



CITY OF PHOENIX

JUL 17 2017

**Planning & Development
Department**

TEN

**PLANNED UNIT DEVELOPMENT
LAND USE AND DEVELOPMENT STANDARDS**

CASE NO: Z-56-15-7

FINAL CITY COUNCIL APPROVAL: JULY 6, 2017



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PLANNED UNIT DEVELOPMENT DISCLAIMER

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City codes or requirements. Additional public hearings may be necessary such as, but not limited to, right-of-way abandonments.





City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

September 20, 2017

Irwin G. Pasternack AIA, p.c.
Attn: Irwin Pasternak
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Phoenix, Arizona 85014

RE: TEN PUD (Z-56-15-7)

Dear Mr. Pasternack,

Thank you for the revised development narrative in relation to the TEN PUD (Z-56-15-7) rezoning application. The development narrative date stamped July 17, 2017, is consistent with the public hearing draft date stamped April 25, 2017, and incorporates the required changes from stipulations of the City Council approved action. This final narrative provides the zoning requirements for development of the subject site and is part of the case file available as public record. This narrative will be used as the basis for future amendments should they be requested by the current or future owners.

If you have any further questions please contact Elyse DiMartino, the Estrella Village Planner, at elyse.dimartino@phoenix.gov or 602-262-6949.

Sincerely,

Sandra Hoffman
Deputy Director

c: Z-56-15-7
Beus Gilbert PLLC
Attn: Paul Gilbert
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Executive Summary

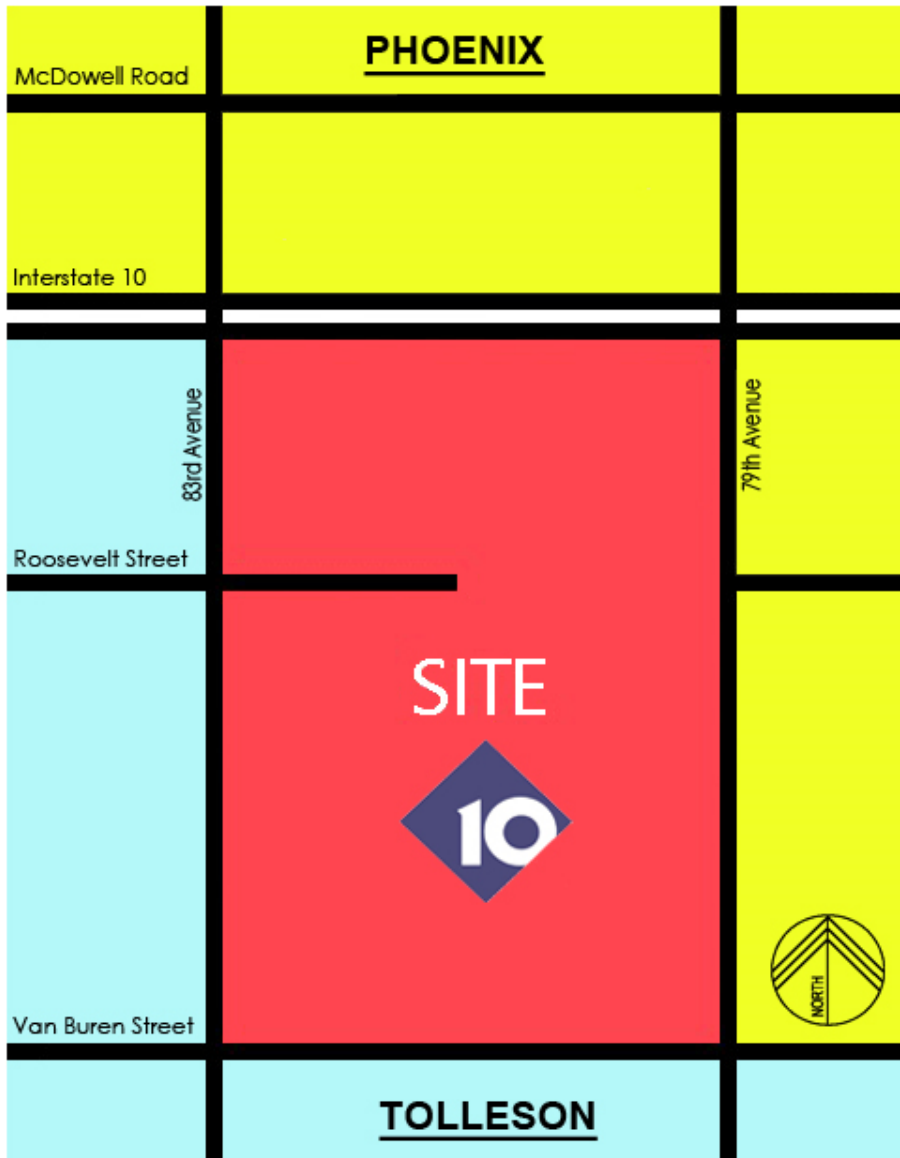
The proposed *TEN Planned Unit Development* (“PUD”) at the southeast corner of 83rd Avenue and Interstate-10 (“I-10”) freeway (the “Property”) will establish the regulatory framework necessary to facilitate this proposed development of a quality industrial complex of buildings and ancillary support uses that will serve the future industrial users as well as the community at large. The Property’s size (i.e., 226.39 gross acres), freeway orientation/location, and its “infill status” within an area rapidly urbanizing and redeveloping for employment, warehousing, and industrial uses provides a unique opportunity to not only support the economic engine of the City on a large scale, but to create a PUD that provides flexibility and dynamism for future users as well as being able to quickly react to both market and user demands. With that said, the *TEN PUD* will offer retail convenience services along 83rd Avenue along with distribution, warehousing, wholesale, retail, and assembly type operations, to name a few, within the interior Property.

It is important to note, this Property is the last large industrial site near the I-10 freeway. The Property abuts the City of Tolleson on the west and south sides. There are no residential homes that abut the property. The closest residential areas are located north of the I-10 freeway. Moreover, the City of Phoenix has invested significant infrastructure resources in this area towards encouraging and providing a sustaining, stable, and long-term employment market for this area as well as the broader City. The aerial map and site location map (See **Figure 1** - below & **Exhibit M-1**; Context Aerial Map as well as **Figure 2**; Site Location Map – on page 6) along with the context plan/photos (See **Exhibit M-2**; Context Plan and Photos) provide a visual overview of the Property.

Figure 1 (Context Aerial Map)



Figure 2 (Site Location Map)*



*** This plan is conceptual.**

The proposed *TEN PUD* development will capitalize on and broaden economic development opportunities within this area and beyond by acting as a conduit for attracting new businesses and a catalyst for additional sustainable as well as appropriate development/redevelopment in whatever forms they may take (i.e., mixed-use, retail, industrial, office, etc.).

The overarching goal of this PUD is to establish the tools, flexibility, as well as framework in order to build a premier industrial complex with ancillary support uses (i.e., retail convenience services). The synergy between the two (2) types of land uses proposed (e.g., industrial and retail) either singularly with interconnections or mixed will provide a unique and attractive combination that is much different from other industrial complexes. Thus, the *TEN PUD* provides for consistent uses and development standards that will fulfill both the needs of the immediate community and the City of Phoenix.



A. PURPOSE AND INTENT

The *TEN PUD* is being proposed by Irwin G. Pasternack, AIA & Associates (“Pasternack”). In 1978, Irwin Pasternack (the owner) started the development of his first retail project. Since then, he has developed over 28 projects, which are all designed and managed by the firm. Moreover, Pasternack has experience with a wide range of architectural projects, such as: retail, commercial, industrial, educational, restaurant, and government. Pasternack has worked with companies of various scales from small tenant improvements to large multi-building development projects. Most recently Pasternack completed a PUD rezoning and started the successful development at the southeast corner of 67th Avenue and the I-10 freeway called the Estrella Vista Commerce Park. Pasternack strives to deliver market based/designed buildings with long term relevancy for both their clients, buyers, and the community. A good example of Pasternack striving for the best within their designs/development is in the name “*TEN*” proposed for this PUD and branding of this development. The name was selected as a representation of the best score, the highest grade, and level of achievement.

With that said, and as previously mentioned, the Property is vacant and the last large industrial site near the I-10 freeway and downtown Phoenix. The Property also abuts the City of Tolleson on the west and south sides. There are no residential homes that abut the property. The closest residential areas are located north of the I-10 freeway. The proposed *TEN PUD* encourages the development of the Property to be compatible/marketable both when it is developed and well into the future. As reflected by the conceptual site plan (See **Exhibit M-3**; Conceptual Site Plan, Enlarged Conceptual Site Plan Vignettes, & Elevation Sample) the large, single-user industrial buildings have been placed interior to the Property and away from the main arterial street frontages (i.e., Van Buren and 83rd Avenue) with the arterial street frontages providing for smaller industrial buildings or users (i.e., Van Buren) and retail convenience services along the heavily travelled 83rd Avenue. This type of design envisioned will provide appropriate buffers along the main arterial street frontages, an enhanced retail tax base, and limit employees having to drive to get services helping to limit congestion along with facilitating a more sustainable and cohesive environment. Moreover, Pasternack is known for utilizing and demanding a strong architectural palette, self-imposed design guidelines, and design intent that is timeless, but flexible enough for an individual user’s branding needs and future façade updates.

As such, the proposed *TEN PUD* will allow for the development of this Property with retail convenience services along 83rd Avenue along with distribution, warehousing, wholesale, retail, and assembly type operations, to name a few, within the interior Property. A mix of uses is also anticipated in order to react to market and user demands. Paramount is the development of appropriate-scaled, quality/designed, and cohesive development.

With that said, the purpose/intent of this PUD is as follows:

- (1) To promote an aesthetically pleasing industrial complex with appropriate consideration given to building materials, design, landscaping, and site layout.
- (2) Establish a strong presence along the I-10 freeway with manufacturing, distribution facilities, and showrooms as well as ancillary retail convenience

services uses to support the industrial uses as well as the community at large or those traversing the I-10 freeway seeking services.

- (3) Respect existing surrounding uses by providing buffers, setbacks, street design, massing, and building height.
- (4) To promote neighborhood stability by diverting truck traffic away from residences north of the freeway as well as schools in the area.
- (5) To provide retail convenience services; such as: restaurants (fast, sit down, etc.), gas, hospitality, and retail along 83rd Avenue to serve the industrial users as well as the surrounding area.
- (6) To provide a premier modern, clean, well-designed, open, and well landscaped industrial complex as a hub of employment.

With that said, the *TEN PUD* will provide for development standards regarding landscaping, screening, design, open space, parking, and building setbacks to buffer/transition, where necessary, while still allowing reasonable accommodations for users looking to develop within close proximity to downtown Phoenix and/or along the I-10 freeway. In summation, the PUD will ensure compatibility with surrounding properties and promote the continued reinvestment and redevelopment in the area that will generate new tax revenues, employment, and potential national users to relocate to the City.

1. REGULATORY PROVISIONS

The PUD has been prepared pursuant to Section 671 of the Zoning Ordinance of City of Phoenix, Arizona (Planned Unit Development) to establish the regulatory framework for the *TEN PUD* by creating development standards specific to the context of the Property.

The PUD is a stand-alone document comprised of project specific zoning regulations, including permitted uses, conditions/limitations, development standards, building heights, landscaping, outdoor storage, driveway locations, and signage. This PUD includes substantial background information to help illustrate the intent of the proposed development. However, the purpose and intent statements are not requirements that will be enforced by the City. Moreover, zoning provisions not specifically regulated by the PUD are governed by the Zoning Ordinance of the City of Phoenix, Arizona. In the event of a conflict between a provision of the PUD and a provision of the Zoning Ordinance of the City of Phoenix, the PUD prevails. The PUD does not modify other City Code provisions or requirements.

The provisions of the PUD apply to all land located within the Property's legally described boundary or approximately 226.39 gross acres. (See **Exhibit M-4**; Legal Description) Final site plan(s) for an individual development project or for the entire Property will be processed in the future through the City of Phoenix preliminary site plan review process.

2. ZONING ORDINANCE APPLICABILITY

The intended regulatory applicability of the Zoning Ordinance of the City of Phoenix, Arizona, as adopted and periodically amended is applicable to the *TEN PUD* except as modified by the standards contained within this Planned Unit Development.

B. LAND USE PLAN/OVERALL DESIGN

The Property has not been designed, although a conceptual site plan, enlarged conceptual site plan, and elevation sample are being provided to show the potential of what could be developed and the look of a “completed” approximately 226.39 gross acre development plan. (See **Exhibit M-3**; Conceptual Site Plan, Enlarged Conceptual Site Plan Vignettes, & Elevation Sample) As previously stated, Pasternack proposes the highest standards possible in mind while considering the City’s Design Guidelines (i.e., Section 507.Tab A), but more importantly Pasternack’s own design guidelines. Pasternack’s designs guidelines are intended to supplement the City’s and foster an atmosphere consistent with a vision in which to build upon, retain, and encourage architectural variety, and uniqueness for a quality large industrial complex development that will be attractive for the area and the ultimate end users.

C. SITE CONDITIONS AND LOCATION

The *TEN PUD* consists of approximately 226.39 gross acres and is comprised of numerous tax parcels located just south and across the I-10 freeway of the Maryvale Village Core. The Property is generally bounded by 83rd Avenue, an arterial street, to the west; 79th Avenue, a collector street, to the east; the I-10 freeway to the north, and Van Buren Street, an arterial street, to the south. The land is virtually flat, with no significant topographic features or major watercourses. The *Ten PUD* is surrounded by existing industrial developments south of the freeway and a small residential component north of the freeway. The majority of the Property, which is vacant, is owned by Pasternack. A small well site Parcel (i.e., approximately 2,637 square feet; APN #: 102-44-002C) is located at approximately the northeast corner of Van Buren Street and 83rd Avenue and is owned by another entity (“Rousseau Sons LLC”). Rousseau Sons LLC has agreed to participate in the rezoning to PUD and they will work with Pasternack on the necessary relocation of the well or design around the well site.

