

# ARIZONA BILTMORE RESORT & SPA

PLANNED UNIT DEVELOPMENT

Z-71-08-6

Volume 1: Existing Conditions & Master Plans

July 2009

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**ARIZONA BILTMORE RESORT AND SPA**  
**Planned Unit Development**  
*Volume I: Existing Conditions & Master Plans*

**Table of Contents**

<b>Introduction .....</b>	<b>1</b>
Overview .....	1
History.....	4
Resort Mission.....	7
Project Intent and Goals.....	9
Project Principles.....	10
<b>Existing Development Conditions.....</b>	<b>12</b>
1. Environmental Conditions.....	12
a. Topography and Drainage .....	12
b. Climate and Design Considerations.....	14
c. External and Internal Views .....	16
2. Land Use Conditions.....	19
a. Historic Development.....	19
b. Existing Development.....	19
c. Surrounding Development .....	24
d. Existing Zoning .....	27
e. Existing General Plan .....	27
f. Signs .....	30
g. Site Lighting .....	31
h. Existing Landscape Conditions.....	36
3. Infrastructure Conditions.....	38
a. Roadway Access and Circulation .....	38
b. On-Site Parking .....	41
c. Off-Site Parking.....	42
d. Transit Service .....	42
e. Trails.....	43
f. Utility and Facility Services.....	43
g. Irrigation/Storm Drainage Facilities .....	44
h. Public Facilities.....	44
<b>Master Plans.....</b>	<b>47</b>
1. Land Use Master Plan .....	48
2. Sustainability Framework Plan .....	67
3. Conceptual Phasing Master Plan.....	74
4. Historic Preservation Master Plan.....	80
5. Open Space, Paths and Trails Master Plan .....	89
6. Vehicular Circulation and Parking Master Plan .....	96
7. Landscape Master Plan .....	104
8. Lighting Master Plan.....	111
9. Sign Master Plan .....	118
10. Water and Wastewater Master Plan.....	128
11. Drainage Master Plan.....	131

**ARIZONA BILTMORE RESORT AND SPA**  
**Planned Unit Development**  
*Volume I: Existing Conditions & Master Plans*

**List of Figures**

Figure 1: Regional Vicinity .....	3
Figure 2: Project Context .....	5
Figure 3: Planned Unit Development Project Boundary .....	6
Figure 4: Topography and Drainage .....	13
Figure 5: Climate Conditions .....	15
Figure 6: Off-Site Views .....	17
Figure 7: On-Site Views .....	18
Figure 8: Existing Building Tenure .....	20
Figure 9: Existing Resort Development .....	21
Figure 10: Area-Wide Development Chronology .....	25
Figure 11: Existing Land Use/Zoning .....	26
Figure 12: General Plan Land Use .....	29
Figure 13: Existing Lighting Conditions .....	32
Figure 14: Study Area Transportation System .....	39
Figure 15: Existing PUD Transportation and Utilities .....	40
Figure 16: Public Facilities .....	45
Figure 17A: Land Use Master Plan, 2010 .....	49
Figure 17B: Land Use Master Plan, 2030 .....	50
Figure 18: Land Use Master Plan by Floor .....	51
Figure 19: Resort Entry Character .....	57
Figure 20: Cottage Revitalization Character .....	60
Figure 21: Spa Character .....	61
Figure 22: Canal Character .....	64
Figure 23: Squaw Peak Terrace Character .....	65
Figure 24: Sun/Shade Study .....	70
Figure 25: Conceptual Phasing Plan .....	76
Figure 26: Historic Preservation Master Plan .....	86
Figure 27a: Historic Architectural Features .....	87
Figure 27b: Historic Contributing Features .....	88
Figure 28: Open Space, Paths and Trails Master Plan .....	90
Figure 29: Biltmore Promenade Alternatives .....	94
Figure 30a: Vehicular Circulation and Parking Master Plan .....	97
Figure 30b: Vehicular Circulation and Parking Master Plan .....	98
Figure 31: Landscape Master Plan .....	109
Figure 32: Landscape Zones Master Plan .....	110
Figure 33: Lighting Master Plan .....	112
Figure 34a: Lighting Master Plan Sections .....	113
Figure 34b: Lighting Master Plan Sections .....	114
Figure 34c: Lighting Character Imagery .....	115
Figure 35a: Sign Character Imagery .....	119
Figure 35b: Sign Character Imagery .....	120
Figure 36: Sign Master Plan .....	122
Figure 37: Conceptual Off-Premise Sign Placement .....	128
Figure 38: Water/Wastewater Master Plan .....	130
Figure 39: Drainage Master Plan .....	133

**ARIZONA BILTMORE RESORT AND SPA**  
**Planned Unit Development**  
*Volume I: Existing Conditions & Master Plans*

**List of Tables**

Table 1: Existing Resort Campus Development .....	23
Table 2: Existing Plant Palette .....	36
Table 3: Land Use Master Plan Buildout Data .....	48
Table 4-A: Existing/Future Development .....	52
Table 4-B: Key Totals by Phase.....	53
Table 4-C: Room Key Totals by Phase plus Villas Keys .....	53
Table 5: Land Use Master Plan Building Status .....	54
Table 6: Lodging Buildout Data .....	58
Table 7: Phased Development.....	74
Table 8: Land Use Development Status by Phase .....	77
Table 9: Resort Open Space .....	91
Table 10: Landscape Zones Plant Palette .....	105
Appendix 1: Arizona Biltmore Entry Monumentation .....	134



# Introduction

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Volume I of the Arizona Biltmore Resort & Spa PUD provides an overview of the existing Resort and its mission, its chronology of development, and the intent and guiding principles for this proposal. Volume II (under separate cover) includes the development standards, design guidelines and the implementation program of the Planned Unit Development. This introductory chapter is presented in the following five sections:

- Overview
- History
- Resort Mission
- Project Intent and Goals
- Project Principles

## Overview

For nearly 80 years, the Arizona Biltmore Resort & Spa has been synonymous with a gracious resort experience for its patrons. A long term winter destination for celebrities and U.S. presidents alike, the “Jewel of the Desert” continues its reputation as one of the premier resort facilities in the world. As the Phoenix Metropolitan Area continues to expand and increase its national and international attraction, the facilities, service and experiential “bar” for resort hotels and their supportive campuses will continue to be raised. Keen competition in the resort industry and the region will continue to exert pressure on the Arizona Biltmore Resort & Spa Ownership Group, who must continue to exceed the expectations of both their long term and newer term guests. To that end, Volume II: Planned Unit Development (PUD) (under separate cover) will serve as the overriding land use regulation, guiding future improvements within the entire campus. This document (Volume I: Existing Conditions and Master Plans) provides the supportive planning foundation for the regulatory provisions included in Volume II.



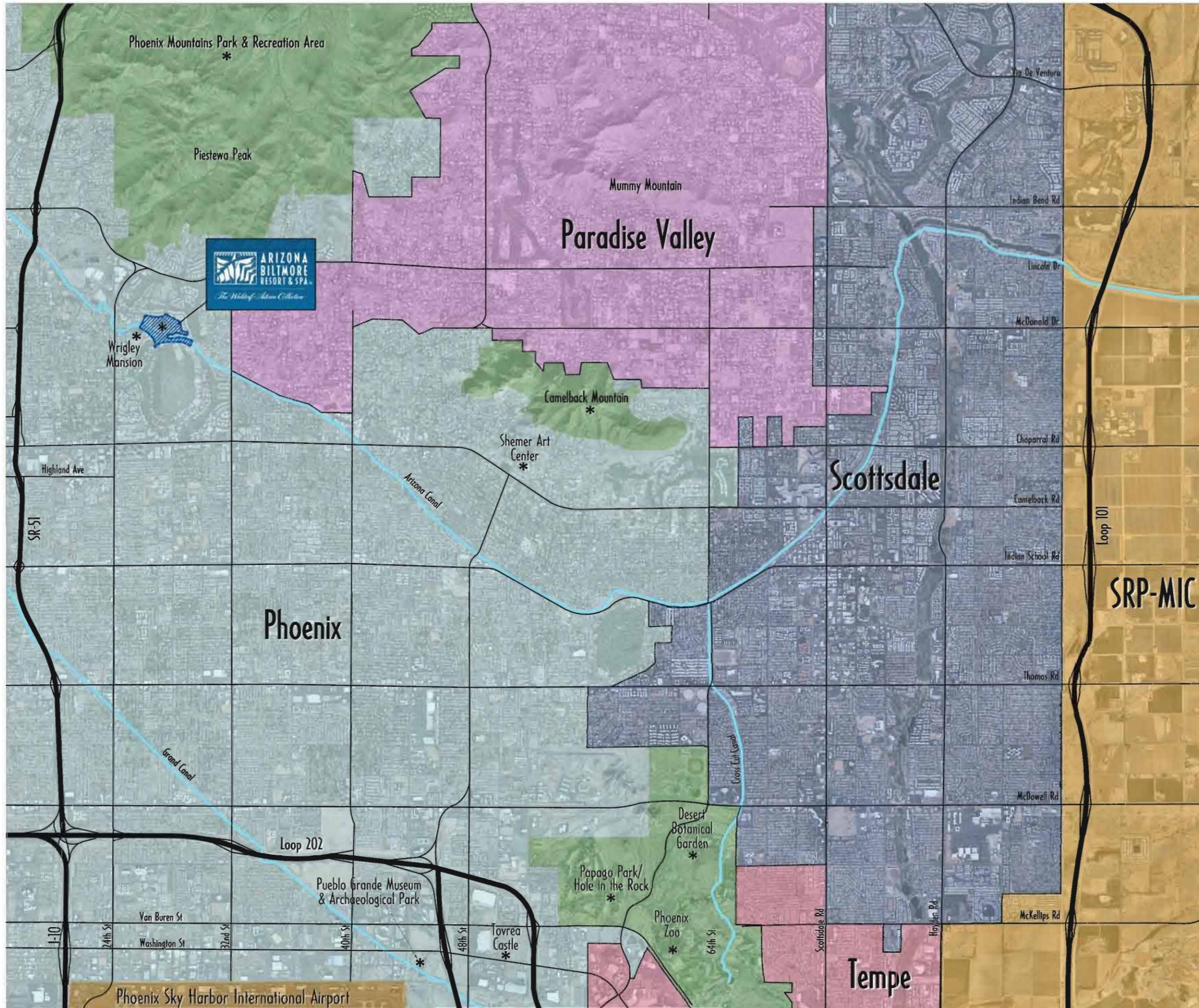


## Introduction

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When initially developed, the Arizona Biltmore Resort & Spa was sited in an isolated patch of desert at the base of Squaw Peak, on the north side of the Arizona Canal. As a part of the City of Phoenix since 1959, the Resort is located approximately six miles north of Sky Harbor International Airport as shown on **Figure 1, Regional Vicinity**. The Resort campus totals approximately 36 acres and is now surrounded by adjacent residential and employment development. In the interim, Squaw Peak has recently been renamed Piastewa Peak, in honor of Lori Ann Piastewa, who was the first Native American woman killed in combat (Operation Iraqi Freedom in 2003). The Resort and Phoenix Mountain Preserve (of which Piastewa Peak is a part) are both identified as a *Phoenix Point of Pride*. These are two of the thirty favorite landmarks in the City, as identified by its residents.





**Regional Vicinity**

- Jurisdictions**
- City of Phoenix
  - Town of Paradise Valley
  - Salt River Pima-Maricopa Indian Community (SRP-MIC)
  - City of Tempe
  - City of Scottsdale
- Transportation**
- Arterial
  - Freeway
  - Freeway Interchange
- Points of Interest**
- Mountain Preserve/Park
  - Sky Harbor International Airport
  - Phoenix Points of Pride
- Others**
- PUD Project Boundary
  - Canal

Source: Phoenix Metropolitan Street Atlas, Maricopa Assessor, 2008

North Scale: Not to Scale Figure # 1 Revised: 7.03.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811



## Introduction

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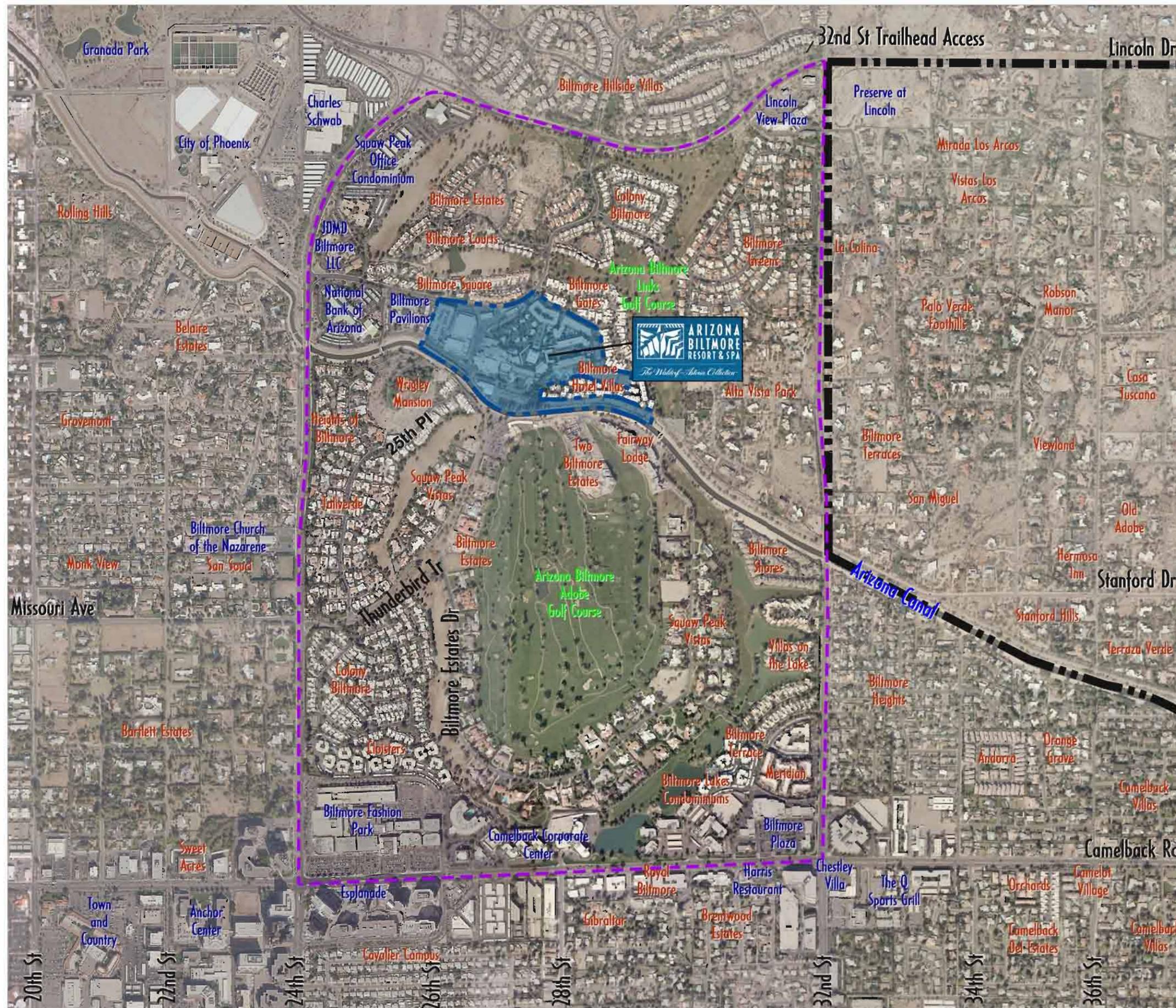
Located in the central region of the City, the Arizona Biltmore Resort & Spa is located north of Camelback Road, south of Lincoln Drive, east of 24th Street and west of 32nd Street as shown on **Figure 2, Project Context**. This entire area is located within the City of Phoenix; however the area north of the Arizona Canal and east of 32nd Street is located within the Town of Paradise Valley. Primary vehicular access to the Resort is on Thunderbird Trail, just east of 24th Street and north of Camelback Road. Secondary vehicular access can occur on 25th Place/Arizona Biltmore Circle via Lincoln Drive; and Biltmore Estates Drive/Colter Street via 32nd Street. Adjacent residential neighborhoods that surround the Resort include Biltmore Square, Biltmore Gates, Biltmore Hotel Villas, Fairway Lodge, Two Biltmore Estates, Squaw Peak Vistas, and Taliverde as shown on **Figure A-3, Planned Unit Development Project Boundary**. Adjacent business use is comprised of the Biltmore Pavilions and Bank of Arizona to the west. Wrigley Mansion, another *Phoenix Point of Pride*, is located to the southwest of the Resort. The mansion was built by chewing gum magnate William Wrigley Jr. in 1931 as a 50th wedding anniversary present for his wife. Currently, the mansion operates as a private club and features world-class cuisine and service.

### History

The Arizona Biltmore has been an Arizona landmark since its opening on February 23, 1929. The Biltmore was designed by Albert Chase McArthur, a Harvard graduate, who studied under Frank Lloyd Wright from 1907-1909 in Chicago. Reminiscent of Wright's design is the use of indigenous materials that led to the creation of "Biltmore Block." The pre-cast concrete blocks were molded on-site and used in the construction of the Resort.



The "Biltmore Block" features a geometric pattern that is said to represent a freshly cut palm tree.



### Project Context

-  PUD Project Boundary
-  Town of Paradise Valley Boundary
-  PUD Study Area
-  Existing Residential Subdivisions
-  Existing Non-Residential Uses

Source: Maricopa County Assessor, 2008

North  Scale: 1" = 1,000 ft

Figure  Revised: 11.5.08  
Revised: 7.3.08  
Revised: 6.26.08  
Date: 6.20.08  
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**Planned Unit Development Project Boundary**

 PUD Project Boundary

Building	Count
A. Terrace Court	107 Keys
B. Arizona Wing	120 Keys
C. Cottages	54 Keys
D. Paradise Wing	89 Keys
E. Garden Wing	25 Keys
F. Valley Wing	118 Keys
G. East Wing	12 Keys
H. Main	80 Keys
<i>Subtotal</i>	<i>605 Keys</i>
I. Villas	134 Keys
<b>Total</b>	<b>739 Keys</b>

Source: Arizona Biltmore, Maricopa Assessor, 2008

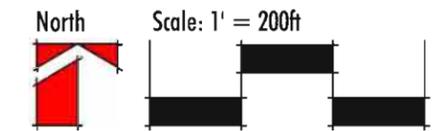


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Revised: 6.26.08  
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# Introduction

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In 1930, Chicago chewing gum mogul William Wrigley, Jr., one of the original investors, became the sole owner. Over the next 44 years, the Wrigley family owned and operated the Arizona Biltmore. In 1975, under Talley Industries' ownership, the first major expansion took place with the opening of the 90-room Paradise Wing. This expansion continued over the next seven years with the addition of the 118-room Valley Wing and a 39,000 square foot conference center. In 1982, the 107-room Terrace Court opened.

The most comprehensive renovation to date began when the previous owner, Grossman Company Properties, purchased the resort in 1992 and began a three-phase, \$50 million investment. The Villas, a luxury residential complex was added along with restaurants, a state-of-the-art kitchen and the Paradise Pool complex featuring a 92-foot long waterslide and 23 cabanas. The Pavilion provided 15,000 square feet of additional meeting space. An 18-hole championship putting course was also added.

In January 1998, an 8,000 square-foot full service spa and fitness center opened. The newest addition to the Resort is the Arizona Wing which featured 120 new guest rooms, an Olympic sized swimming pool and two new meeting rooms. In that year, the Biltmore boasted 734 guest rooms (including the villas), making it the largest resort in Arizona.

The most recent improvements occurred in July 2003, when the Frank Lloyd Wright Ballroom opened and became the state's second largest hotel ballroom. In addition, the expansion of floor space (to more than 100,000 square feet) and the conversion of the tented Pavillion (into the 15,000 square-foot McArthur Ballroom) also took place.

## Resort Mission

In addition to the external development principles of the campus, from a facility master plan perspective, the Resort also has strived to communicate its internal values and vision through its day to day operations. The mission of the Resort is embodied in its Purpose, People and Principles Statements, as described below:



**Purpose:** Serving memories to last a lifetime.

**People:** We are recognized as the resort destination of choice, always creating exceptional guest experiences.

We are the preferred environment for talented and innovative professionals.

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# Introduction

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We are responsible for the stewardship of the legendary Arizona Biltmore and exceeding the expectations of our owners.

## Principles:

### *Our Experience:*

**Welcome** - We begin every interaction with a sincere greeting and a warm smile, using the guest's name at least three times. We speak first and last and always use professional and appropriate verbiage.

WARM

**Acknowledge** - We acknowledge every guest we encounter. The resort is our stage, and every interaction is a moment of truth.

**Recognize** - We personalize our guests' experience by remembering their name and introducing them to fellow Team Members. We anticipate their preferences and special requests.

**Memorable** - We are in the business of creating lifetime memories. The reputation of the Arizona Biltmore is enhanced by our Team Members every day.

### *Our Service:*

**Teamwork** - We instill teamwork and lateral service into our daily work environment. We are respectful of the needs of our fellow Team Members and look for opportunities to support each other.

**Responsive** - We express a genuine sense of urgency and ownership with all guest needs. We follow up to ensure that any need is met to the complete satisfaction of our guests.

TRUE

**Unparalleled** - We understand that the consistent delivery of world class service is our trademark. We are ambassadors of the resort, both in and out of the workplace.

**Empowered** - We are all expected to delight the guest and break away from our normal duties to resolve any issue. We never lose a guest.

### *Our Spirit:*

**Dependable** - We are the eyes and ears of the resort, responsible for protecting all its assets. We participate in environmental initiatives, conserve energy, and report fire and life safety issues immediately.

DISTINCT



## Introduction

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**Inclusive** - We nurture a culture of diversity. We recognize that our Team Members are our most valuable asset.

**Stewardship** - We enjoy a reputation that began with the efforts of many Team Members who came before us. We enthusiastically accept our responsibility to act as good stewards in caring for our one of a kind property.

**Traditional** - We take great pride in our personal appearance. We convey the image of the resort through our adherence to clothing and grooming standards.

**Integrity** - We are always honest and demonstrate a high level of trust in our work. We are mutually accountable and recognize the importance of respect in everything we do.

**Notable** - We have earned our reputation as one of the most financially successful hospitality operations in our industry. We share responsibility for generating the revenue and delivering the profit that keeps our business strong.

**Clean** - We are each accountable for maintaining a spotless resort environment. Our actions set the example.

**Trained** - We are service professionals and are given the tools and information to succeed in our position.

### **Project Intent and Goals**

The Arizona Biltmore Resort & Spa respectfully requests the rezoning of its 36-acre campus to the Planned Unit Development (PUD) Zoning District. The property owner and operator of the Resort believe the PUD district is the most appropriate zoning category in the City's ordinance. It will effectively set unique development standards which are specifically intended to support the Permitted Principle Uses, Uses Subject to Performance Standards, Uses Subject to Conditional Use Permit and Accessory Uses and Structures planned for the continuous success of one of the City's *Points of Pride*.

The primary intent of the Arizona Biltmore Resort PUD is to address and resolve new development, revitalization and redevelopment issues to enhance the position of the Resort as a premier, world-class destination. The primary goals of the Resort are to:

- Re-establish the unique character of an elegant desert oasis through the engagement of the surrounding community;



# Introduction

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- Protect, yet leverage its colorful history that enhances both community and owner value, and
- Respond to increasing market demand to modestly increase capacity during high season as well as escalating resort occupancy during shoulder season and summer periods.

After nearly 80 years of existence and continued operations, and over forty-nine years within the jurisdictional limits of the City of Phoenix, the proposed PUD zoning would replace the current R-5 zoning. If approved, the existing and future uses contemplated for the campus could be brought into conformance with its approved zoning. It should be noted that the R-5 zoning has governed all incremental development activity on the property. The existing non-conformance of the existing zoning has created additional city-administrative and Ownership Group related issues which now can be substantially resolved through the affirmative recommendation and City Council consideration and adoption of this proposal.

## Project Principles

The guiding principles of the Biltmore Resort & Spa Planned Unit Development are embodied in the following:

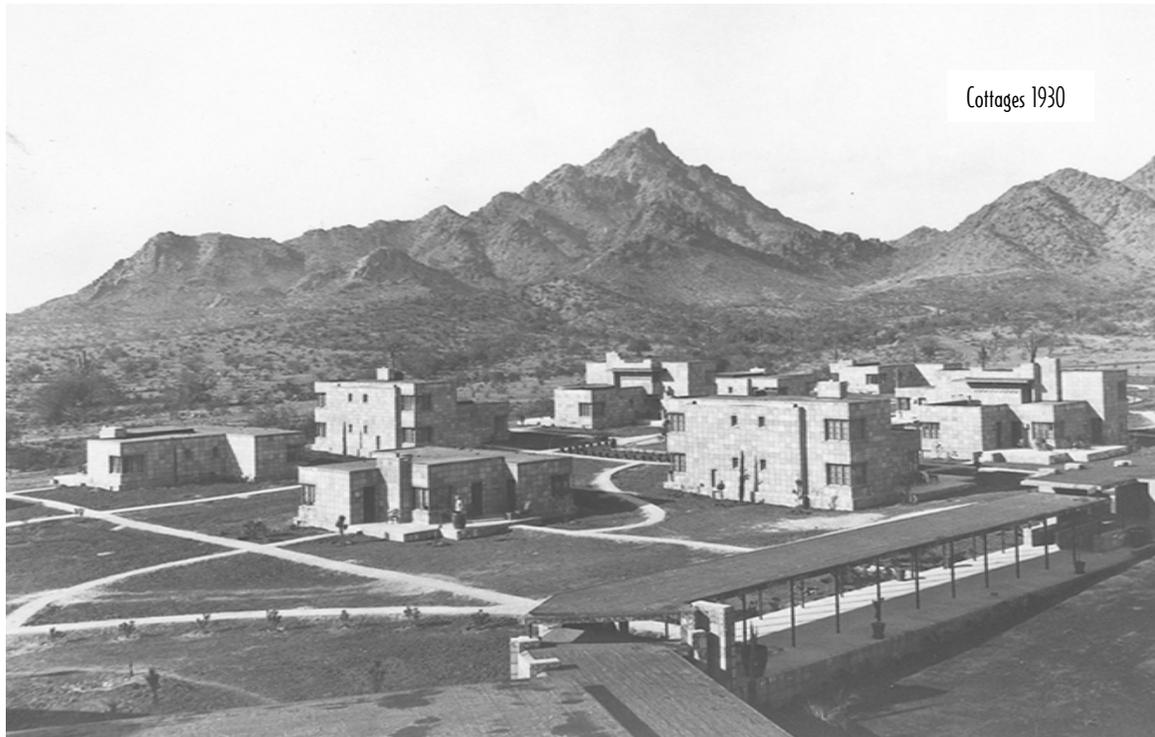
- **Value the historic context of the property**-Reinforce its existing identity through enhancement of the primary Resort entrance and Main Frank Lloyd Wright/McArthur Building based on the original architectural and site design elements.
  - **Respect the architectural heritage of this landmark**- Advance the benchmark of design excellence and quality of place through an architectural language that complements the Main Building.
  - **Provide a quality resort experience for guests and visitors**- Create new facilities to complement existing Resort components and enhance open spaces for functional use, climatic relief, visual appeal and functional use/connectivity.
  - **Make the environment participatory**-Allow Resort guests and visitors experiential opportunities to physically interact with the mature landscape, water elements, and other recreational amenities.
  - **Utilize sustainable building and site design practices**-Consider green building materials, methods and technologies to minimize the carbon footprint of the Resort, to the extent practical.
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# Introduction

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- **Strategically implement Resort revitalization, redevelopment and development improvements**-Prepare and continuously update a financial model that achieves both strategic property investments and the desired return on capital outlay.





# Existing Development Conditions

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The Existing Development Conditions chapter of the Arizona Biltmore Resort & Spa PUD describes and illustrates the existing and planned effect of natural and man-made characteristics within the PUD Study Area. This chapter is presented in the following three sections:

- Environmental Conditions
- Land Use Conditions
- Infrastructure Conditions

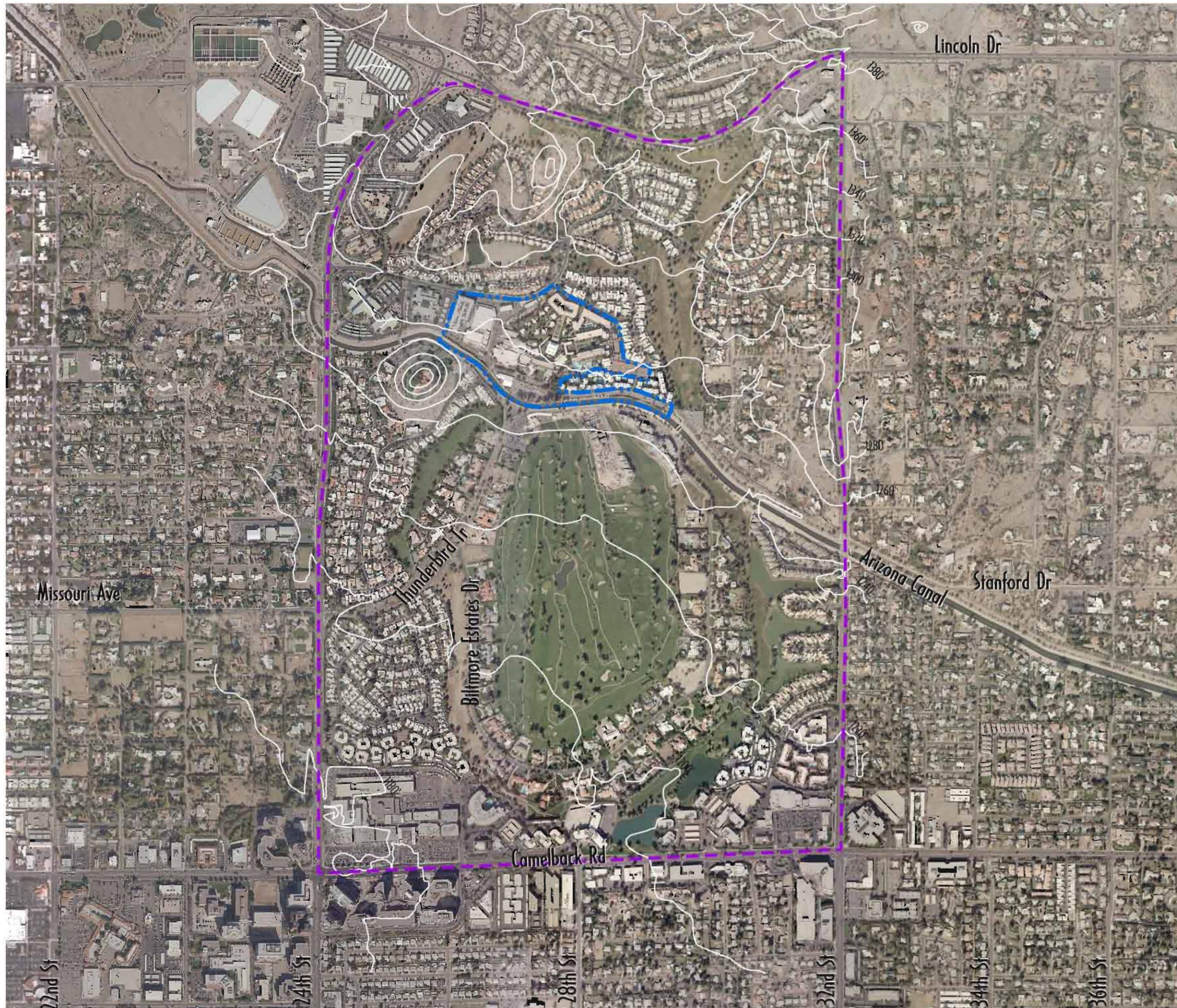
## 1. Environmental Conditions

### a. Topography and Drainage

The existing topography of the study area is mildly sloping and generally drains from north to south, starting at the Phoenix Mountains, as shown on **Figure 4, Topography/Drainage**. However, the Arizona Canal, representing the southern boundary of the Arizona Biltmore Resort, impedes overland flows, which are intercepted by the Arizona Canal Diversion Channel (ACDC). The ACDC is located on the north side of the Canal and captures and conveys stormwater to the west to its ultimate outfall at Skunk Creek.

The Resort campus is elevated approximately 1,250 feet above sea level. The high point on the site is located at the northwest end of the property, while the low point is located at the southeast end of the property. No portion of the Resort is located within a mapped floodplain.

The Resort campus has been developed incrementally over the past 80 years, with the majority of the site developed prior to 1972. As such, and in accordance with City of Phoenix Policy, the Resort is not subject to either first flush or 100-year, 2-hour retention requirements. The Resort property does not currently provide any retention facilities. As described above, all flows generated onsite, as well as those passing through the site from the mountain range and development to the north, are intercepted by the ACDC, and therefore do not impact any downstream properties. The ACDC was designed to intercept all peak flows from the Resort without any attenuation of those flows. The Resort currently implements a lush landscaping theme that prevents any sediment from entering the ACDC; therefore additional consideration for sediment transport through the site is not necessary.




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Planned Unit Development

**Topography and Drainage**

**On-Site Uses**

-  20' Contour Lines
-  PUD Project Boundary
-  PUD Study Area

North  Scale: 1" = 1,000 ft  Figure **4**

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## Existing Development Conditions

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### b. Climate and Design Considerations

The Resort campus and its surrounding study area are located within the Upper Sonoran Desert, a climate characterized by mild winters and hot summers. The average winter temperature averages less than 70 degrees Fahrenheit (F) and summer temperatures exceed 100 degrees (F). Precipitation occurs in the form of rain, which averages slightly more than eight inches annually with the majority falling in the winter and late in the summer (monsoon season). Prevailing winds in the morning typically blow from east to west and then reverse to west-east in the afternoon as shown on **Figure 5, Climate Conditions**.

Solar aspect is also identified on Figure 5, which illustrates the path of the sun throughout the year. In the winter, the sun is lower in the sky which creates a larger shadow pattern adjacent to buildings. In the summer, when shade can assist in cooling outdoor spaces and buildings, the pattern is smaller, fostering the use of eaves to enlarge the cooling effects of shade and prevailing winds.





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### Climate Conditions

#### Prevailing Wind Direction

Late Afternoon Prevailing Winds

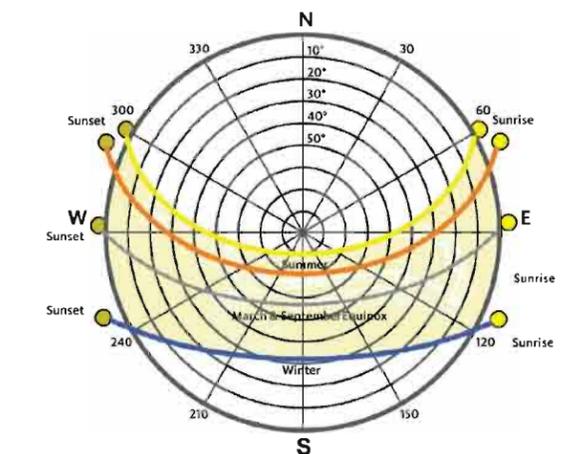
Morning Prevailing Winds

Annual Sun Path Variation

PUD Project Boundary

Average Temperature: 72.6 deg. F  
January: 67 deg. F  
July: 106 deg. F  
Annual Precipitation: 8.3"

#### Annual Sun Path



North



Scale: Not to Scale



Figure

5

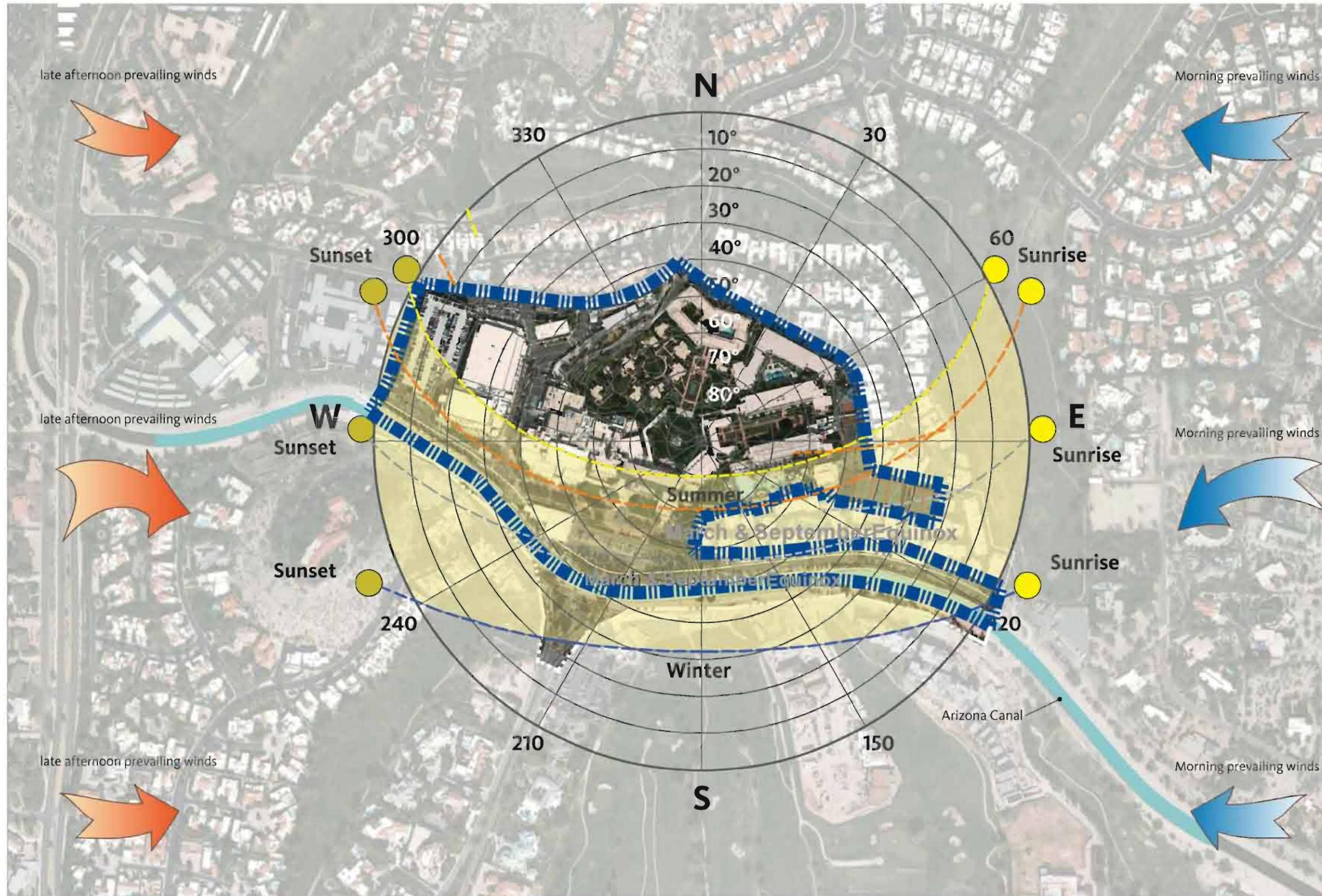
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## Existing Development Conditions

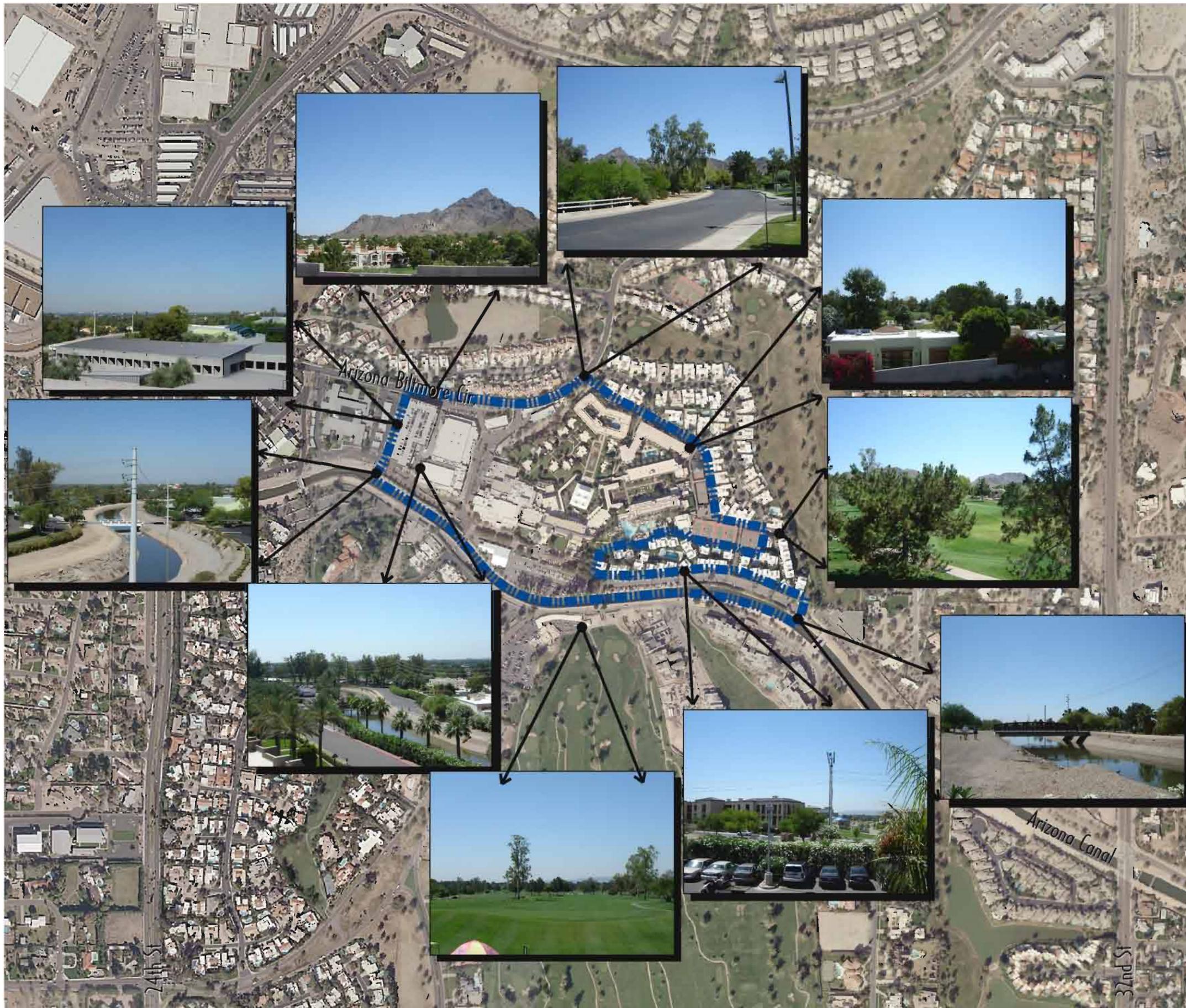
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### c. External and Internal Views

The location of the Resort campus affords several long distant and immediate views from the property as shown on **Figure 6, On-Site Views**. To the north, distant views are achieved to the Phoenix Preserve and Piestewa Peak. To the east, distant views are achieved to the Camelback Mountains. To the west and southwest, distant mountain views are not achievable. To the south and southeast, distant views extend to South Mountain. In addition to the distant views of mountains and peaks, the foreground around the campus also has aesthetic qualities. To the south, views to Wrigley Mansion, Arizona Canal, Thunderbird Trail, and Adobe Golf Course create an aesthetic setting. To the east, the Links Golf Course creates an immediate view for the distant terminus of Camelback Mountain.

