTERIOR ELEVATIONS

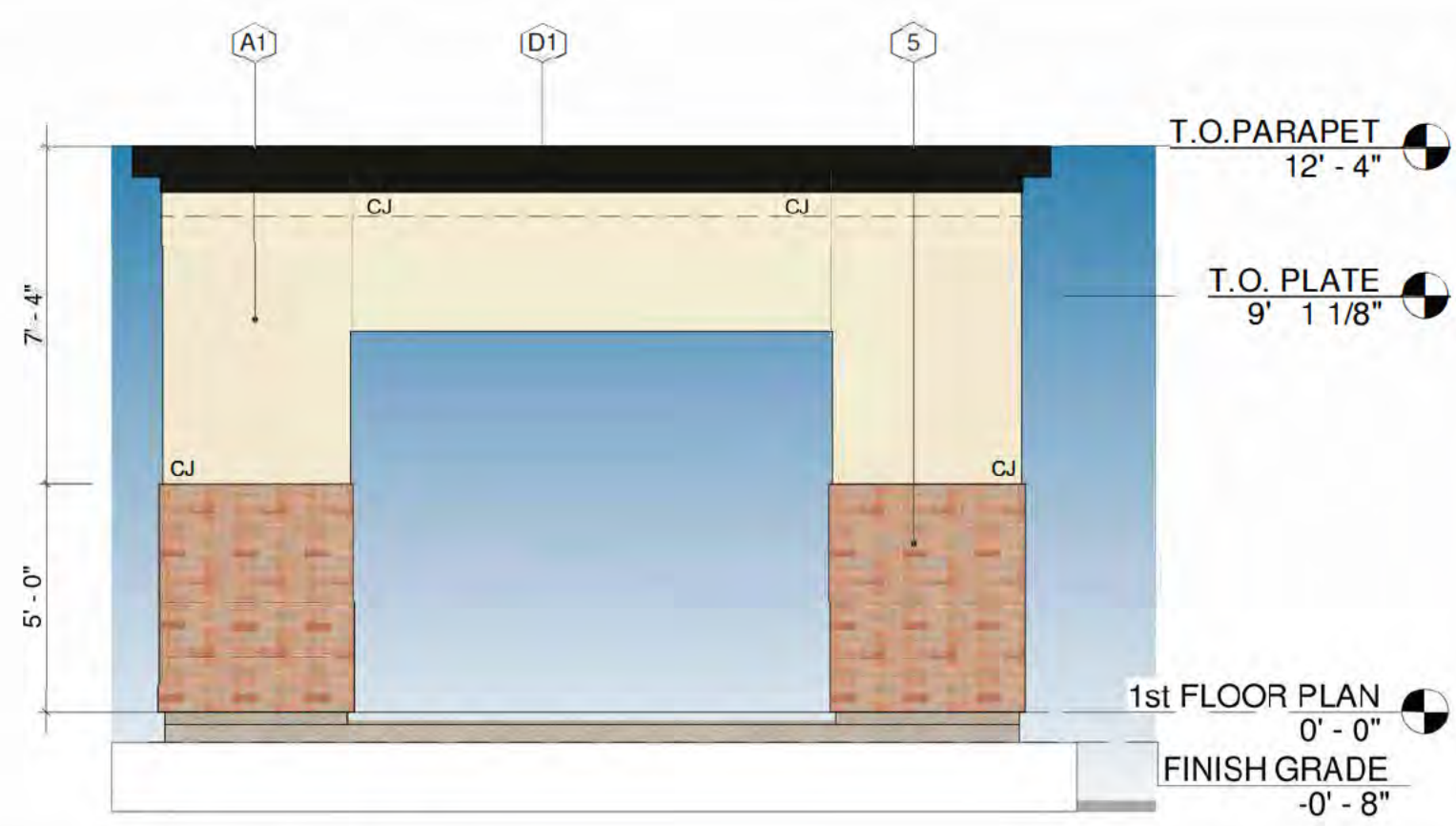
REMARKS
PRELIMINARY SET

MODIFICATIONS:

No.	DATE	DESCRIPTION

PROJECT CODE: AZ1006
SCALE: 1/4" = 1'-0"
DATE: 12/05/2022

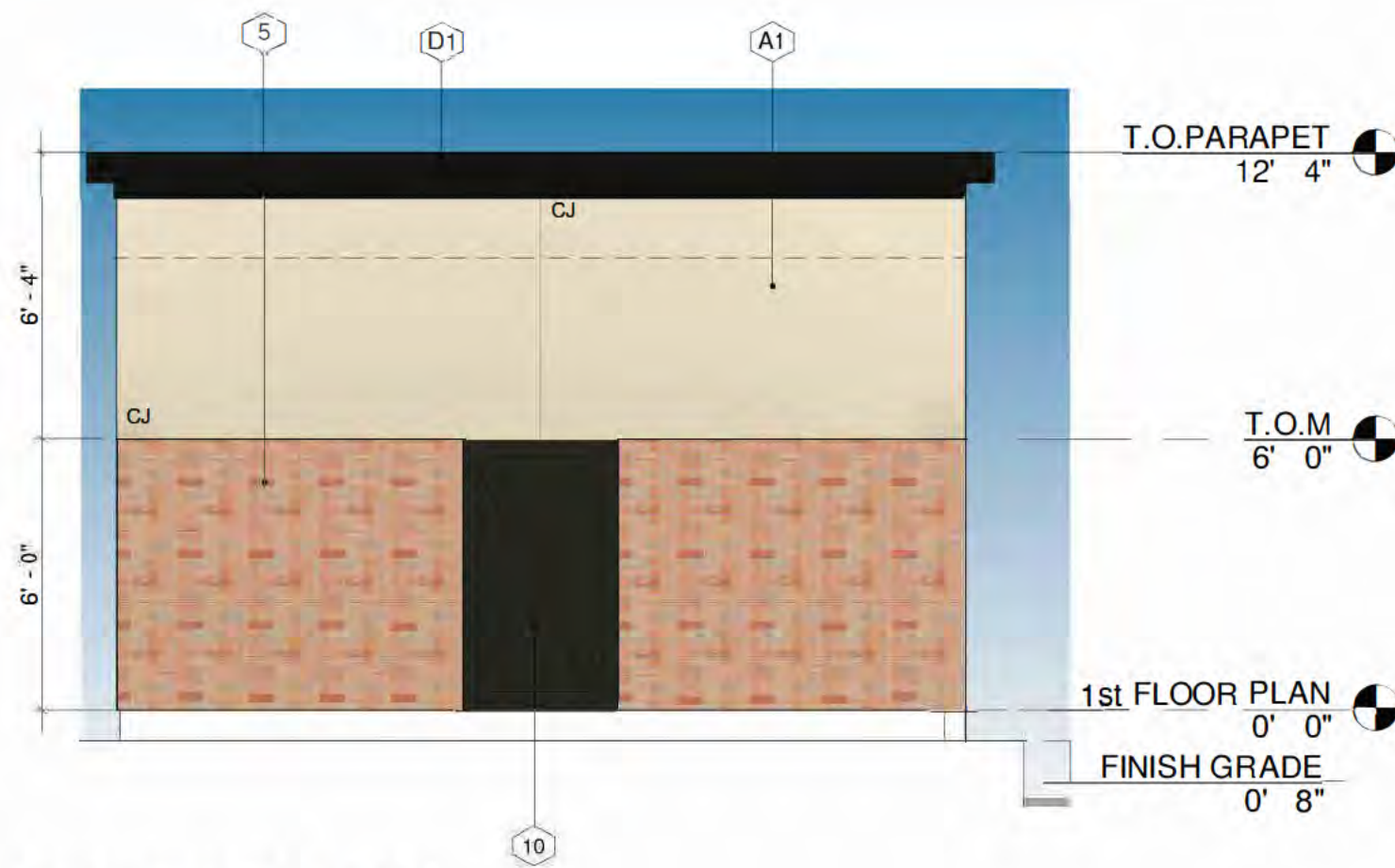
DRAWING NUMBER
A4.20C



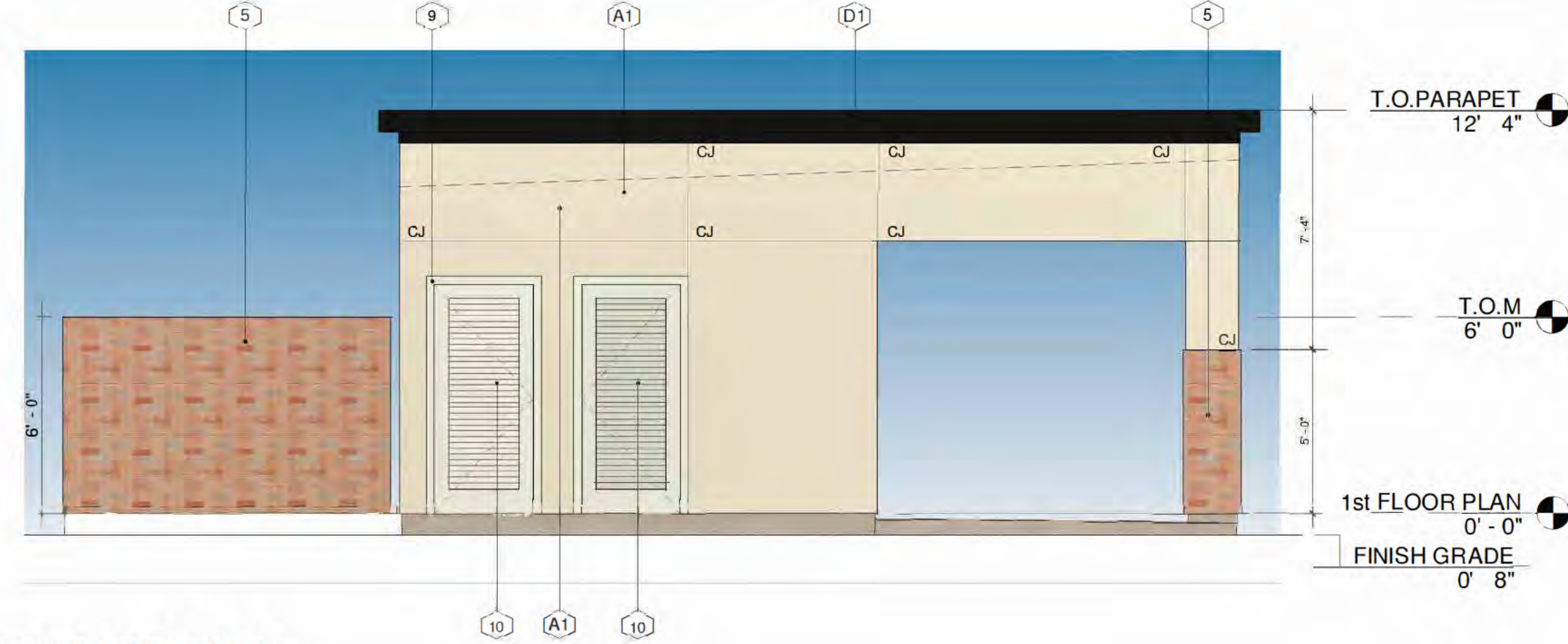
FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
5	BRICK VENEER	SALTILLO	
A1	1 COAT STUCCO SYSTEM	FINE GRAIN	
D1	1 COAT STUCCO SYSTEM	IRON ORE	
10	HOLLOW METAL	URBAN BRONZE	

CONTROL JOINT MATERIAL (CJ)

KEYED NOTES:

WINDOW / DOOR / RAILINGS

9. DARK GREY ANODIZED ALUMINUM SLIDING DOOR.

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273

OWNER:



ARCHITECT



EXP RES: 09-30-24

ACERO 202 & ELLIOT
202 & ELLIOT ROAD PHOENIX, ARIZONA

POOL RESTROOM
EXTERIOR ELEVATIONS

REMARKS

PRELIMINARY SET

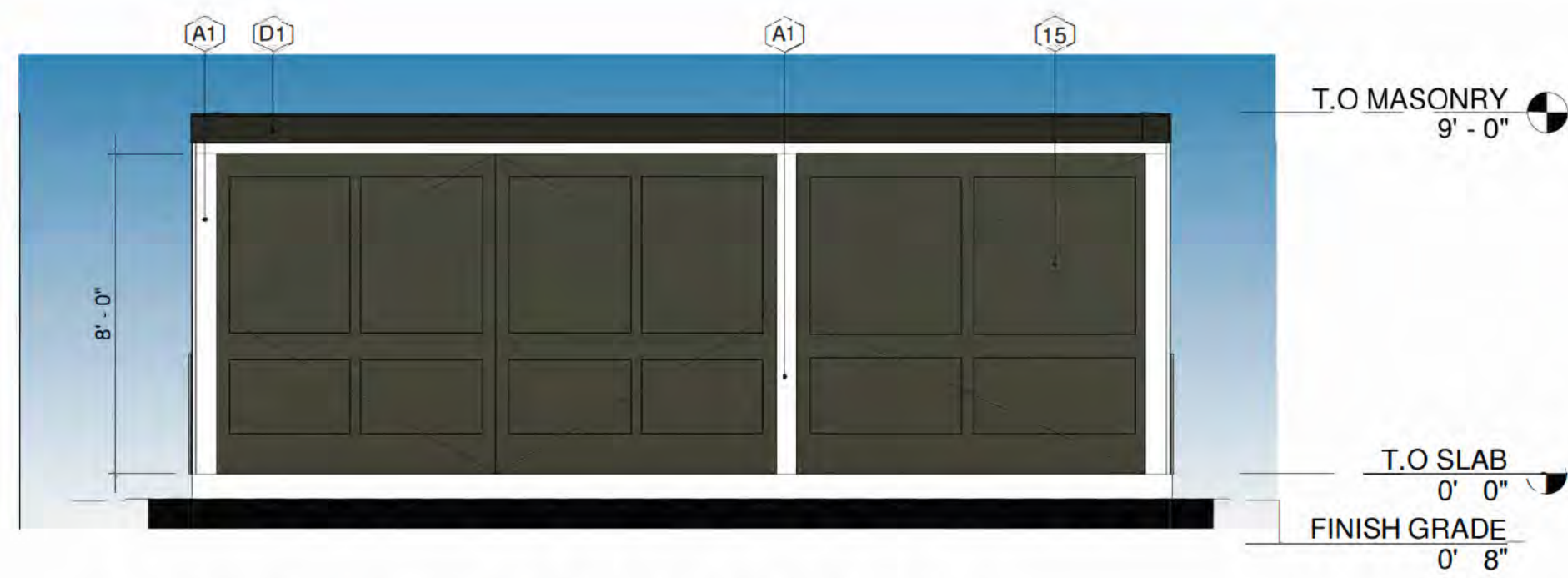
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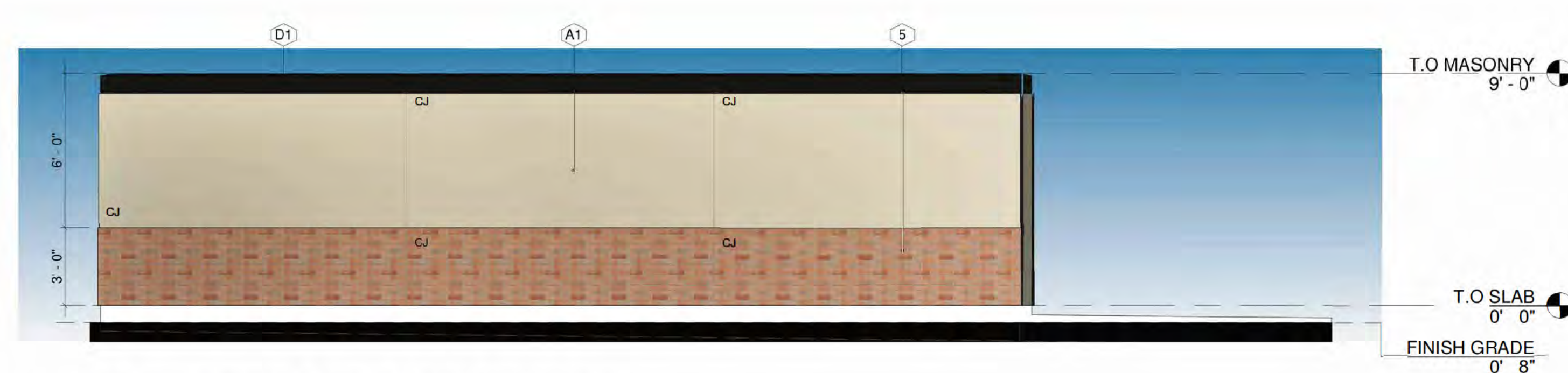
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DRAWING NUMBER