D. GENERAL PLAN CONFORMANCE

The current City of Phoenix General Plan Land Use Designation for the Property is a combination of Residential 5-10 DU/AC, 10-15 DU/AC, 15+ DU/AC, Commercial, Industrial, and Commerce Park/Business Park. A minor General Plan Amendment is required to accommodate the proposed vision and development of the Property. As set forth in the following subsections, the *TEN PUD* rezoning request is consistent and compatible with the goals and objectives outlined in the 2015 General and Land Use Plan as well as with the current zoning designations surrounding the Property. A significant goal of the General Plan is to encourage integration of compatible uses so as to provide a cohesive environment that is in harmony with the existing character of the area. (See **Figure 3** – on page 10 & **Exhibit M-5**; City of Phoenix General Plan Map)

Properties north of the I-10 freeway are designated Commercial and Residential 15+ du/ac on the City of Phoenix General Plan's Land Use Map. The Maryvale Village Core area is also located north of the I-10 freeway. Adjacent properties east of 79th Avenue are designated Industrial on the City of Phoenix General Plan's Land Use Map. Adjacent properties to the south and west are located within the City of Tolleson and primarily have industrial and commercial land uses.

The request to modify the General Plan has been submitted and is being reviewed concurrently with this rezoning request. To that end, the proposed land use designation changes for the PUD are noted on page 11. (See **Figure 4** – on page 11 & **Exhibit M-6**; Proposed General Plan Map Amendment) The proposed minor amendment will allow for the necessary flexibility, integration, and mix of uses envisioned for the *TEN PUD*.

Figure 3 (City of Phoenix General Plan Map - Existing)

- Residential 5 to 10 du/acre (92.03 +/- Acres)
- Residential 15+ du/acre (30.17 +/- Acres)
- Residential 10 to 15 du/acre (26.26 +/- Acres)
- Commercial (19.06 +/- Acres)
- Commerce / Business Park (51.84 +/- Acres)
- Industrial (2.24 +/- Acres)

-  Proposed Change Area
-  Residential 3.5 to 5 du/acre
-  Residential 5 to 10 du/acre
-  Residential 15+ du/acre
-  Commercial
-  Commerce / Business Park
-  Industrial
-  10 to 15 du/acre
-  Transportation

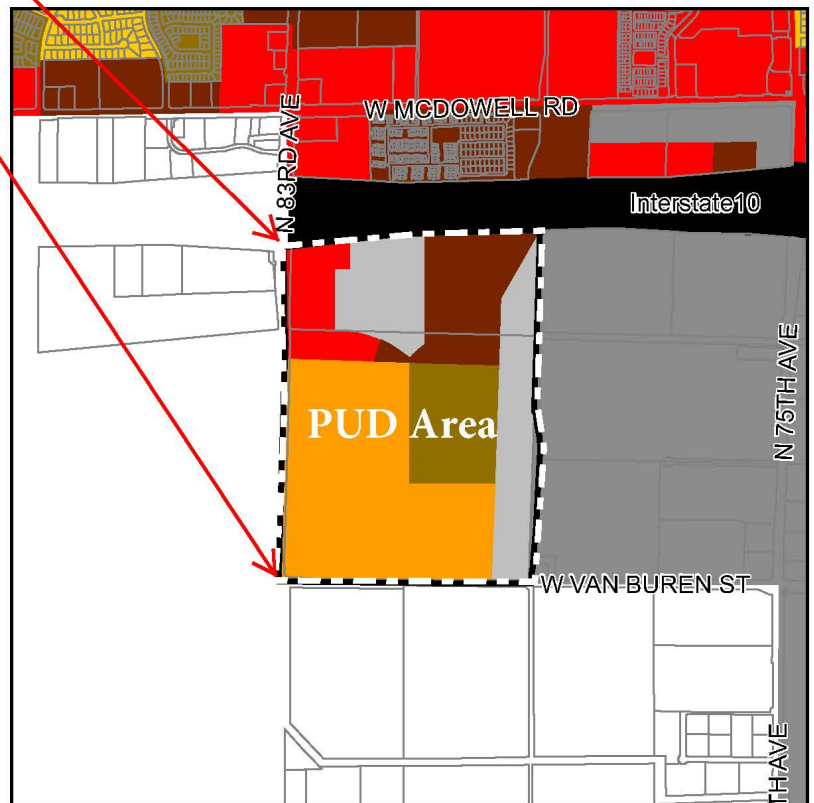
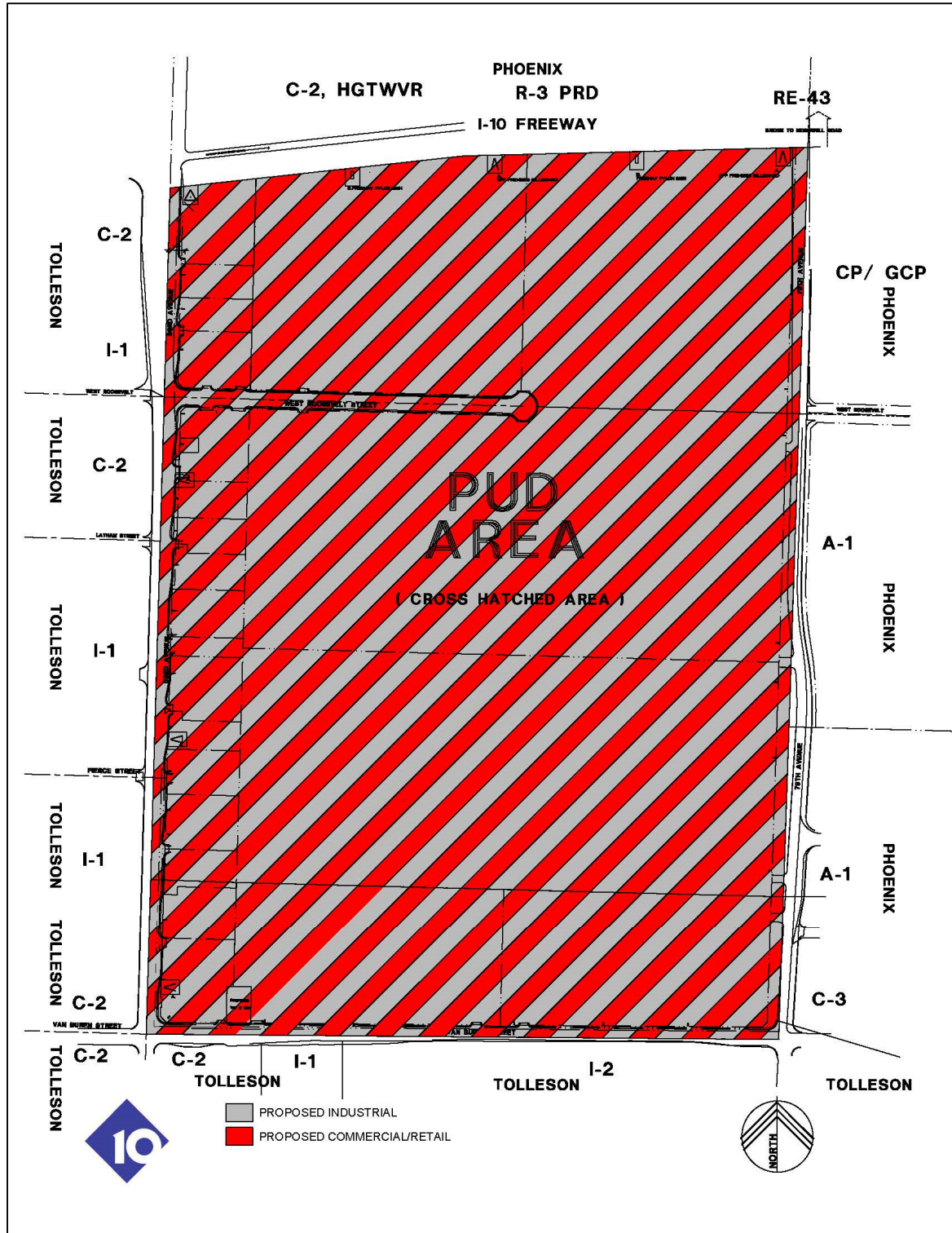


Figure 4 (Proposed General Plan Map Amendment)*



* This plan is conceptual.



The *TEN PUD* meets several of the 2015 voter approved General Plan's Vision, Community Benefits, and 5 Core Values. They are:

The 2015 General Plan recognizes the need to promote strong, healthy neighborhoods and to preserve their unique character, while encouraging development that is sensitive to the scale and character of the surrounding neighborhoods. Typically, this is accomplished by incorporating appropriate development standards, such as landscaping, screening and setbacks, to mitigate any negative impacts where disparate land uses are adjoining. The following outlines the relationship between the requested rezone change and the City of Phoenix General Plan. The 2015 General Plan core values seek to promote comprehensive direction for the growth, conservation and development of all physical aspects of the City.

The current land use designations are inconsistent with the adjacent land uses south of the freeway. It is incongruous that a mostly residential component would be introduced into such an industrialized area. Thus, the *TEN PUD*, and as shown on the conceptual site plan, contemplates the theme of retail convenience service, industrial, hospitality, and employment supporting the areas existing development and zoning pattern. This is consistent with the development pattern that starts in Phoenix and runs continuously into Tolleson. Clearly there is no current need for residential at this time or in the foreseeable future; however, should that change and there becomes a need then an amendment to the PUD may be necessary and will be processed accordingly.

Phoenix 2015 Core Values

The City of Phoenix has adopted the goals and development criteria of the 2015 General Plan document. When considering how the City is to develop the City has outlined prosperity, health, and environment as the main community benefits of comprehensive, thoughtful and organized master planning and design.

To reach these benefits the City has determined a path of five (5) core values will lead to the overall objectives of prosperity, health and environment. The five (5) core values are as follows:

1. Connect people and places.
2. Build the sustainable desert City.
3. Strengthen our local economy.
4. Celebrate our diverse communities and neighborhoods.
5. Create an even more vibrant downtown.

Connecting People and Places

The *TEN PUD* is situated adjacent to the I-10 freeway at the western City limits. It is the last large parcel adjacent to the freeway on the west side of town. As such the Property is perfect for retail, commercial, industrial, educational, restaurant, employment, or a mix of those uses for development. Connectivity to the freeway is critical for these types of businesses. Phoenix has become an important receiving and dispersal location for goods moving north and east and arriving from the ports of Los Angeles and San Diego. The I-10 freeway sees hundreds of trucks

coming east into the Phoenix area. The Property is well located to receive goods, warehouse them and then distribute them to other cities in the nation. The *TEN PUD* is near the 101 freeway, the 303 freeway, and a future connection to the 202 freeway at approximately the 59th Avenue alignment. The proximity of the Property to the I-10 freeway keeps truck and vehicular traffic away from local streets thus lessening congestion. It is this connectivity to the freeway which allows access to major cities elsewhere that makes the *TEN PUD* important.

The *TEN PUD* also has direct links to adjacent residential areas to the north and south via 83rd Avenue and 79th Avenue and to the east and west via Van Buren Street for potential future employees. The freeway connection can allow employees to come from any location. It is worth noting that 79th Avenue includes HOV access ramps, which helps promote ridesharing and a potential reduction in overall traffic in the area.

Currently developments east of 79th Avenue are using 75th Avenue and a lesser extent Van Buren and 83rd Avenue for access to the freeway. Roosevelt Street currently terminates at 79th Avenue. The *TEN PUD* development plan envisions utilizing Roosevelt only to serve properties within the development itself (i.e., internal access drive as opposed to a dedicated public street), so that connectivity from the Property to the freeway does not overload 83rd Avenue by introducing more traffic from east of 79th Avenue. Thus, connectivity is preserved.

In addition, bus service runs north/south along 83rd Avenue and east/west along Van Buren Street, which connects the *TEN PUD* development with other industrial and residential areas. With that being said, the *TEN PUD* development is ideally suited to connect with areas of Phoenix and all of the adjacent towns and cities via streets and the I-10 freeway.

Build the Sustainable City

The *TEN PUD* development will be built on 226.39 gross acres of existing farmland. In order to utilize the Property as envisioned by the *TEN PUD* to its fullest extent, new infrastructure will need to be built. A new water line is proposed in 83rd Avenue and in Roosevelt from 83rd Avenue to 79th Avenue. A new onsite sewer and water line will service all of the retail projects along 83rd Avenue. Individual retail sites will be served from an onsite line so no street cuts to 83rd Avenue will be required. Gas lines will also service the various sites within the development as needed.

To the best extent possible, the buildings at the *TEN PUD* development will be constructed using renewable or recyclable materials. Large industrial buildings will be built of durable and long lasting concrete tilt walls with steel interior columns, and trusses with a panelized roof system. Concrete-tilt-panel construction creates structurally sound and aesthetically pleasing exterior walls, with a long life cycle.

The retail buildings will likely be built of type V-B construction utilizing typical industry standard materials. Nationally there is an effort by many businesses to develop utilizing “green,” sustainable materials and energy efficient buildings, since it is more energy efficient, long term profitable, and their clients want such practices implemented.

All landscaping within the *TEN PUD* will utilize a list of low-water-use desert oriented plant materials. Lawn areas will be utilized in small amounts as an accent planting, to cover the bottom of retention basins, or provide places for people to gather. The *TEN PUD* is committed to providing ample shade trees, shrubs, cacti, and living ground covers to create a park-like setting throughout the entire complex. An allée of palms is proposed along the Roosevelt Street



alignment (i.e., access drive) to highlight this drive as the main entrance to the more industrial portion of the development. All landscaping shall be thoroughly maintained to keep the *TEN PUD* development in pristine condition.