The study area also affords immediate views to the Resort campus that are partially, as well as totally obscured, as shown on **Figure 7, Off-Site Views**. From the south, views on Thunderbird Trail/Biltmore Estates Drive, illustrate a filtered initial glimpse of Piestewa Peak upon the northerly transition of the roadway. The view of the Peak becomes more clear south of the campus, but then is obscured by the mature on and offsite vegetation proximate to the Resort. From the north, on Arizona Biltmore Circle, south of Lincoln Drive, the view of the Resort campus is obscured by vegetation. From the west, on Arizona Biltmore Circle, east of 24<sup>th</sup> Street, Camelback Mountain frames the view. From the east, south of the PUD property boundary, the view of the Resort and Piestewa Peak are obscured by the Arizona Canal, vegetation and the overhead electrical lines.





On-Site Views

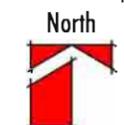
-  View Location/frame View
-  PUD Project Boundary



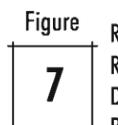
Off-Site Views

-  View Location/frame View
-  PUD Project Boundary

Source: Maricopa County Assessor, 2008



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## Existing Development Conditions

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### 2. Land Use Conditions

#### a. Historic Development

Originally constructed in 1929, the Main Building, the Cottages and the Garden Wing are more than 50 years old. The other buildings, as well as additions to the Main Building have primarily occurred since the 1970's as shown on **Figure 8, Existing Building Tenure**. These older structures have the



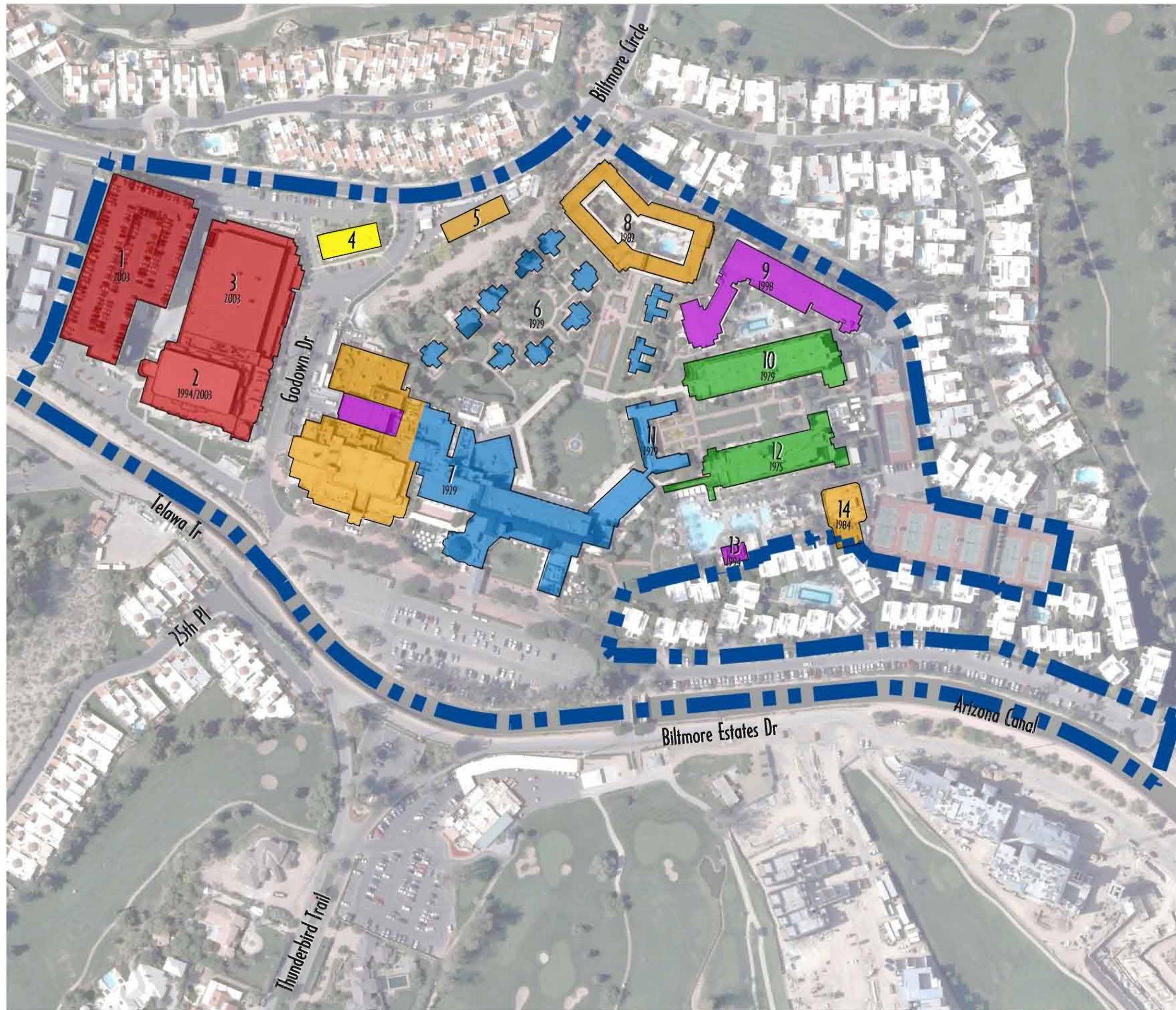
Arizona Biltmore under construction- 1928

architectural integrity and tenure to be evaluated for inclusion on the National Register of Historic Places and the State register of historical places, if desired by the Property Owner.

#### b. Existing Development

Currently, the Biltmore Resort & Spa features 604 guest accommodations, including one and two-bedroom cottages, eight swimming pools, seven tennis courts, an 18-hole putting course, yard chess, retail space and a full service spa, salon, and fitness center within its approximate 36-acre campus as shown on **Figure 9, Existing Resort Development**. The PUD boundary does not include the 78 units (136 keys) comprising the Arizona Biltmore Villas, which would provide a grand total of 740 rooms.

Dining is available in a variety of four settings ranging from poolside to formal. The Cabana Club is located poolside, and features a swim up bar. For a casual dining experience, the Biltmore Grill offers breakfast, lunch, and dinner which can be served inside or on the outdoor patio. For a quick beverage and deli-style lunch, The Café is available and offers an outdoor terrace with views of Piestewa Peak. For a signature dining venue offering American Lodge Cuisine, dinner is available at Wright's at the Biltmore. The Wright Bar also serves appetizers and drinks in a casual atmosphere.



**Existing Building Tenure**

- Buildings**
1. Parking Structure
  2. McArthur Ballroom
  3. Frank Lloyd Wright Ballroom
  4. Accounting Building\*
  5. Maintenance
  6. Cottages
  7. Main Building
  8. Terrace Court
  9. Arizona Wing
  10. Valley Wing
  11. Garden Wing
  12. Paradise Wing
  13. Cabana Club Restaurant
  14. Spa
- Year Built**
- Built in the 1920's
  - Circa 1930's-1940's\*
  - Built in the 1970's
  - Built in the 1980's
  - Built in the 1990's
  - Built in the 2000's
  - PUD Project Boundary

\*Building #4 was originally constructed in the hotel's complex period of significance. However the architectural integrity of the building has been seriously compromised by later changes. These include new exterior sheathing (stucco not block), windows, doors and exterior features such as a new shed entry porch on the north facade. The culmination of these changes, given the percent of historic fabric that remains (hard to ascertain), is such that the existing building is considered an 1980's structure.

Source: Arizona Biltmore, 2008

North Scale: Not to Scale Figure 8

Revised: 7.09.09  
Revised: 3.30.09  
Revised: 7.03.08  
Revised: 6.26.08  
Date: 6.20.08  
Project #: 0811



### Existing Resort Development

#### On-Site Uses

- |   |  |
|---|--|
| 1. Parking Structure                    | 16. Tennis Courts                        |
| 2. McArthur Ballroom                    | 17. Spa                                  |
| 3. Frank Lloyd Wright Ballroom          | 18. Paradise Pool                        |
| 4. Tent (No longer erected)             | 19. Paradise Wing                        |
| 5. Conference Center                    | 20. Kids Korral                          |
| 6. Arizona Biltmore Ballroom            | 21. Paradise Garden                      |
| 7. Grand Ballroom                       | 22. Garden Wing                          |
| 8. Gold Room                            | 23. Valley Wing                          |
| 9. Aztec Room                           | 24. Arizona Wing                         |
| 10. Biltmore Grill & Patio              | 25. Terrace Court                        |
| 11. Lobby                               | 26. Court Pool                           |
| 12. Squaw Peak Lawn & Terrace           | 27. Cottage Court                        |
| 13. East Wing                           | 28. Biltmore Championship Putting Course |
| 14. The Cafe & Wright's at the Biltmore | 29. Maintenance                          |
| 15. Cabana Club Restaurant              | 30. Accounting                           |

#### Off-Site Uses

-  Golf Courses (Adobe/Links)
-  Phoenix Points of Pride
-  PUD Project Boundary

Source: Arizona Biltmore, Maricopa County Assessor, 2008

North  Scale: 1" = 240 ft  Figure 9 Revised: 11.5.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
 Date: 6.20.08  
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## Existing Development Conditions

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The Resort campus also includes a variety of retail uses. The Biltmore Spa includes recreation attire, specialty items, exclusive spa products and food/beverage service. The Desert Sun includes women's fashions. Wright Sports and Stuff provides apparel and casual resort wear for men. The Gift Shop sells small gifts, logo items, and newspapers/magazines. The Pink Saguaro carries an entire collection of women's and girl's apparel items. The Resort campus also has a fitness and spa component, as well as other supportive activities. These uses include a spa, fitness center and salon as well as daycare at the Kids Korral.

The Biltmore has over 100,000 square feet of conference meeting and ballroom space, and offers one of the largest meeting facilities in the State. The Frank Lloyd Wright Ballroom is the anchor facility on the campus and contains 49,000 square feet of meeting space. The McArthur Ballroom is located directly to the south and provides an additional 14,000 square feet of space. The Conference Center is located in the southwest portion of the Main Building and provides more than 30,000 square feet of meeting space, from boardrooms to the 11,000 square foot Arizona Biltmore Ballroom. The Main Building also includes the following three meeting facilities:

- **Grand Ballroom**-Includes approximately 5,900 square feet of space, opening up to the Squaw Peak Terrace and accommodating up to 1,000 people.
- **Aztec Room**-Includes approximately 2,800 square feet of space in an intimate setting for receptions, parties and social functions.
- **Gold Room**-Includes approximately 7,300 square feet of meeting space.

Additional space located throughout the Resort campus includes:

- **Hohokam/Catalina/Valley Rooms** - Includes approximately 2,400 square feet of space located at the east end of the Valley Wing, in the northeast portion of the Resort campus.
- **Palo Verde/Ocotillo Room and Patio**-Includes approximately 1,900 square feet of space located in the west end of the Arizona Wing, in the northeast portion of the Resort campus.



## Existing Development Conditions

- **Taliesin/Terrace Suites**-Includes approximately 2,000 square feet of space located within Terrace Court, in the northern portion of the Resort campus.



The quantification of existing development within the approximate 36-acre Resort campus is shown below on **Table 1, Existing Resort Campus Development**.

**Table 1:  
Existing Resort Campus Development**

Land Use	Gross Leasable Area (Sq. Ft.)	Rooms	Percent of Total
Lodging	298,559	604	43%
Spa/Fitness/Salon	7,898	NA	1%
Conference	104,304	NA	15%
Support	246,697	NA	36%
Dining	16,530	NA	2%
Retail	4,300	NA	1%
Office	16,366	NA	2%
<b>Total</b>	<b>694,654</b>	<b>604</b>	<b>100%</b>

Source: Arizona Biltmore Resort & Spa and LVA Urban Design Studio, November 2008

As shown above, the existing development within the PUD boundary totals 694,654 square feet of gross floor area, 604 rooms, and no residential units.



## Existing Development Conditions

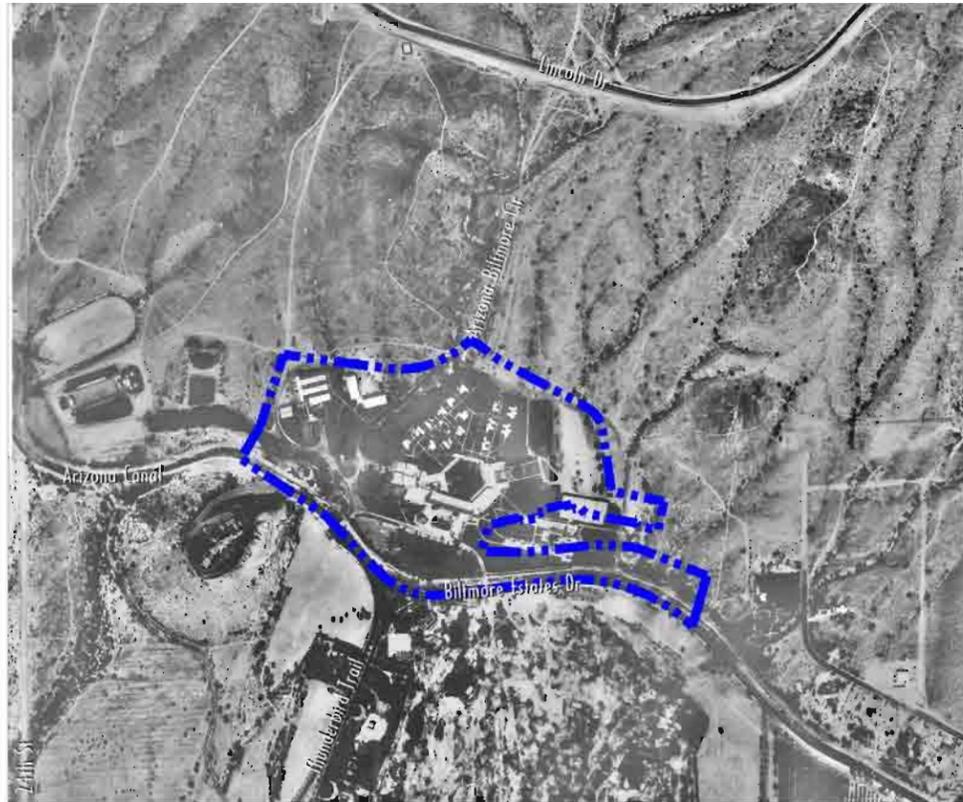
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### c. Surrounding Development

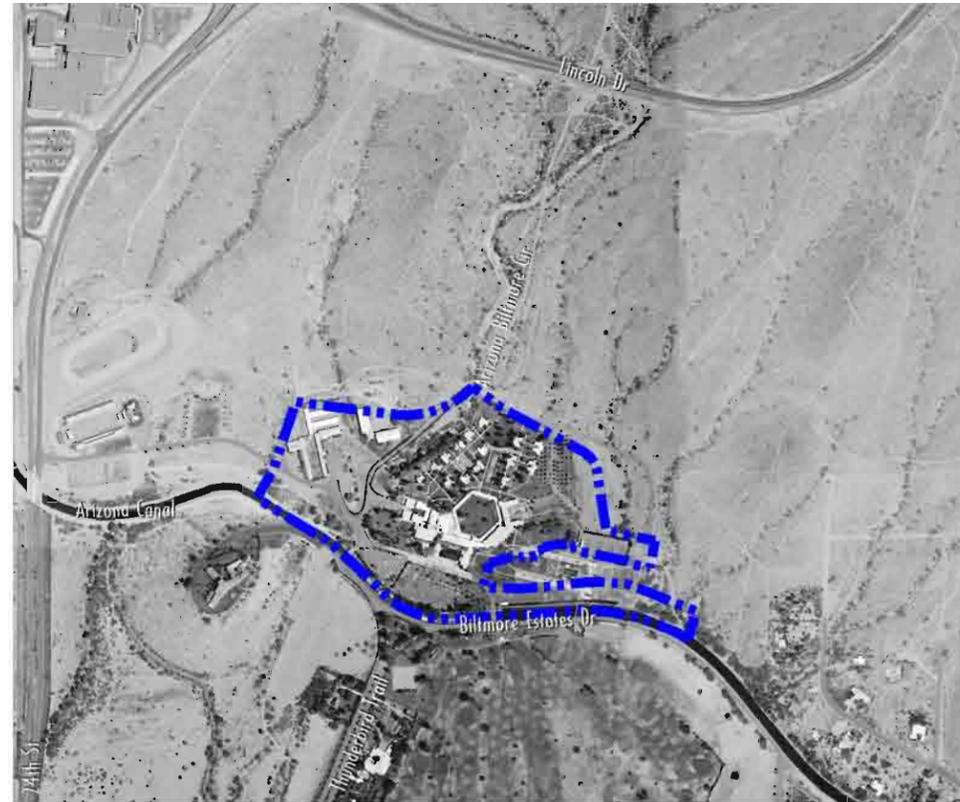
When the Resort campus was originally completed in 1929 it was located well outside of the City. In fact, past marketing literature identified the Resort as being “located near Phoenix, Arizona”. The chronology of development since 1961 (approximately two years after its incorporation into the City of Phoenix) illustrates a very dispersed land use pattern surrounding the Resort as shown on **Figure 10, Area-Wide Development Chronology**, the area northwest to northeast of the Resort campus was vacant desert at the time. Several large lot residences were located on Biltmore Estates Drive to the south as well as Wrigley Mansion, which was constructed in 1930. To the west, equestrian related uses were located on the east side of 24<sup>th</sup> Street. Over the next 10 years, the land use pattern remained virtually the same, with several homes constructed to the east of the Resort. By 1982, significant residential, golf course (Links Course) development around the Resort had occurred, primarily to the northeast and southwest. Employment related development was now well under way along 24<sup>th</sup> Street. By 1991, the majority of the available land for residential and employment uses had been developed as shown on **Figure 11, Existing Land Use/Zoning**.

The existing development surrounding the Resort campus is comprised of residential, office, restaurant and golf course uses. Residential uses surround the site entirely on its north and east sides and partially on its south side. The Biltmore Square and Biltmore Gates communities are located to the north and provide detached and attached owner occupied housing on the north side of Arizona Biltmore Circle. The Biltmore Hotel Villas are located along the eastern edge of the campus and include 78 attached condominium dwelling units. A portion of the Taliverde, Squaw Peak Vistas, Two Biltmore Estates and Fairway Lodge subdivisions are located on the south side of the PUD boundary. Existing professional office use is comprised of the parcel located adjacent to the western boundary of the PUD, which includes the Biltmore Pavilions project. The Wrigley Mansion is located on the south side of the Arizona Canal and provides a high end restaurant from its elevated site. The Arizona Biltmore Adobe Golf Course is also located on the south side of the Arizona Canal and abuts the southern PUD boundary.

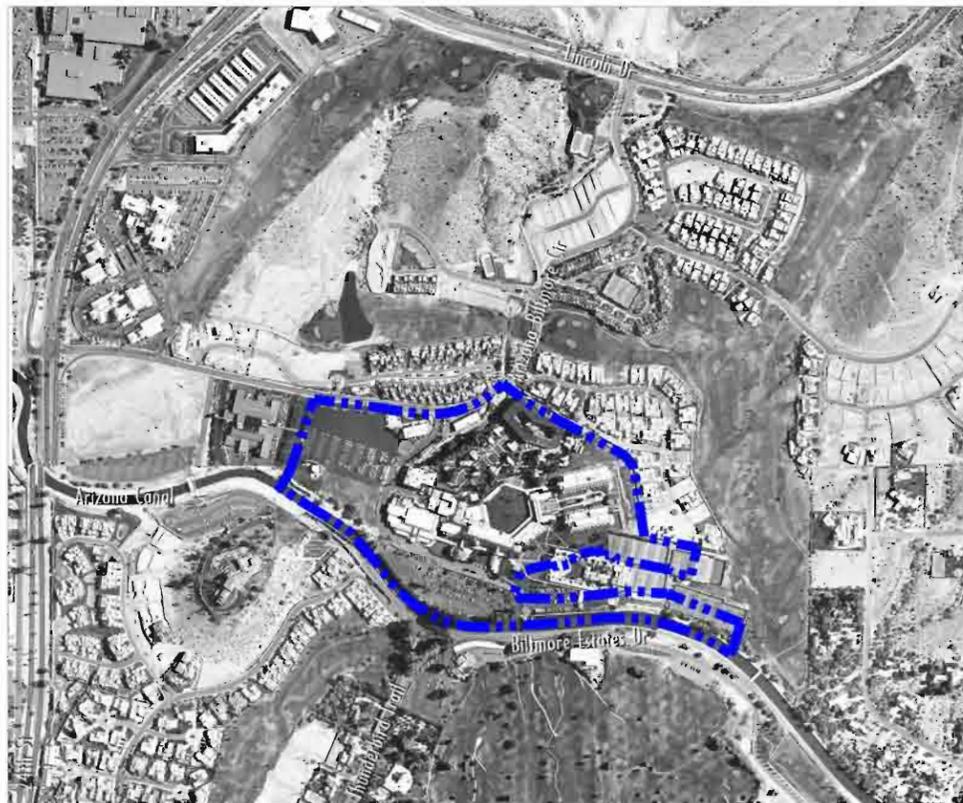
1961



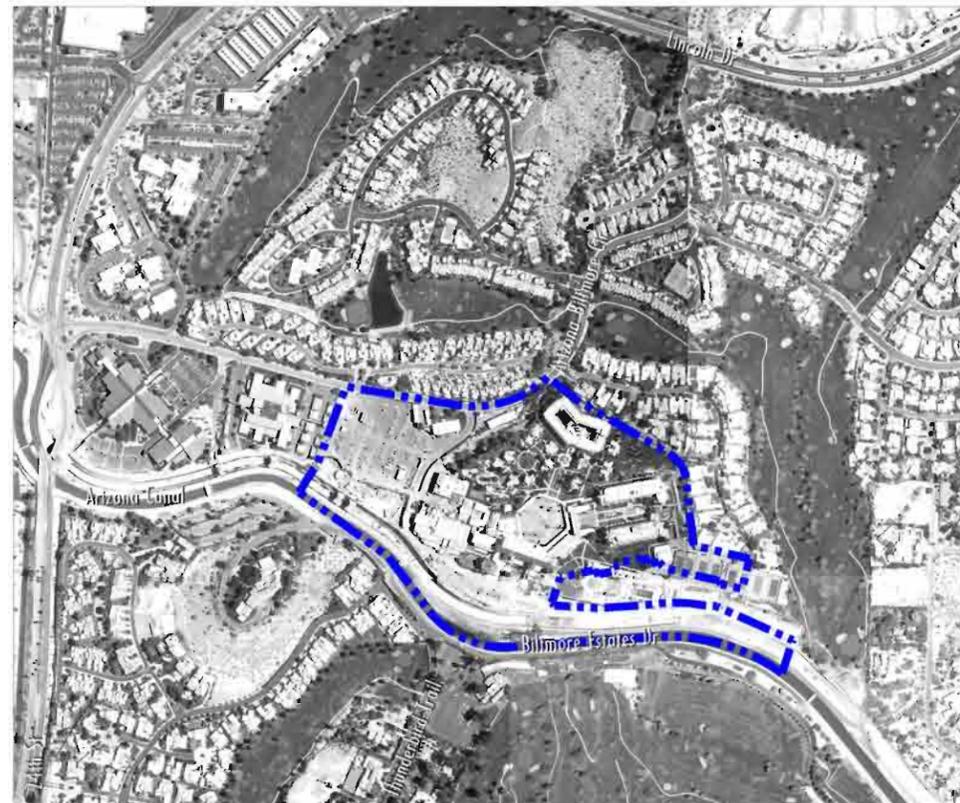
1971



1982

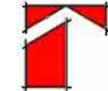


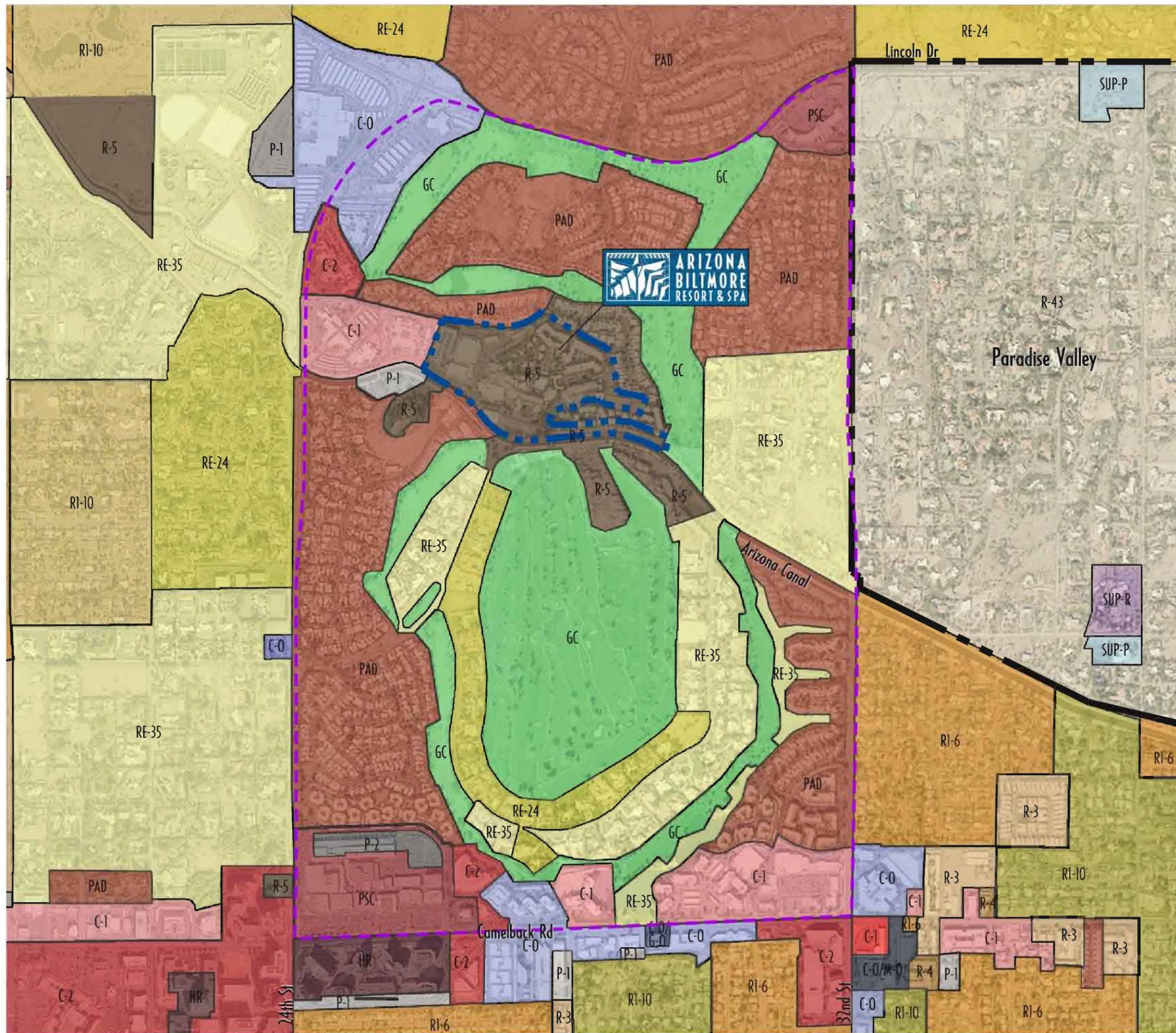
1991



### Area-Wide Development Chronology

 PUD Project Boundary

North  Scale: Not to Scale  Figure 10 Revised: 7.03.08 Revised: 6.26.08 Date: 6.20.08 Project #: 0811



### Existing Land Use/Zoning

- City of Phoenix**
- RE-35 Single Family Residence (1.1 to 1.5 du/ac)
  - RE-24 One Family Residence (1.8 du/ac max)
  - RI-10 Single Family Residence (3 to 3.5 du/ac)
  - RI-6 Single Family Residence (5 to 5.5 du/ac)
  - R-3 Multiple Family Residence (5 to 6.5 du/ac) single-family detached (14.5 to 15.23 du/ac) multi-family
  - R-4 Multiple Family Residence (5 to 6.5 du/ac) single-family detached (29 to 30.45 du/ac) multi-family
  - R-5 Multiple Family Residence (5 to 6.5 du/ac) single-family detached (43.5 to 45.68 du/ac) multi-family
  - C-0 Commercial Office Restricted
  - C-0/G-0 Commercial Office General Office
  - C-0/M-0 Commercial Office Major Office
  - C-1 Commercial- Neighborhood Retail
  - C-2 Commercial- Intermediate Retail
  - HR/C-2 Commercial High Rise
  - PAD Planned Area Development
  - PSC Planned Shopping Center
  - P-1 Passenger Auto Parking
  - P-2 Parking
  - GC-Golf Course
- Town of Paradise Valley**
- R-43 Single Family Residence (1 du/ac)
  - SUP-R Special Use Permit (Resort)
  - SUP-P Special Use Permit (Religious Facility)
- PUD Project Boundary    
  PUD Study Area  
 Town of Paradise Valley Boundary

Source: Maricopa County Assessor, 2008  
 North Scale: Not to Scale  
 Figure 11  
 Revised: 7.03.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811





## Existing Development Conditions

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In terms of a surrounding area-wide context, the Arizona Biltmore Resort & Spa is located in the center of its context area, which is generally bounded by Lincoln Drive on the north, Camelback Road on the south, 32<sup>nd</sup> Street on the east, and 24<sup>th</sup> Street on the west. The intersection of 24<sup>th</sup> Street and Camelback Road is one of the most intensively developed nodes within the Phoenix Metropolitan Area, containing a mix of high intensity hotel, retail, restaurant and office uses within the Esplanade, Biltmore Fashion Park and Anchor Center. North of the intersection, both sides of 24<sup>th</sup> Street are comprised of both attached and detached residential uses. North of the Arizona Canal, the land uses that front 24<sup>th</sup> Street change from residential to office (National Bank of Arizona, Charles Schwab) and public/semi-public uses (City of Phoenix Water Treatment Plant). East and west of the intersection includes a mix of employment, lodging, retail and restaurants along the north and south sides of Camelback Road.

Internal to the context area boundaries, the predominant development type is single family attached and detached residential use with a mix of lot sizes. While the entire context area is located within the jurisdictional boundaries of the City of Phoenix, the area to the east and north of the Arizona Canal is located within the incorporated limits of the Town of Paradise Valley as shown on Figure 1, Regional Vicinity.

### **d. Existing Zoning**

The Resort campus was annexed into the City of Phoenix on March 23, 1959 (Ordinance G-281). While there are no conditions on the original zoning of the Biltmore Resort, there have been stipulations placed on various projects developed within the Resort campus over the past 49 years which will remain in full force and effect, except as otherwise modified herein.

The existing pattern of zoning surrounding the Resort campus includes residential, commercial and golf course districts within the City of Phoenix. Residential zoning designations (i.e. R-5, PAD, RE-35 and RE-24) are located to the north, south and east. Commercial and auto parking zoning (i.e. C-1 and P-1, respectively) are located to the west. Golf course zoning (i.e. GC) is located south and west.

### **e. Existing General Planning**

The development of the PUD Project Area and its surrounding area are guided by the City of Phoenix General Plan. The PUD project area is predominately contained within the Commercial land use designation,



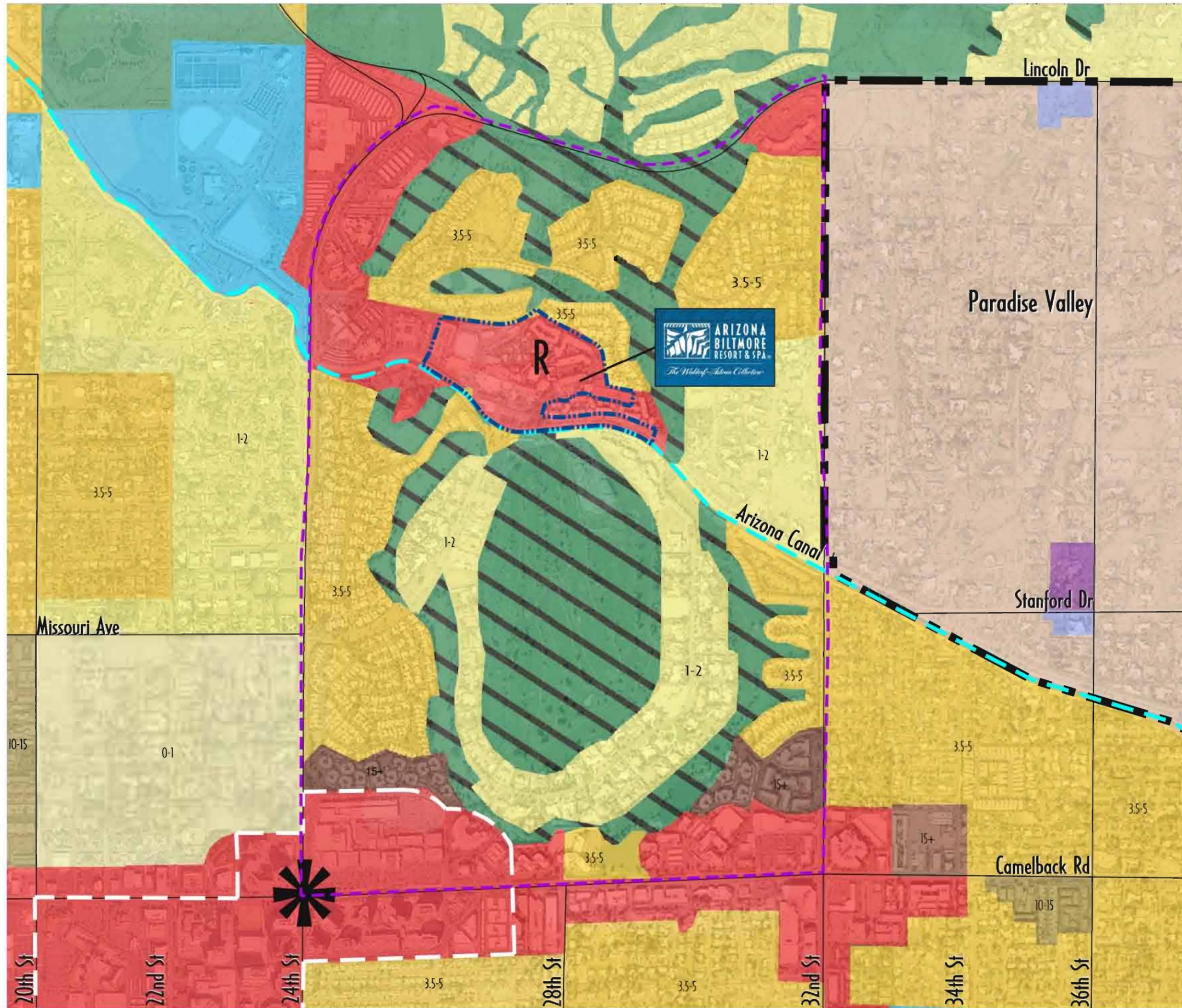
## Existing Development Conditions

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but also includes small portions of residential and open space (which are likely to be attributable to the scale of Land Use Map) as shown on **Figure 12, General Plan Land Use**. In addition, the property is also labeled as "R" which denotes the locations of resorts within the City.