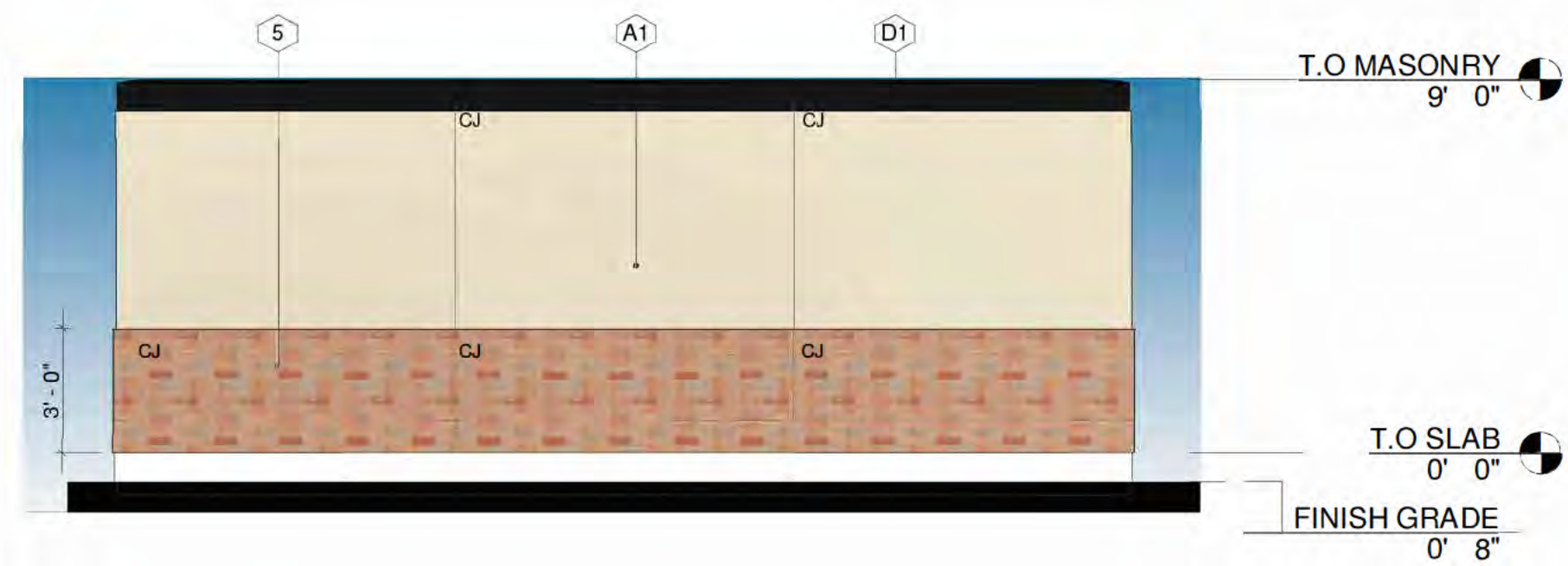
A4.30C



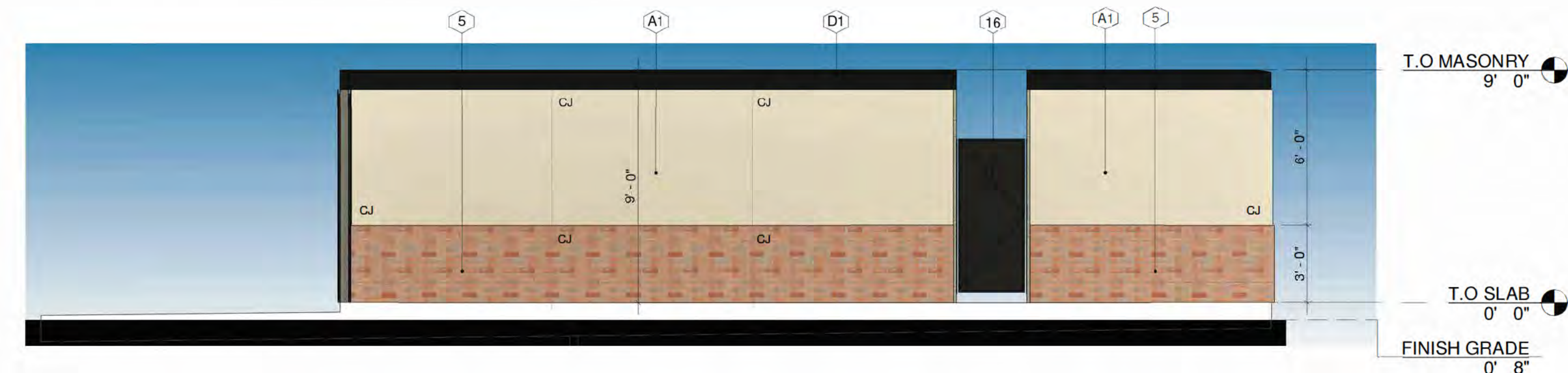
FRONT ELEVATION - COMPACTOR
1/4" = 1'-0"