Strengthen Our Local Economy

The *TEN PUD* development is all about creating new jobs and attracting businesses in need of large industrial buildings. The *TEN PUD* is located at the western edge of Phoenix adjacent to the I-10 freeway. The Property is ideal for distribution facilities which require over 500,000 square feet of indoor space. The concept site plan proposes two (2) distribution facilities of 1,100,000 square feet and two smaller warehouses in the 500,000 square foot range. At the south end there is room for two (2) additional smaller buildings in the 250,000 to 275,000 square foot range. Along 83rd Avenue retail sites are proposed to attract retail uses, hotel, and restaurants that will service the industrial users and the vast number of employees. The retail uses will also serve freeway traffic and people from the surrounding areas. Moreover, the limited amount of retail and restaurants in Tolleson would also bring business to Phoenix.

While the industrial sites will create hundreds of jobs in both technical and moderately skilled levels, the retail component will attract a younger worker component creating a mix of skilled labor force.

The *TEN PUD* will generate jobs in construction over a long period of time. Not all of the available sites will be built at once, allowing business growth to continue as Phoenix continues to grow with time. The *TEN PUD* represents one of the last big opportunities to develop very large industrial type buildings adjacent to the freeway and close to downtown Phoenix. There are large tracts of land in adjacent cities west of Phoenix and it is those sites with which the *TEN PUD* must compete. Most of those outlying parcels do not have direct freeway access which is an important consideration for distribution type facilities. Phoenix has the employment base north and south of the Property as well as drawing employees from the adjacent cities. The *TEN PUD* development is also ideally suited for receiving goods flowing from the west coast (i.e., California). Distribution style businesses are capable of redirecting producers in all directions to the rest of the country as well as local cities via the network of freeways connecting to the I-10 freeway.

In summation, this adds up to a healthier Phoenix economy. The *TEN PUD* development will provide job opportunities and income potential for all levels of the work force.

Create a More Vibrant Downtown

Although the *TEN PUD* development is not located in the city center there are still benefits to the City in that traffic is kept out of the downtown area, but goods and services can still flow to the city center along the I-10 freeway. Employees living and working in the western suburbs also have ready access to Arts and Cultural events and the sports stadiums, restaurants and nightlife the city center of Phoenix now offers. Some of the revenue generated by the businesses in the *TEN PUD* development will go to the creation and support of making the Phoenix downtown a showcase of city living.

Celebrate our Diverse Communities and Neighborhoods

The *TEN PUD* borders the town of Tolleson and Phoenix wraps around Tolleson to connect to the once farming communities of Laveen. Tolleson is mostly a town of industrial and retail properties with a small residential component. Laveen is quickly transitioning into more typical suburban residential subdivisions and retail commercial centers. The *TEN PUD* fits well into the surrounding industrial zonings. The properties in Tolleson abutting 83rd Avenue and Van Buren Street are mostly industrial in nature with a few commercial zonings along 83rd Avenue. (See **Exhibit M-7**; City of Tolleson General Plan Map and Zoning Map)

It is worth noting that land north of the freeway and south of Tolleson are mostly residential developments with large areas of agriculture land still under cultivation. It is probable that most of the remaining agriculture lands will become residential developments in the future. The commercial/industrial areas remaining all have well defined borders. The *TEN PUD* blends effortlessly into the industrial fabric of the industrial belt remaining in west Phoenix and Tolleson.

The *TEN PUD* has been master planned to create an orderly, clean, and safe environment. The building architecture, colors and materials will be regulated through CC&R's and imposed on all properties throughout the overall development. The landscape palette will also unify the entire development with specific desert trees and shrubs. Parking lot lighting and street lighting as well as pedestrian oriented lighting at building entrances and walkways will provide added safety and security. Interior drive lanes on the retail properties connect from site to site in order to allow vehicles easy access to restaurants or retail stores without having to exit on to the street network. Delivery and garbage trucks can also circulate continuously throughout the overall development via these drive lanes, likewise lessening congestion on the surface streets. Finally, the *TEN PUD* proposes to reduce the number of driveways along 83rd Avenue to minimize turning conflicts, as much as possible. Deceleration lanes, where appropriate, will also serve to keep traffic flowing smoothly.

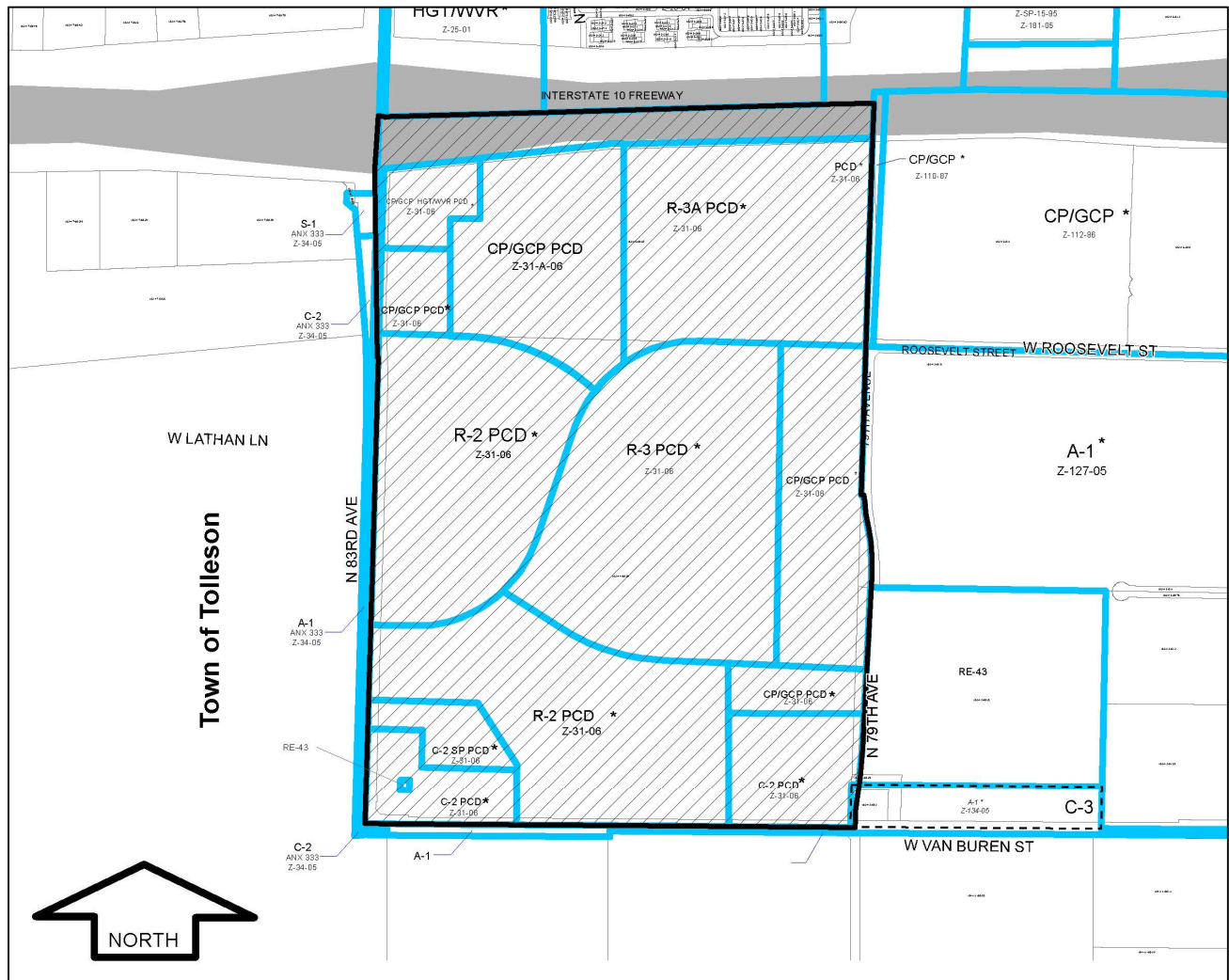
Finally, connectivity with residential areas will utilize 83rd and 79th Avenues to the north and south and Van Buren Street east and west. More distant connections will most likely be associated with the freeway. While 83rd Avenue will permit all types of trucking and vehicular traffic, the ramps at 79th Avenue only have access for high occupancy vehicles. The bridge over the freeway at 79th Avenue is not well suited for truck traffic so we are discouraging businesses in the *TEN PUD* development from using 79th Avenue for trucking access. The *TEN PUD* encourages businesses to utilize 79th Avenue for employee access to the large industrial sites. Most importantly, the *TEN PUD* development will be a clean and orderly development which will promote a sustainable, renewable environment. No "heavy" industrial users will be allowed.

In summation, the *TEN PUD* development will be a tremendous asset to the City of Phoenix. The development will bring new jobs, goods, services, restaurants, and other support services. Moreover, the development will be a clean, safe, and orderly development supporting the health, safety and welfare of the people, utilizing the latest and most efficient building materials and practices.

E. ZONING AND LAND USE COMPATIBILITY

The rezoning request is to change the current zoning designations from C-2 PCD, (17.01 acres); CP/GCP HGT/WVR PCD, (5.21 acres); C-2 SP PCD, (4.39 acres); CP/GCP PCD, (52.77 acres); R-2 PCD, (67.26 acres); R-3 PCD, (45.49 acres); RE-43, (0.06 acres), and R-3A PCD, (34.20 acres) to Planned Unit Development, accompanied by a minor General Plan Amendment. The proposed rezoning is compatible with the adjacent zoning pattern and the surrounding uses. (See **Figure 5 – Existing Zoning Map below & Figure 6 – on page 17; Proposed Rezoning Map and Exhibit M-8; Zoning Maps (Existing and Proposed)**)

Figure 5 (Existing Zoning Map)



The *TEN PUD* rezoning request clearly represents the highest and best use for the Property as it provides opportunities for a greater intensity of uses, a variety of land uses, and develops a large “infill” site into a cohesive industrial complex as envisioned by Pasternack. The elements proposed within this PUD will provide for a comprehensive, urban/industrial, mixed-use environment that will encourage interaction between land uses as well as spur additional reinvestment and redevelopment in the area.

F. LIST OF USES

The *TEN PUD* allows for significant flexibility regarding land uses. The spirit/intent of this PUD is to accommodate a mix of uses, such as: employment, warehousing, industrial, retail convenience services, and hospitality types of uses in any combination or to allow sites to develop under a single user. The preferred uses are those which provide goods and services to the proposed industrial complex of users within the *TEN PUD* as well as others within the community. To that end, the following are the permitted uses within the *TEN PUD*:

1. Permitted Principal Use.

All permitted uses under the following zoning districts of the City of Phoenix Zoning Ordinance as amended and adopted by the City of Phoenix, except that the uses outlined below in Section F.3. are prohibited.

The developer(s) or any property owner within the defined limits of the PUD may request an interpretation of analogous use to the defined list below from the City of Phoenix Zoning Administrator. The Zoning Administrator may administratively approve a use analogous to those listed below.

- a. Commercial Zoning Districts C-1 (Section 622), C-2 (Section 623), and C-3 (Section 624)
- b. Commerce Park District (Section 626)
- c. Industrial Districts A-1 (Section 627)

2. Unless otherwise specifically provided elsewhere in the PUD, the following are additional allowances within the PUD and restrictions that shall apply.

- a. Temporary uses shall be permitted pursuant to regulations and standards for temporary uses specified by Section 708 of the City of Phoenix Zoning Ordinance.

b. Prohibited Uses within the PUD.

- a. Adult bookstore, adult novelty store, adult theater, adult live entertainment, erotic dance or performance studio.
- b. Asbestos products, wholesale and storage.
- c. Auctioneers.
- d. Cranes, storage yard.
- e. Crematorium.
- f. Crop dusting equipment yards.

- g. Day labor hiring and transportation centers.
- h. Environmental remediation facility.
- i. Explosive processes and storage of explosive materials or components.
- j. Gasoline, bulk storage tanks.
- k. House wreckers' yards.
- l. Livestock supplies, storage and wholesale.
- m. Mortuary.
- n. Oil, fuel, bulk storage.
- o. Rabbit slaughtering.
- p. Religious Missions, including charity dining halls and similar activities either enclosed or open.
- q. Residential, multifamily.
- r. Residential, single-family (attached or detached).
- s. Salvation Army welfare activities.
- t. Semi-trailer truck service station providing maintenance, fueling, or washing of semi-trailer trucks.

G. DEVELOPMENT STANDARDS

The proposed development standards and proposed uses within the *TEN PUD* are consistent and appropriate with the surrounding area. Again, the goal of the *TEN PUD* is to bring together employment/industrial as well as ancillary related uses in a cohesively planned semi-urban/sustainable environment. As such, the proposed development standards include meaningful landscaping standards, shade, building massing, and pedestrian design techniques to ensure compatibility with the adjacent properties while still being a unique signature development. For illustrative purposes, a comparative zoning standards table is included within this Development Narrative to show the contrast, and improvements, between the *TEN PUD*'s development standards and the A-1 (Light Industrial), CP/GCP (Commerce Park/General Commerce Park), and C-3 (General Commercial) zoning districts. (See **Exhibit M-9**; Comparative Zoning Standards Table)

The adjacent freeway, arterial streets, surrounding land uses, as well as the lack of residential uses in the area create a situation where the proposed development standards can be more flexible to meet individual users' needs. The Property will be more marketable and developable (i.e., competitive) under the proposed PUD's development standards. Furthermore, strategically providing where appropriate greater/lesser building setbacks, greater/lesser landscaping requirements, enhanced circulation (i.e., vehicular and pedestrian), and strategically locating parking areas helps to create an appearance that is more campus like, open and functional for all the future uses. Moreover, the spirit and intent of the proposed development standards are an attempt to recognize the Property's setting as well as its unique site characteristics, which would typically rely on processing variances to receive relief from certain development standards.