The existing general plan land use categories surrounding the Resort campus include residential, commercial and parks/open space. Large lot residential use (i.e. 1 to 2) is located to the south and east of the Resort campus. Traditional lot (i.e. 3.5 to 5) is located to the north and southwest of the Resort campus. Commercial use is located to the east and west of the Resort campus. While this designation is consistent with the existing land use to the west, it is inconsistent with the underlying residential use (Biltmore Hotel Villas) that are a part of the Resort campus, but not included within the PUD Project Boundary. The Parks/Open Space-Privately Owned appears to accurately depict the layout of the Adobe and Links Golf Courses within the context area. At the surrounding area-wide context, the Primary Core is designated for the intersection of Camelback Road and 24<sup>th</sup> Street, with its boundary delineation extending east and west along the Camelback corridor. Again, a residential transition occurs to the north, which shifts to Public/Quasi-Public and Commercial designations north of the Arizona Canal. Higher density residential use buffers the significantly lower density residential designations that surround the Adobe Golf Course (south of the Arizona Canal) and Links Golf Course (north of the Arizona Canal).



**General Plan Land Use**

- City of Phoenix**
- 0 to 1 d/ac- Large Lot
  - 1 to 2 du/ac- Large Lot
  - 3.5 to 5 du/ac- Traditional Lot
  - 10 to 15 du/ac- Higher density attached townhouse condos or apartments
  - 15+ du/ac- Higher density attached townhouse condos or apartments
  - Parks/Open Space- Publicly owned
  - Parks/Open Space- Privately owned
  - Commercial
  - Public/Quasi-Public
  - Arizona Canal
  - Arterial and Collector Streets
  - Primary Core
  - Resort\*
  - PUD Project Boundary
  - PUD Study Area

\*Note: "R" depicts location of resorts. Those with an underlying commercial designation have corresponding zoning that permits resort hotel use. All other depictions are for existing resorts that are non-conforming, general locations for future resort sites or indicate resort district zoning.

- Town of Paradise Valley**
- Town of Paradise Valley Boundary
  - LDR - 0 to 1 House per 1 Acre
  - Resort/Country Club
  - Public/Quasi-Public

Source: City of Phoenix General Plan, Revised: January 22nd, 2008  
 Town of Paradise Valley General Plan, Revised: November 21st, 2002

North Scale: Not to Scale Figure 12 Revised: 7.03.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811





## Existing Development Conditions

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### f. Signs

An on-site analysis of the existing signage was conducted within the Arizona Biltmore, including its major vehicular entry points in May 2008. Upon careful evaluation of the existing site access and pedestrian circulation sign layout, the following issues were observed:

#### **Access**

The Resort campus is elegantly nestled into the surrounding mountains thereby making it difficult for visitors to visually connect the entry with the campus. The primary vehicular entry for guests occurs at the intersection of 24<sup>th</sup> Street/Thunderbird Trail. It does not currently support a grand arrival experience. Secondary and service entry at the intersections of 24<sup>th</sup> Street/Arizona Biltmore Circle and Lincoln Drive/Arizona Biltmore Circle are also not properly identified. These circumstances result in additional traffic as guests and service vehicles were observed making multiple attempts to locate the appropriate entry point into the Resort. Monumentation improvements at these three entry nodes will be identified in the Sign Master Plan to support the grand, elegant arrival into this world class Resort. The proposed sign program will also address the addition of the "Waldorf Astoria Collection" as an endorsement brand.

#### **Vehicular Circulation**

In many cases within the campus, vehicular sign guidance is often poorly located, improperly lit, obscured by vegetation or altogether absent. Additionally, it was observed that a variety of non-matching styles/designs have been added over the years, attempting to serve in the same capacity. These conditions foster confusing and inconsistent navigation by drivers, not only generating emotions that are counter to their imminent resort experience. Perpetuating additional and unnecessary time in spent in vehicles promotes a constricted on-and off site circulation system as guests and service vehicles attempt to locate their destination. The conceptual locations for vehicular way-finding will be a component of the Sign Master Plan.

#### **Pedestrian Circulation**

Unfortunately, the pedestrian way-finding system suffers from several of the same conditions as the vehicular sign program. These conditions make the Resort campus complex and difficult to navigate for the new guest or visitor. Additional signs have clearly been layered onto the original program on several occasions, attempting to remedy prior



## Existing Development Conditions

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existing deficiencies. Unfortunately, the addition of more signs does not directly correlate to enhance way-finding. A thorough analysis of all areas of the Resort campus is recommended to create a comprehensive sign program that addresses the needs of all end-users, including the visually impaired.

### Identification

Building, amenity, tenant, service and room identification are equally important pieces of the way-finding sign program as directional signage components. The inclusion of properly located identification signs let the user know that a desired destination has been reached. These elements should be thoughtfully designed to serve their intended purpose and integrate into their surrounding architectural, landscape architectural and lighting context. In many cases, inadequate identification was observed at key destinations, creating confusion among guests and visitors.

### Sign Component

One additional observation identified the rather injudicious use of the Biltmore Block as a graphic element on the signage. It was noted that the over-use of this icon within the Resort campus has diminished its value. This icon should be reserved for special landmarks and feature elements. The proposed sign master plan program will seek to incorporate the characteristics of the Resort through the use of supportive sign components such as colors, materials, graphics and typography. The intent is to create a sign program that is thoughtfully planned and designed with symbiotic elements (such as lighting and vegetation) that achieve design guidelines and standards.

### g. Site Lighting

A variety of lighting fixture styles and types comprise the exterior lighting within the Arizona Biltmore, as shown on **Figure 13, Existing Lighting Conditions**. As the various buildings and sections of the property were developed over the years different styles of fixture appear to have been introduced creating an overall lighting system that is inconsistent and not cohesive. In general most of the light sources used on the property are incandescent, creating a warm color tone throughout. This color tone is consistent with the residential nature of this site as well as the neighboring private residence.





## Existing Development Conditions

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### Surface Parking Areas

Parking lots along the Arizona Canal are illuminated by approximately 20' high light poles containing square post-top HID luminaries. The luminaries contain flat lenses and optics that direct the light downward toward the ground. Because of their height and proximity to the perimeter of the property the light poles are visible from the adjacent residential neighborhoods. The height and style of the light poles evoke a commercial look in a residential community.

The pole lighting is supplemented with bollards that are mounted in landscaped islands. The bollards contain an HID steplight mounted in a concrete pier that is evocative of the block design used on the buildings. Many of the bollards are in disrepair. Newer 20' high light poles with single and double triangular shaped luminaries illuminate parking areas in the vicinity of the newer buildings on the west side of the site. The luminaries are smaller in scale than the square post-tops and provide a downward light distribution.

### Walkway Lighting

Pedestrian walkways on the site range in scale from wide major promenades to narrow paths that meander through gardens and landscaped areas. The promenades occur in the open areas between the main building and terrace court and adjacent to the garden wing. The narrower walks link smaller residential buildings such as cottages to each other and to the major thoroughfares. A variety of small-scale garden lights currently provide illumination along the edges of the walkways. The units define the edges of the walks and provide low level illumination on small portions of the paved surfaces. Typically, variations of the domed-cap garden fixtures are located in softscape. The fixtures contain incandescent light sources and range in height from  $\pm 2'-0"$  along the major promenades to  $\pm 1'-3"$  along the narrower walks.

Other forms of walkway lighting occur adjacent to the terrace at the Squaw Peak Lawn. One is a luminous cylinder which seems out of place architecturally. The other is an arts and crafts style pier light that contains a patterned glass face.

Fixtures with simple geometric forms have been added in some of the newer developed areas. These include square bollards and short pedestrian scale poles containing white opal globe tops. Again these forms seem out of place architecturally.



## Existing Development Conditions

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### Landscape Lighting

Most of the landscape lighting focuses on the uplighting of trees. Incandescent light sources are used throughout the site in a variety of above grade fixture styles such as par lamp bullets, small floodlights and low voltage MR-16 accent lights. Most of the fixtures are located in planting beds adjacent to the trees. The trees in the Squaw Peak Lawn are illuminated by above grade par 38 bullet style uplights mounted in the lawn. Low dome-top garden lights are used to illuminate low planting in some of the gardens.

### Building Lighting

Exterior building lighting is limited to decorative incandescent wall sconces, surface mounted ceiling fixtures, and back lighted luminous blocks or panels that are part of the building facades. Fixtures on the newer buildings are not in keeping with the architectural style of the original buildings. Recessed, incandescent down lights illuminate walkways under soffits, breezeways and canopies.

### Sculpture

Carved stone figures (Biltmore Sprites) occur throughout the Resort campus. They are currently illuminated by small above-grade incandescent accent fixtures. Although they can be viewed from all sides, the illumination in some locations is limited to the fronts of the figures. Other site sculptures do not appear to be illuminated.

### Entry Bridges

Lighting at the bridges crossing the Arizona Canal at the main entrance to the site is limited to the backlighted decorative luminous blocks in the masonry bridge piers. The blocks retain the architectural style of the original buildings but do not provide illumination on the roadway. The lighting does little to help identify the entry portals or provide a sense of arrival.

Secondary bridges contain small posts with lanterns. The lanterns contain translucent panels and incandescent lamps. They provide points of brightness but do little to illuminate the road surface.

### Service Drives

Service drives at the north end of the property are illuminated by small floodlights mounted on poles, fences and buildings.



## Existing Development Conditions

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### Outdoor Tennis Courts

The tennis courts are illuminated by twin davit arm light poles containing HID shoe box style luminaries. Although the light distribution is directed downward the lens brightness of the luminaries is visible from the adjacent residential neighborhood.

### Ad Hoc Lighting

Over the years lighting equipment has been installed on the property to correct lighting problems, provide additional illumination in an area or replace fixtures that may have been damaged. In many instances the fixtures have been mounted onto buildings because the structures provide a mounting surface and a ready source of power. Some of the units such as wall packs, utility lights and floodlights use HID lamps and luminous diffusers that create sources of high brightness and glare.

As the master plan is implemented these fixtures should be removed and the issues which necessitated their use should be approached with solutions that are in keeping with the master plan vocabulary.



President and Mrs. John F. Kennedy playing tennis at the Arizona Biltmore



# Existing Development Conditions

## h. Existing Landscape Conditions

The beautifully maintained landscape of the historic Arizona Biltmore Resort & Spa has evolved over the years from a desert oasis set in the scrub of the Phoenix outskirts to the lush destination Resort that it is today. Its landscape palette, not unlike one used in southern California, was developed during a period before water wise plant selection entered the public consciousness.

The property is currently an intensely vegetated site with approximately 25 percent comprised of landscape plantings, function lawns and recreation lawns. Other than the dry arroyo/drainage swale that extends south from the northern PUD property boundary to an underground drainage facility mid-property, all areas that are not occupied by building structures or paving contain well maintained landscape plantings. Most of the plant materials are fully mature, with some on the verge of decline. Exceptional effort has been made to screen undesirable views from neighboring properties with a combination of screen walls and dense shrub and tree plantings where possible. An inventory of plant materials currently used within the Resort includes a diverse range of palms, trees, and shrub/groundcover species as identified in **Table 2 – Existing Plant Palette** below.

**Table 2:  
Existing Plant Palette**

<b>Palms</b>	
Botanical Name	Common Name
<i>Chamaerops humilis</i>	Mediterranean Fan palm
<i>Phoenix dactylifera</i>	Date palm
<i>Syragus romanzoffium</i>	Queen Palm
<i>Trachycarpus fortunei</i>	Windmill Palm
<i>Washingtonia filifera</i>	California Fan Palm
<i>Washingtonia robusta</i>	Mexican Fan Palm
<b>Trees</b>	
Botanical Name	Common Name
<i>Acacia salicina</i>	Sweet Acacia
<i>Bauhinia blakeana</i>	Orchid Tree
<i>Brachychiton populneus</i>	Bottle Tree
<i>Calistemon viminalis</i>	Weeping Bottlebrush
<i>Callistemon rigidus</i>	Bottlebrush
<i>Cercidium microphyllum</i>	Palo Verde
<i>Chilopsis linarius</i>	Desert Willow
Citrus orange	Orange Tree
<i>Cupaniopsis anacardiodesa</i>	Carrot Wood
<i>Dalbergia sisso</i>	Sisso Tree



## Existing Development Conditions

Eucalyptus citriodora	Lemon Scented Gum
Ficus Microcarpa	Indian Laurel Fig
Grevillea robusta	Silk Oak
Jacaranda mimosifolia	Jacaranda
Liquidambar styraciflua	Sweet Gum
Magnolia virginiana	Southern Magnolia
Olea europa	European Olive
Olneya tesota	Desert iron wood
Phoenix robelleni	Pygmy date palm
Pinus canariensis	Canary Island Pine
Pinus eldarica	Afghan Pine
Podocarpus gracillior	Fern Pine
Prosopis glandulosa	Honey Mesquite
Pyrus kawakami	Evergreen Pear
Quercus virginiana	Live Oak
Quercus virginiana 'Heritage'	Live Oak
Schinus terebinthefolius	Brazilian pepper tree
Ulmus parvifolia	Evergreen Elm
Vitex agnus castus	Chaste Tree
Vitex agnus-castus	Vitex Tree

### Shrubs/Groundcover

Botanical Name	Common Name
Agave varieties	Agave
Bougainvillea spectabilis	Bougainvillea varieties
Buddleia marrubifolia	Butterfly Bush
Buxus japonica 'Green Beauty'	Boxwood
Caesalpinia pulcherima	Red Bird of Paradise
Camelia japonica	Japanese Camelia
Carissa grandiflora	Natal Plum
Carnegieia gigantean	Saguaro Cactus
Elaeocarpus decepiens	Japanese Blueberry Bush
Eremophila "valentine"	Emu Bush
Hibiscus rosa sinensis	Hibiscus
Ilex vomitoria	Yaupon Holly
Juniperus varieties	Juniper
Lantana varieties	Lantana
Leucophyllum candidum	Silverleaf
Leucophyllum frutescens	Texas Sage
Ligustrum vulgare	Common Privet
Nandina domestica	Heavenly Bamboo
Nerium oleander	Oleander (white, pink & red)
Pelargonium varieties	Geranium
Photinia x fraseri	Red Photinia
Pittosporum tobira	Mock Orange
Prunus caroliniana	Carolina Cherry
Raphiolepis indica	Indian Hawthorn
Rosa varieties	Hybrid Rose
Rosmarinus varieties	Rosemary
Xylosma congestum	Xylosma



## Existing Development Conditions

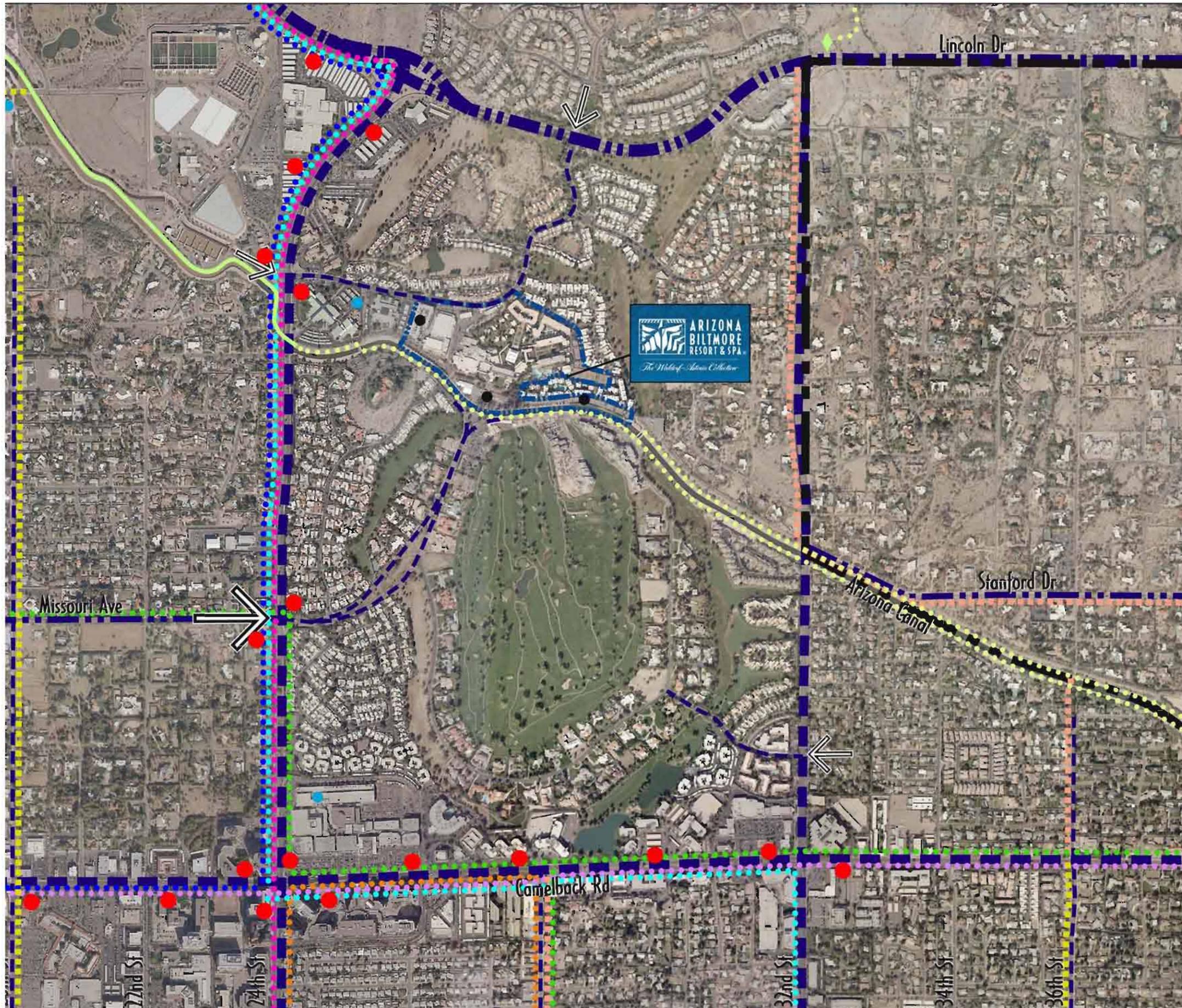
### 3. Infrastructure Conditions

#### a. Roadway Access and Circulation

As identified previously on Figure 2, Project Context, the Arizona Biltmore Resort & Spa campus is generally located in the center of a rectangle formed by four multi-lane divided arterial public roadways – Lincoln Drive forming its north side, Camelback Road forming its south side, 32<sup>nd</sup> Street forming its east side, and 24<sup>th</sup> Street forming its west side, as shown on **Figure 14, Study Area Transportation System**. Extending radial from the Resort campus are four private roadways – Thunderbird Trail, Arizona Biltmore Circle (west), Arizona Biltmore Circle (north), and Biltmore Estates Drive as shown on **Figure 15, Existing Transportation and Utilities**.

Each of the previously described private roadways provides a vehicular connection to the surrounding public roadway network. Thunderbird Trail is a two lane divided private roadway that extends in a southwesterly direction from the south side of the Resort campus to a signalized intersection at 24<sup>th</sup> Street. Thunderbird Trail serves as the primary entrance/exit road for Resort guests, as well as the most direct route to Phoenix Fire Station 17 – located just west of 16<sup>th</sup> Street and Missouri Avenue. Arizona Biltmore Circle is a two lane undivided roadway that extends from the north side of the Resort campus (at the north end of Godown Way), both in a westerly direction to a signalized intersection on 24<sup>th</sup> Street, and in a northeasterly direction to a stop sign controlled intersection on Lincoln Drive. Arizona Biltmore Circle serves as a secondary entry/exit road for guests and a primary entry/exit road for employee, delivery, and other operations-focused traffic. Biltmore Estates Drive is a two lane undivided roadway that extends in an easterly direction from Thunderbird Trail, for about a quarter mile, and then turns south and circulates through the Biltmore Estates neighborhood. Biltmore Estates Drive intersects (and ends at) Thunderbird Trail, approximately a quarter mile east of 24<sup>th</sup> Street.





**Study Area Transportation System**

- |  |  |
|--|--|
| <p><b>Street Classification</b></p> <ul style="list-style-type: none"> <li> Major Arterial</li> <li> Arterial</li> <li> Collector</li> <li> Minor Collector</li> </ul>   | <p><b>Vehicular Site Access</b></p> <ul style="list-style-type: none"> <li> Primary</li> <li> Secondary</li> </ul>     |
| <p><b>Transit System</b></p> <ul style="list-style-type: none"> <li> Valley Metro Blue Line</li> <li> Valley Metro 10 Local Bus Route</li> <li> Valley Metro 32 Local Bus Route</li> <li> Valley Metro 50 Local Bus Route</li> <li> Valley Metro 60 Local Bus Route</li> <li> Valley Metro 70 Local Bus Route</li> <li> Valley Metro Bus Stops</li> </ul> | <p><b>Parking</b></p> <ul style="list-style-type: none"> <li> On-Site</li> <li> Off-Site</li> </ul>                  |
| <p><b>Trails</b></p> <ul style="list-style-type: none"> <li> Paved Multi-Use Trail</li> <li> Unpaved Multi-Use Trail</li> <li> Trailhead with Parking</li> </ul>  | <p><b>Bikeways</b></p> <ul style="list-style-type: none"> <li> On-Street Bike Route</li> <li> Bike Lane</li> </ul> |
| <ul style="list-style-type: none"> <li> PUD Project Boundary</li> <li> Town of Paradise Valley Boundary</li> </ul>   |  |

Source: MAG Bikeway Master Plan-Copyright 2005, Valley Metro Transit System Maps-2008

North  Scale: 1" = 1,000 ft

Figure 14 Revised: 7.03.08  
Revised: 6.26.08  
Date: 6.20.08  
Project #: 0811

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Existing Transportation and Utilities

- Street Transportation
-  Public Street
  -  Private Street
- Parking
-  Parking Structure
  -  At Grade Parking
- Utilities Easements
-  Sewer
  -  Drainage
  -  Electrical (underground)
  -  Electrical (overhead) Power Line
  -  Electrical Power Pole
  -  Natural Gas
  -  Telecommunications
  -  Potable Water
-  Project Boundary



## Existing Development Conditions

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Approximately half way around the Biltmore Estates Drive “circle”, two lane undivided Colter Street tees in from the east. Colter Street, in turn, provides access to (public) 32<sup>nd</sup> Street. While this “Biltmore Estates Drive to Colter Street to 32<sup>nd</sup> Street” linkage is not intended (nor has it been designed) to be an access route for guests or employees of the Resort, it bears mentioning as it provides part of the most direct link between the Resort and Phoenix Fire Station 12 - located at 32<sup>nd</sup> Street and Glenrosa Avenue.

As identified previously on Figure 14, additional smaller, two lane private roadways border and/or traverse the Resort campus, enabling Resort traffic to circulate between the various internal destination points, such as the porte-cochere, surface and structure parking fields, and back of house loading and unloading areas. These on-site access roads include:

- The “west canal bridge”, which connects Telawa Trail to Godown Road, both of which are described below.
- The “east canal bridge”, which connects Biltmore Estates Drive to the front/south parking areas which, in turn, provide access to the hotel’s main entry porte-cochere.
- Telawa Trail, which borders the south side of the Arizona Canal (and adjacent multi-use trail), from Thunderbird Trail, west; past Godown Road to a driveway leading to the adjacent Wrigley Mansion.
- Godown Road (aka 25<sup>th</sup> Place), which is oriented north from the west canal bridge to Arizona Biltmore Circle. Godown Road intersects two parking garage access driveways, a driveway leading to the front/south surface parking area, and multiple driveways that serve back of house areas of the hotel.

### **b. On-Site Parking**

Parking for Resort guests and employees utilizes both surface lots and an above-ground parking garage. The majority of overnight guests arrive and depart the Resort using modes of travel other than a personal vehicle (e.g. limousine, taxi or shuttle/tour bus), and almost all of those who arrive by personal vehicle, have their vehicles valet parked. Generally speaking, the only “self-parked” vehicles are those driven by Resort employees and those driven by locally originating attendees of the many social and business functions held at the Resort.

Collectively, the existing on-site supply of parking totals approximately 1,500 spaces. There is some variation in the number of spaces



## Existing Development Conditions

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available on any given day, as a portion of the surface parking areas are used for other purposes when parking demands do not require them. Approximately 60% of the existing parking spaces are located in the garage, with the majority of remaining spaces located in surface lots in front (south) of the hotel.

### c. Off-Site Parking

The Arizona Biltmore Resort & Spa has long been a premier and popular destination, not only for luxurious vacations, but also for business and social events. While there has historically been adequate on-site parking to accommodate the vast majority of the functions held at the Resort, there are generally 10 to 20 days of the year when the combined attendance of all concurrently scheduled on-site functions is so large that the resulting parking demand exceeds the supply of on-site parking spaces. Recognizing this, a professionally produced parking management plan has been adopted by the Resort ownership, and it has been on file with the City of Phoenix since 1994 as a supporting document to the last City-approved parking variance. Included in this parking management plan are references to two off-site parking locations that remain in existence today – one located on the northeast corner of 24<sup>th</sup> Street and Camelback Road (on Biltmore Fashion Park property), and the other located on the southeast corner of 24<sup>th</sup> Street and Arizona Biltmore Circle (the National Bank of Arizona property). These locations are formally identified through previously executed written agreements between the Resort owners and the owners of the respective off-site properties. Collectively, these two off-site parking locations provide more than 700 additional spaces, which are used almost exclusively for employee parking. These two locations are connected via a shuttle service that transports employees between the Resort and these two lots.

Since all of the events held in the Resort's many dedicated function areas are booked in advance, the Resort ownership is able to effectively control how and when transportation between the Resort and off-site parking facilities will occur. In this manner, advance notice can be communicated to Resort employees enabling Resort management to accommodate its parking needs.

### d. Transit Service

Valley Metro is the regional transit service provider for the Phoenix Metropolitan Area. Dedicated transit bus pull-outs and shelters (i.e. "bus stops") are located on 24<sup>th</sup> Street, immediately north and south of Thunderbird Trail/Missouri Avenue as shown on Figure 14. Valley Metro



## Existing Development Conditions

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bus routes 32, 70, and the “Blue Line” each have “24<sup>th</sup> Street and Thunderbird Trail/Missouri Avenue stops, collectively providing direct service between the Arizona Biltmore Resort & Spa and Phoenix, northeast Phoenix (Paradise Ridge area), Sky Harbor Airport, and Tempe. It is estimated that there are currently 238 Resort Employees who are utilizing transit service for their work trips.

### e. Trails

The provision of non-vehicular methods of movement allow for a multi-modal transportation system to serve the study area. The north and south sides of the Arizona Canal currently provide unpaved multi-use trails fronting the Resort as shown on Figure 14. To the south, they both continue as unpaved trails. The southern unpaved segment also intersects with the on-street bike route on Stanford/32<sup>nd</sup> Street. To the north, the unpaved trail transitions to a paved trail on the west side of the pedestrian underpass on 24<sup>th</sup> Street. Approximately  $\frac{3}{4}$  of a mile to the northeast of the PUD, the City of Phoenix maintains the 32<sup>nd</sup> Street Access Trailhead. The Trailhead is located at the northeast corner of 32<sup>nd</sup> Street and Lincoln Drive and contains approximately 25 parking spaces. The trailhead provides hiker access within the Phoenix Mountains Preserve.

### f. Utility and Facility Services

Existing utility service is provided by the following providers within both the Resort campus and the study area, including:

- Sewer: City of Phoenix
- Water: City of Phoenix
- Electricity: Salt River Project
- Natural Gas: Southwest Gas
- Solid Waste Collection and Disposal: City of Phoenix
- Telecommunications: Qwest

The area within the PUD boundary is located within the City of Phoenix’s water service area, at the low end of Pressure Zone 3B. Currently an 8-inch water main exists within Arizona Biltmore Circle, along the northern boundary of the Resort that provides all domestic water service to the property. Previously, a connection to a 12-inch water main in Thunderbird Trail, to the south of the Resort, also served the property, however this connection was severed with the construction of the ACDC.



## Existing Development Conditions

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The Resort is located within the City of Phoenix's wastewater service area, and is currently serviced by a 15-inch sewer main that runs along the Arizona Canal and drains to 24<sup>th</sup> Street.

### **g. Irrigation/Drainage Facilities**

The Arizona Biltmore Circle bounds the north end of the Resort, and prevents roadway drainage from entering the property. A large wash conveys all other offsite flows from the upstream mountain range and residential developments through the Resort, and eventually outlets into the Arizona Canal Diversion Channel (ACDC) via a twenty (20) foot by two (2) foot concrete box culvert. Existing drainage patterns convey surface and stormwater north to south across the Resort property. The Arizona Canal, which represents the southern boundary of the Resort property, impedes surface flow, which prompted the design and construction of the ACDC. The ACDC is located on the north side of the Arizona Canal, entirely within the Resort property and below grade, however is owned and maintained by the Flood Control District of Maricopa County with easement rights held by the Arizona Biltmore Resort & Spa. Several inlets along the south end of the Resort capture surface drainage that has traveled through the Resort, as well as parking lot runoff, and outlet into the ACDC.

### **h. Public Facilities.**

The City of Phoenix provides public safety service to the Resort campus and study area. Police protection is administered at the Squaw Peak Precinct, located less than ½ mile to the northwest of the Resort campus as shown on **Figure 16, Public Facilities**. Fire Station #17 serves the study area and is located approximately 1.5 miles to the west. To the southeast, Fire Station 12 is located at the southeast corner of Glenrosa Avenue and 32<sup>nd</sup> Street, approximately 1.5 miles from the Resort. An urgent care facility is also located approximately 1.5 miles west of the Resort campus.



**Public Facilities**

- Public Safety**
  - Phoenix Fire Stations (17 and 12-Battalion 2)
  - Phoenix Police Station
  - Emergency Care
- Education**
  - Elementary School (Madison Elementary School District # 38)
  - Middle School (Madison Elementary School District # 38)
  - High School (Phoenix Union High School District # 210)
  - Phoenix Public Library
- Recreation**
  - Public Parks
  - Golf Courses
  - Multi-Use Trail
  - Underpass
- Other**
  - Post Office
  - PUD Project Boundary
  - Town of Paradise Valley Boundary
  - PUD Study Area

Source: Maricopa County Assessor, 2008

North Scale: 1" = 1/4 Mile

Figure 16

Revised: 7.03.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811

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## Existing Development Conditions

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The PUD Project boundary is located within the Madison Elementary School District #38 and the Phoenix Union High School District #210. The most proximate elementary school is Madison Camelview Elementary School located at 2002 East Campbell Avenue. The most proximate middle school is Madison Traditional Academy located at 5525 N. 16<sup>th</sup> Street. The most proximate high school is Camelback High School, located at 4612 N. 28<sup>th</sup> Street.

There are not any public parks located within the PUD Study Area. The most proximate public park is Granada Park, which is located approximately one mile to the northwest of the Resort, and can be indirectly accessed via the improved trail on the north side of the Arizona Canal. Granada Park, approximately 50 acres is classified as a Community Park and is located at 6505 N. 20<sup>th</sup> St. It contains art sculpture, lagoon, picnic area, restrooms, lighted tennis, playground, grill, multi-purpose field and is open from 5:30 a.m. to 10 p.m.





## Master Plans

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The Master Plans chapter of the Arizona Biltmore Resort & Spa PUD includes the full complement of related development components to preserve and enhance the area within the PUD project boundary. The Master Plans chapter is organized in the following eleven sections:

- Land Use Master Plan
- Sustainability Framework Plan
- Phasing Plan
- Historic Preservation Master Plan
- Open Space and Trails Master Plan
- Circulation and Parking Master Plan
- Landscape Master Plan
- Lighting Master Plan
- Sign Master Plan
- Water and Wastewater Master Plan
- Stormwater Management Master Plan

### **City of Phoenix General Plan Conformity**

The Arizona Biltmore Resort & Spa PUD is predominately identified with the Commercial land use designation by the City of Phoenix General Plan. The property is also labeled as "R" which denotes the locations of resorts within the City. Based on the existing resort use of the entire area defined within the boundaries of the PUD and its Commercial and Resort designations, it is in conformance with the Phoenix General Plan.





# Master Plans

## 1. Land Use Master Plan

The Land Use Master Plan identifies the mix of existing, near term (2010) and longer term (2030) uses within the approximate 36-acre PUD Project Area. At full buildout of the area, the Resort campus is anticipated to include a total of 1.2 million square feet of development translating to a floor area ratio intensity of .73. The campus is also anticipating the addition of for-sale casa units (40 keys).

40 casa room keys  
 1,164 hotel room keys  
 Approximately 33,000 square feet of spa space  
 Approximately 114,000 square feet of conference space  
 Approximately 260,000 square feet of support space  
 Approximately 25,000 square feet of dining space  
 Approximately 5,000 square feet of retail space; and  
 Approximately 11,000 square feet of office space

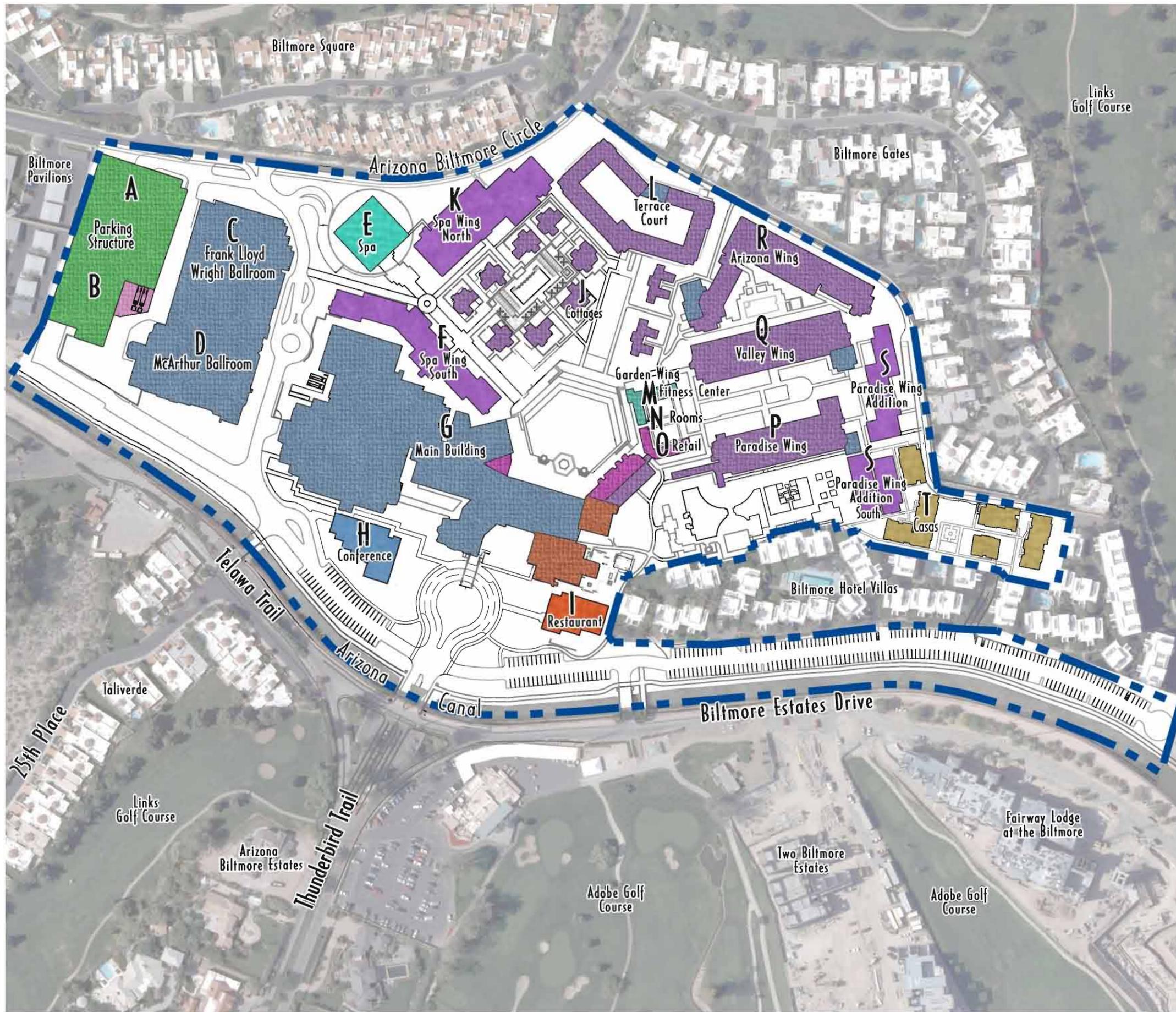
**Note:** The retail, restaurant and office square footage, residential dwelling units, and/or hotel rooms could be subject to change, based on future owner objectives, primary and secondary trade area conditions or other factors. This PUD envisions, and specifically permits, flexibility in land use adjustments as long as the ultimate buildout of the entire 36-gross acre PUD project area does not exceed 2.5% more than the defined development intensity (1.3 million sf).

The location and orientation of buildings that contain these uses are illustrated on **Figure 17, Land Use Master Plan**. Their anticipated development has been organized on **Table 3, Land Use Master Plan Buildout Data**. In addition, the ability to visualize the development intended to occur below and above grade on the property in the short and long term is presented on **Figure 18, Land Use Master Plan by Floor**.

**Table 3**  
**Land Use Master Plan Buildout Data**

Land Use	* Gross Area (Sq. Ft.)	Rooms	Casa Keys	Percent of Total
Lodging	688,262	1,164	NA	59%
Conference/Events	114,000	NA	NA	10%
Spa/Fitness	33,000	NA	NA	3%
Dining	25,000	NA	NA	2%
Retail	5,000	NA	NA	0.5%
Office	11,000	NA	NA	1%
Residential	34,000	NA	40	3%
Support	260,000	NA	NA	22%
<b>Total</b>	<b>1,170,361</b>	<b>1,164</b>	<b>40</b>	<b>100%</b>

\* Land Use Gross Areas are based on current projections of use and building sizes. These area numbers may vary with the processing of future development plans so far as maximum use areas do not exceed those required for a Major Amendment to this PUD.  
 Source: LVA Urban Design Studio; November 2008



### Land Use Master Plan -2010

Land Use	Bldg. Letter	Name	Bldg. Letter	Name
Lodging	F	Spa Wing South	N	Garden Wing-Rooms
	G	Main Building	P	Paradise Wing
	J	Cottages	Q	Valley Wing
	K	Spa Wing North	R	Arizona Wing
	L	Terrace Court	S	Paradise Wing Addition
	D	Conference/Ballroom		
Conference/Events*	G	Main Building		
	H	Conference		
	C	Frank Lloyd Wright Ballroom		
	D	McArthur Ballroom		
Retail	G	Main Building		
	O	Garden Wing-Retail		
Restaurants	G	Main Building		
	I	Restaurant		
Spa/Fitness	E	Spa		
	M	Fitness Center		
Residential	T	Casas		
Parking Structure	A	Above Grade Parking North		
	B	Above Grade Parking South		

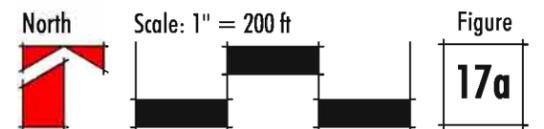
Facilities Maint.