LEFT ELEVATION - COMPACTOR
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION - COMPACTOR
1/4" = 1'-0"

MATERIAL SCHEDULE			
TAG	MATERIAL	COLOR	PICTURE
5	BRICK VENEER	SALTILLO	
A1	1 COAT STUCCO SYSTEM	FINE GRAIN	
D1	1 COAT STUCCO SYSTEM	IRON ONE	

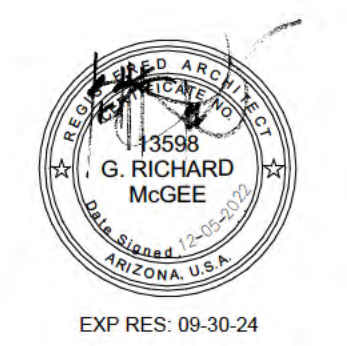
CONTROL JOINT MATERIAL (CJ)

KEY NOTES:

- WINDOW / DOOR / RAILINGS
- 15. IRON OR TUBE STEEL GATE WITH SOLID METAL BACKING.
- 16. IRON OR STEEL GATE.

C.O. PHOENIX APPROVAL STAMP

Kiva Project #: 21-5801
SDEV #: 2100579
FACT #: 2110273



ACERO 202 & ELLIOT
202 & ELLIOT ROAD PHOENIX, ARIZONA
COMPACTOR ENCLOSURE
EXTERIOR ELEVATIONS

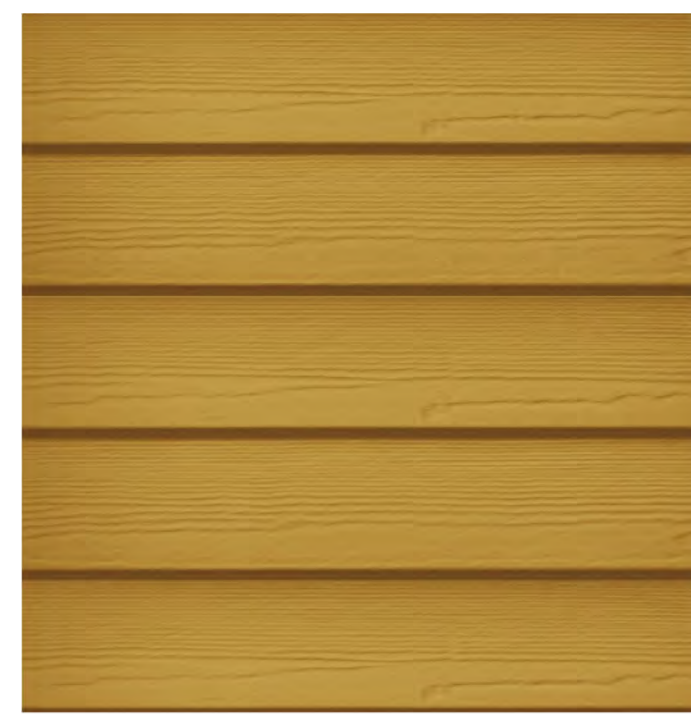
REMARKS
PRELIMINARY SET

MODIFICATIONS:		
No.	DATE	DESCRIPTION

PROJECT CODE: AZ1006