DEVELOPMENT STANDARDS	
BUILDING HEIGHT	
WITHIN 300-FEET OF 83RD AVENUE	30-FEET MAXIMUM 56-FEET MAXIMUM - FOR HOTEL USES
WITHIN 300-FEET OF VAN BUREN STREET <ul style="list-style-type: none"> FOR PERMITTED PRINCIPAL USES IN THE C-1 (SECTION 622), C-2 (SECTION 623), and C-3 (SECTION 624) ZONING DISTRICTS ONLY 	30-FEET MAXIMUM 56-FEET MAXIMUM - FOR HOTEL USES
WITHIN 300-FEET OF VAN BUREN STREET <ul style="list-style-type: none"> PERMITTED PRINCIPAL USES IN THE COMMERCE PARK (SECTION 626) AND A-1 LIGHT INDUSTRIAL (SECTION 627) ZONING DISTRICTS 	56-FEET MAXIMUM
ALL OTHER AREAS	56-FEET MAXIMUM 80-FEET MAXIMUM WITH USE PERMIT
LOT COVERAGE	
WITHIN 300-FEET OF 83RD AVENUE RIGHT OF WAY	50% MAXIMUM – OF NET SITE AREA
ALL OTHER AREAS	60% MAXIMUM – OF NET SITE AREA
BUILDING & LANDSCAPE SETBACKS (ADJACENT TO STREETS AND PERIMETER)	
<u>83RD AVENUE</u> BUILDING & LANDSCAPE SETBACK	AVERAGE 25-FEET MINIMUM 20-FEET PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS
<u>ROOSEVELT STREET*</u> BUILDING & LANDSCAPE SETBACK (*Potential Private Accessway)	AVERAGE 25-FEET MINIMUM 20-FEET PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS
<u>VAN BUREN STREET</u> BUILDING & LANDSCAPE SETBACK	30-FEET MINIMUM
<u>79TH AVENUE</u> BUILDING & LANDSCAPE SETBACK	15-FEET MINIMUM
<u>I-10 FREEWAY</u> BUILDING SETBACK	50-FEET MINIMUM
<u>I-10 FREEWAY</u> LANDSCAPE SETBACK	10-FEET MINIMUM



INTERIOR BUILDING & LANDSCAPE SETBACKS

<p>FOR PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS</p>	<p>10-FEET MINIMUM</p>
<p>FOR PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS</p>	<p>10-FEET MINIMUM</p>
<p>FOR PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS</p>	<p>NONE</p>
<p>FOR PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS</p>	<p>NONE</p>



LANDSCAPING STANDARDS BY STREET

83RD AVENUE & VAN BUREN STREET	<p>1 ROW TREES PLANTED 20-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>
ROOSEVELT STREET* (*Potential Private Accessway)	<p>1 ROW TREES PLANTED 20-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>
79TH AVENUE	<p>1 ROW TREES PLANTED 20-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 3-INCH CALIPER (50% OF REQUIRED TREES) MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>
I-10 FREEWAY	<p>1 ROW TREES PLANTED 30-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 3-INCH CALIPER (50% OF REQUIRED TREES) MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>



LANDSCAPING STANDARDS FOR PARKING LOT AREAS	
<u>PARKING LOT AREAS</u> <u>INTERIOR SURFACE AREA, EXCLUSIVE OF PERIMETER LANDSCAPING AND REQUIRED SETBACKS</u> WITHIN 300-FEET OF 83RD AVENUE & VAN BUREN STREET RIGHTS OF WAY	10% MINIMUM
<u>PARKING LOT AREAS</u> <u>INTERIOR SURFACE AREA, EXCLUSIVE OF PERIMETER LANDSCAPING AND REQUIRED SETBACKS</u> ALL OTHER AREAS	5% MINIMUM
<u>LANDSCAPE PLANTERS</u>	AT ENDS OF EACH ROW OF PARKING & APPROX. EVERY 110'
<u>LANDSCAPE PLANTERS</u> SINGLE ROW	MINIMUM 120 S.F.
<u>LANDSCAPE PLANTERS</u> DOUBLE ROW	MINIMUM 240 S.F.
<u>PARKING LOTS</u> SINGLE-PARKING ISLAND	1 – 2-INCH CALIPER TREE MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE
<u>PARKING LOTS</u> DOUBLE PARKING ISLAND	2 – 2-INCH CALIPER TREES MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE

LANDSCAPING STANDARDS – OTHER	
ON-SITE, OPEN AREAS, RETENTION BASINS, ETC.	THE PUD SHALL COMPLY WITH SECTIONS 507 TAB A AND 703 OF THE CITY OF PHOENIX ZONING ORDINANCE.



SCREEN WALLS	
<u>SCREEN WALLS</u> CAR PARKING AREAS	<ul style="list-style-type: none"> • FOR AREAS FRONTING ON A PUBLIC STREET, PRIVATE ACCESSWAY OR PRIVATE DRIVE, A FENCE OR FREESTANDING WALL WITHIN OR BOUNDING THE REQUIRED FRONT YARD SHALL BE LIMITED TO A MAXIMUM HEIGHT OF 40-INCHES • OFFSETS EVERY 40-FEET • PIERS EVERY 40-FEET • DECORATIVE BANDING
<u>MASONRY SCREEN WALLS</u> TRAILER PARKING	<ul style="list-style-type: none"> • 8-FOOT MAXIMUM HEIGHT MASONRY WALLS • OFFSETS EVERY 40-FEET
<u>MASONRY SCREEN WALLS</u> OPEN STORAGE AREAS	<ul style="list-style-type: none"> • SUFFICIENT HEIGHT TO SCREEN STORAGE AREAS • LOCATION OF STORAGE AREAS AND SCREENING TO BE REVIEWED AND APPROVED BY THE PLANNING & DEVELOPMENT DEPARTMENT
<u>FENCING</u> AT INDUSTRIAL/RETAIL SHARED PROPERTY LINES	<ul style="list-style-type: none"> • 6-FOOT MAXIMUM HEIGHT • OFFSETS EVERY 40-FEET
<u>MASONRY SCREEN WALLS</u> AT REFUSE AREAS	<ul style="list-style-type: none"> • 6-FOOT MASONRY WALLS • DECORATIVE METAL GATES • DECORATIVE BANDING TO MATCH PERIMETER WALLS



SITE LIGHTING STANDARDS	
<u>PARKING LOTS</u> WITHIN 300-FEET OF 83RD AVENUE	<ul style="list-style-type: none"> • 15-FOOT MAXIMUM HEIGHT • ALL LIGHTING SHALL BE FULLY SHIELDED
<u>PARKING LOTS</u> ALL OTHER AREAS	<ul style="list-style-type: none"> • 25-FOOT MAXIMUM HEIGHT • ALL LIGHTING SHALL BE FULLY SHIELDED
PEDESTRIAN AREAS & BUILDING ENTRIES	<ul style="list-style-type: none"> • 25-FOOT MAXIMUM HEIGHT • 15-FOOT MAXIMUM HEIGHT WITHIN 150- FEET OF ANY RESIDENTIAL USES • WALL MOUNTED LIGHTS • ALL LIGHTING SHALL BE FULLY SHIELDED
SECURITY LIGHTING	<ul style="list-style-type: none"> • WALL PACKS AS NEEDED AT MAIN AND DOCK DOORS • DOWNLIGHTING OR EQUAL AT BUILDING ENTRIES • ALL LIGHTING SHALL BE FULLY SHIELDED
PARKING LOTS AT TRUCK COURTS & TRAILER PARKING AREAS	<ul style="list-style-type: none"> • 25-FOOT POLES • ALL LIGHTING SHALL BE FULLY SHIELDED

H. DESIGN GUIDELINES

Unless specifically modified herein, the *Ten PUD* shall conform to the City of Phoenix Zoning Ordinance Design Guidelines, *Section 507, Tab A*.

Architecture, Fencing, and Walls.

Again, the *TEN PUD*'s development intention is to create an attractive, quality development with a mix of uses. This will be accomplished by providing and incorporating a variety of architectural styles; especially along 83rd Avenue. Although the larger interior buildings may not vary significantly in style due to the functionality of these types of buildings for manufacturing, distribution, warehousing, etc. they will provide some common design elements, which will help



create compatibility between these larger buildings and smaller ancillary uses along 83rd Avenue. (See **Exhibit M-3**; Conceptual Site Plan, Enlarged Conceptual Site Plan Vignettes, & Elevation Sample)

1. In order to create a cohesive industrial complex the building architecture should reflect some similar design features:
 - a. The building parapets should vary in height to break up the “one large box” type of presentation.
 - b. Large long buildings should stress a horizontal motif utilizing decorative reveals, banded paint schemes or form liner textured accent bands or panels.
 - c. The creative inclusion of textured materials such as textured masonry, a stone or faux stone, an architectural metal or tile panel is desirable to accent office areas and building entries. Where stone is used the material shall match on all buildings in the entire retail and industrial development. Stone shall be 18” square filled and polished travertine “Fantastico”.
 - d. Paint colors shall be warm desert tones. Buildings should have at least three colors and an accent color. Intensely saturated colors should be used in only small amounts. Day-Glo or iridescent colors should not be used.
 - e. Exterior walls shall be painted concrete tilt panel construction, decorative CMU, brick, stucco, or decorative metal panels. Corrugated metal or any metal sheathing which resembles prefabricated metal buildings shall not be used. All building materials shall meet the fire ratings required by all relevant City codes and standards.
 - f. Integral colored block or stained block is preferred over painted CMU walls.
 - g. Four-sided elevations shall be submitted for review and approval by the Planning and Development Department. Metal grilles, metal exterior window shades, or other accents should be considered as part of the building design.
 - h. No roof or roof mounted equipment shall be visible from a public street. Architectural roofs shall utilize concrete tile, Spanish barrel tile, or decorative metal.
 - i. Mirror reflective glazing shall not be used. Large windows and window wall systems shall be recessed or shaded where possible.
 - j. All parking and screen walls shall match/blend with the design paradigm proposed for the PUD.
 - k. Chain link fencing shall not be used where visible from any public streets. Wrought iron or a split of wrought iron/masonry may be used in its place.



Color Palette

The following colors represent the basic range of colors to be used for all buildings within the *TEN PUD* development. There are six sets of three colors. The color palette will help to identify/unify the industrial park and the retail pads into one cohesive design, but are not meant to be all inclusive. Adjustments will be made to these colors, which shall serve as a guide.

An accent color may be added to the grouping chosen if an owner wishes to express a corporate color for identification purposes. The accent color should be limited in use and must not clash with any of the primary colors of the paint scheme. (See **Exhibit M-10**; Color Palette Paint Chip Samples.)

In the event that specific paints are not available, alternative or similar paint colors may be utilized as approved by the Planning and Development Department.

Color Schemes: All colors are Dunn Edwards Paint

Group 1:	DE 5261	Cashew Nut
	DE 5262	Field of Wheat
	DE 5263	Sonoma Shade
Group 2:	DE 6037	Geyser
	DE 6032	Hazelnut
	DE 6034	Raisin in the Sun
Group 3:	DE 5247	Allspice
	DE 5207	Pecan Veneer
	DE 5186	Secluded Canyon
Group 4:	DE 6094	Canyon Dusk
	DE 6096	Homestead
	DE 6076	Wandering Road
Group 5:	DE 5260	Sandy Beach
	DE 6109	Kraft Paper
	DE 6110	Warm Hearth
Group 6:	DE 5267	Almondine
	DE 5268	Sundown
	DE 5248	Rusty Orange

Landscape

The *TEN PUD* development will provide a landscape palette that is ecologically sensitive to the desert environment through the use of low water plants while still creating a lush and attractive appearance. The purpose of this section of the PUD is to provide a starting point for those future landscape improvements as well as to establish a common theme. Thus, the following landscape guidelines are intended to provide the framework and guidelines to unify the *TEN PUD*. The driveways into the Property shall be clearly identified and the perimeter landscaping shall create a common theme. (See **Exhibit M-11**; Conceptual Landscape Vignettes)

1. Every project shall be landscaped with trees, shrubs and groundcovers. In addition to organic materials all exposed soil areas shall be covered with 2" of ¾" screened decomposed granite. Boulders may be utilized but are not required.
2. To create a uniform appearance throughout the development, a landscape plant palette has been developed. Minimum box tree sizes and shrub container sizes are specified in the Landscaping Standards. (See **Section G**: Development Standards) Minimum quantities are also specified for various landscape conditions including yards, setbacks, and parking islands.
3. All landscaping shall be irrigated with an approved functioning irrigation system. Every parcel shall have one or more taps for an irrigation water meter(s) which will be separate from the domestic water meter.
4. All landscaping shall be low water use type of plant material. While all plant material from the Phoenix AMA Low Water Use/Drought Tolerant Plants list of approved low water use plants are acceptable, the following list of plants within this PUD should be utilized as the preferred planting palette. The plant list within this PUD includes additional low water use types of plant material that have not been included within the Phoenix AMA Low Water Use/Drought Tolerant Plants list at this time. Please note that all species of eucalyptus, olive, mulberry and citrus are prohibited.

The *TEN PUD* will comply with the Estrella Village Arterial Street Landscaping Program. Additionally, the following standard plant list may be used, and is not all inclusive, but provides a starting point for the *TEN PUD* development.