\* Includes Support

#### Site Data

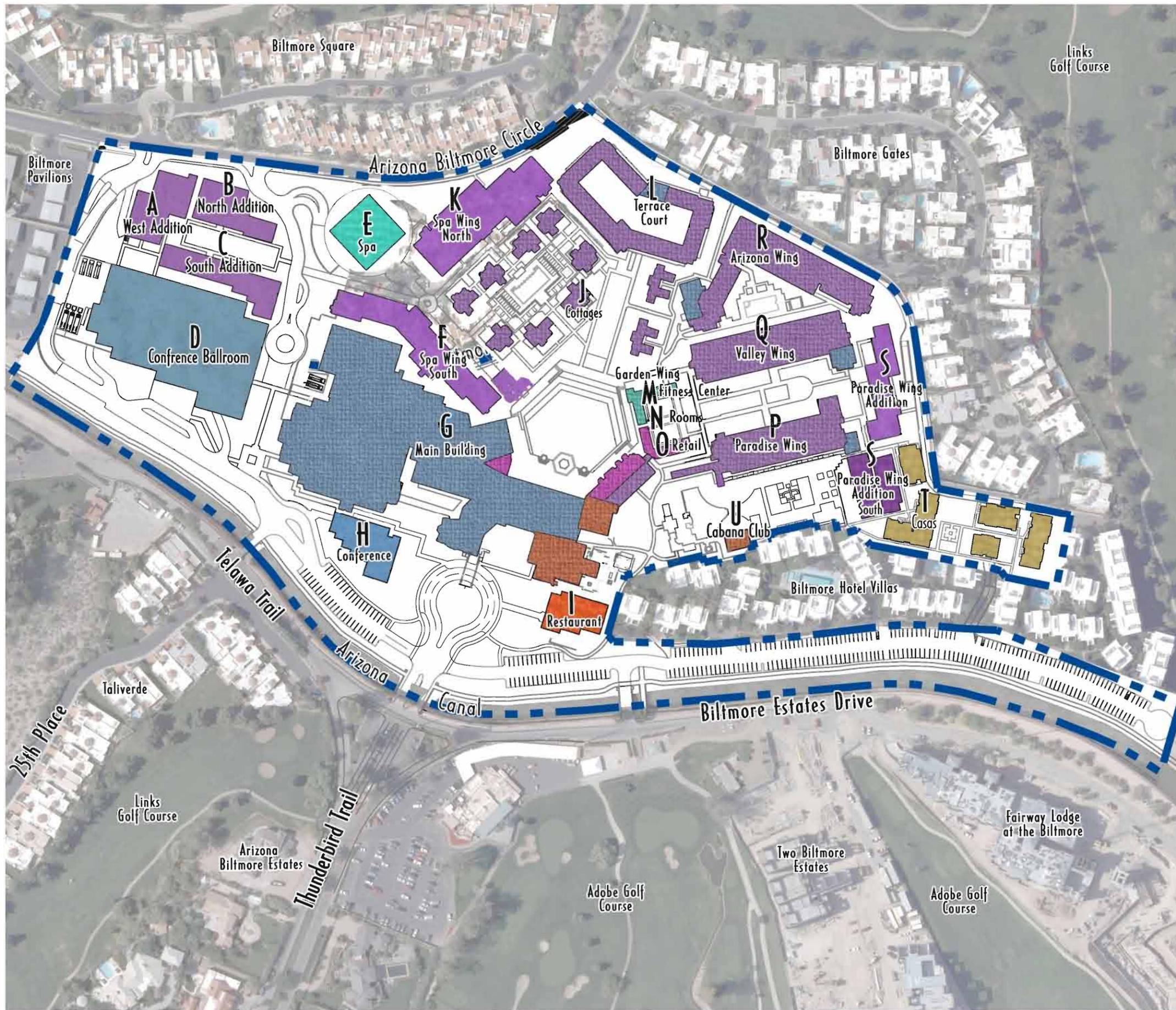
Gross Acreage:	36 Ac
Net Acreage:	..
Existing Zoning:	R-5
Proposed Zoning:	PUD
General Plan:	3.5-5 Residential
Land Use:	Commercial Resort
Lot Coverage:	50% (max)
Landscape Area:	30% (min.)

   PUD Project Boundary    
    Existing Building



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Revised: 6.15.09  
 Revised: 2.23.09  
 Revised: 2.9.09  
 Revised: 11.5.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811



### Land Use Master Plan -2030

Land Use	Bldg. Letter	Name	Bldg. Letter	Name
Lodging	A	West Addition	L	Terrace Court
	B	North Addition	N	Garden Wing-Rooms
	C	South Addition	P	Paradise Wing
	F	Spa Wing South	Q	Valley Wing
	G	Main Building	R	Arizona Wing
	J	Cottages	S	Paradise Wing Addition
	K	Spa Wing North		
Conference/Events*	D	Conference/Ballroom		
	G	Main Building		
	H	Conference		
Retail	G	Main Building		
	O	Garden Wing-Retail		
Restaurants	G	Main Building		
	I	Restaurant		
	U	Cabana Club		
Spa/fitness	E	Spa		
	M	Fitness Center		
Residential	T	Casas		

\* Includes Support

#### Site Data

Gross Acreage:	36 Ac
Net Acreage:	--
Existing Zoning:	R-5
Proposed Zoning:	PUD
General Plan:	3.5-5 Residential
Land Use:	Commercial Resort
Lot Coverage:	50% (max)
Landscape Area:	30% (min.)

▬ PUD Project Boundary

▬ Existing Building

North



Scale: 1" = 200 ft



Figure

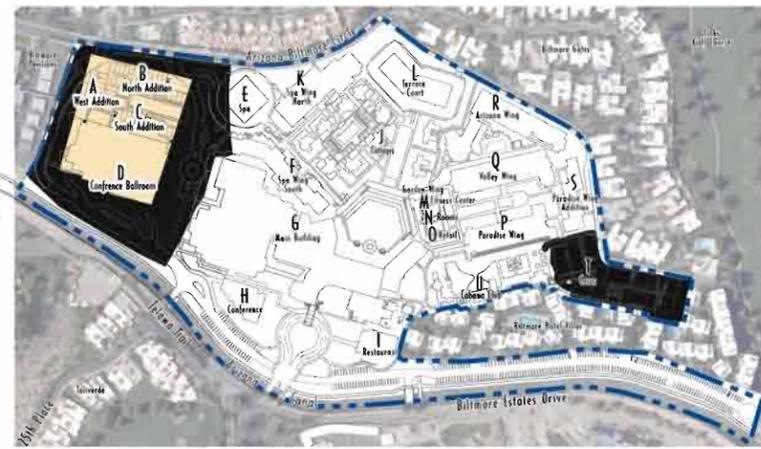
17b

Preliminary-Not For Construction

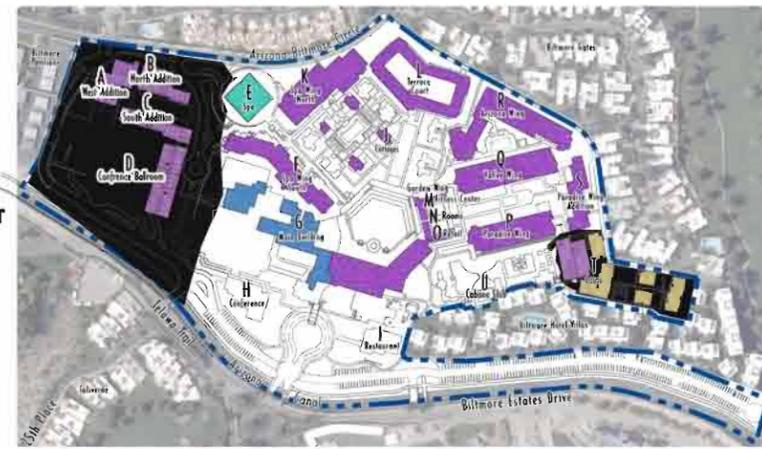
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Revised: 6.15.09  
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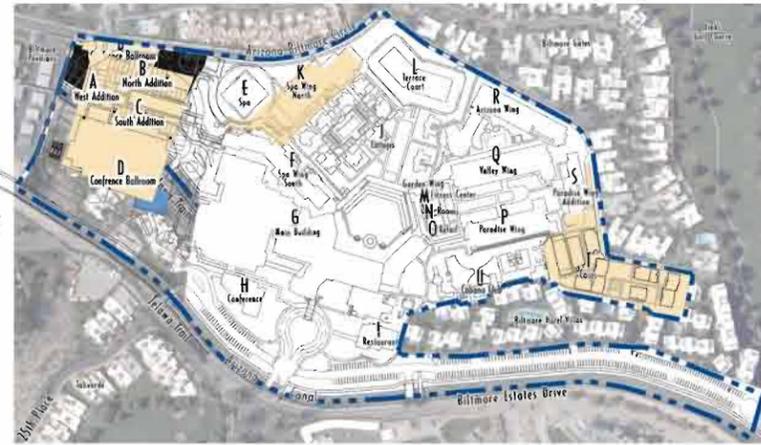
3rd Floor Below Grade



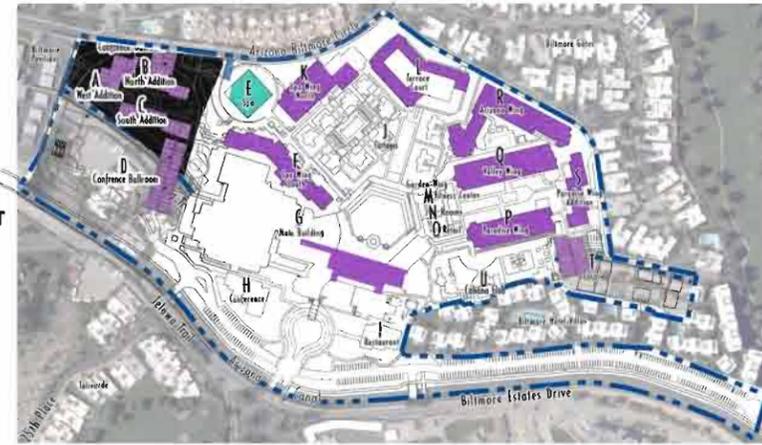
2nd Floor



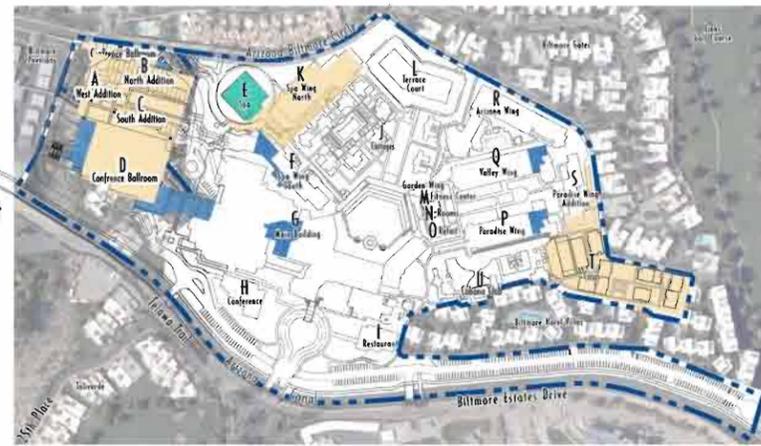
2nd Floor Below Grade



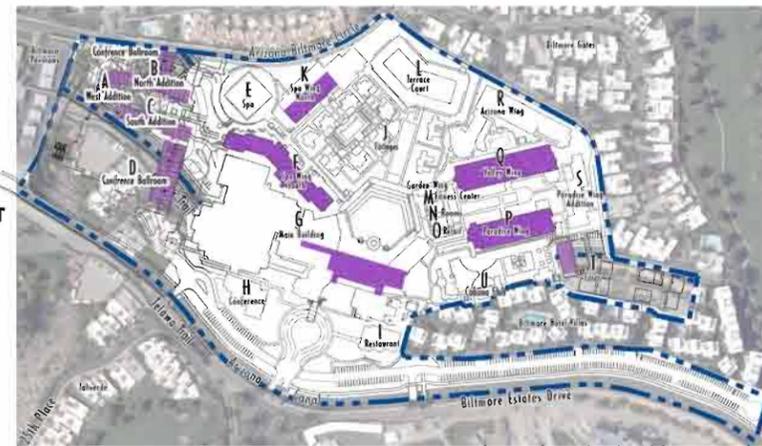
3rd Floor



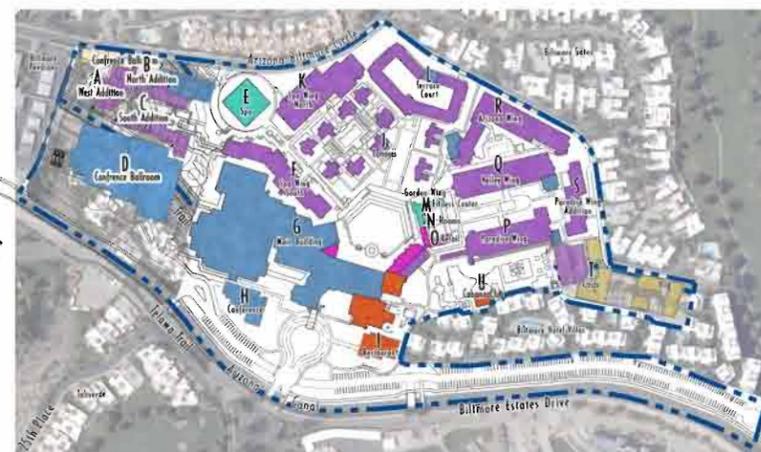
Basement



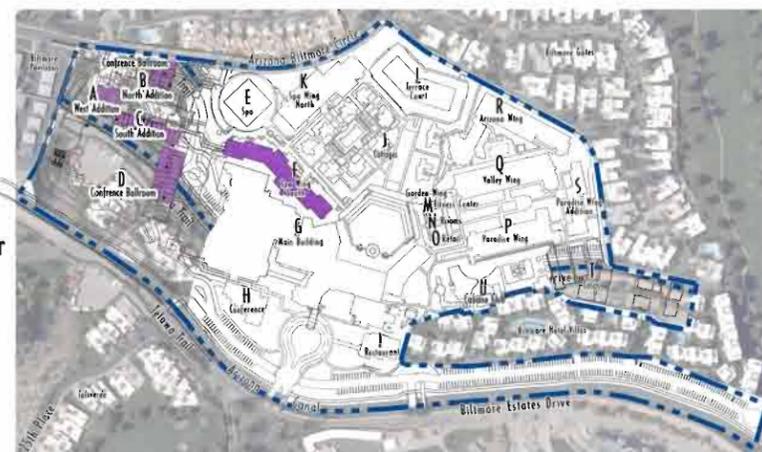
4th Floor



Ground Floor

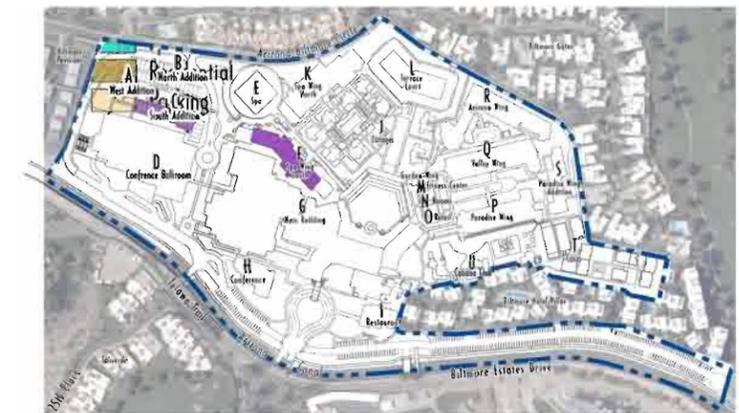


5th Floor



Land Use Master Plan-By Floor

- Land Use**
- Lodging
  - Conference/ Events
  - Retail
  - Restaurants
  - Spa/Fitness
  - Residential
  - Parking



6th Floor

Revised: 6.15.09  
 Revised: 2.23.09  
 Revised: 2.9.09  
 Revised: 10.8.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811

North ■ Not To Scale ■ Figure 18

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# Master Plans

The area contained within the PUD Project Boundary includes existing buildings as well as new development upon full buildout of the property. A summary is presented on the following 3 tables; **Table 4-A, Existing/Future Development, Table 4-B, Key Totals by Phase, and Table 4-C, Room Key Totals by Phase plus Villas Keys.**

Table 4-A						
Existing/Future Resort Development						
Land Use	2008		2010		2030	
	Existing Space (Gross Sq. Ft.)	Existing Keys	Total Space (Gross Sq. Ft.)	Total Keys	Total Space (Gross Sq. Ft.)	Total Keys
Lodging Rooms	-	604	-	886	-	1164
Residential Keys	-	0	-	40*	-	40*
Conference	105,000	-	115,000	-	115,000	-
All Other Space (Support)	295,000	-	345,000	-	345,000	-
<b>Total</b>	<b>400,000</b>	<b>604</b>	<b>460,000</b>	<b>926</b>	<b>460,000</b>	<b>1,204</b>
Villas +	-	136	-	136	-	136
<b>Total</b>	<b>400,000</b>	<b>740</b>	<b>460,000</b>	<b>1,062</b>	<b>460,000</b>	<b>1,340</b>

Sources: Arizona Biltmore Resort, Gensler Architects, and LVA Urban Design Studio, October 2008

\* The Casas are intended to be "for sale" condominium units. The private owners will have the option to make the units available to the Resort to use as hotel rooms. Therefore, the number of keys in the Casas that may be used by the Resort can range from 0 to 40.

\*\* The plans for renovating the existing cottages and the Garden Wing are anticipated to result in the loss of 31 keys.

+ Villas are privately owned, separate condominium Hotel Rooms. These are not owned by the Resort; however they may be available to the Resort under a contract with the individual owner(s). Total number shown (136) is the current number of keys available to the Resort and can range from 0 to 136. Note that Villas are not part of the PUD, have their own parking allotment separate from the PUD and are only shown here for information purposes.

## ARIZONA BILTMORE RESORT & SPA

Planned Unit Development

Volume I



# Master Plans

Table 4-B	
Key Totals By Phase	
PHASE	ROOM KEYS
2008	604
2010 Master Plan	895
2030 Master Plan	1204

TABLE 4-C			
Room Key Totals by Phase plus Villas Keys			
PHASE	HOTEL ROOM KEYS	+ VILLA KEYS	TOTAL KEYS
2008	604	136	740
2010	895	136	1,031
2030	1,204	136	1,340

As shown above, the addition of 460,000 square feet of space within the property will translate to an increase of 68 percent from the inventory of existing space. A comparison of land uses shows that Lodging uses are anticipated to continue to comprise the majority of the development based on the primary function of the Resort. Retail uses will comprise the least amount of space within the property due to the fact that they are only included to support the patronage of resort guests. On a percentage basis, the largest amount of change will focus on the Spa, as it is expected to expand by over 300 percent. A slight reduction is expected in the amount of Office space, due to the relocation of the Resorts' accounting functions to a future off-site location.

The property contained within the PUD Project Boundary includes a mix of existing buildings that range from several to more than 50 years of age. Great care has been taken throughout the master planning process to acknowledge the history of the buildings contained within the property and to protect the majority of buildings that were originally constructed in 1929, as identified in additional detail in the Historic Preservation Master Plan. To that end, the Land Use Master Plan anticipates a range of development related actions to occur which range from retention and enhancement of existing buildings to new



# Master Plans

development on vacant property within the boundaries of the PUD as shown on Table 5, Land Use Master Plan Building Status.

**Table 5  
Land Use Master Plan Building Status**

Building Letter	Name	Year Built	Existing	Revitalization	Redevelopment	New
A	West Addition	Future			■	
B	North Addition	Future			■	
C	South Addition	Future			■	
D	Conference/Ballroom/ Room/Parking Structure	Future			■	
E	Spa	Future				■
F	Spa Wing South	Future				■
G	Main Building	1929	■			
H	Conference Facility	Future				■
I	Restaurant	Future				■
J	Cottages	1929		■		
K	Spa Wing North	Future				■
L	Terrace Court	Existing	■			
M	Garden Wing- Fitness Center	1929		■		
N	Garden Wing Rooms	1929		■		
O	Garden Wing Retail	1929		■		
P	Paradise Wing and Salon	1975	■			
Q	Valley Wing	1979	■			
R	Arizona Wing	1998	■			



# Master Plans

S	Paradise Wing Addition	Future				■
T	Casas	Future				■
U	Cabana Club	1994	■			

Source: LVA Urban Design Studio, November 2008

## Land Use Master Plan Summary (Year 2030)

The character defining elements of the original site plan for the Arizona Biltmore Resort & Spa, reflecting its architectural style and characteristic axes and hexagonal open space, provides the organizing foundation for the Land Use Master Plan. The uses identified in the master plan, illustrated on Figure 17B, Land Use Master Plan, includes the existing inventory and programmed augmentation of conference, supportive, spa/fitness, lodging, dining, retail, and office space as well as residential dwelling units. It also addresses other major components within the Resort campus including parking management, resort arrival sequence and character defining open space network. Each of these components is described below:

### a. Resort Arrival Sequence

The entrance to the Arizona Biltmore Resort & Spa is intended to undergo a major transformation in the near future. The elegant entry begins at 24<sup>th</sup> Street/Thunderbird Trail and is exhibited by a referential architectural element and water feature. The alternating date palm and canopy tree lined corridor on Thunderbird Trail/Biltmore Estates Drive foreshadows the Resort as the roadway elevates over the Biltmore Promenade (Arizona Canal) as shown on **Figure 19, Resort Entry Character**. The circular drive deposits guests at their destination, ready to indulge in the four star service of this world class hotel and conference center.

The unimpeded flow of traffic across the Arizona Canal bridge creates a formal central entrance to the Resort. A circular reflecting pool lined with flowering trees is the central focal point, which terminates with the arrival at the Main Building. The circular entry road rings the pool and provides two drive lanes and one passing lane for valet drop-off at the hotel, and the conference facility and restaurant that flank both sides of the Main Building.

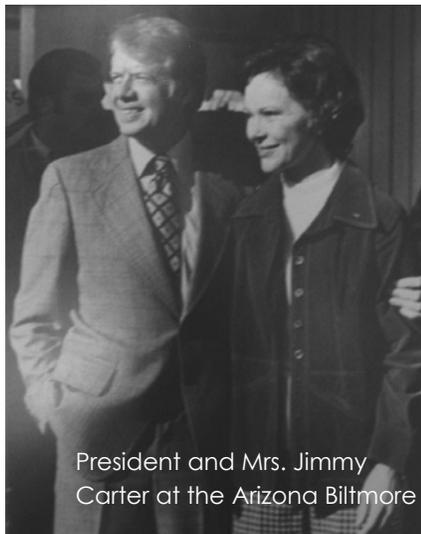


## Master Plans

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### b. Conference Facilities

A total of five conference facilities are located within the PUD Project Area. These facilities include the Conference Ballroom (D), Main Building (G), Conference Building (H), Valley Wing (Q), and Arizona Wing (R). Collectively these buildings are expected to provide slightly more than 113,000 square feet of space at buildout. The majority of the conference space is located in the central and western portions of the PUD Project Area such that they can be served by valet, and adjacent above and below ground parking facilities. Additional conference space, to serve smaller groups, is located to the northeast of the PUD Project Area within the Arizona and Valley Wings and Terrace Court.

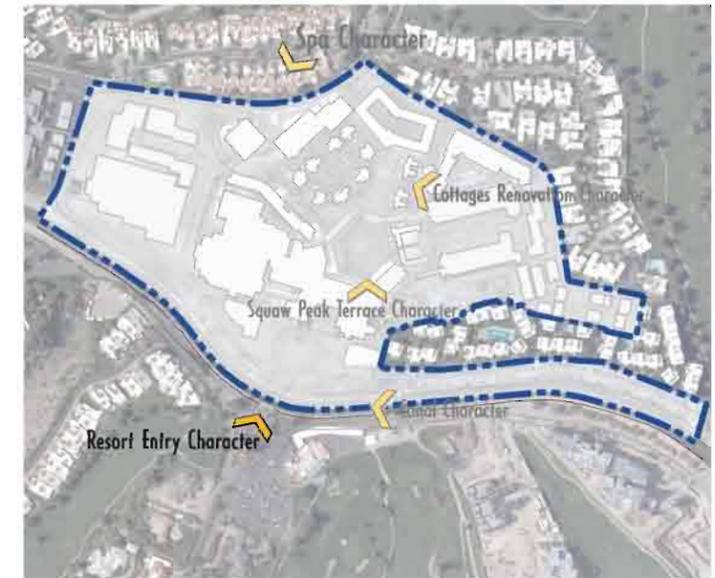


President and Mrs. Jimmy  
Carter at the Arizona Biltmore



Resort Entry Character

Key Map



Revised: 6.15.09  
 Revised: 2.23.09  
 Revised: 10.8.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
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North Scale: Not to Scale Figure  
19

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# Master Plans

## c. Dining

A total of five restaurants within the PUD Project Area will provide a full complement of dining experiences for both Resort guests and visitors. These restaurants are expected to total approximately 25,000 square feet of space are located in the Main Building (G), Restaurant (I), and Cabana Club (U). The Main Building includes both Wrights and The Grille, which provide an informal and formal dining experience, respectively for hotel guests and visitors. The new Restaurant is envisioned as a signature experience catering to both guests and visitors. It will be located at the entry drive just south of The Grille and will include a second story roof deck for additional indoor and outdoor dining, especially during spring and fall seasons. The Cabana Club is a smaller restaurant which serves the Paradise Pool patrons.

## d. Lodging

A total of 15 buildings within the PUD Project Area contain guest rooms, which will total nearly 1,200 upon full build out. The inventory of rooms at full build out within each building ranges from 15 to 122, as shown below in **Table 6, Lodging Buildout Data**.

**Table 6  
Lodging Buildout Data**

Building Letter	Name	Potential Keys
A	West Addition (New) 2030	80
B	North Addition (New) 2030	80
C	South Addition (New) 2030	80
D	Conference/Ballroom (New) 2030	69
F	Spa Wing South (New)	122
G	Main Building (Existing)	92
J	Cottages (Rehabilitation)	32
K	Spa Wing North (New)	75
L	Terrace Court (Existing)	107
N	Garden Wing (Rehabilitation)	16
P	Paradise Wing (Existing)	89
Q	Valley Wing (Existing)	118



## Master Plans

R	Arizona Wing (Existing)	119
S	Paradise Wing Addition (New; North & South)	85
<b>Sub Total</b> (Hotel Room Keys)		<b>1,164</b>
T	Casa keys	<b>40</b>
<b>Total Room &amp; Casa Keys</b>		<b>1,204</b>

The existing buildings that will continue to provide rooms within the resort campus include the Main Building (G), Terrace Court (L), Paradise Wing (P), Valley Wing (Q), and Arizona Wing (R). The existing buildings that contain guest rooms that are slated for partial or substantial revitalization include the Cottages (J) and Garden Wing (N). The revitalization of the cottages (J) will result in a loss of 22 keys. The revitalization of the Garden Wing (N) will result in a loss of (9) keys. The improved Cottages are shown on **Figure 20, Cottages Revitalization Character**.

The Spa Wing South (F), Spa Wing North (K), and Paradise Wing Addition (S) are programmed to be constructed in 2010, adding a total of 282 rooms to the existing hotel inventory. Their development will remove one cottage structure, the maintenance building and two tennis courts.

The West Addition (A), North Addition (B), South Addition (C), and Conference/Ballroom (D) are envisioned to provide approximately 309 new rooms on the west side of the resort campus, subsequent to 2010. These buildings will replace the existing parking structure, which will be relocated underground within the Conference/Ballroom (D).

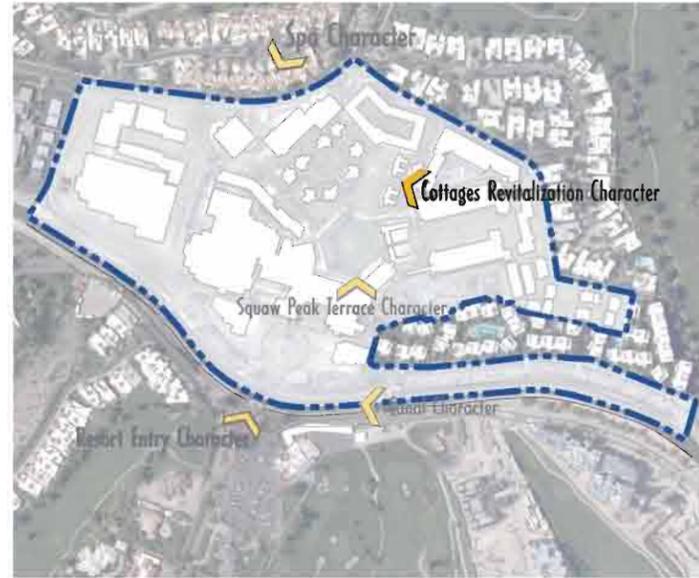
### e. Spa/Fitness

The existing spa, located south of the Paradise Wing will be relocated and expanded. Currently comprising approximately 8,000 square feet, the new Spa will be located to the northern portion of the PUD Project Area and expanded to approximately 35,500 square feet as shown on **Figure 21, Spa Character**. The fitness center will be relocated to the Garden Wing (M) and is envisioned to include approximately 2,000 square feet. The salon will also be relocated to the new Spa building.



**Cottages Revitalization Character**

Key Map



Revised: 6.15.09  
 Revised: 2.23.09  
 Revised: 10.8.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
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North Not to Scale Figure 20

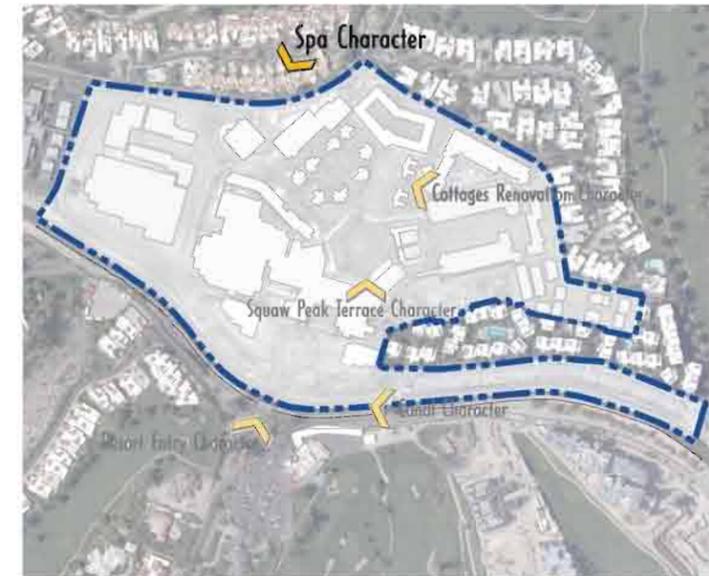
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Spa Character

Key Map



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North Not to Scale Figure 21

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## Master Plans

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### f. Residential

The inclusion of a nominal amount of additional residential for-sale units is also programmed into this land use master plan. These buildings are comprised of a total of 40 keys. The casasa have been conceptually planned to be located directly above the underground parking structure. The casasa would replace the existing six tennis courts within the PUD project area and are slated for development in 2010. The buildings have been carefully oriented toward an interior linear courtyard and provide a compatible residential edge with the adjacent Biltmore Gates residential units, as shown on Figure 17A. The applicant would like to retain the option of considering additional lodging (guest rooms) use in the event the market is stronger for lodging rather than for-sale residences.

### g. Retail

A total of two retail venues have been provided within the PUD Project Area. These include the Main Building (G) and the Garden Wing (O). The existing uses in the Main Building are not expected to change, while the retail in the Garden Wing will occupy renovated space. Collectively these venues total approximately 5,000 square feet of space and provide a wide variety of goods and services to accommodate the needs of the resort guests. These uses have been centrally located within the resort campus to offer equi-distant proximity for guests throughout the property.

### h. Office

The provision of office use within the PUD Project Area primarily supports the operation of the resort, but may also include other supportive uses (see Development Standards Chapter in Volume II). The existing office use comprises approximately 16,000 square feet and is accommodated within the Main Building (F). A nominal amount of office space is conceptually programmed for the Conference/Ballroom (D) and may include approximately 1,000 square feet of space.

### i. Open Space

A series of enhanced open spaces has been identified throughout the property. The landscape area adjacent to the Biltmore Promenade and Arizona Canal has been significantly increased and enhanced to showcase the grand arrival into the property, see **Figure 22, Canal Character**. The reflecting pool provides a formal welcoming



## Master Plans

gesture at the entry to the Main Building and provides contrast for the notable building facade.

Numerous function lawns are located adjacent to convention/ballroom facilities, dining venues at major circulation paths, and historic open spaces like the Squaw Peak Terrace as shown on **Figure 23, Squaw Peak Terrace Character** to accommodate a variety of sizes and types of outdoor resort-related activities throughout the year. The transformation of the hexagonal lawn includes terraced seating, stage facilities, and adjacent seating with a fireplace. The open spaces located between the Paradise Wing (P) and Valley Wing (Q) and south of the Terrace Court (L) are planned as functional lawns.

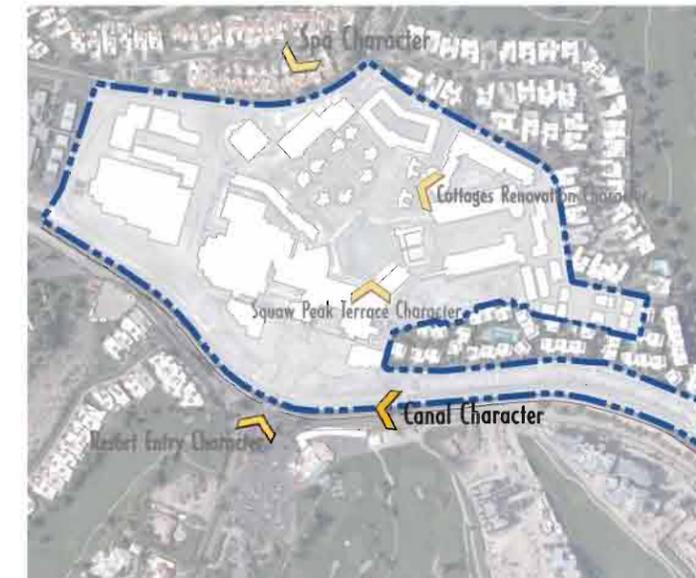


The existing active recreational uses within the resort campus have been reviewed for their long term contribution to the stock of resort amenities. Ultimately, all of the existing tennis courts will be replaced. A pool for spa and cottage guests is located in the central courtyard. Additional pools and water features punctuate the newly defined axis at the Spa and Terrace Court.



**Canal Character**

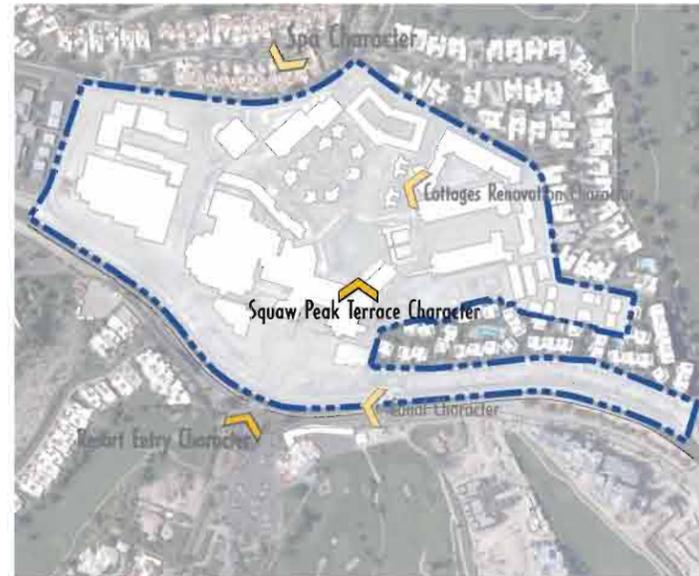
Key Map





Squaw Peak Terrace Character

Key Map



Revised: 6.15.09  
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 Project #: 0811

North Not to Scale Figure 23

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## Master Plans

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### j. Parking

One of the critical challenges to be addressed in this PUD includes the provision of adequate parking to accommodate the mix of resort guests and visitors and employees. A thorough quantification of existing and augmented land uses and transportation mode split/parking demand by use have been accomplished to set a solid foundation to quantify the realistic parking demand for the anticipated buildout of the resort campus identified in the Land Use Master Plan. The analysis of existing on and off-site parking has been accomplished and augmented with appropriate additional below grade structured parking and at-grade parking to provide ample, well located and functional ingress/egress and parking circulation within the resort campus. A parking management model is also proposed to provide a cogent parking demand, location and access strategy to resolve all parking related issues with this planned unit development.





# Master Plans

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## 2. Sustainability Framework Plan

The Ownership Group and operator of the Arizona Biltmore Resort & Spa support both operational and development practices that contribute to a sustainable environment. Currently the Resort's goal is to be the leader of Arizona resorts in environmental consciousness and is implementing the following operational practices that reduce the use of, or enhance, our natural resources:

### a. Grounds

- Utilize energy efficient systems whenever possible
- Consider purchasing lowest available emission equipment
- Maintain water systems and programming efficiency
- Use non-potable resources for watering whenever possible

### b. Housekeeping, Public Areas and Front Office

- Offer water saving options for sheets and towels in guestrooms
- Use environmentally friendly cleaning products whenever possible
- Retrofit and/or specify low-flow toilets and shower heads
- Retrofit and/or specify compact fluorescent bulbs and fluorescent overhead lighting
- Utilize paperless check-in/check-out for guests
- Recycle guestroom keys

### c. Banquets and Food & Beverage

- Purchase food from local and organic growers
- Reuse containers for beverages, food and condiments whenever possible
- Recycle cooking/Fryer oil for processing into diesel fuel

### d. Trip Reduction Programs

- Carpooling and offer preferred parking stalls
- Foster trip reduction through alternative transportation (walking, biking, carpooling, bus and Hybrid cars)
- Continue to offer free bus passes to employees

Additional measures have been planned in order to create the most efficient and environmentally friendly operation possible.

For new development, redevelopment or renovation, the Ownership Group and operator are committed to furthering their mission in a more sustainable manner. To that end, they support the following principles:



## Master Plans

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- Conserve natural resources
- Strive for a climate neutral building
- Create places of health and well-being
- Design with flexibility to maximize building lifespan
- Pursue integrated design solutions
- Utilize renewable energy sources

The Ownership Group is committed to the concepts of Green Building in its ability to foster a sustainable hotel and resort. Green Building is a voluntary design and construction practice that promotes the economic health and well being of families and communities through responsible environmental design standards. The ability to meet these standards can be achieved through several types of application and rating processes, including the Leadership in Energy and Environmental Design (LEED). The Spa (E) is being designed and developed to the LEED certification process with the remaining buildings designed and developed using the principles of sustainable design organized into the ten categories identified below. To further the Ownership Group's commitment the underlined principles have been implemented through Design Review guidelines in Volume II of the Arizona Biltmore PUD, Chapter A Design Guidelines and Standards (under separate cover).