SCALE: 1/4" = 1'-0"
DATE: 12/05/2022

DRAWING NUMBER
A4.50C

6" HARDIE PLANK -
ALMOND ROCA



PAINT STUCCO - GREY
PEARL



HOLLOW METAL - URBAN
BRONZE



BRICK VENEER - SALTILLO



PAINT STUCCO -
GAUNTLET GREY



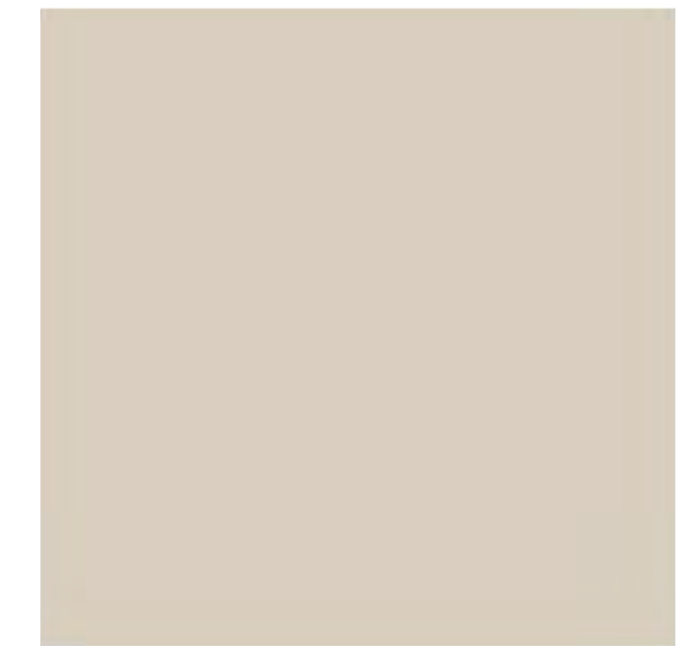
PAINT STUCCO - EGRET
WHITE



PAINT STUCCO - STUDIO
TAUPE



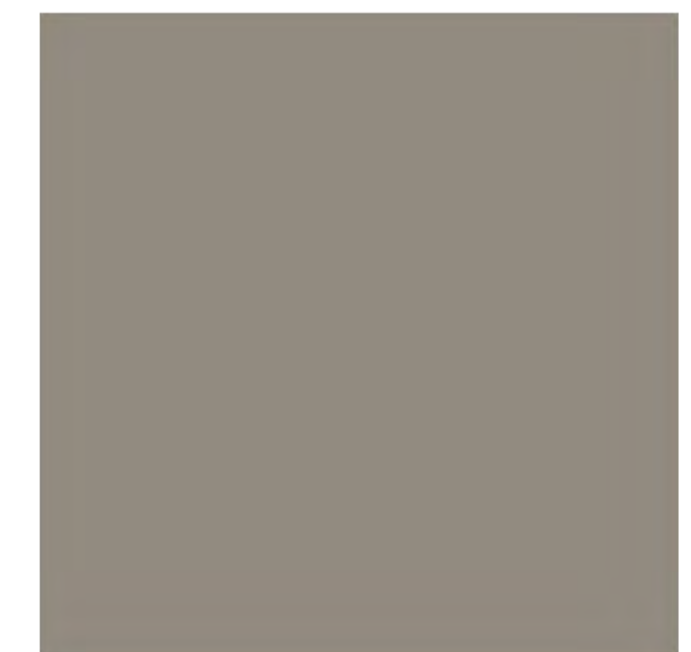
PAINT STUCCO -
FINE GRAIN



PAINT STUCCO -
PEPPERCORN



PAINT STUCCO -
DOVETAIL



METAL GUARDRAIL -
DARK GREY



OWNER:



ARCHITECT:



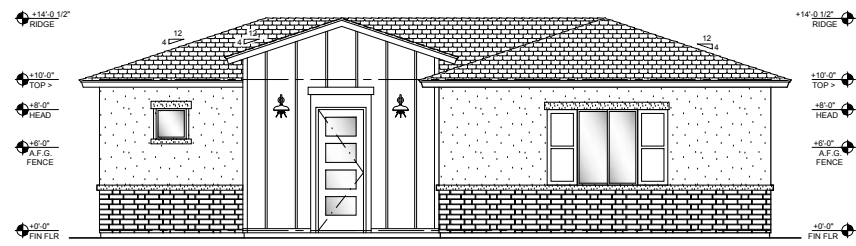
**Conceptual
MATERIAL
BOARD**

PROPOSED NEW MULTI-FAMILY DEVELOPMENT:

ACERO 202 & ELLIOT

202 & ELLIOT ROAD
PHOENIX, ARIZONA

Tab 11



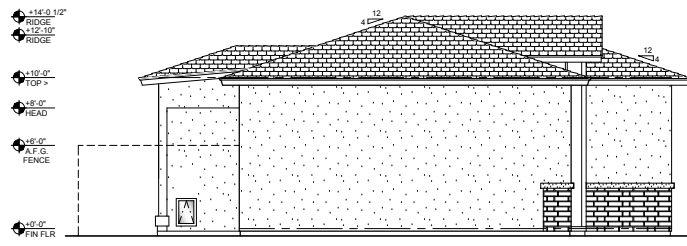
TYPE "B"
 PROPOSED 2 BEDROOM PLAN

SCALE: 1/4"=1'-0"