Standard Plant List

Trees:

Parkinsonia microphyla	Foothills Palo Verde
Prosopis velutina	Velvet Mesquite
Olneya tesota	Ironwood
Pithecellobium mexicanum	Mexican Ebony



Parkinsonia florida	Blue Palo Verde
Parkinsonia praecox	Palo Brea
Dalbergia sissoo	Arizona Rosewood
Prosopis chilensis	Chilean Mesquite
Acacia baileyana	Bailey Acacia
Prosopis alba var. 'Colorado'	Thornless Mesquite

Shrubs:

Bougainvillea brasiliensis Var. 'San Diego Red'	Bougainvillea
Dasyllirion wheeleri	Desert Spoon
Encelia farinosa	Brittle Bush
Leucophyllum frutescens Var. 'Green Cloud'	Green Cloud Texas Ranger
Hesperaloe parviflora	Red Hesperaloe
Tecoma stans	Yellow Bells
Ruellia peninsularis	Ruellia
Fouquieria splendens	Ocotillo
Senna phylodenia	Cassia
Agave vilmoriniana	Octopus Agave
Caesalpinia pulcherimma	Mexican Bird of Paradise
Carnesia gigantia	Saguaro
Calliandra eriophylla	Fairy Duster
Nerium oleander Var. 'Petite Pink'	Petite Oleander
Senna nemophylla	Desert Cassia
Agave bovicornuta	Lechugilla Verde
Ferocactus cylindraceus	Barrel Cactus
Echinocereus englemannii	Hedgehog Cactus
Justicia californica	Chuparosa

Groundcover:

Lantana montevidsis Var. ‘Gold Mound’	Yellow Lantana
Acacia redolens Var. ‘Ongerup’	Trailing Acacia
Chrysactinia mexicana	Damianita
Penstemon pseudospectabilis	Canyon Penstemon
Penstemon superbus	Coral Penstemon
Hymenoxys acaulis	Angelita Daisy
Decomposed Granite	3/4” minus Color: Madison Gold

I. SIGNAGE

Applicability Statements

1. On-premise Advertising Signage within the *TEN PUD* shall be governed by the regulations applicable to signs as established in the City of Phoenix Zoning Ordinance Sections 705, and definitions within Section 202, unless modified within the PUD.
2. Within the *TEN PUD*, Off-premise Advertising Signage shall be permitted along both I-10 freeway and 83rd Avenue and shall be governed by the regulations applicable to such signs as established in the City of Phoenix Zoning Ordinance Section 705.2 and definitions within Section 202.

Summary Statement and PUD Signage Concept

As the name implies, the *TEN PUD* center is meant to represent the “top” score or the “best of the best” and as such an effective, well-conceived, and efficient sign plan is needed to attain that highest level. To that end, the following signage standards are needed in order to attract those “high level” industrial and retail tenants as well as to unify the entire development into one cohesive environment.

For the large industrial sites/buildings that are located internal to the Property, which form the majority of the development vision, we see the need for primary multi-tenant ground signs located along 83rd Avenue and Van Buren Street, which identifies these future companies. Such signage will go a long way in keeping unwanted traffic out of the center and limit the number of drivers looking for something that is located elsewhere. Such a sign would also help people who are looking for specific users. This is an important consideration in light of the current and expected traffic along these major roadways.

Each industrial and commercial user shall be allowed ground signs which identify their business name and/or logo. For the commercial users, their individual ground signs will be limited to 80 or 50 square feet depending on the size of the building.

There will be two freeway pylon signs available for all users within the *TEN PUD* to attract business from the freeway. Use of these pylons signs will be open to all users within the *TEN*



PUD. In order to provide the best visibility and safe readability for passing motorists, the pylon signs shall be allowed to a maximum height of 72 feet with a maximum of sign area of 450 square feet per face. Additional height and area are needed due to the depressed freeway, nearby freeway overpass and mature freeway landscaping. Furthermore, while the size exceeds that which would normally be allowed for a freeway pylon sign, *TEN PUD* is limiting the site to only two pylon signs whereas additional pylon signs would normally be allowed along the freeway frontage.

Three billboards will be spaced along the freeway frontage along with three along 83rd Avenue. The billboards will allow off-premise advertising and will be spaced the requisite one thousand feet apart and will alternate with the pylon signs along I-10. The billboard nearest the northwest corner of the site will have three sign faces so that one face shall face south.

Sign Plan

The *TEN PUD* Sign Plan (See **Exhibit M-12**; Conceptual Sign Plan) identifies where proposed ground signs will be located. As many of the building sites are conceptual at this point there may be some modification to the final sign locations. Each project will need to be reviewed and evaluated on a case by case basis for sign locations as they develop and permit through the City of Phoenix.

On-premise Advertising Sign Standards - Ground Signs

Ground Sign General Standards

1. For the purpose of the *TEN PUD*, all ground signs, including advertising, informational and directional signage not visible from public streets or private property outside of the PUD boundaries, shall not be regulated as signs and conformance with the following regulations shall not be required.
2. Signs that advertise businesses located within the boundaries of the PUD shall be treated as on-premise advertising irrespective of parcel lines.
3. Electronic message displays shall be permitted for any ground sign with the following provisions:
 - a. The sign copy shall change only through an immediate transition of the sign copy or message that does not have the appearance of moving text or images. The sign copy shall not use flashing, intermittent or moving lights or produce the optical illusion of movement. No part of the sign structure or cabinet may move or rotate.
 - b. The sign copy shall be displayed for a minimum of eight (8) seconds.
 - c. The sign shall include photocell technology to control and vary the intensity of lighting depending on the amount of ambient light that is present (e.g. daytime, nighttime, cloudy conditions). The intensity of the lighting shall not exceed three hundred (300) nits from dusk until dawn.
 - d. The maximum height of an electronic message display located on a ground sign within fifty (50) feet of a traffic signal that alternately directs roadway

traffic to stop and to proceed shall be eight (8) feet. The maximum height of the electronic message display may increase one (1) foot for every twelve (12) feet in additional setback from the subject traffic signal to the maximum height permitted by the specific standards below. The distance between the ground sign and the traffic signal shall be measured between the closest points on the subject ground sign and the traffic signal pole, as demonstrated on a site plan or survey submitted with the sign permit application.

- e. In addition to their advertising and identification purposes, the signs may be used for warning signs, as defined in Section 202 of the Zoning Ordinance.

Ground Sign Design Standards

1. All ground signs within the *TEN PUD* are required to comply with these design standards as well as those contained within Chapter 5 of the Phoenix Zoning Ordinance. Two conceptual ground signs are included (See **Figure 7** on the following page) which illustrate good design examples which would comply with the Design Standards of this PUD. They are not intended to demonstrate a required sign design, just an example.
2. All ground signs shall have the “TEN” logo as a part of the sign design, as generally illustrated on the included example drawings. The area of the logo, up to the maximums listed below, shall be allowed to be excluded from the sign area calculations:
 - a. Freeway Pylon sign – 36 square feet
 - b. Shared Entry Multiple Tenant Sign – 9 square feet
 - c. Commercial User Sign or Industrial User Sign – 4 square feet
3. Signs shall be designed to complement the building elevation architecture and overall environment in scale and style or shall be of a uniform and/or consistent design theme for the *TEN PUD*.
 - a. At least two materials shall be utilized on each ground sign, including a base of masonry block, stone, or tile. Sheet metal cabinets shall have a painted Montex finish or similar.
 - b. Paint colors shall utilize the building color palette contained within this document or shall be of a uniform and/or consistent design theme for the *TEN PUD*.
 - c. Acrylic sign panels/backgrounds shall all be the same color on each sign face, which shall complement the overall color palette of the sign. Vinyl sign copy for each tenant should use contrasting colors to enhance readability, but that are not overly harsh or bright.
4. Signs may be internally illuminated. Only LED light sources shall be used.
5. If an electronic message display is used, that display and its cabinet shall be integrated into the ground sign structure and design.

Figure 7 (Ground Sign Examples)

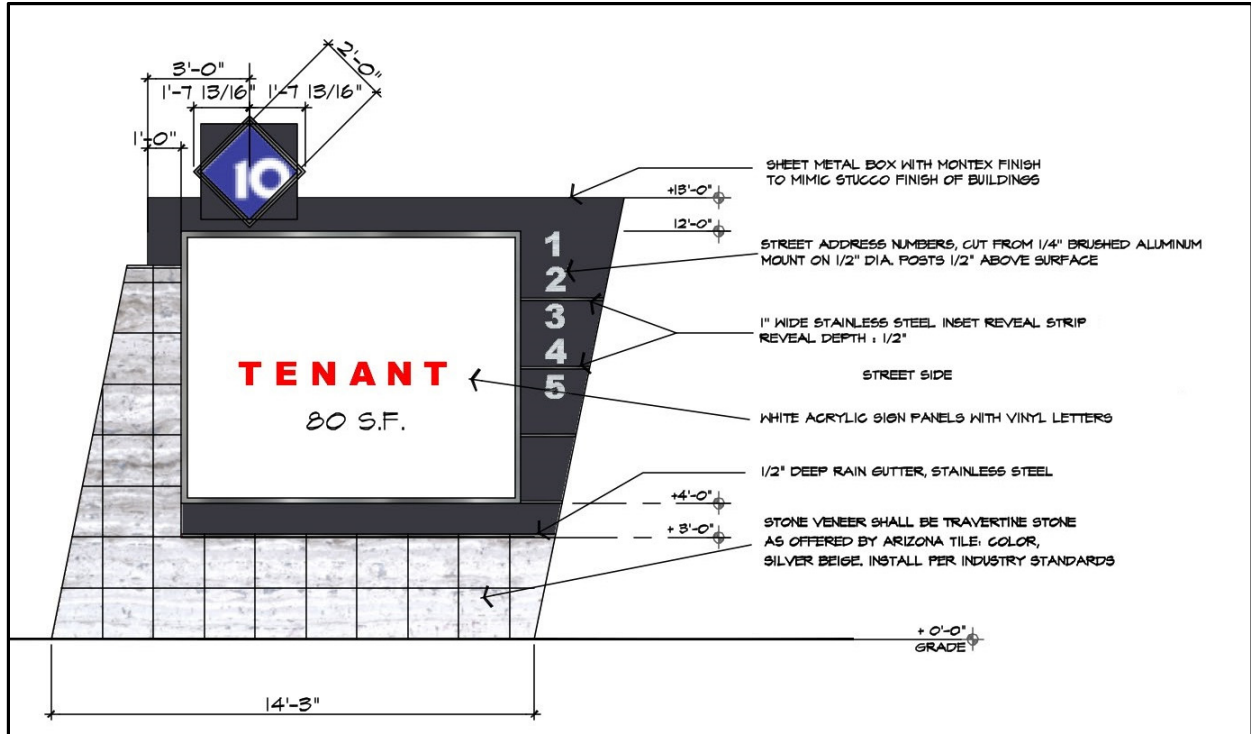


Figure 7 (Ground Sign Examples) - continued



On-premise Advertising Sign Standards - Wall Signs

Wall Sign General Standards

1. For the purpose of the *TEN PUD*, all wall signs, including advertising, informational and directional signage not visible from public streets or private property outside of the PUD boundaries, shall not be regulated as signs and conformance with the following regulations shall not be required.
2. Electronic message displays shall be permitted for any wall sign with the following provisions:
 - a. The sign copy shall change only through an immediate transition of the sign copy or message that does not have the appearance of moving text or images. The sign copy shall not use flashing, intermittent or moving lights or produce the optical illusion of movement. No part of the sign structure or cabinet may move or rotate.
 - b. The sign copy shall be displayed for a minimum of eight (8) seconds.
 - c. The sign shall include photocell technology to control and vary the intensity of lighting depending on the amount of ambient light that is present (e.g., daytime, nighttime, cloudy conditions). The intensity of the lighting shall not exceed three hundred (300) nits from dusk until dawn.
3. Wall signage may be placed over non-leased space in the same building.

Wall Sign Design Standards

1. All wall signs within the *TEN PUD* are required to comply with these design standards as well as those contained within Chapter 5 of the Phoenix Zoning Ordinance.
2. Signs shall be designed to fit the building elevation architecture and overall environment in scale, placement, and style. Designs should complement the building color, but should still provide contrast for readability.
3. With the exception of corporate logos, all wall signs shall be Plexiglas-faced pan channel individual letters. Painted lettering shall be permitted for a commercial building, but only on exposed brick and if that painted lettering is integrated into and complements the building's architectural design.
4. Pan channel letters or corporate logos shall use integral color 1/8" Plexiglas inserts with standard trim cap. Trim cap and return colors shall be dark bronze (Mathews #41-313). Returns to be five (5") deep.
5. Signs may be illuminated but if illuminated, only LED light sources shall be used.
6. Letter and Logo Sizes:
 - a. Industrial User wall signs shall be limited to a maximum sign letter size of 60" in height.
 - b. Commercial User wall signs shall be limited to a maximum sign letter size being 24" in height.

- c. Logos shall be limited to 16 sq. ft. (4'x4' generally) for commercial users and 25 sq. ft. (5'x5' generally) for industrial users.
7. No exposed tubing or conduit will be permitted. All conductors, transformers and other equipment shall be concealed.

Standards for Wall Signs

Wall Signs				
Sign Type	Maximum Height	Area	Minimum Size	Maximum Size
Industrial User Wall Sign	No closer to the roofline or top of parapet than 30"	1.25 sq. ft. per linear foot of elevation or suite frontage. (1)	50 sq. ft.	500 sq. ft. (2)
Commercial User Wall Sign	No closer to the roofline or top of parapet than 30"	1.25 sq. ft. per linear foot of elevation or suite frontage.	50 sq. ft.	200 sq. ft. (2) (3)

- (1) 1.5 sq. ft. per linear foot of elevation or suite frontage when the sign faces I-10.
- (2) Notwithstanding the Maximum Size, the length of the sign shall not exceed 80% of the elevation or tenant space on which the sign is placed, nor shall the vertical dimension of the sign exceed 80% of the vertical dimension of the sign band or wall space on which the sign is placed.
- (3) All elevations of Commercial User pad buildings are allowed signage; however, the gross sign area for the building shall be limited to 200 sq. ft.