### e. Site Development Principles

- Apply sustainable site planning which utilizes ecological, infrastructural, and cultural characteristics of the site in order to integrate the building and the land.
- Encourage optimum use of natural/existing features in architectural and site design, such that building energy use is diminished and environmental degradation is minimized.
- Utilize or slightly modify existing topography to optimize thermal mass, minimize heat gains and direct sheet water flow away from the building.
- Leverage the existing physical features of the building site and microclimate to reduce heating and cooling loads, thereby reducing overall energy consumption demand.
- Maximize onsite storm water management through landscaping and pervious pavement.
- Reduce the size of the building footprint where possible.
- Orient the building to maximize north and south building exposure.
- Design the building facades to maximize passive solar opportunities in the winter and shade in the summer (as shown on **Figure 24, Sun/Shade Study.**



## Master Plans

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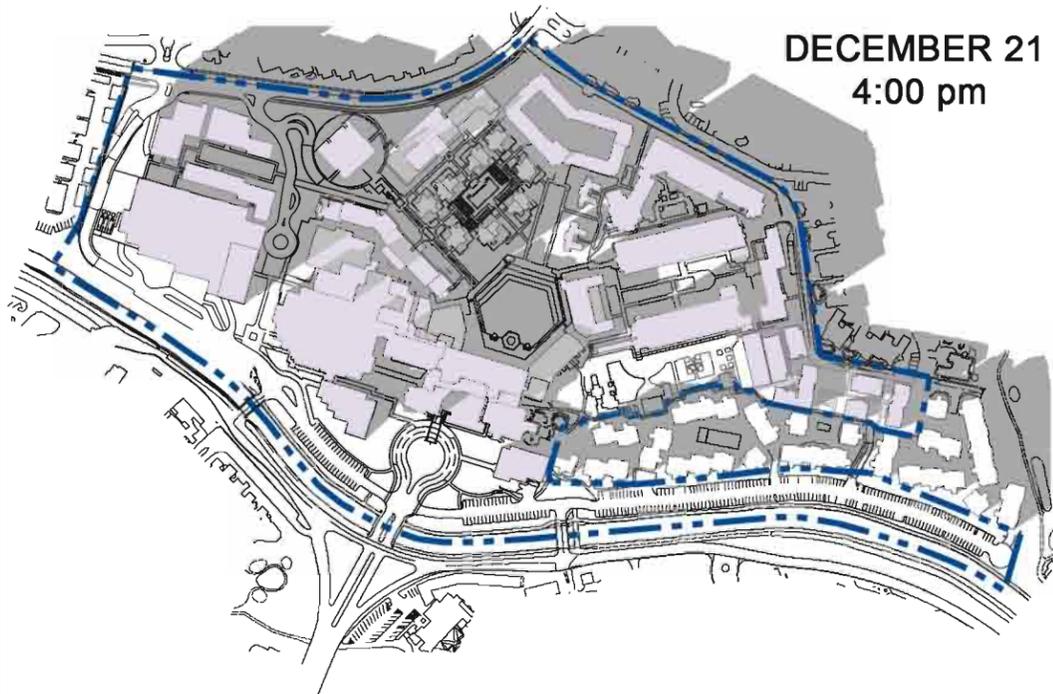
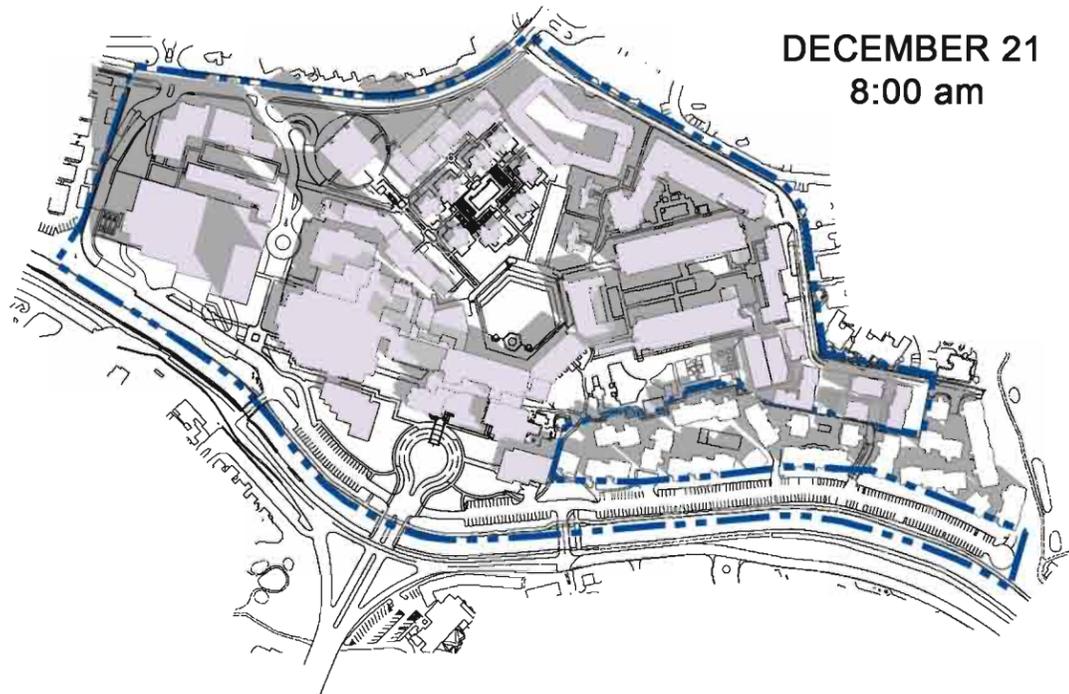
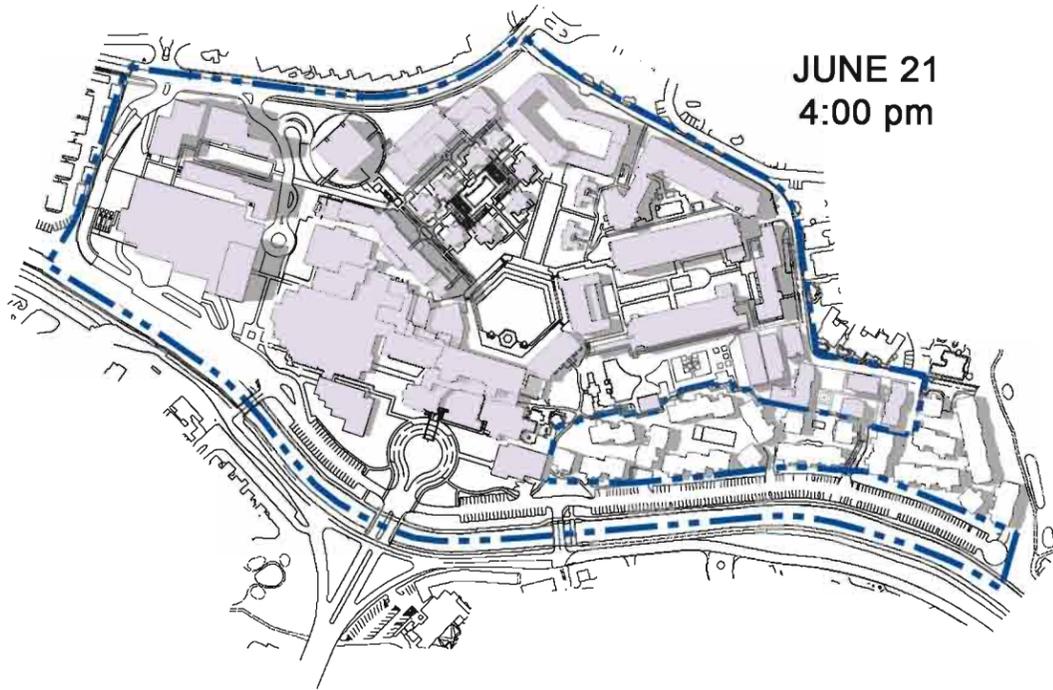
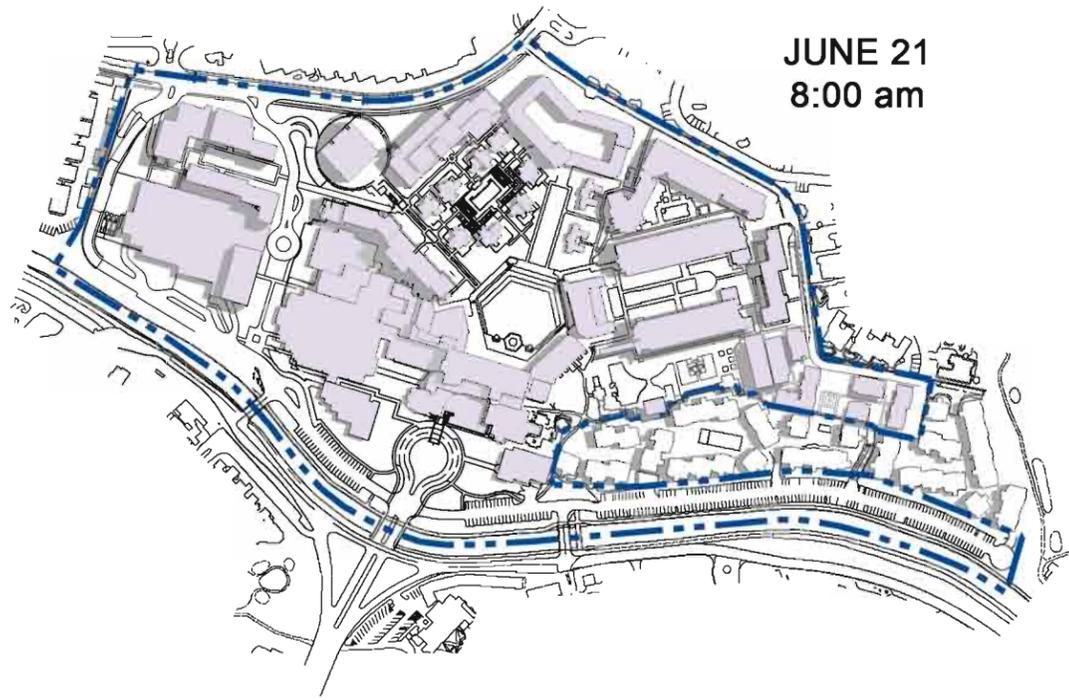
- Orient the building to minimize thermal loss due to infiltration.
- If appropriate, use prevailing winds for natural ventilation.
- Carefully consider the placement of existing and proposed deciduous and evergreen trees on site. When practical, locate so that deciduous trees block summer sun to the south and west of the building and evergreens block winter wind on the north face of the building.
- Reduce the need for automobile use through the provision/partnering to provide other forms of non-vehicular transportation
- Design for easy pedestrian, bicycle, and transit access.

### f. Landscape Principles

- Design the surrounding landscape to create comfortable microclimates and reduce heat island effects.
- Limit site impacts, balance cut and fill, preserve existing vegetation and protect soil during construction.
- Use drought tolerant plants (xeriscape) that create shade, provide habitat for indigenous species, and do not require pesticides.
- Use water-conserving landscape technologies such as drip irrigation, moisture sensors, and watering zones.
- Use pervious paving where possible
- Reduce landscape water waste by maintaining the irrigation system, reprogramming seasonally and irrigating at appropriate times during the day

### g. Waste Reduction and Management Principles

- Renovate existing buildings where possible to enhance functionality without tearing down and rebuilding
- Deconstruct existing buildings for materials reuse (salvage) on or off-site where possible.
- Recycle construction and demolition waste
- Specify rapidly renewable materials
- Design buildings for durability and eventual reuse
- Provide adequate space for storing and handling recyclable materials.



**Sun/Shade Study**



# Master Plans

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## **h. Materials and Construction Principles**

- Use as many local materials in the construction of the building as possible.
- Evaluate regional vendors for materials to reduce transportation and packaging
- Consider the reuse of natural and existing resources
- Use reclaimed or salvaged lumber where possible
- Use prefabricated forms or save and reuse wood form boards where possible
- Promote the use of recycled content in new building materials
- Use sustainable materials to make concrete where possible.
- Use recycled aggregate in non-structural concrete where possible.
- Use appropriate intervals, sizes and modular dimensions that minimize lumber use and optimize performance.
- Use engineered lumber or metal stud framing to replace solid-sawn lumber where possible.

## **i. Exterior Building Treatment Principles**

- Use durable roofing materials (roofing can be considered durable if it has a life span of 40 years or more).
- Use a cool roof-one that reflects a significant amount of radiant heat.
- Use sustainable siding materials where possible.
- Use sustainable decking materials where possible. Typical decking is made of durable woods that are endangered – particularly redwood – and that are generally not harvested in a sustainable manner. Plastic lumber (which contains recycled high density polyethylene, not PVC) and plastic-wood hybrid lumber are sustainable substitutes for decking.

## **j. Windows and Door Principles**

- Minimize heat gain and glare on west and east sides of buildings through lower window to wall proportions.
- Provide shading on east, west and south windows with overhangs, awnings, or deciduous trees. Locate windows and skylights, light shelves, and window treatments to provide daylight that naturally illuminates indoor environments.
- Consider higher performance glass to reduce thermal loss/gain.
- Choose window sizes, frame materials, and glass coatings to optimize energy performance.
- Stop air leakage at doors and windows.



# Master Plans

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## **k. Plumbing Principles**

- Use water-conserving plumbing fixtures.
- Use water-saving appliances and equipment.
- Consider Insulating hot and cold water pipes.
- Use heat recovery equipment, tank-less water heaters and/ or on-demand hot water circulation pumps.
- Pre-plumb for future gray water use for toilet flushing and landscape irrigation.
- Use sustainable materials for pipes.

## **l. Electrical Principles**

- Design lighting levels for actual use, and use task lighting to reduce general lighting levels.
- Use energy-efficient lamps and lighting fixtures.
- Use lighting controls that save energy such as occupancy sensors.
- Use ENERGY STAR® appliances.
- Use a building energy management system.
- Meet American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE)/Illuminating Engineering Society of North America (IESNA) 90.1-2001 or local energy code whichever is more stringent.

## **m. Heating and Cooling Principles**

- Seek energy load minimization through Building Systems Integration: In the design phase, assess the interactions between the HVAC equipment and other related systems, such as lighting, office equipment, fire protection, security, etc. Determine optimum operating modes for each system.
- Use passive solar design, thermal mass, and insulation to reduce space heating needs.
- Augment air conditioning with natural ventilation and passive cooling.
- Use ceiling fans for comfort cooling, where appropriate.
- Use high-efficiency equipment, including furnaces, boilers, fans, and pumps.
- Use heat recovery equipment.
- Use geothermal systems, cogeneration, or other alternatives for heating and cooling.
- Place ductwork within conditioned space, seal joints properly, and clean before occupancy.
- Zone the mechanical system for balanced and efficient heating and cooling.
- Use radiant and hydronic systems for increased efficiency, health and comfort.



## Master Plans

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- Use equipment without ozone-depleting refrigerants.
  - Use recycled-content, formaldehyde-free fiberglass insulation, cellulose insulation, or other green insulation products.
- n. Interior Environmental Quality Principles**
- Provide daylighting whenever possible
  - Use low-emitting materials such as low- or no-VOC carpets, furniture, particleboard and cabinetry.
  - Use sustainable materials for flooring, trim, and interior surfaces.
  - Use recycled-content floor tile, carpets and pads, cabinets, countertops wherever possible.





# Master Plans

### 3. Conceptual Phasing Master Plan

Two development phases are proposed for the incremental renovation, redevelopment and development of the Arizona Biltmore Resort & Spa PUD. These two phases will utilize a near (Year 2010) and long term (Year 2030+) to implement the master plan program of the property owners as shown on **Figure 25, Conceptual Phasing Plan**. The Conceptual Phasing Master Plan is tentative. It is intended to demonstrate the planned sequence of resort renovations and new construction over time. It is not intended to set regulatory constraints on the sequence of development affiliated with this PUD.

The first phase will focus on activities east of Godown Road. Development will include the full range of renovation of existing buildings that exhibit a historic context that is identified as important to retain, redevelopment of selected sites where the new buildings achieve master plan objectives, and new development that leverages vacant or underutilized sites on the property. The second phase will focus on redevelopment of existing non-historic structures in an effort to achieve enhanced efficiencies of use and where a more friendly and accommodating development edge can be implemented adjacent to existing owner-occupied residential uses. The anticipated incremental development of each phase is shown on **Table 7, Phased Development** to quantify the projected absorption of near and long term development.

**Table 7  
Phased Development**

Phase	Year/Development Type	Buildings
	Existing Development	G, L, P, Q, R, U
1a	2010 Revitalization/Redevelopment	E, F, J, K
1b	2010 New Development	S, T
1c	2010 Revitalization/New Development	H, I, M, N, O
1d	2010 New Development	Resort Entry
2a	2030 Redevelopment	A, B, C, D

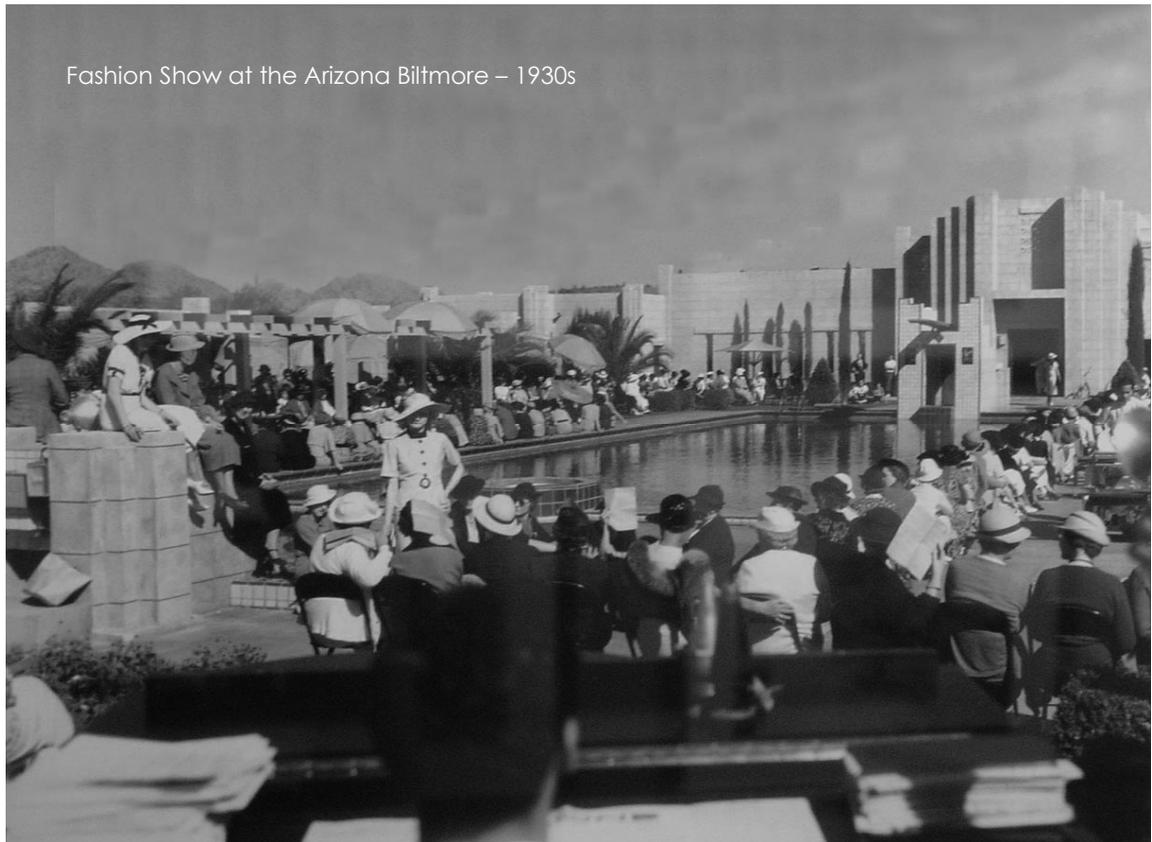
It is estimated that the buildout of the Arizona Biltmore Resort & Spa PUD will occur over an approximate 20-25 year timeframe. Even though the information on Table 7 is forecasted herein, the ultimate phasing of the Arizona Biltmore Resort & Spa PUD will ultimately respond to the growth in

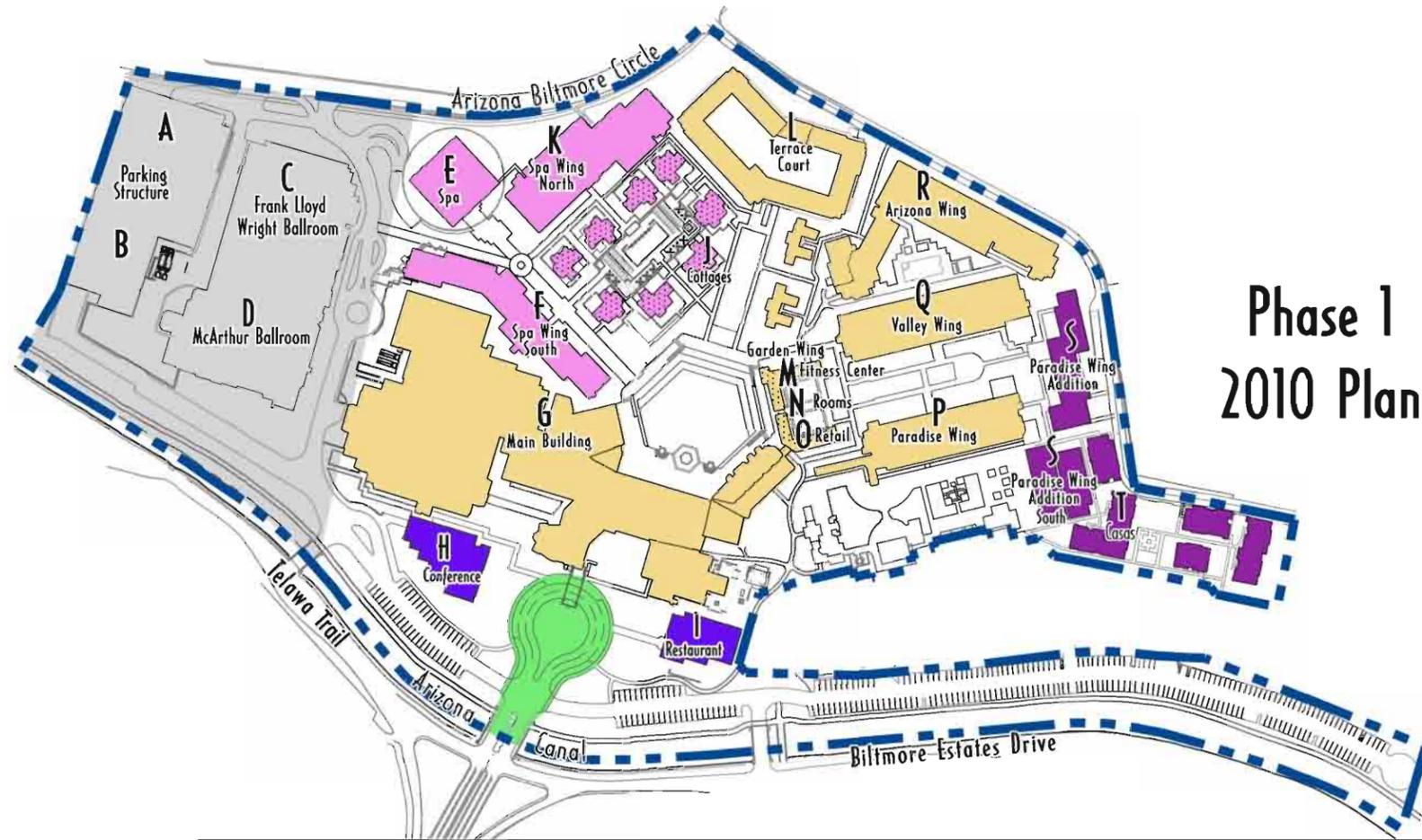


## Master Plans

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tourism and visitation within the Phoenix Metropolitan Area, the ability to finance improvements based on the availability of capital, and the approval of the resort owners to undertake such development and infrastructure improvements at a particular time.



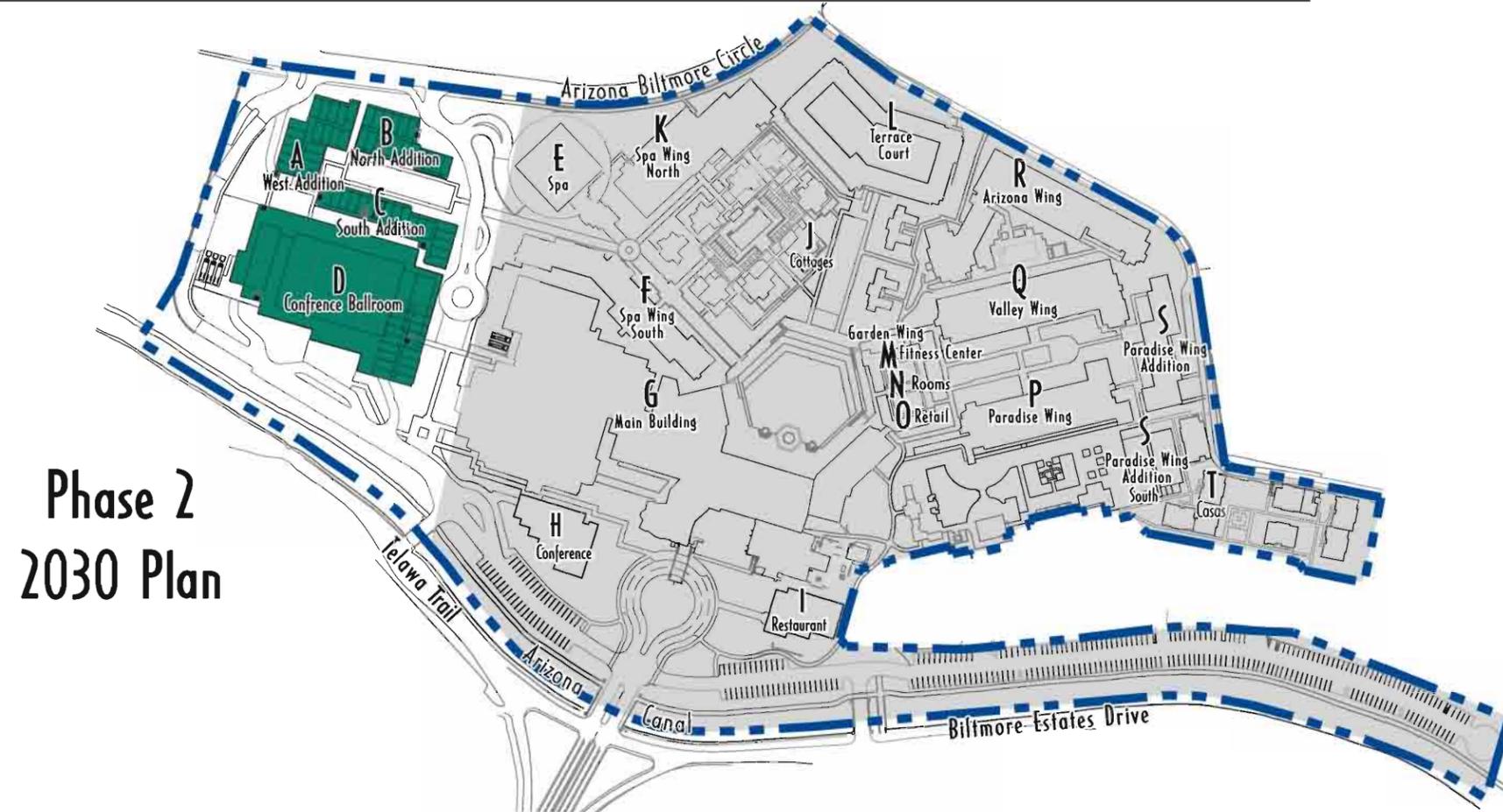


**Conceptual Phasing Plan**

PHASE 1 - 2010			
Phase	Building	Name	Bldg. Status
1a	E	Spa	New
	F	Spa Wing South	New
	J	Cottages	Revitalized
	K	Spa Wing North	New
1b	S	Paradise Wing Addition	New
	T	Casas	New
1c	H	Conference	New
	I	Restaurant	New
	M	GW/Fitness Center	Revitalized
	N	GW/Rooms	Revitalized
	O	GW/Retail	Revitalized
1d	--	Resort Entry	New

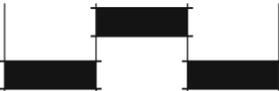
PHASE 2 - 2030			
Phase	Building	Name	Bldg. Status
2a	A	West Addition	New
	B	North Addition	New
	C	South Addition	New
	D	Conference/Ballroom	Redeveloped

-  Revitalization of Existing Building
-  Existing Building
-  PUD Project Boundary



Source: LVA Urban Design Studio, October 2008

Revised: 6.15.09  
Revised: 2.23.09  
Revised: 2.9.09  
Revised: 10.8.08  
Revised: 7.3.08  
Revised: 6.26.08  
Date: 6.20.08

North  Not to Scale  Figure **25**

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# Master Plans

## Building Development Summary by Phase

This summary is based on the master plan programming of the 21 buildings/enclaves within the Arizona Biltmore Resort & Spa by phase, as identified previously. Both primary phases (2010 Plan and 2030 Plan) will include below grade, structured parking to adequately support its incremental and build-out development program. Each phase and the anticipated program for the development of each building/enclave is summarized on **Table 8, Land Use Development Status by Phase** below:

**Table 8**  
**Land Use Development Status by Phase\***

Phasing	Residential (Gross Sq Ft)	Lodging (Gross Sq Ft)	Spa/ Fitness (Gross Sq Ft)	Conference (Gross Sq Ft)	Support (Gross Sq Ft)	Dining (Gross Sq Ft)	Retail (Gross Sq Ft)	Office (Gross Sq Ft)
Existing	0	298,560	7,900	104,300	246,700	16,530	4,300	16,370
2010	34,030	483,970	32,820	113,400	271,350	24,970	5,115	10,220
2030	34,030	688,260	32,820	113,400	260,550	24,970	5,115	11,220

Source: Gensler and LVA Urban Design Studio, June 2008

Note: \* Square footage is approximate

Phase One will consist of the Underground Parking, Spa North, Spa south, Casitas and Spa and will be the first initiative to be implemented. This phase provides the most significant opportunity to reposition the resort, improve its long-term sustainability and improvements to the guest experience. Future phasing is purely market and economically driven and construction phasing will be consecutive but not continuous. A break between each construction phase, typically not less than one year, is anticipated in order to be sensitive to the guest experience and the financial performance of the resort due to the construction disruption.

**a. Existing (Buildings G, L, P, Q, R, and U)**

A total of six buildings will remain in their existing condition within the PUD Project Boundary. These buildings include the Main Building (G), Terrace Court (L), Paradise Wing (P), Valley Wing (Q), Arizona Wing (R), and Cabana Club (U). These buildings will collectively include approximately 523,260 square feet of space.



## Master Plans

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**b. Phase 1a-2010 Revitalization and Redevelopment (Buildings E, F, J, & K)**

Phase 1a includes both the revitalization of an existing enclave and the redevelopment of three buildings. The Cottages (J) will be revitalized. The redevelopment in this phase will bring three new buildings including the Spa (E), the Spa Wing South (F), and the Spa Wing North (K). These buildings will collectively include approximately 209,120 square feet of space. The construction of this phase is estimated to take between 18 and 24 months and will be isolated to improvements within the northwest quadrant of the Resort property.

**c. Phase 1b-2010 New Development (Buildings S and T)**

Phase 1b will generally include the construction of two new buildings. These include the Paradise Wing Addition (S) and the Casas (T). These buildings will collectively include approximately 94,300 square feet of space. The construction of this phase is estimated to take between 18 and 24 months and will be isolated to improvements within the eastern portion of the Resort property.

**d. Phase 1c-2010 Revitalization & Redevelopment (Buildings H, I, M, N, & O)**

Phase 1c will generally include the construction of two new buildings and the revitalization of the Garden Wing (M,N, and O). The new buildings include the Conference (H) and the Restaurant (I). The revitalization of the Garden Wing includes a fitness center (M), lodging (N), and retail (O). These buildings will collectively include approximately 31,700 square feet of space. The construction of this phase is estimated to take between 18 and 24 months and will be isolated to improvements within the southern portion of the Resort property.

**e. Phase 1d-2010 New Development (Resort Entry)**

Phase 1d will include the Resort Entry. The new entry boasts a circular reflecting pool lined with flowering trees, two drive lanes and one passing lane for valet drop-off at the Resort. This phase is reliant on agreements with the Salt River Project, the Flood Control District of Maricopa County and the City of Phoenix. The construction of this phase is estimated to take between 6 and 12 months and will be isolated to improvements within the Arizona Canal right-of-way and the southern portion of the Resort property.



## Master Plans

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**d. Phase 2a-2030 ReDevelopment (Buildings A, B, C and D)**

Phase 2 will include a total of four buildings located on the west side of Godown Road. These include the West Addition (A), North Addition (B), South Addition (C) and Conference/Ballroom (D). These buildings will collectively include approximately 311,980 square feet of space. The construction of this phase is estimated to take between 18 and 24 months and will be isolated to improvements within the western portion of the Resort property.

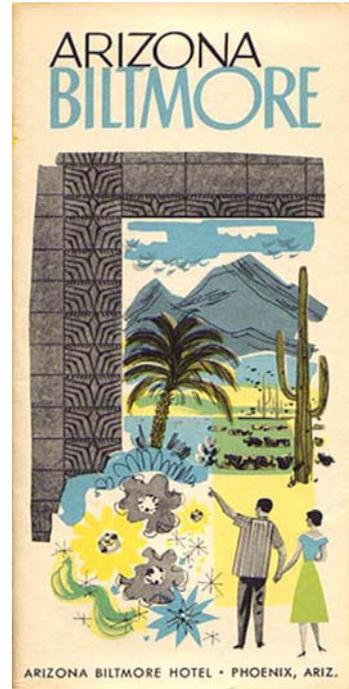


# Master Plans

## 4. Historic Preservation Master Plan

### a. Approach

The Historic Preservation vision which guides the development of this element of the PUD master plan is the preservation of the significant historic buildings, structures, objects and cultural landscapes of the Arizona Biltmore Resort while allowing the evolution and growth of the complex to continue. Of significance is not only the physical features of the hotel complex but also the way visitors have historically experienced the site. The goals which the master plan seeks to attain are to: (1) preserve the historic fabric of buildings and structures and the pattern of their arrangement which has historically distinguished the complex as a “Jewel in the Desert” and contributes to the visitor’s experience; (2) maintain through visual connections the historic relationship of the resort to its remaining desert mountain surroundings and (3) maintain its distinctive identity as an oasis in the desert and; (4) strives to minimize the impact of new construction on the historic building core.



In the development of the HP Master Plan the *Secretary of the Interior's Standards for Preservation Planning* have been employed. These standards are utilized nationwide in the professional practice of historic preservation. The preservation planning undertaken for the historic properties of the Arizona Biltmore is based upon the following applicable principles and guidelines:

- Important historic properties cannot be replaced if they are destroyed. Preservation planning provides for the continued use of these properties, preserving them in place and avoiding harm through alterations and destroying properties only when unavoidable.
- If planning for preservation is to be effective, it must be undertaken in advance of proposed changes to historic buildings



## Master Plans

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and area. To make responsible decisions about historic properties, existing information must be used to the maximum extent and new information acquired as needed.

- The planning process should provide a forum for open discussion of preservation issues. Public involvement is most meaningful when it is used to assist in defining values properties and preservation issues rather than limited review of decisions already made.
- Decisions about the significance and the importance of preserving a historic building or area should not be made in isolation. It should be done with an understanding of historic contexts, that is, those influences that have shaped the historic development of the community in which it is located. It also takes into account an understanding of similar properties that illustrate the applicable historic contexts and the properties' relative importance.
- Preservation planning uses historic contexts to develop goals and priorities for the treatment of historic properties.
- It is recognized that preservation planning is just one element of larger planning processes and that the planning results and associated documents must be transmitted in a usable form to those responsible for other planning activities and development review procedures.
- Preservation planning must include an explicit approach to implementation, a provision for review and revision and a mechanism for resolving conflicts between preservation and larger community goals.

### **b. Summary History and Evolution of the Arizona Biltmore Resort & Spa**

During the 1920s, with the expansion of the tourism industry nationwide, Arizona and the "Valley of the Sun" became a popular destination for visitors attracted by the warm climate, the beauty of the desert landscape and the rustic charm of the "Wild West." The Arizona Biltmore was one of several hotel complexes to be established to cater to the tourists, opening on February 23, 1929. The architect of record for the project was Albert Chase McArthur, a Harvard educated licensed architect and brother of the initial investors in the project. However, the distinctive architectural design of the complex is attributed by many to be Frank Lloyd Wright who worked for four months in 1928 as an on-site consultant to McArthur to develop the textile "Biltmore Block," a masonry unit that was a part of the historic construction of hotel and cottages. Wright used a similar block design on several residences he designed in Los Angeles in the



## Master Plans

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early 1920s. Although the design and construction drawings were stamped by McArthur, Wright publically took credit for the design. Further evidence that Wright had a more prominent role is the fact that the designs of the spaces within the complex exhibit the hallmarks of Wright's distinctive style and philosophical approach to the creation of organic modern architecture.

From the outset, the Resort's building forms, massing and arrangements were complex. Originally the resort consisted of a main hotel building, visually prominent because of its height and projecting elements, with lower scale projecting wings. Thirteen one and two-story cottages to the rear of the main hotel provided larger accommodations for families. Expansive lawns and gardens created an oasis-like setting, although the plant palette changed from cactus and citrus to more exotic plantings over time. A nearby stable offered horse-riding opportunities for the guests and pink sidewalk linked the buildings and provided access from the hotel to the surrounding desert mountains. After William Wrigley, Jr. took over full ownership of the property in 1930, additional amenities were added. The Cowboy Bunkhouse and the Catalina Pool opened in the 1940s. During the 44 year tenure of the Wrigley family operation of the resort, it became world renowned, attracting celebrities, captains of industry and other famous travelers. In 1962, air conditioning was put in service. In 1969 a grand ballroom was designed for the facility by Flatow, Moore and Byran Architects, who were noted architects of the period from New Mexico.

In May of 1973, the Wrigley family sold the hotel to Talley Industries which closed the complex for the summer to undertake renovations. During the installation of a new sprinkler system a welding torch set off a fire which destroyed many of the interior spaces of the main hotel and caused tremendous water damage. Understanding the importance of this landmark to Phoenix and Arizona, the new owners committed to completing the needed repairs within 90 days and opening on schedule for the hotel's regular winter season. Through a partnership among Talley Industries, J.R. Porter Construction Company and Taliesin Architects, this feat was accomplished in a record 82 days using three separate construction crews who worked around the clock. As in 1929, the Biltmore Block was molded on-site in the original pattern. Later in the 1970s, Talley industries also added two wings to the east of the main building to house additional rooms. These new buildings are virtually indistinguishable from the original



## Master Plans

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construction because of their complex massing and forms and high quality masonry construction.

The property changed hands twice in the 1970s and 1980s. During this time additional guest rooms were added with the construction of Terrace Court building. Also the ballroom and convention facilities of the main building were expanded. Although similar in form and features of the earlier buildings, the construction materials of the 1980s buildings were not of the same high quality as those originally employed. In 1992 Grossman Properties, a Phoenix-based development company purchased the resort. They undertook an ambitious refurbishment of the guest room and public areas of the historic buildings. They also added to the site the Villas, a luxury residential community, and the Pavilions, a new 15,000 square foot meeting space. An eighteen hole putting course was added and the classically elegant historic pool area was replaced with the Paradise Pool featuring a 92 foot-long water slide and twenty-three cabanas. In 1998, a new 8,000 square foot spa and fitness center was completed and 120 guest rooms were added with the construction of the Arizona Wing in the northeast corner of the hotel property. With the 2003 opening of the 49,000 square foot Frank Lloyd Wright Ballroom and completion of the 14,000 square foot McArthur Ballroom, the Arizona Biltmore became the largest meeting and event venue in the state. The simple forms and stucco exteriors of the 1990s construction is a distinct departure from the architecture that distinguishes the historic buildings.