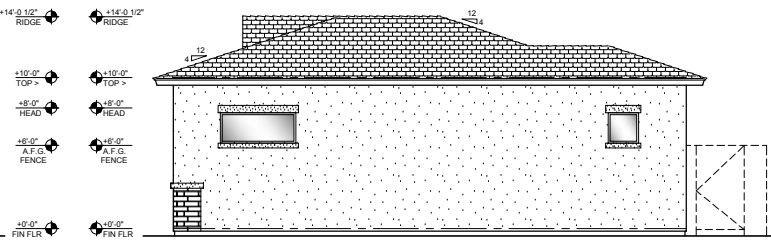
TYPE "B"
 PROPOSED 2 BEDROOM PLAN

SCALE: 1/4"=1'-0"



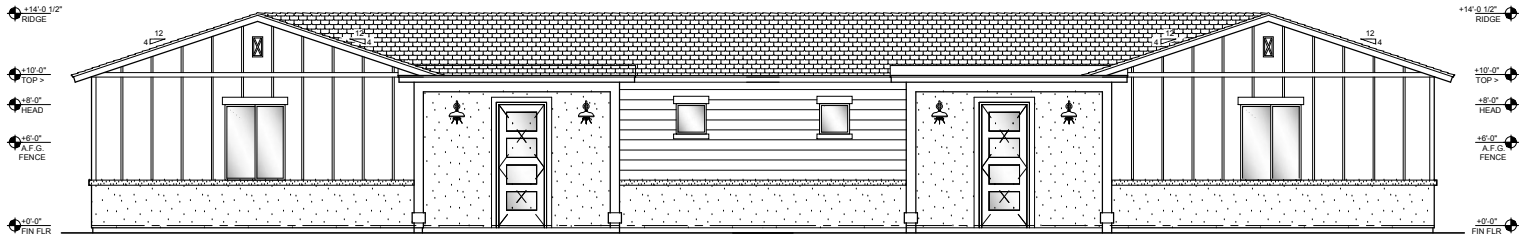
TYPE "B"
 PROPOSED 2 BEDROOM PLAN

SCALE: 1/4"=1'-0"



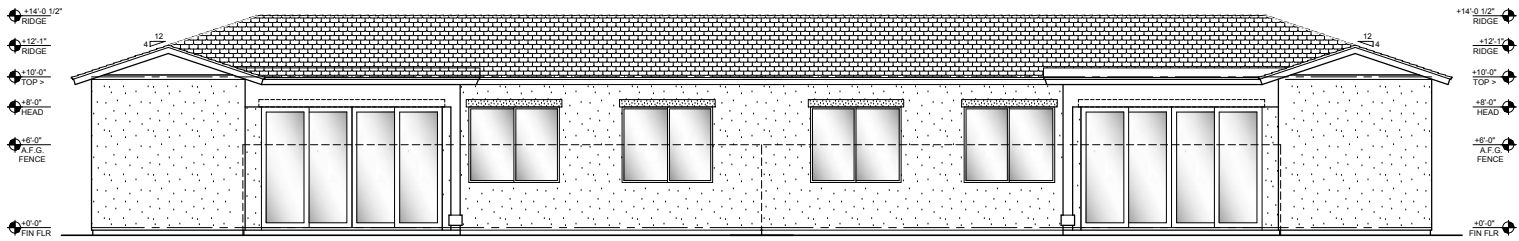
TYPE "B"
 PROPOSED 2 BEDROOM PLAN

SCALE: 1/4"=1'-0"



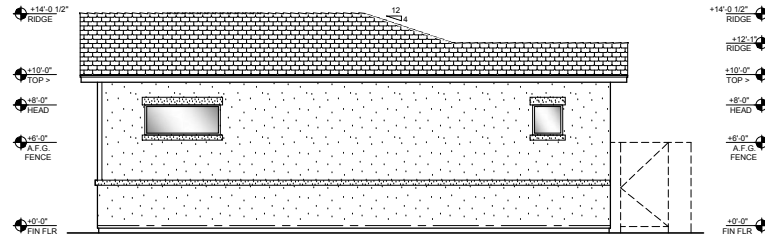
TYPE "C"
 PROPOSED 2 BEDROOM DUPLEX PLAN

SCALE: 1/4"=1'-0"



TYPE "C"
 PROPOSED 2 BEDROOM DUPLEX PLAN

SCALE: 1/4"=1'-0"



TYPE "C"
 PROPOSED 2 BEDROOM PLAN

SCALE: 1/4"=1'-0"

Tab 12



N.T.S.



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