Off-premise Advertising Sign Standards

Within the *TEN PUD*, Off-premise Advertising Signage shall be permitted along both I-10 and 83rd Avenue and shall be governed by the regulations applicable to such signs as established in the City of Phoenix Zoning Ordinance Section 705.2 and definitions within Section 202.



J. SUSTAINABILITY

There are many ways to define sustainability, but the simplest and most fundamental is the ability to "sustain" oneself or project or the "the capacity to endure." The proposed *TEN PUD* and the ultimate development will do just that: to "endure" for many years as a premier, quality, and sustainable overall development that will stand the "test" of time. That is why Pasternack is committed to the "Leadership in Energy and Environmental Design" (LEED) Green Building Rating System, which is presently a voluntary standard for developing high-performance sustainable buildings. Pasternack, in partnership with future users, proposes to develop the Property with as many LEED certified principles as possible. Why LEED?

- LEED is transparent.
- LEED saves time and resources by providing a comprehensive set of tools for use.
- LEED provides a tool for quantifying and benchmarking green building program outcomes.
- LEED is flexible.
- LEED is revised every two (2) years to continually improve performance thresholds in pace with changes in building technologies and markets.

To that end, the *TEN PUD* already encourages many sustainability principles throughout. However, at a minimum, the implementation of any of the three (3) provisions noted below shall be required during the City's preliminary site plan/building permit review process.

- The *TEN PUD* will comprise almost 4 million square feet of building space. As these facilities are for distribution there will be tremendous amounts of cardboard packaging and wood pallets being used and discarded. It is the intent that the waste being generated is recycled and/or reused to lessen the carbon footprint. Thus, tenants/users of buildings with the *TEN PUD* may provide recycling plans (i.e., recycling procedures) to handle their cardboard waste and all wood pallets in an appropriate manner. These plans shall be provided to the City as well as identifying the recycling collection area(s) on their site plan(s) at the time of the preliminary site plan review process.
- Commercial and retail development within 300 feet of the 83rd Avenue and Van Buren Street rights-of-way shall provide a minimum of seventy-five percent (75%) shade along main pedestrian pathways and connections, excluding driveways and public sidewalks. Means of providing shade may include, but are not limited to, primary building features, free-standing shade structures, and vegetation. Percentage shading shall be the shadow cast on the sidewalk or pedestrian path measured at noon (12:00 p.m.) of the June/Summer Solstice.
- The City of Phoenix requires that rainwater be retained onsite. The purpose is twofold. One is to help restore the water table depleted from well extractions and the other is to reduce flows offsite to lessen flooding and overburdening the storm



drainage system. The two (2) primary methods of water retention and detention include basins at grade and tanks below grade. Many basins and tanks currently pump detained water into the storm drainage system where the water is lost to the water table. Utilizing systems which replenish the water table and conserve this natural resource is very important for an arid region. Where land costs prohibit the use of surface retention underground tanks will be used. Water will be retained in large tanks below grade and the water diverted into drywells. This will direct water below grade which reduces water loss from surface evaporation.

- All of the industrial sites will utilize the underground storage system.
 - The goal of the *TEN PUD* is to accommodate up to 80% of the Property with underground retention.
- Design for effective water usage and conservation methods by using low flow plumbing fixtures using minimal amounts of potable water.
 - Design for the capture or the flow of water from the buildings roofs, impervious areas, etc. for reuse in landscape irrigation.
 - Incorporate “Smart” irrigation control systems into the landscape design
 - Use roofing materials that specify a high Solar Reflectance Index; including parking canopies.
 - The reduction of power consumption is a sustainable goal which the owner of the *TEN PUD* intends to pursue with their large industrial users by promoting the utilization of two (2) basic concepts:
 1. Daylighting, and
 2. Using large interior fans.

Daylighting is accomplished by the careful placement of skylights over the interior building areas and by having windows in the exterior walls which are small in size but admit large amounts of daylight. The daylighting concept utilizes only sunlight with supplemental electrical light only on cloudy days or when shifts operate at night. The use of large fans with blade diameters upward of 20 feet are typically being used to reduce energy costs related to interior heating and cooling. Studies have shown tremendous savings by utilizing fans to circulate the air creating stabilized interior air temperatures. With proposed industrial building areas ranging from 500,000 square feet to 1,000,000 square feet the power savings will create more viable and sustainable structures.

K. INFRASTRUCTURE

The *TEN PUD* development will be able to tap into the existing built infrastructure while adding to it as well for the proposed development. Thus, the improvements, extensions, etc. will help spur further economic activity closer to the City’s urbanized areas or in this case both downtown Phoenix and Maryville Village. This type of “infill” development (especially on such a large parcel of land) is also encouraged by the City of Phoenix, because the development of property within developed areas reduces the amount and distance that people travel in their cars; utilizes what is already built; provides and encourages better access to public transit or multimodal forms of transportation (e.g. walking, biking, and bus); improves air quality; greater energy efficiency, and can even help reduce the “heat-island” effect. Finally, the *TEN PUD* contributes to the creation of stable, healthy, and complete communities in the surrounding area by increasing the mix and diversity of uses within walking distance, easing access to these uses, and creating more employment opportunities close to residential areas.

1. Circulation System (Traffic)

The *TEN PUD* has great access from a major arterial streets as well as a major freeway. Moreover, the Property is well served by an internal drive aisle, providing efficient internal circulation and limiting offsite movements.

A detailed Traffic Impact Analysis Report has been generated by J2 Engineering. The report analyzes current and projected traffic flows to and from the *TEN PUD* development, and from surrounding sources of traffic.

Specifically the *TEN PUD* proposes that Roosevelt not be continuous to the east from 83rd Avenue to 79th Avenue, which is supported and outlined with the Traffic Impact Analysis Report. The goal is to not overload the freeway access at 83rd Avenue with additional vehicular traffic (i.e., both cars and trailer trucks) coming from the industrial properties east of 79th Avenue. Thus, the concept site plan proposes these large industrial users to direct their traffic towards 83rd Avenue, as much as possible. Driveways along 79th Avenue are considered secondary access. For example, the concept site plan shows three (3) large industrial developments with access to 83rd Avenue via access drive (i.e., along the Roosevelt Street alignment), and two (2) will have driveway access directly on to 83rd Avenue. The goal is to maximize traffic efficiency along 83rd Avenue and at the freeway interchange. By limiting traffic flowing onto 83rd Avenue we are creating a better traffic flow pattern to and from the freeway. With that said, the Traffic Impact Analysis Report determined the existing streets, freeway, and proposed elimination of Roosevelt Street are sufficient to accommodate the level of traffic proposed (i.e., cars and truck). (See **Exhibit M-13**; Traffic Impact Analysis)

2. Grading and Drainage

Water retention for the development may be provided on individual properties and/or within common retention areas servicing the overall development. Necessary legal agreements will be required if utilizing common retention areas. Retention areas may be either by surface basins or underground storage and will be determined at the time of preliminary site plan review process.

3. Water and Sewer Service

Development will be adequately served by the existing water and sewer systems within the area. As needed, any system(s) that will need to be extended will be done so methodically and logically to facilitate development of the Property in order to minimize disruptions to the public street system as much as possible and/or existing users. Infrastructure capacity requirements will be provided during the preliminary site plan review process and will comply with City of Phoenix Water and Sewer Design Standards, Codes and Policies.

L. PHASING PLAN

Final site plan(s) for an individual development(s) for the Property will be processed in the future through the City of Phoenix's preliminary site plan review process. Any necessary phasing of infrastructure improvements, landscaping or development shall be determined and shown at the time of the preliminary site plan review process.

M. EXHIBITS

1. Context Aerial Map (**page 41**)
2. Context Plan and Photos (**page 43**)
3. Conceptual Site Plan, Enlarged Conceptual Site Plan Vignettes, & Elevation Sample (**page 66**)
4. Legal Description (**page 73**)
5. City of Phoenix General Plan Map (**page 76**)
6. Proposed General Plan Map Amendment (**page 78**)
7. City of Tolleson General Plan Map and Zoning Map (**page 80**)
8. Zoning Maps (Existing and Proposed) (**page 84**)
9. Comparative Zoning Standards Charts (**page 86**)
10. Color Palette Paint Chip Samples (**page 100**)
11. Conceptual Landscape Vignettes (**page 107**)
12. Conceptual Sign Plan (**page 111**)
13. Traffic Impact Analysis (**page 114**)



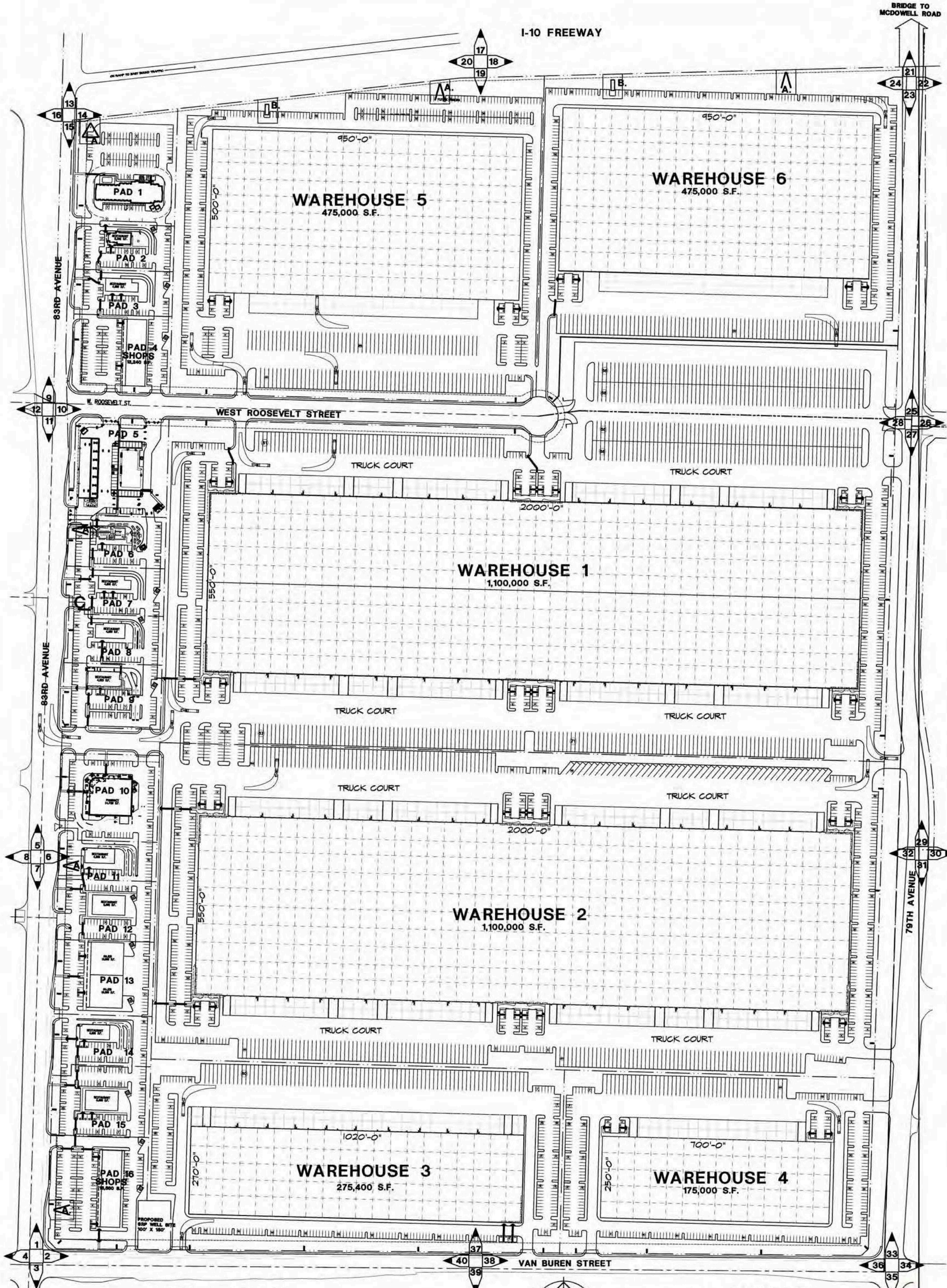
M-1

Context Aerial Map



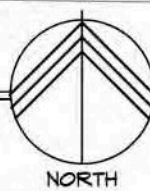
M-2

Context Plan and Photos



SITE PLAN *

EXISTING ONSITE/OFFSITE CONDITIONS SCALE: 1" = 150'-0"