### **c. Significance and Character-Defining Features of Arizona Biltmore Resort**

Historically the complex was an assortment of buildings and spaces that was both tied to the surrounding desert environment and introduced a contrasting oasis landscape within the confines of the complex. The buildings materials and forms echoed the colors of the mountain backdrop to the north of the resort. Their complex forms with stepped and strong projecting forms resembled many of the spatial qualities found in the mountain features such as terracing and distinctive high points as well.

#### **i. Site Plan and Arrangement of Historic Buildings and Spaces**

The 1929 main building, its wings and the collection of the historic cottages are arranged in a manner so as to delineate specific places that create a series of distinct courtyards, public and



## Master Plans

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private patios, and outdoor spaces. see **Figure 26, Historic Preservation Master Plan**. This pattern was repeated in the construction of the expansion of new guest rooms in the 1970s and 1980s. Outdoor spaces are also defined by building colonnades, plantings and formal floral displays. The buildings are asymmetrical in their arrangement but elements of symmetry are found in the landscape design, notably the central lawn and gardens. Throughout the complex the arrangement creates a repeating pattern of arrival and discovery of interior and exterior spaces, often emphasized by the use of narrow and/or enclosing portals or passageways between spaces.

### ii. Scale, Form and Massing of Historic Buildings

The historic buildings both large and small in scale are distinguished by their complex massing. Geometric components, primarily squares and rectangles are combined to create numerous projecting elements on the building facades. Vertical elements including chimneys and masonry block towers provide contrast to the horizontal emphasis of the primary building construction. Complexity is further added to the buildings through the use of recessed openings and stair stepping of the different levels of the building. The stepping pattern also helps the larger buildings retain a human scale. The only use within the historic complex of a peaked roof and articulated gables gives additional visual prominence to the main building. The variation in the historic building's form, massing and proportions also contributes to the arrival and discovery experience of the resort's spaces.

### iii. Materials and Methods of Construction of Historic Buildings

As shown on **Figure 27a, Historic Architectural Features**, one of the most significant character-defining elements of the historic buildings is its masonry construction. Mathematically proportioned rectangular concrete blocks are used for both exterior and interior walls. Blocks are plain with a smooth surface and also molded in the distinctive "Biltmore Block" patterns, intended to stylize the appearance of a palm frond. The sizes of the block vary from the standard full size to the half block. The combinations of plain and patterned blocks animate the building's façade and are used in a variety of ways stylistically. The aggregate mix used in the historic construction is distinctive in its color and texture and blends visually with the desert. The crispness of the relief in patterned blocks is also noteworthy.



## Master Plans

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### iv. Architectural Features of Historic Buildings

The windows of the historic construction are primarily steel casements with divided lights. However there are a number of variations in the configuration of glazing patterns, such as the incorporation of picture windows flanked by casements, varying window size and butt-glass corner windows in the cottages. For the most part windows are set in recessed rectilinear or square openings. Doors vary according to space which they serve. Guest rooms door are solid panel wood doors that are most likely not original. The public areas of the main buildings and retail space have glass doors and storefronts. Balconies, porches, terraces enclosed half walls are found on the historic buildings throughout the complex.

### v. Trim and Detailing on Historic Buildings

Patterned block bands are used to accentuate the horizontal form of the historic buildings. Combinations of half blocks, full blocks and arrangement of the Biltmore Block are used to create a variety of subtle patterns on the exterior walls. Patterns of blocks also are used to define roof cornices, entryways and building openings.

### vi. Landscape and site features

The landscape has a distinct oasis-like character created by the use of turf, shrubbery, mature trees, formal floral gardens and plantings within pots, see **Figure 27b, Historical Contributing Features**. The vegetation is found at the building's perimeters and defines walkways. Buildings and large scale plantings define many of the distinctive outdoor spaces of the resort. Small scale art and fountains are incorporated in the landscape throughout the complex. The attention to the landscape features and amenities, as illustrated in the shrubs that have been trimmed to spell out the name of the hotel at its entrance, is one of the more important character-defining features of the resort.



**Historic Preservation Master Plan**

**Site-Based Character Defining Features**

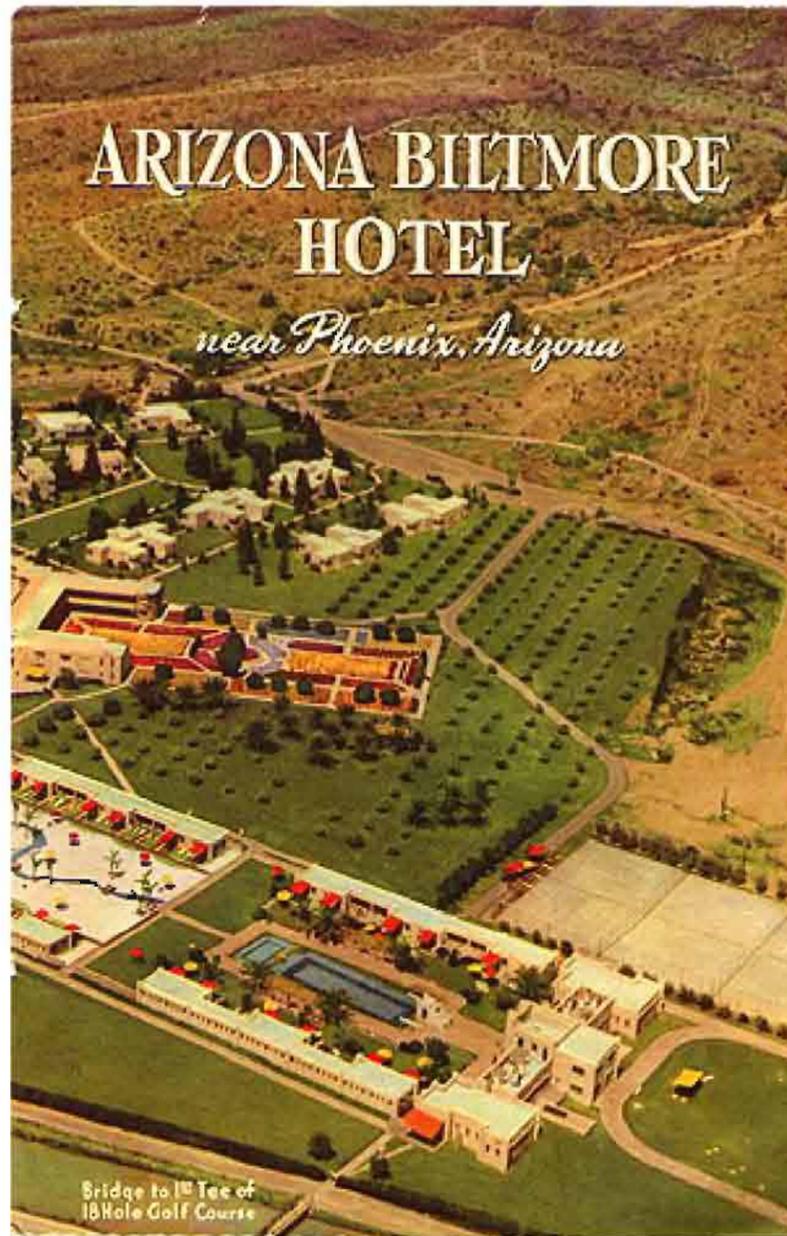
-  Historic Core Boundary
-  Main Hotel Building - Large Scale
-  Cottages - Small Scale
-  Covered Walkways
-  Outdoor Spaces
-  Lawn & Landscape - Oasis
-  Significant Trees - Palms, Pines, Euc's, Bl Brsh
-  Gardens - Formal, Flowers
-  Courtyards & Patios
-  Portals
-  Water Features
-  Public Art
-  Views In - To Historic Hotel
-  PUD Project Boundary



Historic Architectural Features



North Not to Scale Figure 27a Revised: 10.8.08  
Revised: 7.3.08  
Revised: 6.26.08  
Date: 6.20.08  
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Historic Contributing Features

North Not to Scale Figure 27b

Revised: 10.8.08  
Revised: 7.3.08  
Revised: 6.26.08  
Date: 6.20.08  
Project #: 0811

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# Master Plans

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## 5. Open Space, Paths and Trails Master Plan

Open space, paths and trails within the Arizona Biltmore Resort & Spa PUD includes plazas, function lawns, landscaped areas, decorative plantings, pedestrian ways, fountains, pools, and recreational areas. Open space can also be organized into active and passive use areas. Portions of the resort normally inaccessible to pedestrian circulation such as private streets, at-grade parking lots, driveways, service roads, and loading areas are not a part of the open space, paths, and trails inventory. Applicable open space, paths, and trails requirements are addressed in the Development Standards Section of Volume II of this PUD.

The original intent of the design of the Arizona Biltmore Resort & Spa by McArthur and Frank Lloyd Wright is predicated on its easy transition from the interior to the exterior environment. Its organization of buildings is based on strong axial lines of pedestrian paths and formal open spaces. The ability to experience the ambiance and character of the Sonoran Desert was, and continues to be a vital component in the Valley's success as a world renowned tourism destination.

### a. Open Space Master Plan

The existing inventory of open spaces within the Arizona Biltmore Resort & Spa PUD includes a mix of Function/Event Space, Recreational Amenity Space, and Common Open Space which comprises approximately 52% percent of the area within the PUD project boundary. The resort is a very desirable destination for a host of functions and events throughout the year including conferences, trade shows, regional/national corporate meetings, formal dinners, weddings and other religious related celebrations. To accommodate these many functions, the existing resort contains a variety of large and small outdoor venues that can accommodate the needs of these clients in a high quality manner as identified on **Figure 28, Open Space, Paths and Trails Master Plan**. The inventory of these major Function/Event Spaces is listed below and quantified on **Table 9, Resort Open Space**:

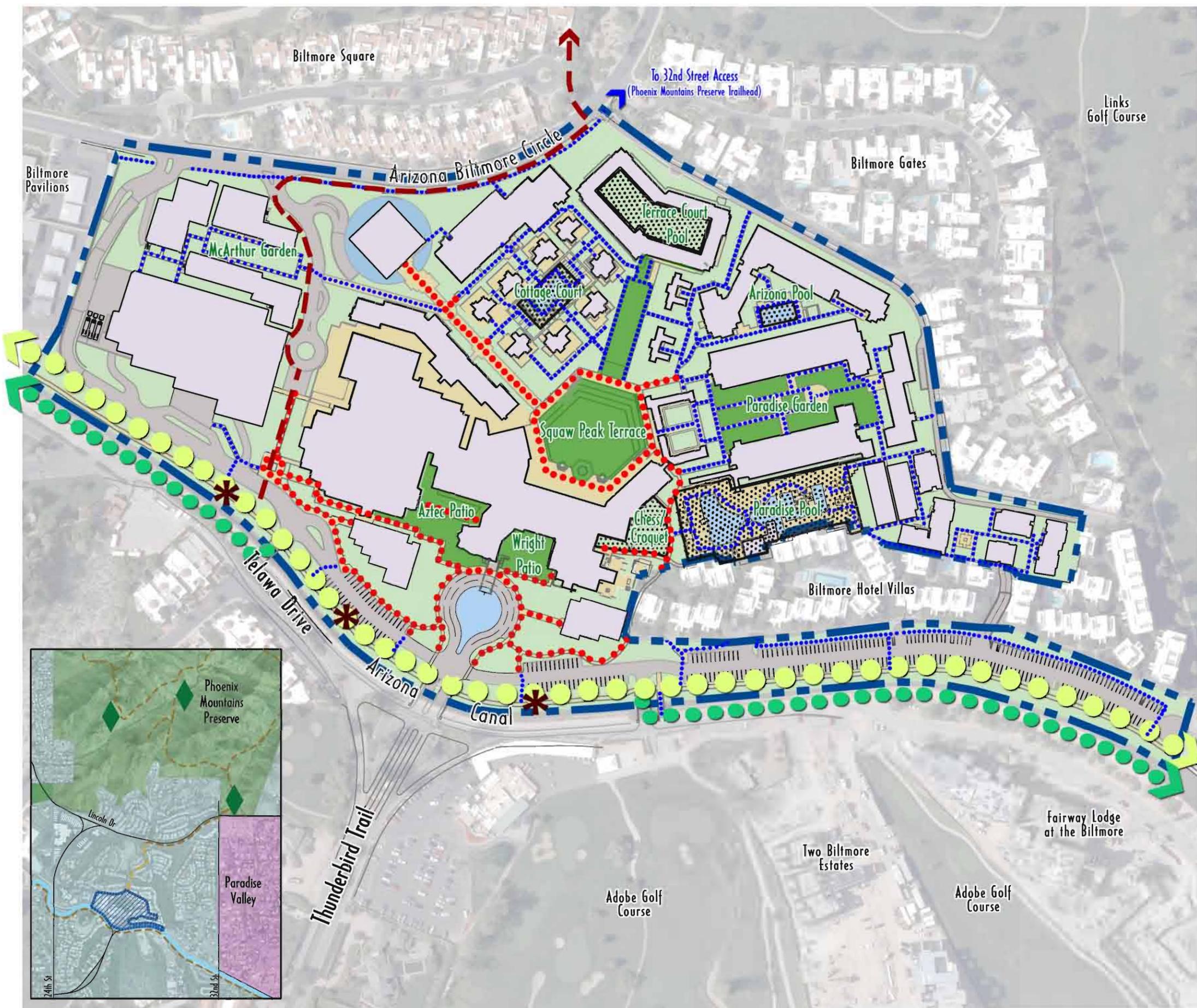
- Squaw Peak Lawn
- McArthur Garden
- Paradise Garden
- Aztec Patio
- Wright Patio



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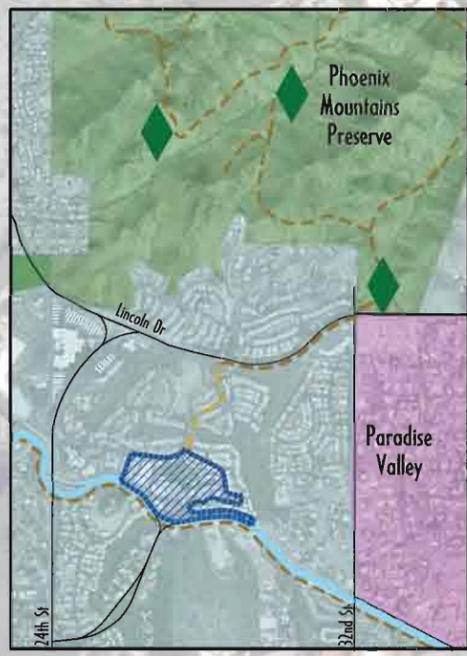
*The Waldorf-Astoria Collection™*  
**Planned Unit Development**

### Open Space, Paths and Trails Master Plan



- Open Space**
- Function/Event Space - 113,702sf 7%
  - Recreational Amenity Space - 93,510sf 6%
  - Common Open Space - 364,065sf 23%

- Paths and Trails**
- Primary Pedestrian
  - Secondary Pedestrian Paths
  - Arizona Canal Trail
  - Biltmore Promenade
  - Biltmore Promenade Viewing Decks
  - Trailhead
  - Sidewalk
  - Multi-Use Trail
  - PUD Project Boundary
  - Arizona Biltmore Estates Grand Paseo



North

Scale: 1" = 200 ft

Figure **28**

Revised: 6.15.09  
Revised: 2.23.09  
Revised: 2.9.09  
Revised: 10.8.08  
Revised: 7.3.08  
Revised: 6.26.08  
Date: 6.20.08  
Project #: 0811



# Master Plans

The Squaw Peak Lawn is an approximate 28,780 square foot venue that serves a wide variety of uses and is located to the north of the Main Building. It also is a key organizing element of the outdoor space, with its hexagonal form and radiating spines of corridors linking existing, and future renovated and new buildings throughout the resort property.

**Table 9  
Resort Open Space**

Open Space Type	Acreage	Percent
Functional/Event Space	2.61	7%
Recreational Amenity Space	2.14	6%
Common Open Space	8.36	23%
<b>Total</b>	<b>13.11</b>	<b>36%</b>

Note: Acreage is approximate.

McArthur Garden is located as the central focus for the lodging additions on the west side of the Property. It is approximately 10,191 square feet and is capable of holding moderate to large events. The Paradise Garden is the central space that links the Paradise Wing (P) and Valley Wing (Q). It is approximately 36,822 square feet and includes a formal turf space that is organized to allow for two small to moderate events to take place simultaneously at either end, or a larger event to accommodate the entire function area. The Aztec Patio is located to the west of the Aztec Room, at the south side of the Main Building (G). It is approximately 14,714 square feet and is perfect for small, intimate gatherings. The Wright Patio is located to the west of the Grille, at the south side of the Main Building (G) and accounts for approximately 8,298 square feet.

The resort also includes Recreational Amenity Space. In an effort to provide recreation opportunities for its guests, the resort has implemented a variety of active spaces, which currently include the following, but could change or be removed in the future:

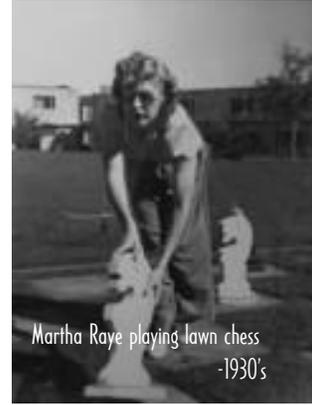
- Oversized Chess Board
- Croquet Course
- Fitness Center
- Swimming Pools (Paradise, Terrace Court, Arizona, Cottage Court)



## Master Plans

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The oversized chess board and croquet course are located on the east side of the Main Building and collectively comprise approximately 8,726 square feet of space. These activities have been a part of the resort since 1931. The Fitness Center will be relocated from its existing stand alone building (which also included the Spa) located south of the Paradise Wing. It will be located to the Garden Wing and will accommodate approximately 2,000 square feet of space. The swimming pools areas on the site provide approximately 77,000 square feet of recreational amenity space. The largest pool space is the Paradise Pool located south of the Paradise Wing (P). The area includes a formal pool and deck area, a large slide, and the Cabana Club (U). The provision of tennis courts will be eliminated by approximately 2010 based on a significant decline in guest participation.



All other softscape areas within the PUD function as common area open space. This space serves many functions within the property including buffering between buildings, enhancing the pedestrian scale of the property, and creating a microclimate of turf and vegetation that lowers the ambient temperature and creates shade during summer months.

### **b. Paths and Trails Master Plan**

The paths and trails that serve the Arizona Biltmore Resort & Spa PUD include both on and offsite systems that transports guests within the property as well as to external destinations. The on-site path system includes a hierarchy of primary and secondary pedestrian routes as shown on Figure 28. The intent of the primary path system is to connect high activity destinations within the resort which include the Conference/Ballroom (D), Spa (E), Main Building (G), Conference (H), Restaurant (I) and Garden Wing–Fitness Center (M) and Retail (O) buildings. The intent of the secondary pedestrian path system is to connect with the primary path system and link the existing, renovated and future lodging/residential buildings located throughout the resort. The hierarchy in these two systems will be expressed through their respective hardscape design, way-finding signs, and lighting levels, as identified in these respective master plans.



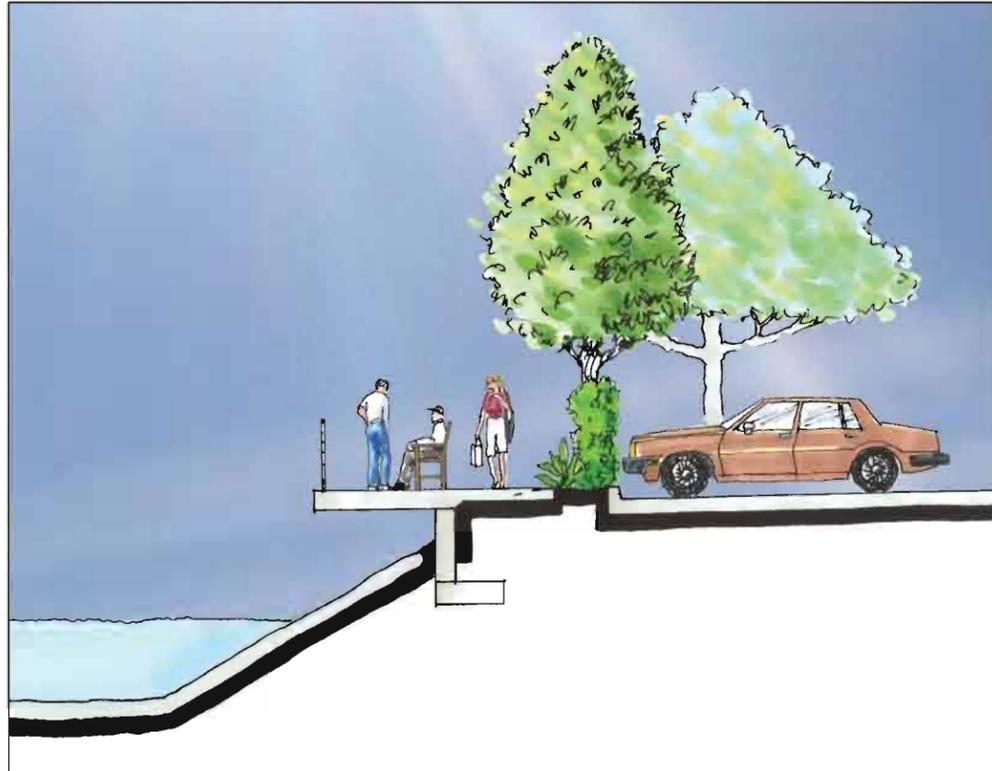
## Master Plans

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As identified previously, a portion of the Arizona Canal forms the southern boundary of the PUD. Two existing, unimproved trails line both sides of the Canal and are used extensively by resort guests as well as area residents and visitors. To the north, the north trail has been improved with a below grade crossing under 24<sup>th</sup> Street and paving to the west. To the south, the trail has not been improved and there is not a grade separated crossing across 32<sup>nd</sup> Street. Overall, the Canal transects an approximate 23 mile distance connecting Glendale and Tempe and could indirectly link the resort to the Summit Trail (to the top of Squaw Peak) to the north, with a potential connection through Granada Park.

In the future, the Arizona Biltmore Resort & Spa Ownership Group may consider a significant improvement to the north side of the Arizona Canal Trail. The trail could be branded as the Biltmore Promenade, or some other appropriate name which could include paving, landscaping, lighting, and strategic seating locations as shown on **Figure 29, Biltmore Promenade Alternatives**. The Promenade is envisioned to abut the Canal and would vary between approximately eight and ten feet in width. Its surface would be paved and the edge fenced with wrought iron, providing an aesthetic, yet safe experience for pedestrians. Several cantilever decks would extend out over the water and would include seating and potentially other site furnishings.

Landscaping and low level lighting would also be integrated along the Promenade as well as between the trail and the adjacent at-grade parking lot. Way-finding and interpretive signs could be strategically placed along the Promenade to highlight the views from the extended decks, history of the resort, and route and distance information to off-site trail destinations.



Observation Platform  
Biltmore Promenade



Structural Section - Canal Treatment Option A  
Biltmore Promenade



Non-Structural Section - Canal Treatment Option B  
Biltmore Promenade



Non-Structural Section - Canal Treatment Option C  
Biltmore Promenade



Biltmore Promenade Alternatives

Biltmore Promenade - Key Map



North Not to Scale

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Figure 29

Revised: 6.15.09  
Revised: 2.9.09  
Revised: 10.8.08  
Revised: 7.3.08  
Revised: 6.26.08  
Date: 6.20.08  
Project #: 0811





## Master Plans

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On the south side of the Canal, the existing Arizona Canal Trail would continue to be utilized as shown on Figure 28. However, the vehicular resort entry theme would truncate a small segment as the roadway crosses the canal. As shown on Figure 28, the existing pedestrian bridge on the east side of the resort entry and the vehicular bridge on its west side would function as connections to the Biltmore Promenade for users on the south side of the Canal.

Approximately  $\frac{3}{4}$  of a mile to the northeast of the PUD, a trailhead with parking is located at the northeast corner of 32<sup>nd</sup> Street and Lincoln Drive. It can be accessed by pedestrians using the paved sidewalk on the east side of Arizona Biltmore Circle and the unimproved path on the south side of Lincoln Drive as shown on Figure 28. The 32<sup>nd</sup> Street Access provides a developed hiker staging point to the Phoenix Mountains Preserve. The trailhead provides access to the Mohave Trail (#200A), which is an approximate four mile, easy to moderate, hike. The trailhead also connects with the Quartz Ridge Trail (#8A), which is an approximate 2.5 mile, easy to moderate, hike. The Quartz Ridge Trail also provides indirect access to the Summit Trail (#300), which is a moderate to difficult hike to the top of Piestewa Peak.



Randolph Scott with resort pro - 1940's

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### ARIZONA BILTMORE RESORT & SPA

Planned Unit Development

Volume I



# Master Plans

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## 6. Vehicular Circulation and Parking Master Plan

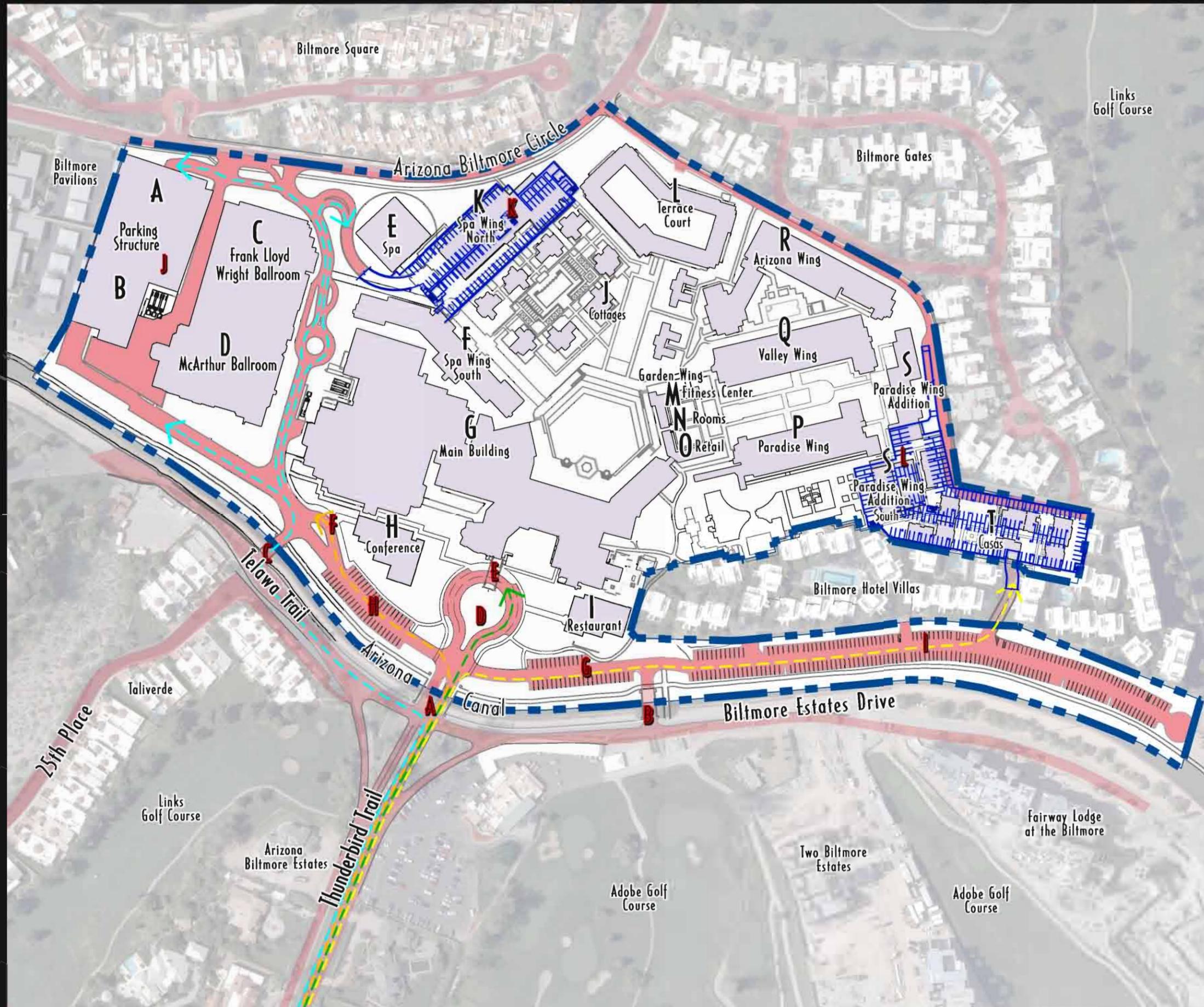
### a. Vehicular Circulation

Access to the Arizona Biltmore Resort from the public roadway network will continue to be provided as it is today: by way of the signalized intersection of 24<sup>th</sup> Street and Missouri Avenue/Thunderbird Trail; the signalized intersection of 24<sup>th</sup> Street and Arizona Biltmore Circle; and the two-way stop sign controlled intersection of Lincoln Drive and Arizona Biltmore Circle. Internal and immediately adjacent to the resort, however; as depicted on **Figure 30, Vehicular Circulation and Parking Master Plan**, access and circulation infrastructure will be enhanced significantly.

With respect to the main route of entry extending from Thunderbird Trail, resort guests will no longer have to make the circuitous, indirect and interrupted (by a stop sign) trek along Biltmore Estates and the existing east canal bridge crossing to reach the porte-cochere; rather a new, centrally positioned, main entry drive crossing of the canal will lead guests to a large (120 foot inside diameter) one way entry circle which, in turn, will lead them to the porte-cochere, the valet drop off and pick up area, and a designated passenger drop off area. The pavement width along the entry circle will permit as many as 20-25 vehicles to queue, in two lanes, without interrupting the flow of traffic around the circle.

With respect to tour bus access and circulation, the proposed main entry drive crossing of the canal will be designed to accommodate bus traffic and to eliminate the need for busses to use the existing east bridge crossing of the canal. Busses will additionally be provided a designated passenger drop off and pick up area, east of the main entry circle, that has been positioned and configured to be considerate of the need to have busses directed south as they exit the passenger drop off and pick up area, so that they can proceed smoothly across the existing west canal bridge crossing, at which point they can continue east along Telewa Trail, and south along Thunderbird Trail, along the same route bus traffic uses today.

With respect to access to the western proposed parking garage (hereinafter referred to as the ballroom garage), access will be provided by way of a relocated Godown Road; A relocated road along the western and southern edges of the PUD boundary that will



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## 2010 Vehicular Circulation and Parking Master Plan

### ARIZONA BILTMORE RESORT & SPA

**Vehicular Circulation**

- On-Site Private Drive
- Off-Site Public Drive
- Hotel Guest Approach Route
- Planned Unit Development
- Bus Approach Route

## 2010 Vehicular Circulation and Parking Master Plan

### ARIZONA BILTMORE RESORT & SPA

**Vehicular Circulation**

- Arizona Parking Paving 2010
- Arizona Parking Drive
- Hotel Guest Approach Route
- Planned Unit Development
- Bus Approach Route

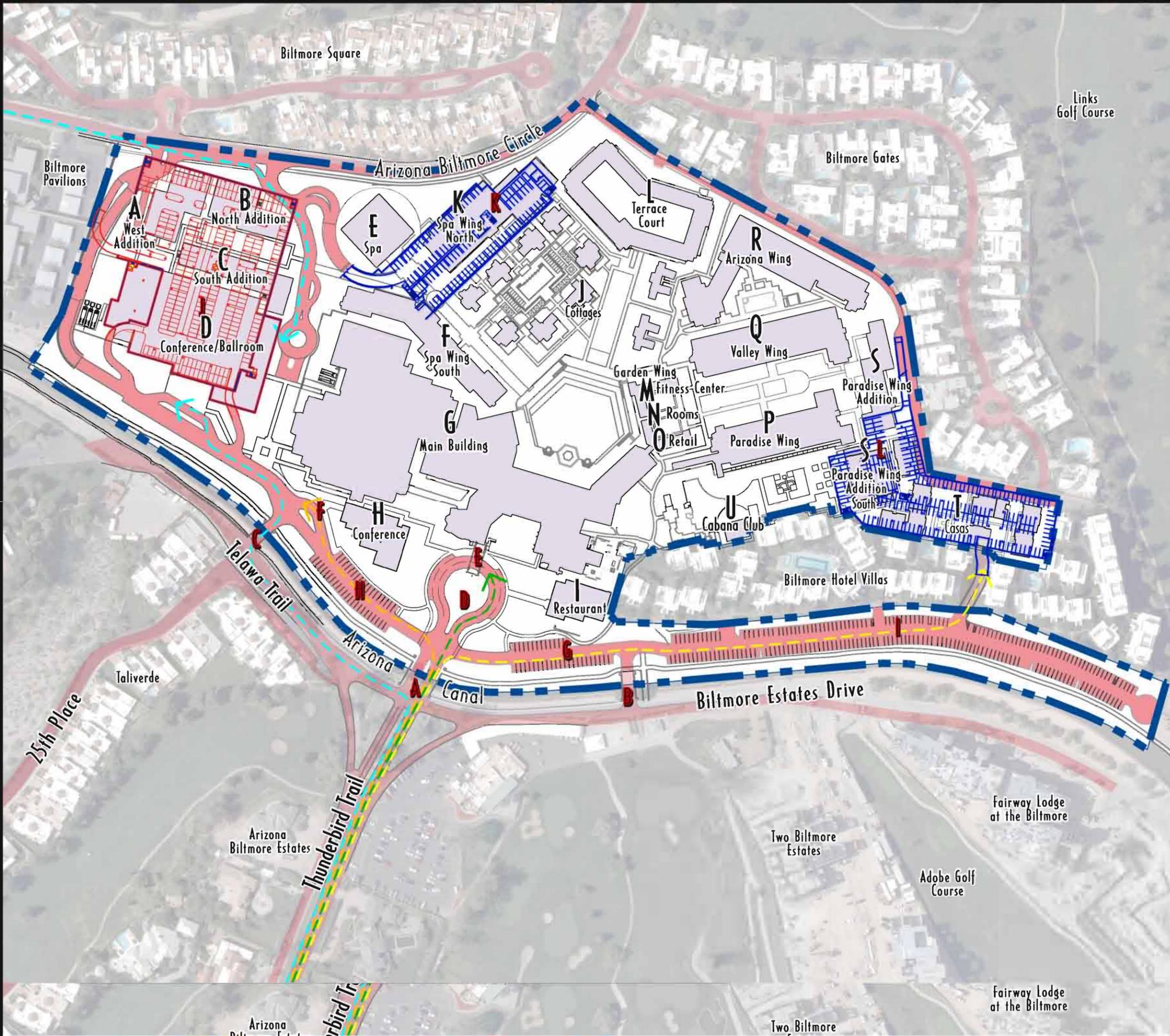
## 2010 Vehicular Circulation and Parking Master Plan

### ARIZONA BILTMORE RESORT & SPA

**Vehicular Circulation**

- Arizona Parking Paving 2010
- Arizona Parking Drive
- Hotel Guest Approach Route
- Planned Unit Development
- Bus Approach Route

North  
Scale: 1" = 200'  
Entry Upr  
Waldorf-Astoria Collection  
Arizona Biltmore Resort & Spa  
Figure #  
Revised: 1.15.0  
Revised: 2.23.0  
Revised: 2.9.09  
Revised: 6.26.0  
Date: 6.20.08  
Project #: 0811



**ARIZONA BILTMORE RESORT & SPA**

*The Waldorf-Astoria Collection*  
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**2030 Vehicular Circulation and Parking Master Plan**

**ARIZONA BILTMORE RESORT & SPA**

*The Waldorf-Astoria Collection*  
Planned Unit Development

**2030 Vehicular Circulation and Parking Master Plan**

**ARIZONA BILTMORE RESORT & SPA**

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Planned Unit Development

**2030 Vehicular Circulation and Parking Master Plan**

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Planned Unit Development

**2030 Vehicular Circulation and Parking Master Plan**

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**ARIZONA BILTMORE RESORT & SPA**

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Planned Unit Development

**ARIZONA BILTMORE RESORT & SPA**

North Scale: 1" = 200'  
Figure # 30b  
Revised: 2.23.09  
Revised: 2.9.09  
Revised: 6.26.09  
Date: 6.20.08  
Project #: 0811

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PYRAMID LVA Snell & Wilmer GENSLER Akros Inc. EDSA



## Master Plans

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indirectly connect to both Arizona Biltmore Circle and Telewa Trail. The improved route will include the introduction of improved off-site wayfinding signing, and the distribution of traffic flow into and out of the ballroom parking garage that will be managed very effectively.

### b. Vehicle Parking

#### On-Site Parking Facilities

Parking for resort guests and employees will ultimately be provided by a combination of surface lots and underground parking structures, collectively providing between 1,800 and 2,000 spaces; an effective increase of 20-33% over the approximately 1,500 spaces available on-site, today. Much of the existing surface and above ground parking infrastructure will be replaced and/or reconfigured so as to yield increased accessibility, a net increase in parking supply, and a significant reduction in visual impact. Specifically,

- The existing surface lots located between the existing east and west bridge crossings of the canal (hereinafter referred to as “front lot east” and front lot west” will be reconfigured in conjunction with the construction of the centralized main entry drive crossing of the canal. The resultant lots will have improved connections to the porte-cochere area and will be largely screened from the view of entry drive traffic by landscaping. Direct access driveways between these lots and the main entry drive will be provided so as to eliminate the circuitous route one must currently take to reach them. The new front lots will collectively provide fewer parking spaces than the existing lots provide; however the deficit will be made up in new underground parking garage spaces.
- The existing above ground ballroom parking garage, and the existing surface lot spaces located immediately north and south of the ballroom garage and adjacent ballroom building, will be replaced with a new underground ballroom parking garage. The





## Master Plans

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footprint of the replacement ballroom garage will be larger, extending east into what is currently the ballroom building footprint. The existing ballroom building will be replaced with a new building that will be positioned above the underground parking garage. The resultant underground parking facility will eliminate the visual impact of the existing above ground garage and will provide approximately the same number of spaces as does the existing structure.

- Two additional underground parking structures are proposed - one to be generally located immediately to the east of the Spa Building (E) and the other to be located south of the Paradise Wing Addition (S) to serve the proposed casa units (hereinafter referred to as the "Casa Garage"). Collectively, these two underground parking structures will provide 400-450 spaces, which will replace spaces lost in existing surface lots, as well as contribute to the overall reduction in visual impact that surface parking spaces create.
- The existing surface lot located east of the east bridge crossing of the canal (hereinafter referred to as the "villa lot") will remain generally as it exists today, and will continue to serve primarily as a self parking lot for hotel guests.

Valet parking will continue to serve as the primary approach to maximizing the utility of the available parking infrastructure, as it maximizes the ability of resort management to fill parking spaces in a logical order as well as to avoid careless and inefficient use of available parking supply (such as double parking and/or compact vehicles being parked in full-size spaces). Additionally, continued adherence to the resort's Employee Trip Reduction Plan, which include reducing employee trips by 5% per year, will further increase the number of spaces available to the patrons of the resort, without increasing the overall parking supply.

### **Off-Site Parking Opportunities**

Off-Site Parking opportunities will continue to be a significant component of the overall parking supply available to the patrons and employees of the Arizona Biltmore Resort, on those periodic occasions throughout the year when the sum of the parking demands of hotel guests and concurrently scheduled large attendance events exceed the parking supply available on-site.



## Master Plans

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These events are generally booked weeks to months in advance, allowing resort management to fully prepare a peak parking management plan for each occurrence, as well as to provide ample advance notification to employees when and where off-site parking will be required. Given the relative infrequency of these events, coupled with a strong desire to minimize the visual impact of on-site parking infrastructure, it only makes sense to continue to find reasonably proximate off-site parking facilities to accommodate these peak period parking overburdens. The Arizona Biltmore Resort plans to regularly negotiate license agreements to use the Biltmore Fashion Park parking garage (located approximately a half mile southeast of the resort property), the National Bank of Arizona property surface lot located approximately a quarter mile northwest of the resort property) and possible other offsite facilities during peak parking demand periods. This will further increase the number of spaces available to employees of the Resort without necessitating an increase in the overall number of parking spaces provided on site. The Resort will maintain recorded agreements to ensure sufficient off-site parking for major events.

### c. Parking Demand Management

This PUD establishes parking standards for this property that considers the unique conditions of the Arizona Biltmore Resort. These conditions have already been recognized by the City of Phoenix through prior acceptance of parking demand studies addressing the Arizona Biltmore Resort & Spa, as well as prior approvals of parking variances. These unique conditions include the following:

- The parking demand generated by the guest room component of the Arizona Biltmore Resort, which includes hotel rooms, casas, and casa lock-off suites, is substantially less than that of a typical lodging facility, and significantly less than the City “code rate” for hotel rooms would require (1.0 space per room), due primarily to the fact that approximately 75% of hotel guests travel to and from the resort by means other than personal vehicle.
- The parking demand generated by the meeting and ballroom space (a.k.a. “function space”) component of Arizona Biltmore Resort is less than the City code rate would require (1.0 space per 60 square feet of public assembly area), due primarily to the fact that a large portion of the users of Arizona Biltmore Resort function space are either hotel guests (i.e. already on-site) or are being



## Master Plans

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transported to and from Arizona Biltmore Resort by way of a coach type bus.

- The parking demand generated by the restaurant component of ABR is less than the City code rate would require (1.0 space per 50 square feet of dining area); due primarily to the fact that approximately 75% of Arizona Biltmore Resort restaurant patronage is comprised of hotel guests.
- The parking demand generated by the retail and fitness center components of the resort is negligible, as these components of the resort are designed specifically to serve as a resort amenity, and because Arizona Biltmore Resort does not actively pursue fitness center clientele from outside the resort.
- The parking demand generated by the day spa component of the resort is expected to be less than what the City code rate would require (1.0 space per 150 square feet of floor area) and significantly less than what a typical standalone facility (i.e. one that is not an accessory use to a hotel) would be expected to generate, due primarily to the fact that the Arizona Biltmore Resort's day spa facilities have historically been (and are currently being) designed as a resort amenity.
- The parking demand generated by those areas of the Arizona Biltmore Resort buildings specifically designated for service (i.e. non-administrative) employees is a function of how many service employees are on-site at any given time which, in turn, is a function of how many guest rooms and how much function space is occupied. Therefore, the need to provide parking spaces for service employees can be effectively managed through the selection of appropriate parking rates for the guest room and function space areas of the resort.
- The Arizona Biltmore Resort access and circulation system upgrades associated with the 2008 redevelopment plan are being designed to continue the tradition of successfully encouraging the vast majority of those Arizona Biltmore Resort hotel guests and social function attendees that do arrive by way of a personal vehicle, to have their vehicles valet parked. This approach to satisfying a large portion of the Arizona Biltmore Resort parking demand enables Arizona Biltmore Resort to make extremely



## Master Plans

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efficient use of available parking areas, as vehicles can be parked closer together and in tandem without nearly the same potential for vehicle damage or other vehicle owner inconveniences (i.e. not being able to get into or out of a vehicle due to the position of the adjacent vehicle) as is typical of a primarily self-parked lot.

- The State of Arizona's Air Quality Bill (ARS 49-581 et seq.), originally passed in 1988, mandates a Trip Reduction Program (TRP) for employers having 50 or more Arizona employees. The TRP is intended to reduce single occupant vehicle (SOV) trips and/or miles traveled to the work site by at least five percent (5%) per year until a 60% rate of SOV travel is reached. Arizona Biltmore Resort, which currently has over 1000 employees, has had an active employee trip reduction program in place for many years and will continue to implement such a program, as described in the Employee Trip Reduction Plan section of these standards.

#### **d. Shared Parking Opportunities**

A shared parking model has been created specifically for Arizona Biltmore Resort, hereinafter referred to as the "2008 ABR Shared Parking Model". The model has been developed on the same basis, and documented in the same format, as has been accepted by the City of Phoenix to support demand based parking requirements for generally comparable resort developments such as the Westin Kierland and the Phoenician. The model assumes that every separate use of the resort property will need the full amount of parking that is called for in the Arizona Biltmore Resort parking standards at some point during the day (called the 'peak' period for that use). Where different uses need parking at different times of the day, there will be an opportunity for them to share parking. The total number of parking spaces needed to serve Arizona Biltmore Resort as a whole may be significantly less than the number of spaces that would have to be built if each of the land use components that collectively form Arizona Biltmore Resort had to provide parking on its own. It is expected that the 2008 ABR Shared Parking Model will need to be periodically modified to improve it as a predictor of parking demand, as shared parking opportunities, as well as other factors that impact parking demands of individual land use components, such as increased transit usage and carpooling by resort employees, will likely change over time.



# Master Plans

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## 7. Landscape Master Plan

Divided into five (5) individual Landscape Zones, each with a unique combination of landscape plants, the Landscape Master Plan has been developed to provide a variety of garden experiences appropriate to the activities that take place in them. Each zone is intended to have an individual character that instills the guests with a spirit of discovery as they wander through the garden rooms and experience the plantings through multiple senses –experiencing the visual, fragrant, and tactile qualities of the plantings, as identified in **Table 10, Landscape Zones Plant Palette**. As identified, this table organizes the vegetative palette alphabetically, and also includes information pertaining to their existing use within the Resort and inclusion on the Arizona Department of Water Resources (ADWR) drought tolerant plant list. This is the approved xeriscape list used by the City of Phoenix.

### a. Landscape Zone 1

This is the public face of the resort seen on an everyday basis by the resort's neighbors. With a plant palette consisting predominately of evergreen shrubs and trees, the plantings are intended to present a subdued, neat, well maintained appearance to the neighbors. Screening undesirable views year round is a critical function of this evergreen palette.

### b. Landscape Zone 2

This is the public arrival zone. Colorful, festive flowering trees, shrubs, and annuals with stately palms provide a welcoming transition from the outside world. The palms serve as a theme plant carried from the resort entry drive throughout the resort to give a sense of continuity between the individual garden spaces.

### c. Landscape Zone 3

This is where the main public gathering spaces can be found. Large open lawns provide flexible spaces for a wide variety of gatherings. Trees and shrubs primary function is to define and separate the spaces into a series of garden rooms where multiple functions and activities can take place. A mixture of evergreen and deciduous broadleaf trees provide seasonal interest and most importantly, shade during the hot season while letting in warming sunlight during the cool season. Flowering shrubs help give further definition to the garden rooms found in this zone.



# Master Plans

## d. Landscape Zone 4

This zone encompasses the area surrounding the historic cottages as well as the primary outdoor spaces for each detached hotel wing. The palette takes on a more traditional feel to support the historic nature of the cottage spaces while maintaining continuity with the other areas. Formal clipped hedges, roses and perennials commonly associated with intimate garden spaces are used in combination with smaller scale flowering trees to add visual interest.

## e. Landscape Zone 5

The garden areas that will be provided in these spaces are in response to small intimate outdoor rooms that are created by the surrounding architecture. These spaces are to be a calm, cool oasis that will be heavily landscaped to provide privacy and screening from adjacent roadways and homes. Large shade trees will be located in strategic areas to provide a mature look and lush under-story plantings will add interesting contrast and color for a pleasant guest experience while on a casual stroll through the spaces.

See Figures 31, Landscape Master Plan and Figure 32, Landscape Zones Master Plan.

**Table 10  
Landscape Zones Plant Palette**

LANDSCAPE ZONES - TREES							
Botanical Name:	Common Name:	LZ1	LZ2	LZ3	LZ4	LZ5	ADWR
Acacia aneura	Mulga	•		•	•	•	•
Acacia farnesiana	Sweet Acacia	•					•
Acacia salicina	Weeping Acacia	•				•	•
Acacia saligna	Blue Leaf Wattle	•		•	•	•	•
Acacia stenophylla	Shoestring Acacia	•			•	•	•
Bauhinia spp.	Orchid Tree		•	•	•	•	•
Brachychiton populneus	Bottle Tree	•			•	•	•
Callistemon rigidus	Bottlebrush Tree	•	•	•	•		•
Callistemon viminalis	Weeping Bottlebrush	•	•	•	•		•
Ceratonia siliqua	Carob		•	•	•		•
Cercidium spp. 'Desert Museum'	Desert Museum Palo Verde	•	•	•	•	•	•
Cercidium floridum	Blue Palo Verde	•	•	•		•	•
Cercidium praecox	Palo Brea	•	•	•		•	•
Chamaerops humilis	Mediterranean Fan Palm			•	•	•	•
Chilopsis linearis Burgundy	Desert Willow	•				•	•
Chitalpa t. 'Morning cloud'	Chitalpa		•	•	•	•	•



# Master Plans

Citrus Orange	Orange Tree	•	•	•	•	•	
Citrus sinensis	Citrus Tree	•	•	•	•	•	
Cupressus sempervirens	Mediterranean Cypress		•	•	•	•	•
Dalbergia Sissoo	Sissoo Tree	•	•	•	•	•	•
Eucalyptus citriodora	Lemon-Scented Gum	•			•	•	•
Ficus microcarpa	Chinese Banyan	•	•	•	•	•	
Fraxinus spp.	Ash	•		•	•		
Geijera parviflora	Australian Willow		•	•	•	•	•
Gleditsia triacanthos	Honey Locust			•		•	•
Grevillea robusta	Silky-Oak		•		•		
Jacaranda mimosifolia	Blue Jacaranda		•	•	•	•	
Lagerstroemia indica	Crape Myrtle		•	•	•		
Olea europaea 'Swan Hill'	Fruitless Olive	•	•	•	•	•	•
Phoenix Dactylifer	Date Palm	•	•	•	•	•	•
Olneya tesota	Desert Ironwood	•	•	•			•
Pinus canariensis	Canary Island Pine	•		•	•	•	•
Pinus eldarica	Mondell Pine	•		•	•	•	•
Pinus halepensis	Aleppo Pine			•	•		•
Podocarpus gracilior	Fern Pine		•	•	•	•	
Prosopis chilensis	Chilean Mesquite	•					•
Prosopis glandulosa	Honey Mesquite	•					•
Prosopis velutina	Native Mesquite	•					•
Prunus cerasifera	Purple Leaf Plum		•	•	•	•	
Pyrus kawakami	Evergreen Pear		•	•	•		
Quercus emoryi	Emory Oak			•	•		•
Quercus virginiana 'Heritage'	Heritage Live Oak	•	•	•	•	•	•
Robinia 'Purple Robe'	Purple Robe Locust	•		•	•	•	
Schinus molle	California Pepper Tree		•	•	•		•
Schinus terebinthifolius	Brazilian Pepper Tree		•	•	•		•
Sophora secundiflora	Texas Mountain Laurel		•	•	•	•	•
Trachycarpus fortunei	Chinese Windmill Palm		•	•	•	•	
Ulmus parvifolia	Chinese Elm	•	•	•	•	•	•
Vitex angus	Chastetree		•	•	•		•
Washingtonia spp.	Fan Palm	•					•
<b>LANDSCAPE ZONES – SHRUBS</b>							
<b>Botanical Name:</b>	<b>Common Name:</b>	<b>LZ1</b>	<b>LZ2</b>	<b>LZ3</b>	<b>LZ4</b>	<b>LZ5</b>	<b>ADWR</b>
Agastache aurantiaca	Orange Hummingbird Mint						
Asparagus densiflorus sprengeri	Asparagus Fern		•	•	•	•	•
Bambusa spp.	Bamboo					•	
Bougainvillea spp.	Bougainvillea	•	•	•	•	•	•
Buxus spp.	Boxwood	•	•	•	•	•	
Buddleia marrubifolia	Woolly Butterfly Bush	•					•
Caesalpinia pulcherrima	Red Bird of Paradise	•			•	•	•
Calliandra eriophylla	Fairy Duster	•					•
Camelia japonica	Japanese Camellia		•	•	•		
Carissa grandiflora	Natal Plum	•	•	•	•	•	
Cassia artemisiodes	Feathery Cassia	•				•	•
Cassia nemophila	Green Feathery Cassia	•				•	•
Chrysactinia mexicana	Damianita	•		•	•	•	•
Cycas revoluta	Sago Palm		•	•	•	•	•

## ARIZONA BILTMORE RESORT & SPA

Planned Unit Development



# Master Plans

<i>Cyperus alternifolius</i>	Umbrella Plant			•	•		
<i>Dalea</i> f. 'Sierra Negra'	Black Prairie Clover	•			•	•	•
<i>Dietes bicolor</i>	Fortnight Lily		•				
<i>Echinacea purpurea</i>	Purple Coneflower	•		•	•		
<i>Elaeocarpus decipiens</i>	Japanese Blueberry Tree		•	•	•	•	
<i>Eremophila</i> 'Valentine'	Emu Bush	•		•	•		•
<i>Euphorbia antisiphilitica</i>	Candelilla			•	•		•
<i>Euphorbia rigida</i>	Gopher Plant	•		•	•	•	•
<i>Euryops</i> p. 'Viridis'	Green Euryops Daisy	•					
<i>Feijoa sellowana</i>	Pineapple Guava		•	•	•	•	•
<i>Guara lindheimeri</i>	Desert Orchid	•					•
<i>Hibiscus rosa sinensis</i>	Chinese Hibiscus		•	•	•	•	
<i>Juniperus</i> x <i>pfitzeriana</i> 'Sea Green'	Juniper-Sea Green		•	•	•		
<i>Justicia spicigera</i>	Mexican Honeysuckle	•		•	•	•	•
<i>Lavandula</i> 'Goodwin Creek Grey'	Goodwin Creek Gray Lavender		•	•	•	•	
<i>Lavandula</i> x <i>intermedia</i> 'Provence'	Provence French Lavender		•	•	•	•	
<i>Leucophyllum frutescens</i>	Texas Ranger	•	•	•	•	•	•
<i>Ligustrum vulgare</i>	Common Privet	•	•	•	•	•	
<i>Lilium</i> spp.	Lily		•	•	•	•	
<i>Muhlenbergia</i> spp.	Deer Grass	•	•	•	•	•	•
<i>Myrtus</i> spp.	Myrtle		•	•	•	•	•
<i>Nandina domestica</i>	Heavenly Bamboo		•	•	•		•
<i>Nerium oleander</i> 'Petite Pink'	Petite Pink Oleander	•	•	•	•	•	•
<i>Pedilanthus macrocarpus</i>	Lady's slipper			•	•	•	
<i>Photinia</i> x <i>fraseri</i>	Japanese Photinia		•	•	•		
<i>Pittosporum crassifolium</i> 'Compactum'	Dwarf Karo		•	•	•		
<i>Pittosporum tobira</i>	Japanese Pittosporum		•	•	•	•	
<i>Plumbago auriculata</i>	Cape Plumbago			•	•	•	•
<i>Phormium tenax</i> <i>autopurpureum</i>	Red Flax		•	•	•	•	
<i>Pyracantha</i> spp.	Pyracantha		•		•		•
<i>Raphiolepis indica</i>	Indian Hawthorne		•	•	•		
<i>Rosa</i> spp.	Rose		•	•		•	
<i>Rosmarinus</i> o. 'Tuscan Blue'	Tuscan Blue Rosemary	•	•	•	•	•	•
<i>Salvia chamaedryoides</i>	Mexican Blue Sage	•					•
<i>Sansiviera</i> spp.	Sansiviera		•	•	•	•	
<i>Simmondsia chinensis</i>	Jobba	•	•	•	•	•	•
<i>Ruellia peninsularis</i>	Desert Ruellia	•	•	•	•	•	•
<i>Ruellia brittoniana</i>	Barrio Ruellia	•	•	•	•	•	•
<i>Ruellia brittoniana</i> 'Katie'	Katie Ruellia			•	•	•	•
<i>Salvia greggii</i>	Autumn Sage	•				•	•
<i>Salvia leucantha</i>	Mexican Bush Sage	•					•
<i>Stachys bonariensis</i>	Lambs-Ears			•	•	•	
<i>Syringa persica</i>	Persian Lilac			•	•	•	
<i>Tecoma stans</i>	Yellow Bells	•		•	•		•
<i>Xylosma congestum</i>	Xylosma		•	•	•	•	•
<i>Zephyranthes</i> spp.	Rain Lily			•	•		•



# Master Plans

LANDSCAPE ZONES – GROUNDCOVER / VINES							
Botanical Name:	Common Name:	LZ1	LZ2	LZ3	LZ4	LZ5	ADWR
Acacia r. 'Desert Carpet'	Prostrate Acacia	•				•	•
Ficus pumila	Creeping Fig	•	•	•	•	•	
Lantana spp.	Lantana	•	•	•	•	•	•
Lonicera japonica 'Halliana'	Hall's Honeysuckle		•	•	•	•	
Macfadyeni unguis 'cati'	Cat's Claw Vine	•		•	•	•	•
Myoporum spp.	Myoporum	•	•	•	•		•
Pelargonium varieties	Geraniums	•	•	•	•	•	
Rosmarinus o. 'Creeping'	Creeping Rosemary		•	•	•	•	•
Rosmarinus o. 'Prostratus'	Trailing Rosemary	•	•	•	•	•	•
Trachelospermum asiaticum	Asiatic Jasmine			•	•	•	
Trachelospermum jasminoides	Star Jasmine			•	•	•	
Tradescantia zebrina	Wandering Jew		•	•	•		
Wedelia trilobata	Yellow Dot	•	•	•	•	•	•
LANDSCAPE ZONES – ACCENTS / CACTI							
Botanical Name:	Common Name:	LZ1	LZ2	LZ3	LZ4	LZ5	ADWR
Agave spp.	Agave	•	•	•	•	•	•
Aloe spp.	Aloe Vera			•	•		•
Asclepius subulata	Desert Milkweed	•		•			•
Carnegiea gigantea	Saguaro Cactus	•		•			•
Cereus	Night-Blooming Cereus	•					•
Dasyliirion wheeleri	Desert Spoon	•	•			•	•
Echinocactus grusonii	Golden Barrel			•			•
Hesperaole parviflora	Red Yucca	•		•	•	•	•
Yucca spp.	Yucca	•	•	•	•	•	•
<b>Note:</b> Other specimen type cacti not included within this list may be used in select areas on the Resort property on a limited basis.							



**Landscape Master Plan**

- ① Main Entry Drive
- ② Reflection Pool
- ③ Porte Cochere
- ④ Function Lawn
- ⑤ Terrace Lawn Seating
- ⑥ Fountain/Stage and Firepit
- ⑦ New-Grille Expansion
- ⑧ Lounging Pool
- ⑨ Riverswim and Slide
- ⑩ Casas Courtyard
- ⑪ Existing Pool Area To Remain
- ⑫ Cottages Pool
- ⑬ Spa Courtyards
- ⑭ Spa Gardens
- ⑮ Drop-off
- ⑯ Driveway Ramp To Underground Parking Garage
- ⑰ Shipping and Receiving Court
- ⑱ Hotel Service Court
- ⑲ Service Corridor
- ⑳ Surface Valet Parking
- ㉑ Bus Drop-Off
- ㉒ Canal Promenade With Overlooks
- ㉓ Existing Villas Outside of Property
- ㉔ Existing Villas Outside of Property
- ㉕ Grand Paseo

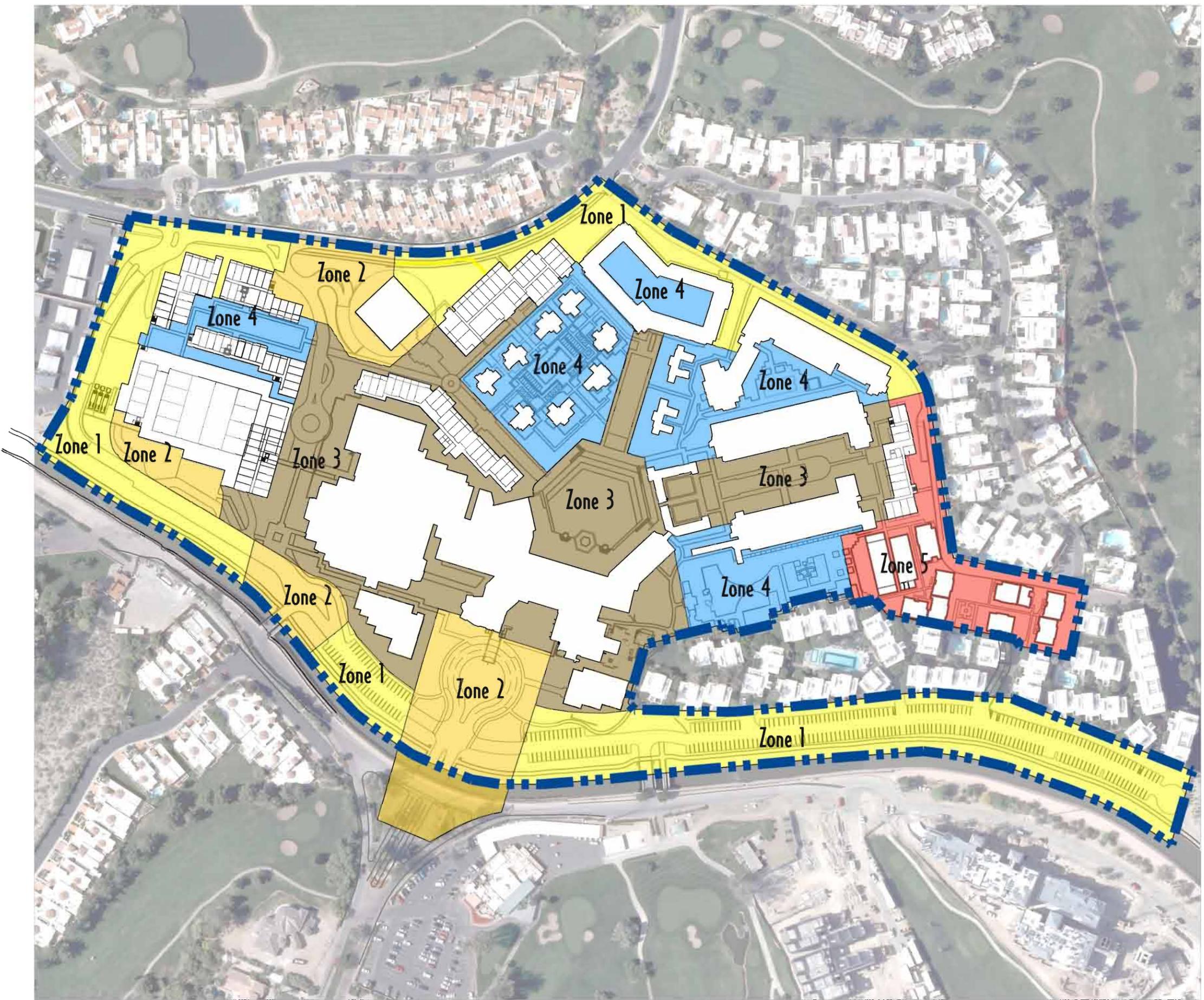
Source: LVA Urban Design Studio

North Scale: Not to Scale Figure 31

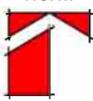
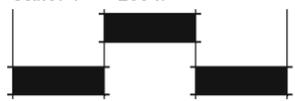
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**Landscape Zones Master Plan**

-  Landscape Zone 1
-  Landscape Zone 2
-  Landscape Zone 3
-  Landscape Zone 4
-  Landscape Zone 5



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 Revised: 2.23.09  
 Revised: 2.9.09  
 Revised: 10.8.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811

North  Scale: 1' = 200 ft  Figure **32**

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# Master Plans

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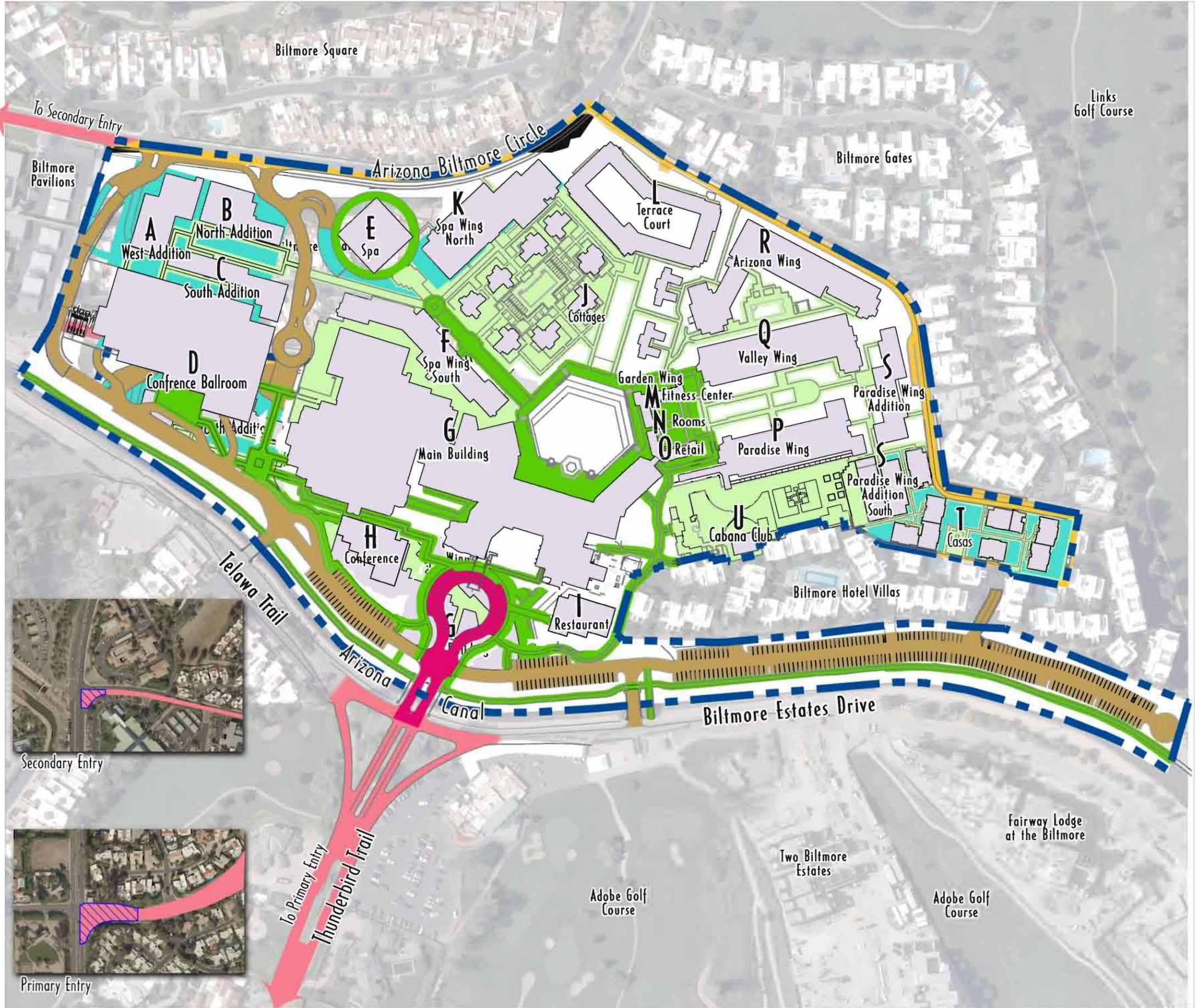
## 8. Lighting Master Plan

Lighting is a vital component of not only defining space but also illuminating structures and details of buildings and materials. At the same time, in a society highly conscious of security and personal safety, it is absolutely critical to illuminate property with sufficient levels of brightness. This is accomplished by creating use zones within the Resort where differing levels of illumination are appropriate, see **Figure 33, Lighting Master Plan**. Lighting is not only appropriate on the buildings but also along circulation corridors and pathways. As previously stated, the Biltmore Resort & Spa is organized around strong axial lines of pedestrian paths and formal open spaces. These elements can be characterized as primary and secondary routes, see **Figure 34a & 34b Lighting Master Plan Sections**. For the purpose of this section, lighting has been designated into a hierarchy of types which have been influenced by these primary and secondary routes. The Lighting section is organized in the following five subsections:

- Architectural Outdoor Lighting
- Street Lighting
- Signage and Graphics Lighting
- Landscape Lighting
- Off-Site Lighting

### a. Architectural Outdoor Lighting

Architectural outdoor lighting at the Biltmore Resort & Spa is intended to illuminate the structure and details of the building design and its use of materials. The existing lighting, as well as the new, will focus on highlighting materials, architectural style, decorative elements, and beautification of functional building elements. The Resort has become known as a truly impeccable facility with many architectural features that differentiate it as an original and top rated destination. While these features clearly stand out during daylight hours, nightfall wraps their uniqueness and hides the attractiveness of the facility. Therefore, special attention and design strategies will be utilized such as lighting the edifice of the building to create a prominent visual feature, and providing accent lighting emphasizing ornamental work, balconies, flagpoles, and windows. See **Figure 34c, Lighting character imagery** as an examples of possible lighting fixtures.



**Lighting Master Plan**

-  Resort/Residential Entry Zone
-  Arizona Biltmore Estates and Resort Lighting Enhancement Area (to be coordinated with entry signs)
-  Resort Entry Zone
-  Circulation/Surface Parking Zone
-  Primary Pedestrian/Landscape Accent Zone
-  Secondary Pedestrian/Landscape Accent Zone
-  Residential Edge Zone
-  Below Grade Parking Zone
-  PUD Project Boundary



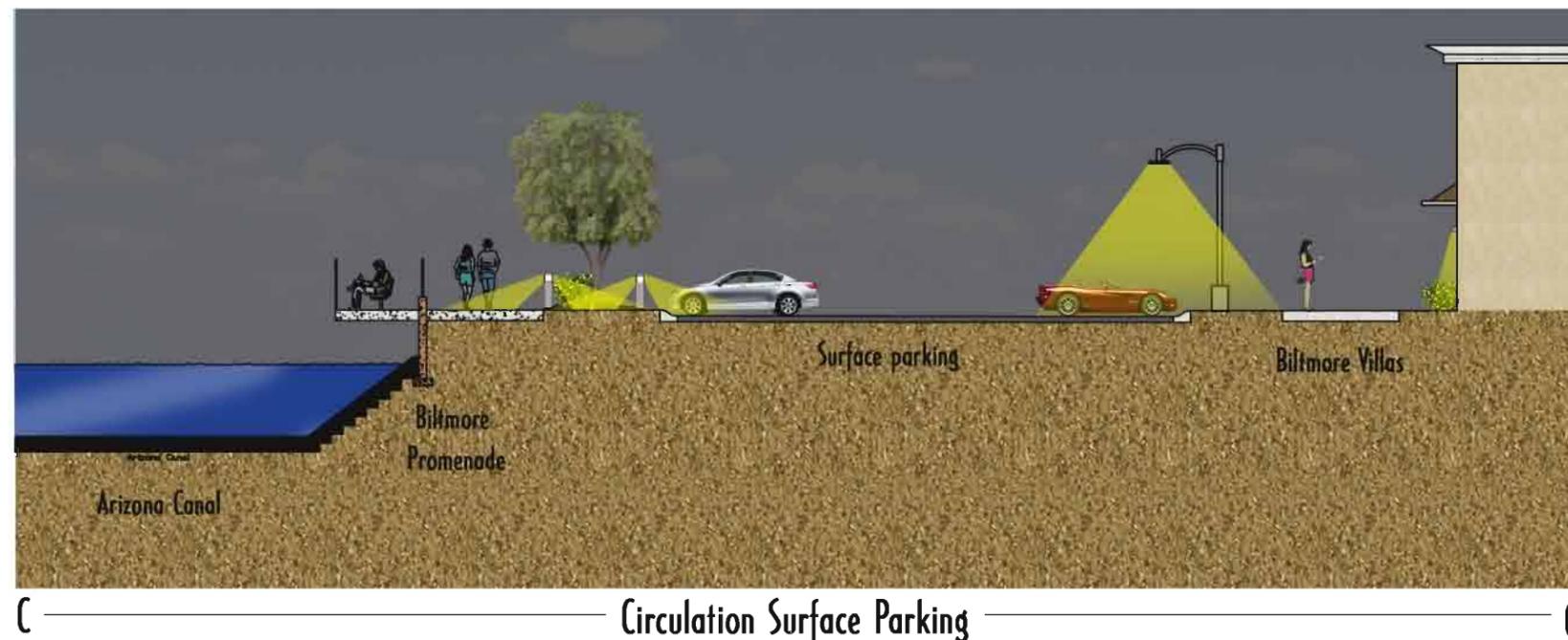
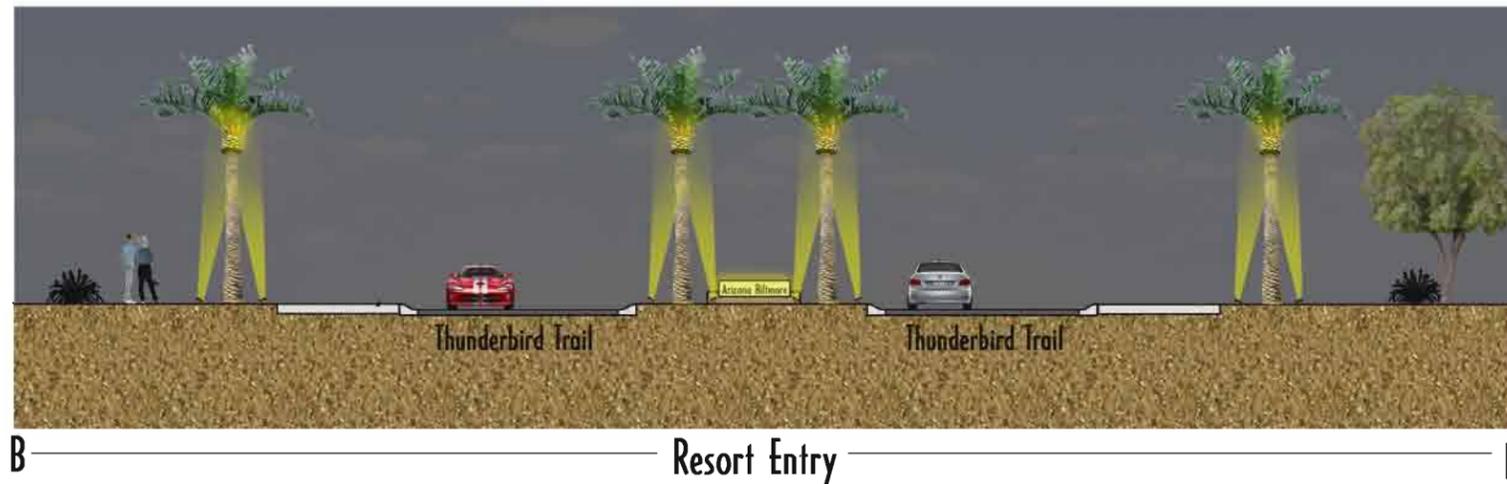
North 

Scale: 1" = 200 ft 

Figure **33**

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 Revised: 2.23.09  
 Revised: 2.9.09  
 Revised: 01.30.09  
 Revised: 10.8.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
 Date: 6.20.08



Lighting Master Plan Sections



Section Key Map

North Not to Scale Figure

Revised: 6.15.09  
 Revised: 2.9.09  
 Revised: 10.8.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811



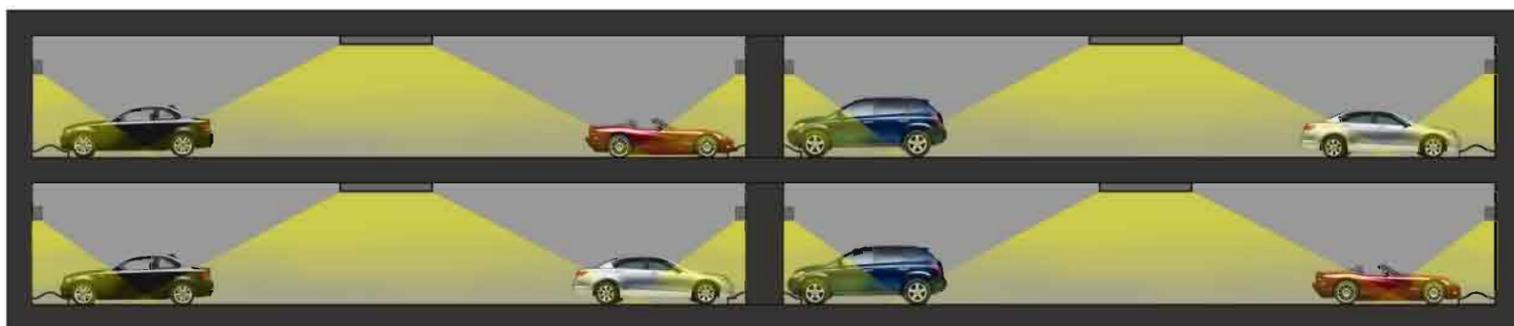
D Primary Pedestrian Landscape Zone D'



E Secondary Pedestrian Landscape Accent Zone E'



F Residential Edge Zone F'



G East Parking Structure G'



Lighting Master Plan Sections

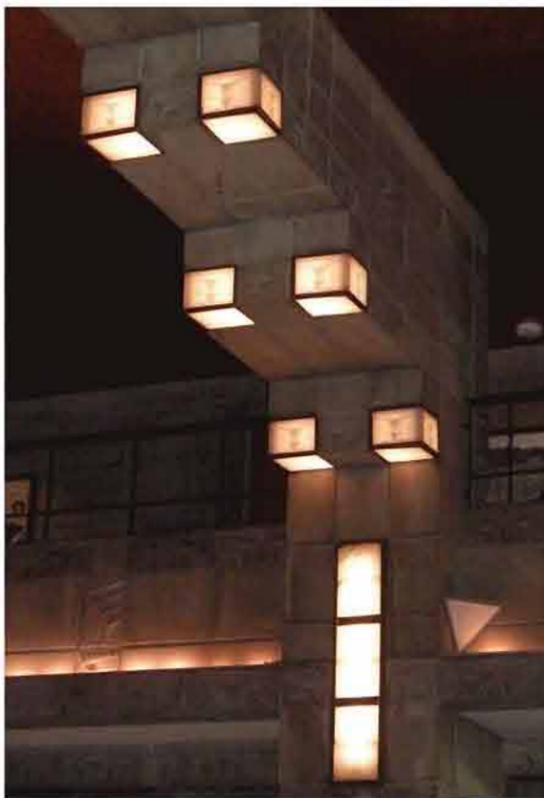


Section Key Map

Revised: 6.15.09  
 Revised: 2.9.09  
 Revised: 10.8.08  
 Revised: 7.3.09  
 Revised: 6.26.08  
 Date: 6.20.08  
 Project #: 0811

North  
 Not to Scale  
 Figure 34b

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Lighting Character Imagery

North Not to Scale Figure 34c Revised: 10.8.08  
Revised: 7.3.08  
Revised: 6.26.08  
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## Master Plans

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### b. Street Lighting

Roadways within the Resort are limited and typically located around the perimeter of the PUD project boundary. By law, every parking lot must evenly distribute light across the pavement. The roadways will be lit at the perimeter by a system that provides lights for walkways, and bikeways, as well as vehicular traffic, in accordance with City of Phoenix standards. The light fixtures may be decorative in order to compliment the architecture and landscaping and will be arranged and fully shielded to ensure that light reaches its intended surface without causing glare or light spill on adjacent properties. The intent of lighting paved areas is to create just enough light to “wash” the parking lot in light rather than “beaming” intense light to set points. The ornamental lights of the parking lots can be extended into open and pedestrian spaces surrounding the pavement, contributing to the cohesive nature of the Resort.