KEY TO CONTEXT PHOTOS

DIRECTION OF PHOTOGRAPH



***This plan is conceptual.**



#1



#2



3



4



#5



#6



#7



#8



9



10



11



12



13



14



15



16



17



18



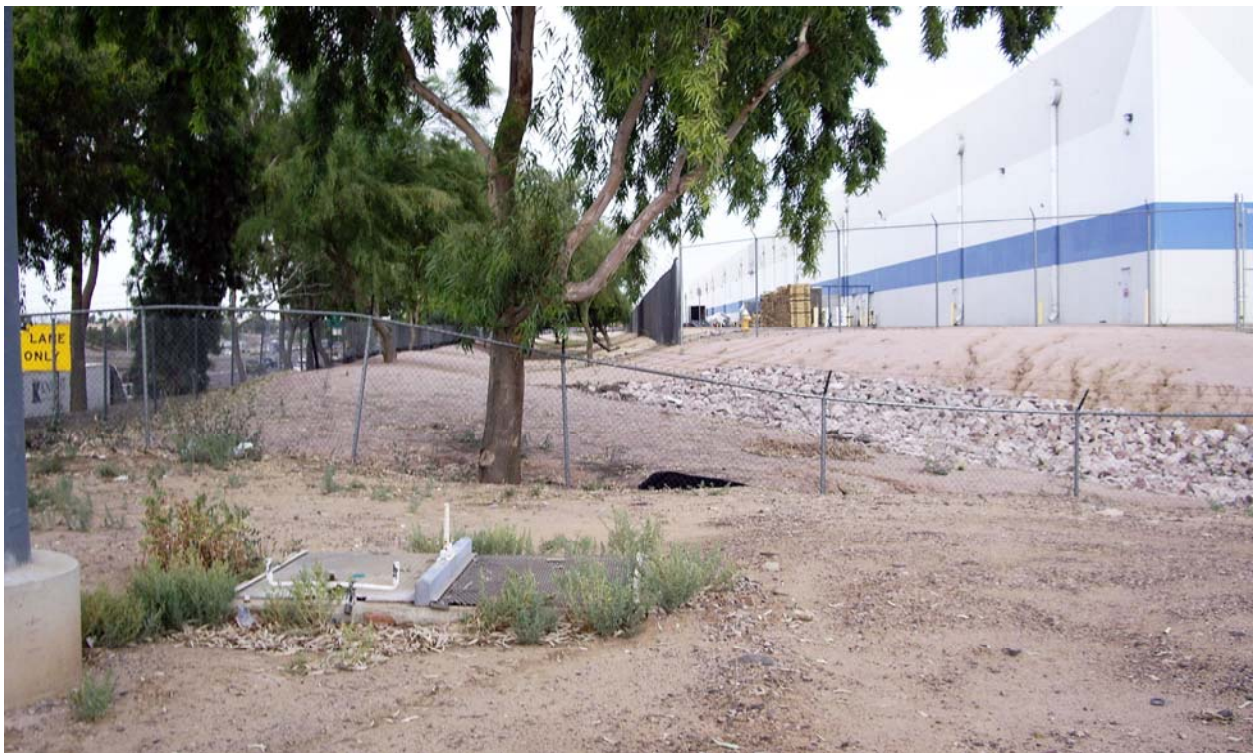
19



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38



39



40

M-3

ON RAMP TO EAST BOUND TRAFFIC

I-10 FREEWAY

648'-8"

47'-10"

50'-0"

50'-4"

35'-0"

208'-11"

102'-3"

83RD AVENUE

140'-0"

168'-6"

1140'-9"

265'-0"

55'-0"

PAD 1

PAD 2

PAD 3

PAD 4
SHOPS
12,240 S.F.

RESTAURANT
2,331 S.F.

RESTAURANT
4,000 S.F.

WHSE 5
475,000 S.F.

500'-0"

ROOSEVELT

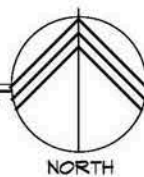
WEST ROOSEVELT STREET



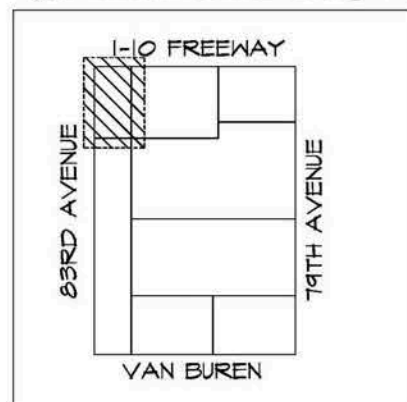
SITE PLAN RETAIL PADS*

SCALE:

1" = 40'-0"



***This plan is conceptual.**



PLAN LOCATION

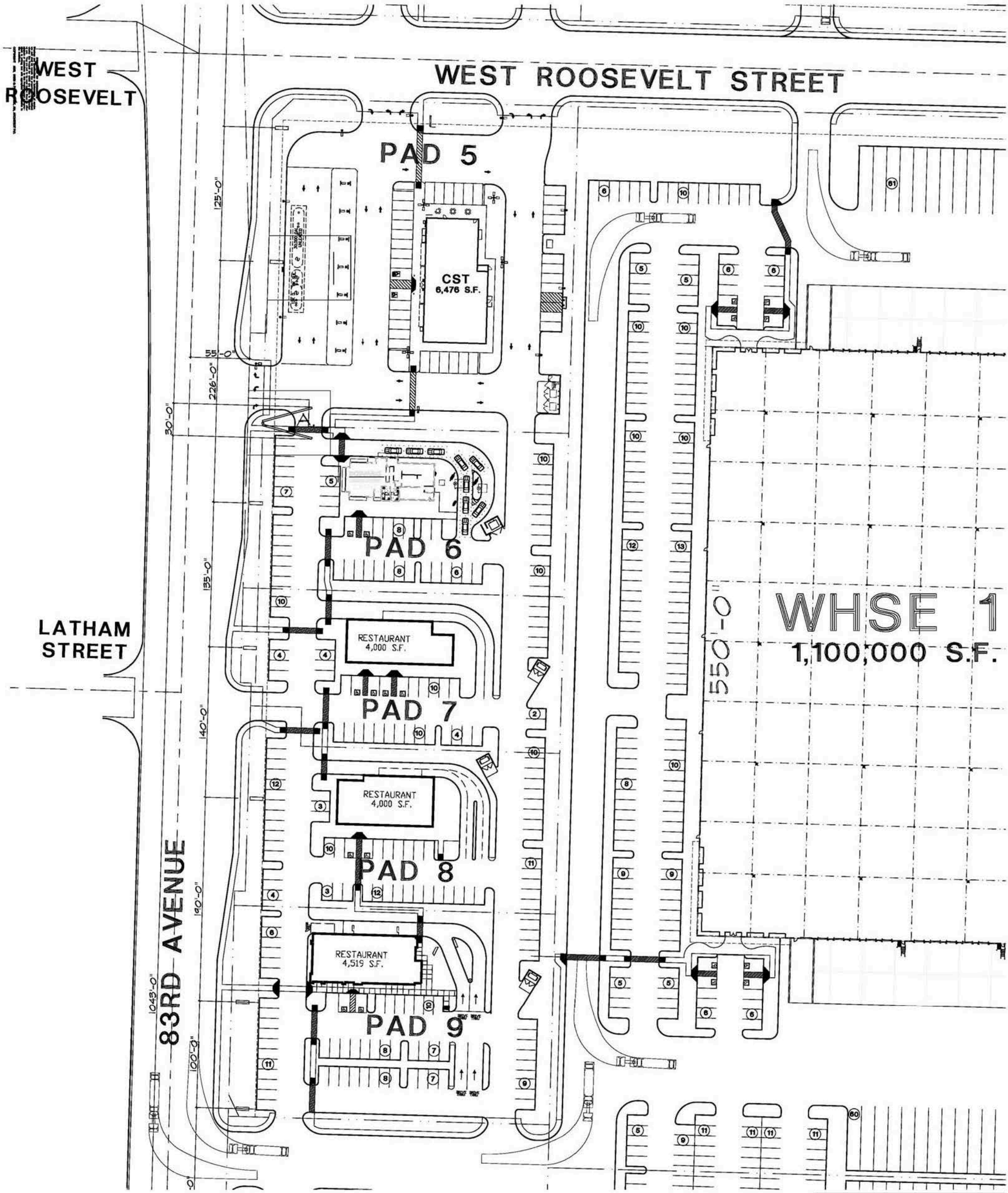
SITE PLAN
2/14/05
DP 2/27/2016



IRWIN G. PASTERNAK

919, P.C.

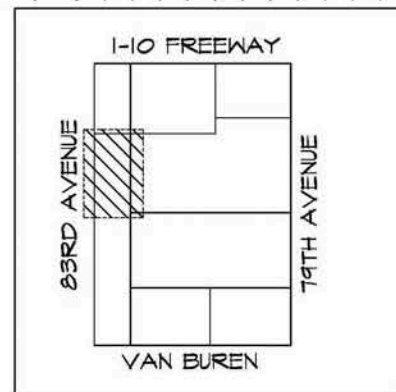
ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS



SITE PLAN RETAIL PADS*

SCALE:

1" = 40'-0"



***This plan is conceptual.**

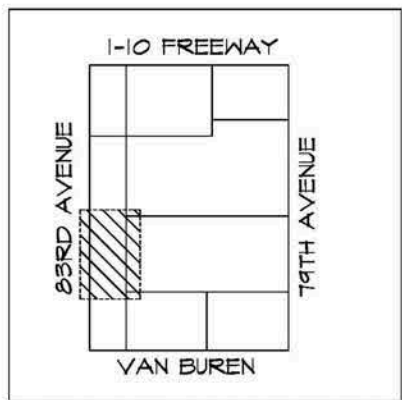
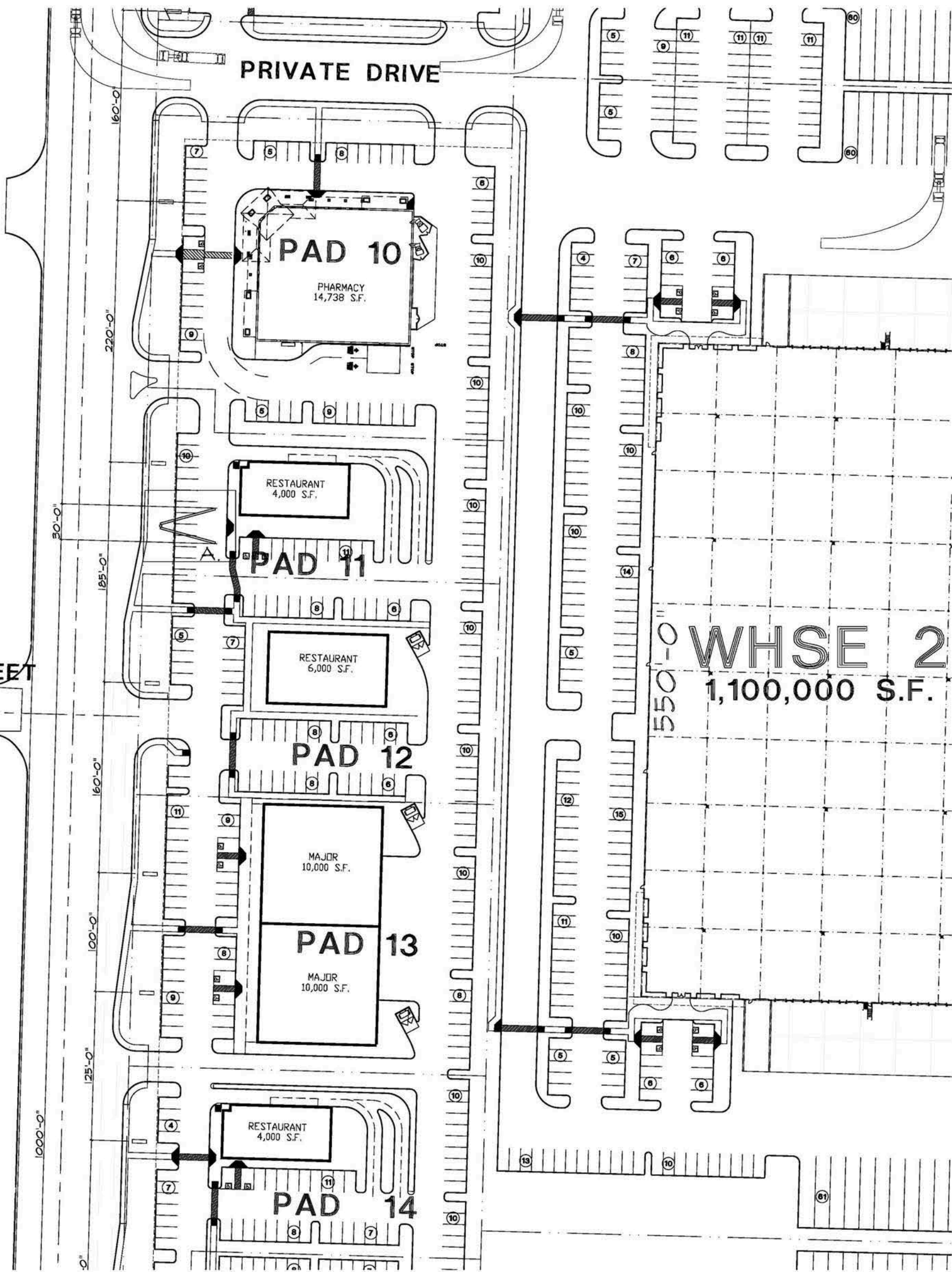
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IRWIN G. PASTERNAK 919, P.C.