### c. Signage and Graphics Lighting

Way-finding around the Resort, whether by vehicle or on foot, is a critical element to the enjoyment and relaxation of the guest or visitor. In many areas throughout the Resort the vehicle or pedestrian is greeted or guided by signage. The signs must be prominent and visible 24 hours a day. This will be accomplished by providing light that showcases the surroundings and all the objects in it.

### d. Landscape Lighting

The Resort has and will continue to provide an impressive and integrated system of walking paths, plazas and courtyards. The landscape lighting in these areas will unite the architectural beauty of the buildings and the security lighting of the periphery. Aesthetic landscape lighting will compliment the amenities and nighttime activities that occur on the premises. Guests who like to stay up late and go for walks outside can enjoy the full beauty of water features accented by decorative lights. Accent lighting along the resort walkways will accentuate stonework and decorative elements that add to the beauty of seasonal nighttime strolls. Furthermore, event planners will often prefer a site with adequate lighting that allows activity and full enjoyment of the resort to extend the usefulness of the facility for after-hours functions.



## Master Plans

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### e. Off-Site Lighting

Typically lighting increases business for luxury resorts by making clearly visible the many distinguishing amenities that make a particular facility stand out as a preferred location. As stated earlier, the Biltmore Resort & Spa is nestled into the surrounding mountains thereby making it difficult for visitors, guests, and passer-by's to visually connect with the Resort. The primary entry for guests occurs at the intersection of 24<sup>th</sup> Street and Thunderbird Trail, approximately .58 miles from the Resort property. This distance not only diminishes the "grand arrival" experience, it also causes confusion as to where the entrance is. In order to improve visibility and circulation it is the intent of this PUD to improve poorly located and improperly lit entry features by locating new signs and lighting at entry points located off-site from the Resort.

**Appendix 1, Arizona Biltmore Entry Monumentation**, provides a conceptual depiction of possible updates to the Community/Resort entrance Points. It is the intent of this PUD to encourage cooperation and collaboration between the Arizona Biltmore Resort and the Arizona Biltmore Estates Village Association (ABEVA) Board in the review, comment, permit and construction of the planned entry points.





# Master Plans

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## 9. Sign Master Plan

This section of the Master Plans Chapter defines the intent and function of outdoor signage within the Arizona Biltmore Resort & Spa. For further information regarding sign standards, refer to the Sign Matrix (Table A-7, Volume II of the Arizona Biltmore PUD). The Sign Master Plan is organized in the following subsections:

- Sign Overview
- Sign Hierarchy
- Identification Signs
- Vehicular Way-finding Signs
- Pedestrian Way-finding Signs
- Code Required Signs
- Temporary Signs
- Off-Site Signs

### a. Sign Overview

The Resort is located within the core of the “Biltmore” development and does not have direct access or visibility from an arterial street or major roadway. This setting lends itself for an intimate and private setting, often the environment the guest is seeking, yet also makes it difficult to navigate the Resort, and does not support a grand arrival experience. These circumstances result in additional traffic movements and potential congestion as guests and visitors often make multiple attempts to locate the appropriate entry point into the Resort.

The primary function for the site signage is to provide a safe, inviting, navigable environment for all users of the Resort. Certain sign types will specifically address way-finding needs by providing directional or identifying information. Other sign types will provide information, instruction or safety conditions as required. Further, the signs should enhance the overall characteristic of the Resort and its historical architecture and be placed in locations of key decision points. **See Figure 35a and 35b, Sign Character Imagery.**



Wall Sign



Wall Sign



Wall Sign



Sign Character Imagery



Monument Sign



Post & Panel, single pole



Post & Panel, double pole



Pole Sign



Monument Sign



Directory



Monument Sign, vertical orientation



Directory



Blade Sign

North Not to Scale Figure Revised: 10.8.08  
  Revised: 7.3.08  
**35a** Revised: 6.26.08  
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Pg.119



Ground Marker



Wall Sign, plaque



Awning Sign (shown as architectural canopy)



Wall Mural



### Sign Character Imagery



Monument Sign



Directory



Banners



Vehicular Directional



Interpretive Signage



Directory, table top style



Wall Sign, plaque

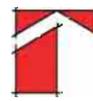


Pedestrian Directional



Identification Signage

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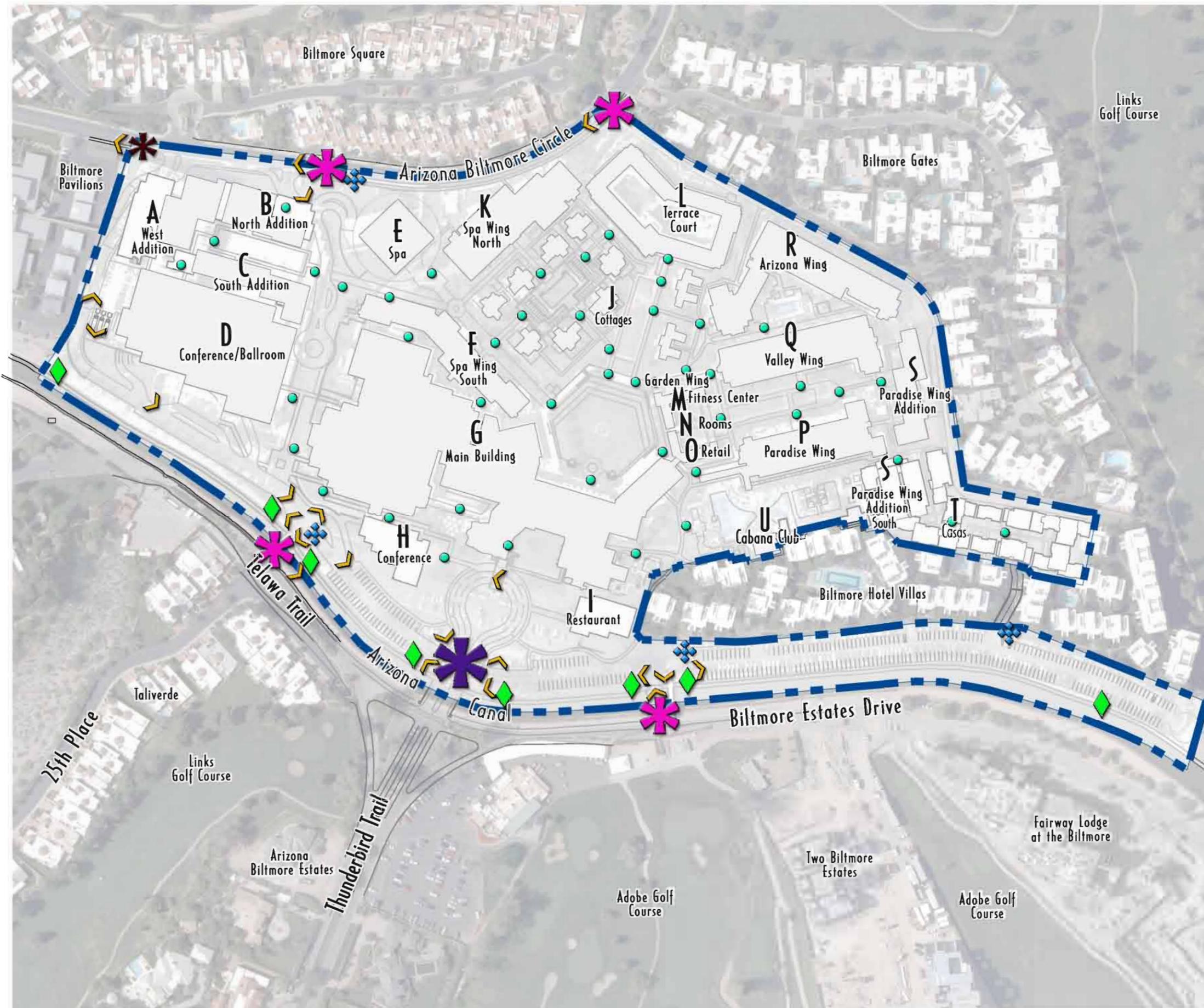

## Master Plans

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### b. Sign Hierarchy

Hierarchy is a critical planning tool for implementing a successful sign program. Using size, location and lighting, signs can communicate a substantial amount of information, even without their legend text. The following outlines the sign types proposed for the Biltmore Resort & Spa. For the proposed locations of the signs, see **Figure 36, Sign Master Plan**.





### Sign Master Plan

- Primary Resort Identification
- Secondary Resort Identification
- Tertiary Resort Identification
- "Tenant" Identification
- Vehicular Wayfinding
- Pedestrian Wayfinding
- Biltmore Promenade Markers
- PUD Project Boundary



## Master Plans

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### c. Identification Signs

Resort Identification / Primary – This is the largest format sign type that contains the resort's brand in a manner that is congruent to the image that the resort wishes to communicate to its guests. In this case, the sign will convey grandeur, historical significance and world-class amenities. This sign type will be located at the primary guest entry points and must be highly visible. Further, the signs will incorporate the building materials of the resort, as well as appropriate lighting techniques. Appropriate landscape treatment also assists in integrating the sign into the site.

Resort Identification / Secondary – These signs will be smaller in scale than primary entries and often used more by repeat visitors to the resort. The sign type will contain the resort's brand name, image and color palette. They will be located at entry points that are not part of the primary arrival sequence. The format, design and content of this sign will mimic that of the primary identification.

Resort Identification / Tertiary (Directional Sign) – These signs are typically smaller in scale than both primary and secondary entries and most often used for employees, deliveries and service vehicles. It is important to adequately place these at entrance/exit points not only for the intended user but also to keep the unintended user from entering here. The format, design and content of this sign will mimic that of the primary and secondary identification.

Tenant Identification – Tenants shall be identified at appropriate locations and formats throughout the resort's retail zones. These signs will generally be designed as part of the tenant's storefront and immediately adjacent to their entrance. The Signature Restaurant, Resort Spa and Convention Hall(s) will be adequately identified on the exterior façade and/or with additional freestanding signage as they often function independently from the Resort.

Building Address & Identification – These sign types are important for both guests and services as well as for fire/life safety vehicles. A strategic program for integrating these sign types into their surroundings will be proposed.



## Master Plans

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### d. Vehicular Way-finding

Vehicular Way-finding / Primary – This sign type will be used on primary routes to guide visitors to their appropriate destination. Legend information is typically limited to 3-4 lines of copy for use such as hotel check-in, parking or restaurants. The signs will allow for quick reference in order to maintain traffic flow so vehicles are not forced to slow down in order to read them. Arrows and other graphic symbols used on these signs will be simple and universally understood in their design. These signs are typically monument or post and panel format. They may be internally or externally illuminated.

Vehicle Way-finding / Secondary – This sign type will be used on secondary and tertiary driveways within the PUD property. Similar guidelines as noted above will apply here as well. These signs may also be monument or post and panel format and may be illuminated for improved visibility at night.

Vehicle Way-finding / Tertiary – These are typically the smallest format signs of this category and generally contain only one directive message. They are generally not illuminated and are post and panel format.

Entry/Exit – This sign type is located immediately adjacent to the driveway to signify which lane is entry and which is exit. They are typically small in stature (under 4'-0") and have simple text and arrow configurations.

Traffic Control – Proprietary designs for traffic control signs, such as "Stop", "Yield", "Do Not Enter", "Speed Limits", etc., will be used throughout the resort to further enhance the sense of placemaking. Nationally recognized standards for these signs will be utilized so safety and/or traffic flow are not compromised. For example, sign shapes (Stop = octagon, Yield = triangle) shall be recognized from both front and back viewpoints; coloration standards shall be maintained (Stop = red, Yield = yellow); etc.

Informational – These signs will alert guests to pertinent information about their surroundings such as "No Parking", etc.



# Master Plans

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**e. Pedestrian Way-finding, Exterior**

Pedestrian Directional / Primary – This sign type will be used at major decision points and for guidance to primary destinations throughout the resort. They will be utilized by pedestrians as they self-navigate the property. These signs may be monument, post/panel or wall-mounted format.

Pedestrian Directional / Secondary – Secondary directional signs are typically smaller in size and contain reduced messaging, but have a similar design and format as the Primary Directional. These signs will be used throughout the resort to guide guests and staff to less prominent destinations. These signs will also support comfort and safety.

Pedestrian Directional / Tertiary – This sign type typically contains only one message and shall be used throughout the resort to direct guests to incidental destinations such as “Ice/Vending Machines”. They will be designed using details, colors and format similar to Primary and Secondary Directional signs.

Directory – Directories are very important tools in “trip planning”, allowing users to select destinations and plan a specific route to get there. The directory usually contains an illustrative map of the area and a listing of destinations. They will be designed to represent either the entire resort property or an area limited to the immediate vicinity of the sign. This sign type can come in many forms, some of the more common include table top, post panel, wall-mounted and digital touch screen.

Informational – These signs will alert guests to pertinent information about their surroundings such as “Please use West Entrance”, etc.

Interpretive Trail Signage – In support of the improvement and extension of the Biltmore Promenade (Arizona Canal Trail), way-finding signage indicating distance markers and points of interest narratives will be placed along the trail. This public amenity furthers the spirit of the Resort within the community and provides an environmentally friendly alternative to driving for those wishing to explore the area.



## Master Plans

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### f. Code Required Signs

Emergency Egress / Elevators – This sign type will be used during emergency situations, allowing all occupants to safely exit an area and will typically contain an exit route map, important instructions and Grade 2 Braille. They are located in close proximity to all elevators.

Emergency Egress / Stairs – This sign type will be used during emergency situations, allowing all occupants to safely exit an area and will typically contain an exit route map, important instructions and Grade 2 Braille. They are located in close proximity to all elevators.

Restroom ID's – Room Identification plaques are a vital component to both safety and way-finding. Rooms may be identified by numerals or by its use/function, such as "Electrical Closet". These signs are required to contain Grade 2 Braille.

Rules and Regulations – These simple signs are designed to warn guests of hazardous conditions and enforce behavioral standards. They include items such as pool & spa rules, health warnings, maximum occupancy limits, etc.

### g. Temporary Signs

Construction Barricades – Utilized while an area is under construction, these temporary elements not only screen views to unsightly conditions but also serve to inform passers-by about the new development. Use of high-quality paints, inks and substrates as well as frequent change out shall ensure that the barricades always look fresh.

Directional Re-routes – These sign types are used to re-route vehicular or pedestrian traffic during construction closures or when typical conditions are temporarily altered due to special events. These signs should be designed to coordinate with the signage in the area where they are to be used. They are typically composed of a fabricated stanchion with a temporary message insert.

Special Events – Standards shall be developed to accommodate on-site promotion of any special event. Developing flexible templates for these items will ensure that the sophisticated graphic standards of the resort will always be maintained.

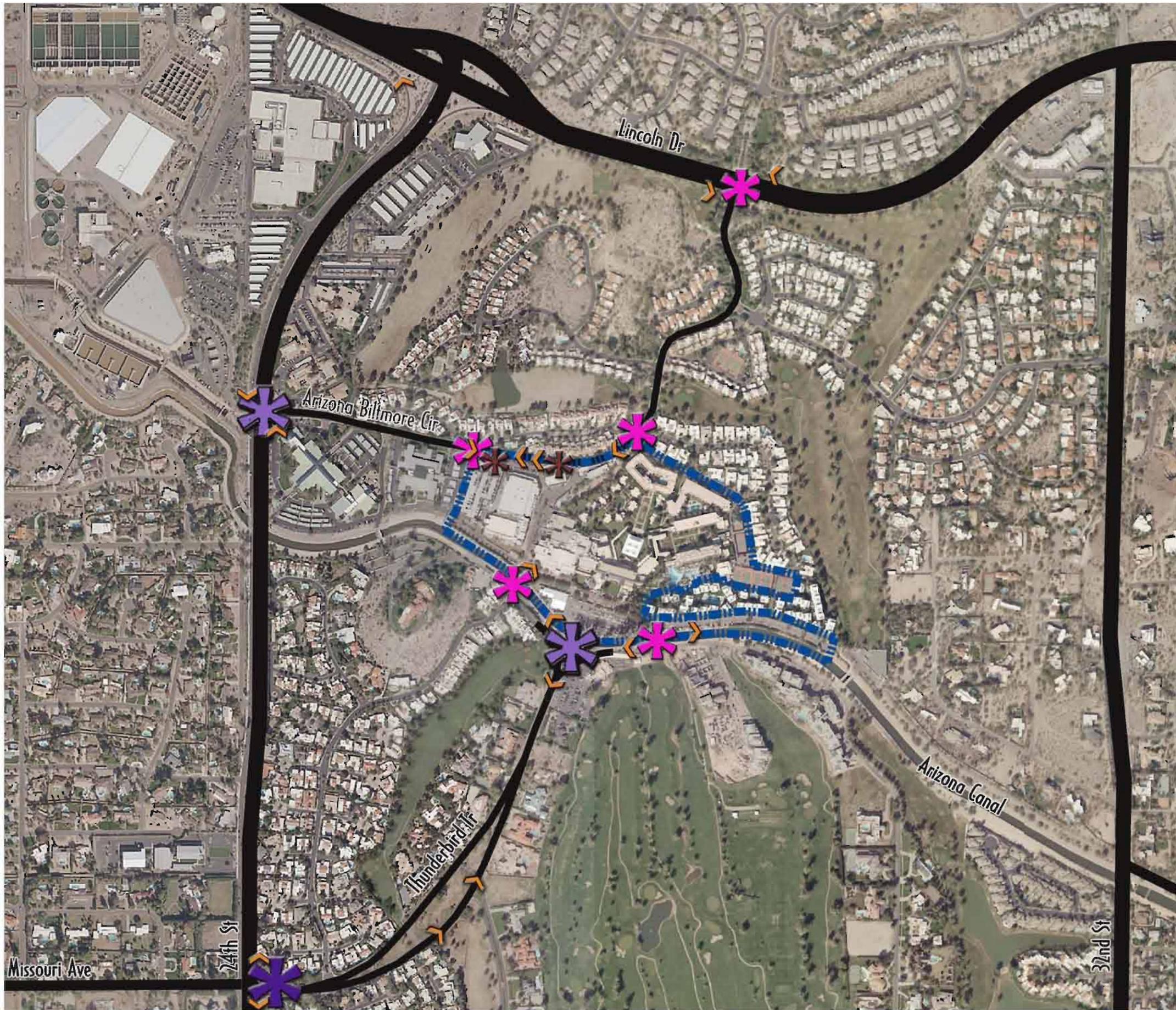


## Master Plans

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### h. Off-Premises Signs

Due to its location away from primary roadways, the Arizona Biltmore Resort can be challenging to locate. Further compounding this condition are the ill defined, multiple entry options. For these reasons, it should be considered that both off-site resort identity signage, as well as directional way finding, are necessary for guests, clients and services to properly locate the property. These sign types should be included in the overall master plan to provide the most complete review of a connected path of travel. Additionally, the design, scale and lighting of these elements should be congruous with that of the rest of the resort as well as the surrounding area. See **Figure 37, Conceptual Off-Premises Sign Placement.**



**Conceptual Off-Premises Sign Placement**

-  Primary Resort Identification
-  Secondary Resort Identification
-  Tertiary Resort Identification
-  Vehicular Wayfinding
-  PUD Project Boundary



# Master Plans

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## 10. Water / Wastewater Master Plans

### **Water Infrastructure**

The resort property is located within the City of Phoenix's water service area, at the low end of Pressure Zone 3B. A pressure zone boundary is determined by the natural topography and elevations of the service area, and the ability of the water system to deliver the amount of flow and pressures required for domestic water service and fire protection. Currently, an 8-inch public water main exists within Arizona Biltmore Circle at the north end of the resort that provides domestic water service to the entire property.

The developer is coordinating with the Water Services Department (WSD) to determine the ability of existing public water infrastructure to serve the proposed redevelopment of the Resort. WSD has performed hydraulic modeling based on the developer's proposed land use program to determine if any modifications will need to be made to public water infrastructure to accommodate proposed redevelopment of the resort. The Water Services Department has determined the ability to maintain the current level of service to Zone 3B. See Appendix J for the Water Services Department summary of findings affiliated with the Arizona Biltmore Resort 2030 Plan.

### **Wastewater Infrastructure**

The resort property is located within the City of Phoenix's wastewater service area. Currently, a 15-inch sewer trunk line exists along the Arizona Canal at the southern boundary of the resort that intercepts all flows from the resort. Additionally, three offsite sewer mains accept flows from the subdivisions north and east of the Arizona Biltmore Resort and convey these flows through the resort to the 15-inch trunk line.

Based on the proposed land use program for the resort redevelopment, WSD staff has indicated that the existing 15-inch sewer trunk line and the City of Phoenix wastewater system has capacity for the additional flows generated by the 2030 build out condition. As shown on the Water and Wastewater Master Plan, one of the existing public sewer mains that traverses the property will be relocated along the south side of Arizona Biltmore Circle to accommodate a proposed building with underground parking. This relocation will not impact the ability of this sewer main to collect wastewater flows from the offsite properties that it is currently serving. See **Figure 39, Water and Wastewater Master Plan**.



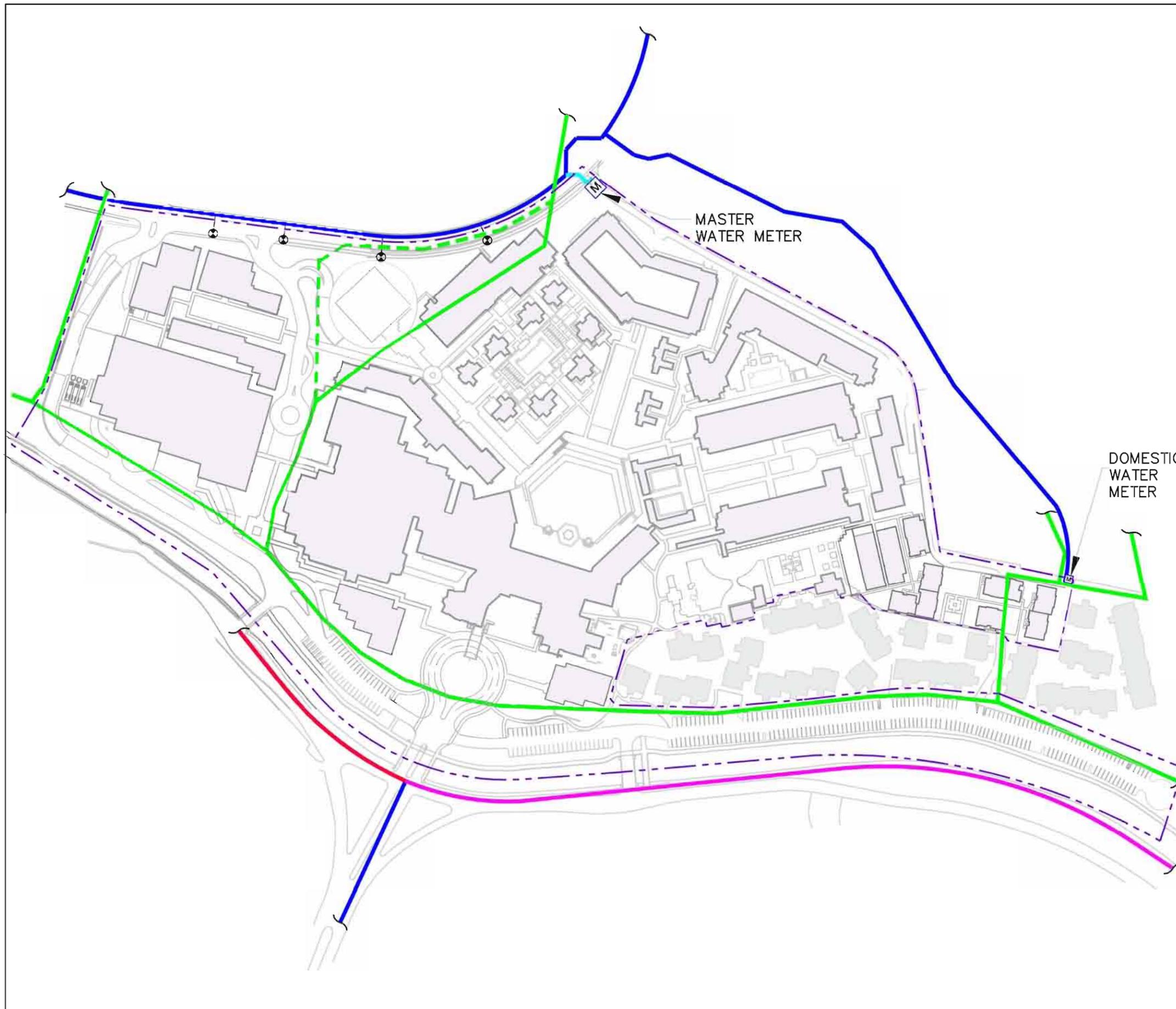
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### Water and Wastewater Master Plan

#### Legend

- PUD Boundary
- Existing 12" Water - Public
- Existing 10" Water - Public
- Existing 8" Water - Public
- Existing 6" Water - Public
- Existing Sewer - Public
- Proposed Sewer Realignment - Public
- Existing fire Hydrant - Public



North   
 Not to Scale   
 Figure 38

Revised: 6.15.09  
 Revised: 2.23.09  
 Revised: 2.9.09  
 Revised: 10.8.08  
 Revised: 7.3.08  
 Revised: 6.26.08  
 Date: 6.20.08  
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Pg.130



# Master Plans

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## 11. Drainage Management Master Plan

### a. Description of Existing Drainage Conditions

The Arizona Biltmore Resort & Spa property is located within the Phoenix Mountains in the Gila River Basin, just north of the Arizona Canal. The existing topography of the area is mildly sloping and generally drains from north to south. The resort property was previously located in a significant flood hazard area, where runoff from the mountains would pond behind the Arizona Canal until it overtopped. The Arizona Canal Diversion Channel (ACDC) was constructed by the Army Corps of Engineers in the late 1980's to eliminate this flood hazard, and protect metropolitan Phoenix from major storm events.

The 17-mile long ACDC is located on the north side of the Arizona Canal (between the canal and the southern boundary of the resort property) and extends from 40<sup>th</sup> Street on the east to Skunk Creek on the west. The section of the ACDC that fronts the resort is a below-grade concrete channel that is owned and maintained by the Flood Control District of Maricopa County.

The Arizona Biltmore Circle bounds the north end of the resort, and prevents roadway drainage from entering the property. A large wash conveys all other offsite flows from the upstream mountain range and residential developments through the resort via a large diameter arch culvert under Arizona Biltmore Circle. These flows are conveyed through the site in a constructed wash to a below-grade storm drainage structure that has an outlet into the ACDC. All of the runoff generated onsite drains south via overland flow and is intercepted by the ACDC (see Stormwater Management Master Plan).

The property is not located within a FEMA mapped flood hazard area, therefore no special flood protection measures will need to be implemented as the site is redeveloped.

The Arizona Biltmore Resort campus has been developed incrementally over the past 80 years, with the majority of the site developed prior to 1972. As such, the resort is not subject to providing stormwater storage. The resort property does not currently provide any storage for stormwater generated onsite. As described above,



## Master Plans

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all flows generated onsite, as well as those passing through the site from the mountain range and development to the north, are intercepted by the ACDC, and therefore do not impact any downstream properties. The ACDC was designed to intercept all peak flows from the resort without any attenuation of those flows. The resort currently implements a lush landscaping theme that prevents any sediment from entering the ACDC, therefore additional consideration for sediment transport through the site is not necessary.

***b. Description of Proposed Drainage Conditions***

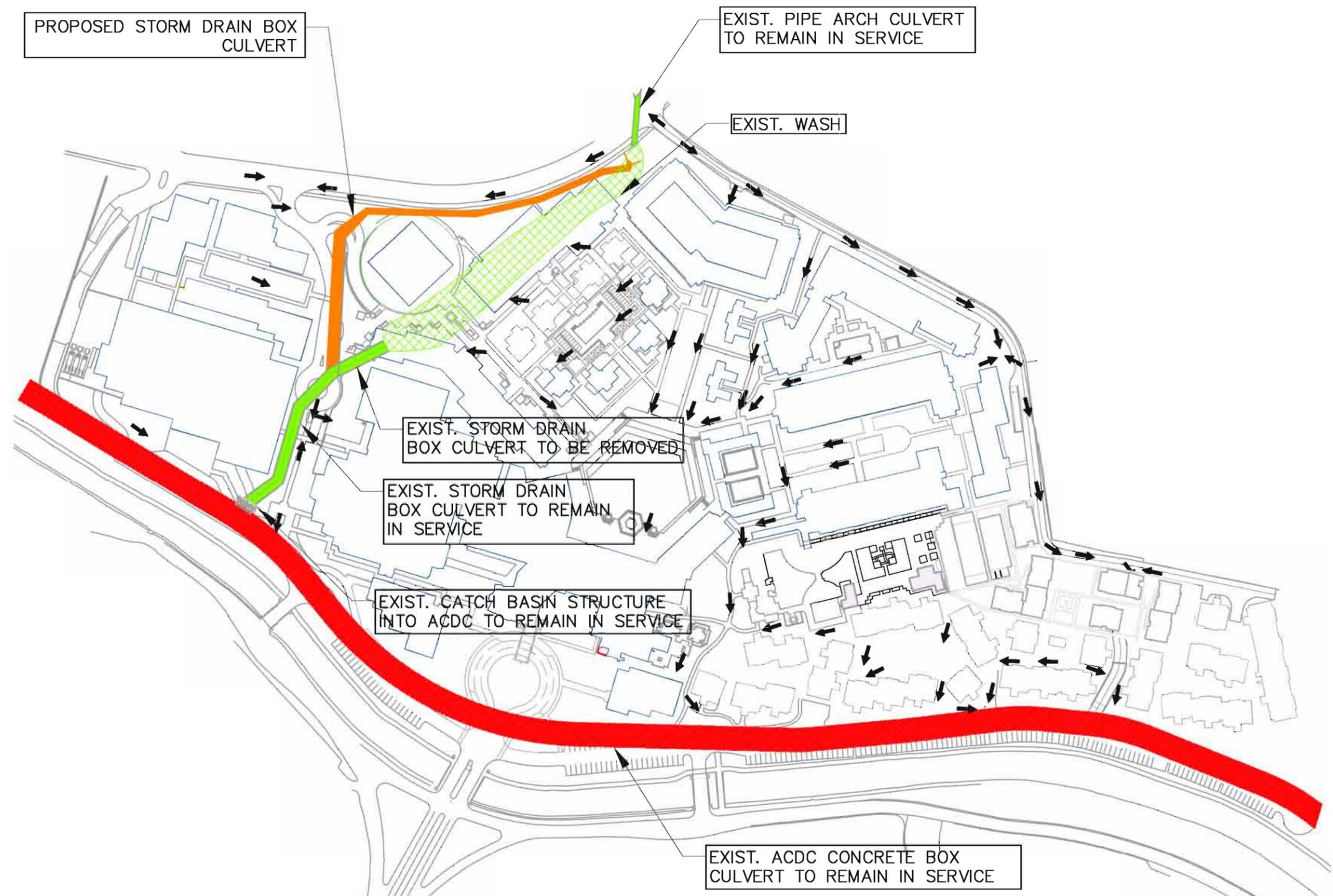
The proposed renovation and expansion of the Arizona Biltmore Resort will provide grading and drainage design similar to existing conditions. Runoff generated onsite will be conveyed to the ACDC via overland flow, or combined with the use of underground storm drainage facilities as required to keep the building foundations free from inundation.

Based on the proposed 2010 Land Use Plan, the existing wash that conveys offsite flows through the resort property needs to be relocated to accommodate a proposed building/underground parking structure. Due to site constraints, it is proposed to extend the underground storm drainage structure through the site along the south side of Arizona Biltmore Circle (see Stormwater Management Master Plan). The relocation of this drainage facility will not impact its ability to convey the offsite runoff that is currently entering the resort property from the residential neighborhoods to the north. **See Figure 39, Drainage Master Plan.**



**Drainage Master Plan**

- Legend**
-  PUD Boundary
  -  Existing Arizona Canal Diversion Channel
  -  Existing Storm Drainage Facility
  -  Existing Wash
  -  Proposed Storm Drainage Facility
  -  Direction of Overland Flow





## Appendix 1

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# APPENDIX 1: Arizona Biltmore Entry Monumentation

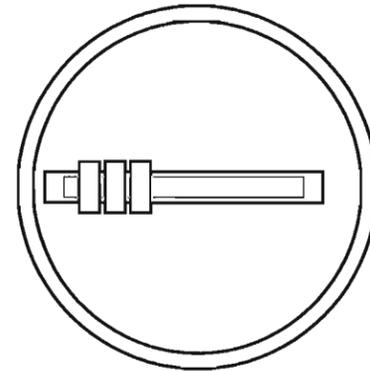


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Primary Sign A

NOTE:  
PRIMARY SIGN "A" TO BE LOCATED AT 24TH  
STREET & THUNDERBIRD TRAIL ENTRANCE.



PLAN VIEW - N.T.S.



COPPER PILLAR WITH FLEXI-GLASS PANELS.  
PILLARS ARE TO BE INTERNALLY LIT FOR  
A STAINED GLASS EFFECT.

COPPER CAP WITH RIBBED DETAILING

COPPER SIGN PANEL WITH PIN MOUNTED  
TEXT. TEXT TO HAVE REVERSE HALO ILLUMINATION.

LOW LANDSCAPE PLANTER  
(ANNUALS)

LAWN

"BILTMORE" BLOCK

A. ARIZONA BILTMORE - PRIMARY SIGN.

SCALE: N.T.S.  
FEB 2, 2009



Scale: Not to Scale

Figure

1-A

Date: 2.2.09

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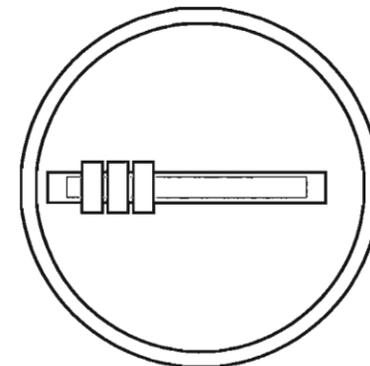


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Primary Sign B

NOTE:  
PRIMARY SIGN "B" TO BE LOCATED AT 24TH  
STREET & ARIZONA BILTMORE CIRCLE.



PLAN VIEW - N.T.S.



COPPER PILLAR WITH PLEXI-GLASS PANELS.  
PILLARS ARE TO BE INTERNALLY LIT FOR  
A STAINED GLASS EFFECT.

COPPER CAP WITH RIBBED DETAILING

COPPER SIGN PANEL WITH PIN MOUNTED  
TEXT. TEXT TO HAVE REVERSE HALO ILLUMINATION.

ARIZONA BILTMORE RESORT

ARIZONA BILTMORE ESTATES

LOW LANDSCAPE PLANTER  
(ANNUALS)

LAWN

"BILTMORE" BLOCK

B. ARIZONA BILTMORE - PRIMARY SIGN.

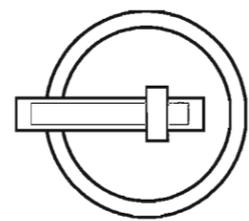
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FEB 2, 2009

North Scale: Not to Scale Figure 1-B Date: 2.2.09  
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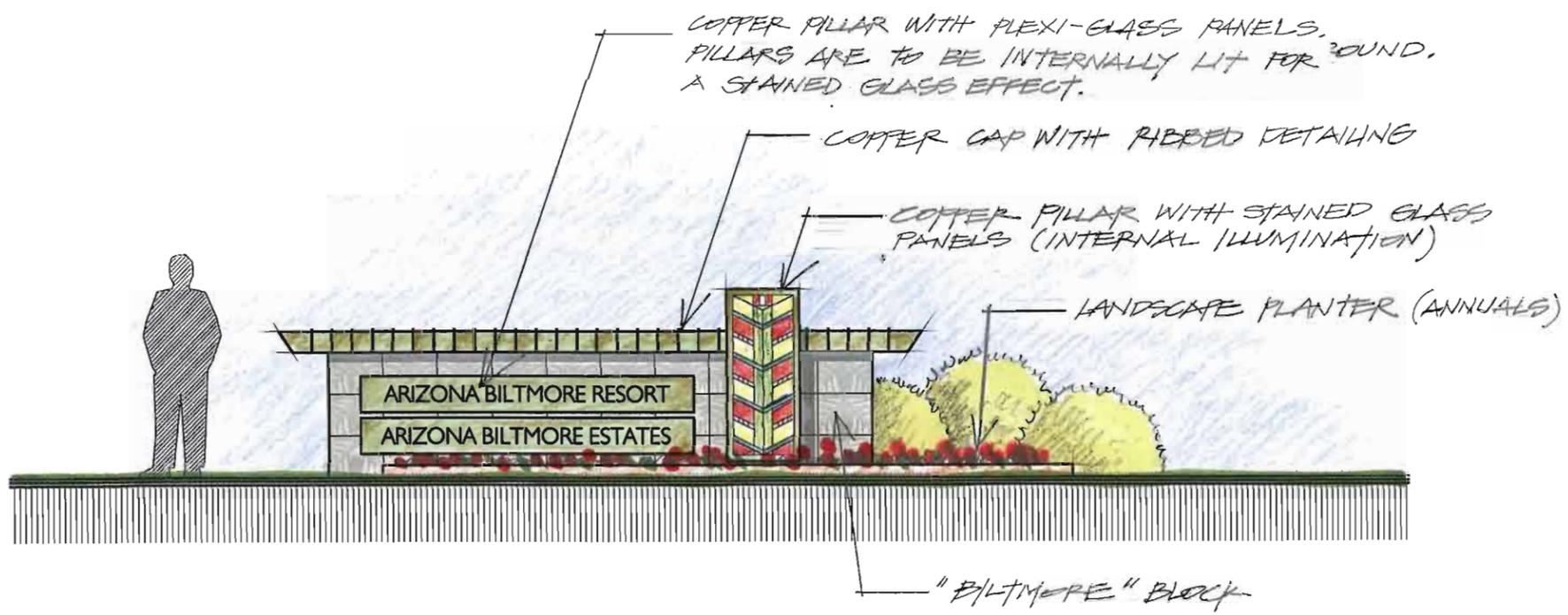


Secondary Sign C

NOTE:  
SECONDARY SIGN "C" TO BE LOCATED AT  
LINCOLN & ARIZONA BILTMORE CIRCLE.



PLAN VIEW - N.T.S.



C. ARIZONA BILTMORE - SECONDARY SIGN  
SCALE: N.T.S.  
FEB 2, 2009