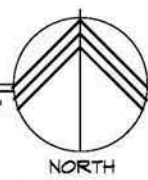
ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS

SITE PLAN
2/4/05
DP-1-2016



SITE PLAN RETAIL PADS*

SCALE: 1" = 40'-0"



**This plan is conceptual.*

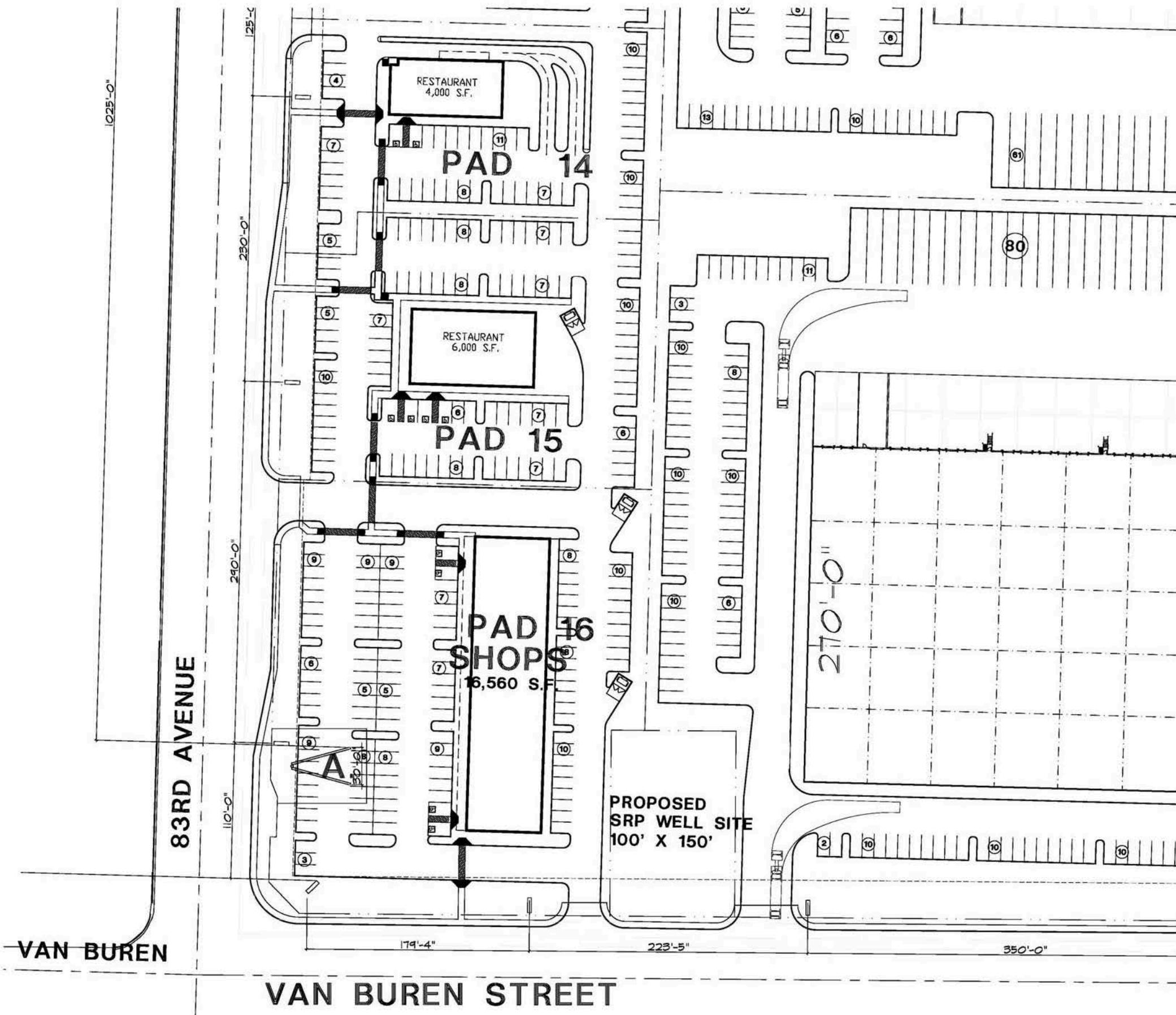
PLAN LOCATION

IRWIN G. PASTERNAK 919, P.C.
 ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS



SITE PLAN
 2/4/05
 6-24-2016
 DP

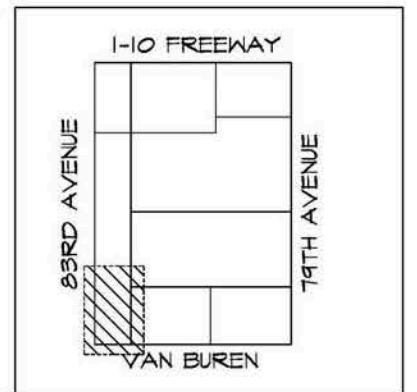
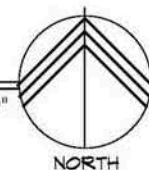
10/25/16



SITE PLAN RETAIL PADS *

SCALE:

1" = 40'-0"



PLAN LOCATION

***This plan is conceptual.**

SITE PLAN
2/4/2015
DP-1-2016

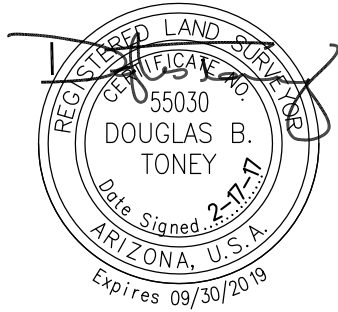


IRWIN G. PASTERNAK AIA, P.C.
ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS



**This design is conceptual.*

M-4



February 17, 2017
PROJECT # 050162-01-001

EXHIBIT 'A'

LEGAL DESCRIPTION GROSS BOUNDARY

THAT PORTION OF THE WEST HALF OF SECTION 2, TOWNSHIP 1 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST QUARTER OF SAID SECTION 2, BEING MARKED BY A BRASS CAP IN HAND HOLE;

THENCE NORTH 01°36'41" EAST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF 2641.52 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 2;

THENCE NORTH 01°39'29" EAST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF 869.22 FEET TO A POINT;

THENCE DEPARTING SAID WEST LINE, SOUTH 88°20'31" EAST, A DISTANCE OF 33.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE 10, AS ESTABLISHED FROM EXISTING ARIZONA DEPARTMENT OF TRANSPORTATION ALUMINUM CAP RIGHT-OF-WAY MONUMENTS;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 83°46'49" EAST, A DISTANCE OF 1191.63 FEET;

THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 88°33'29" EAST, A DISTANCE OF 1099.97 FEET;

THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 88°33'49" EAST, A DISTANCE OF 321.65 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 2;

THENCE SOUTH 01°53'07" WEST, ALONG SAID EAST LINE, A DISTANCE OF 1102.92 TO THE CENTER OF SAID SECTION 2, BEING MARKED BY A CITY OF PHOENIX BRASS CAP IN HAND HOLE;

THENCE SOUTH 01°52'15" WEST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF 2594.09 FEET TO THE SOUTH QUARTER CORNER OF SAID SECTION 2, BEING MARKED BY AN ALUMINUM CAP IN HAND HOLE STAMPED S2 S11 T1N R1E;

THENCE NORTH 89°31'22" WEST, ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 2, A DISTANCE OF 2617.33 FEET TO THE **POINT OF BEGINNING**.

SAID PARCEL CONTAINS 9,525,913 SQUARE FEET OR 218.6849 ACRES, MORE OR LESS.

P:\050162 - New Commercial - SEC 83rd & I-10\050162-01-001 (SUR)\Survey\Legal Description\050162-GROSS
LEGAL.docx

NORTHWEST CORNER
SECTION 2, T1N, R1E
FOUND 3" C.O.P. BRASS
CAP IN HAND HOLE

MCDOWELL ROAD

N88°50'20"E 2641.27'

NORTH QUARTER CORNER
SECTION 2, T1N, R1E
FOUND 3" C.O.P. BRASS
CAP IN HAND HOLE

FOUND 3" A.D.O.T.
ALUMINUM CAP
IN CONCRETE

N88°33'49"E
321.65'

INTERSTATE 10

N83°46'49"E
1191.63'

N88°33'29"E
1099.97'

FOUND PK NAIL
NO TAG

S88°20'31"E
33.00'

FOUND 3" A.D.O.T.
ALUMINUM CAP
IN CONCRETE

CENTER OF SECTION 2,
T1N, R1E
FOUND 3" C.O.P. BRASS
CAP IN HAND HOLE

ROOSEVELT STREET

WEST QUARTER CORNER
SECTION 2, T1N, R1E
NOTHING FOUND OR SET

GROSS BOUNDARY

9,525,913 SQ.FT. OR
218.6849 ACRES,
MORE OR LESS

S1°52'15"W 2594.09
79TH AVENUE

SOUTH QUARTER CORNER
SECTION 2, T1N, R1E
FOUND 2" ALUMINUM
CAP IN HAND HOLE
STAMPED S2/S11 T1N R1E

83RD AVENUE
(BASIS OF BEARING)
N1°36'41"E 2641.52

N1°39'29"E 2275.70'

1,406.48'

869.22'

1,296.22'

2399.14'

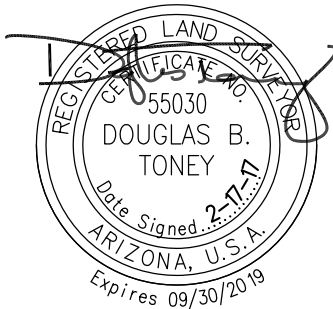
1102.92'

S1°53'07"W

N89°31'22"W 2617.33

VAN BUREN STREET

POINT OF BEGINNING
SOUTHWEST CORNER
SECTION 2, T1N, R1E
FOUND BRASS CAP
IN HAND HOLE



SHEET 1 OF 1
DATE: 2-17-17

EXHIBIT 'A' GROSS BOUNDARY		
BY: AG	CHK: DT	QC: DT
BCG PROJECT NO: 050162-01 TASK: 001 CLIENT REF NO:		



1295 W Washington St, #108
Tempe, AZ 85281
Phone: (480) 629-8830
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www.bowmanconsulting.com

M-5

City of Phoenix General Plan Map (Existing)

Residential 5 to 10 du/acre (92.03 +/- Acres)
 Residential 15+ du/acre (30.17 +/- Acres)
 Residential 10 to 15 du/acre (26.26 +/- Acres)
 Commercial (19.06 +/- Acres)
 Commerce / Business Park (51.84 +/- Acres)
 Industrial (2.24 +/- Acres)

-  Proposed Change Area
-  Residential 3.5 to 5 du/acre
-  Residential 5 to 10 du/acre
-  Residential 15+ du/acre
-  Commercial
-  Commerce / Business Park
-  Industrial
-  10 to 15 du/acre
-  Transportation



M-6



Proposed General Plan Map Amendment*

* This plan is conceptual.

M-7

Figure 5: Tolleson Existing Zoning (2013)

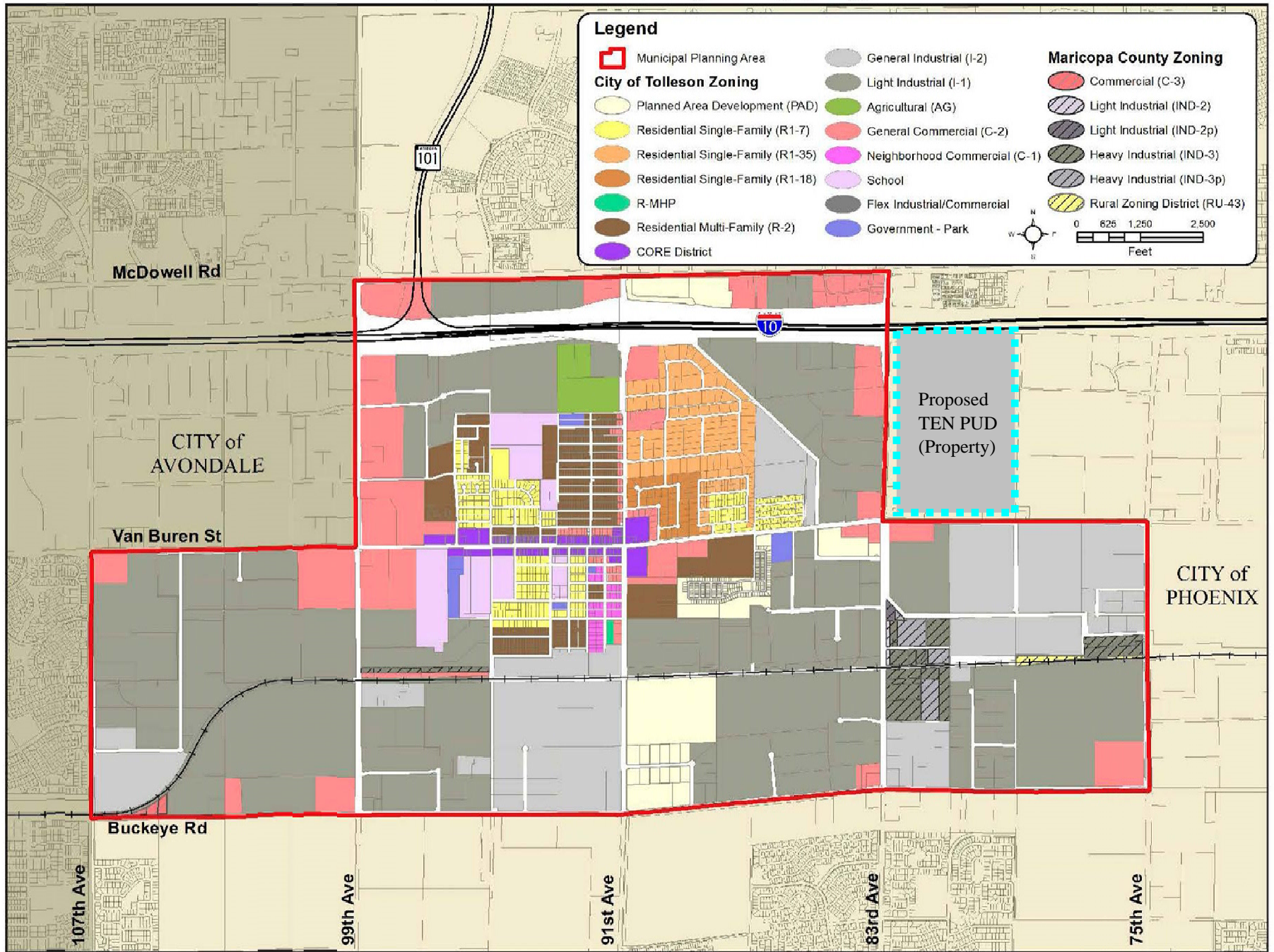


Figure 7: 2024 General Plan Land Use Map

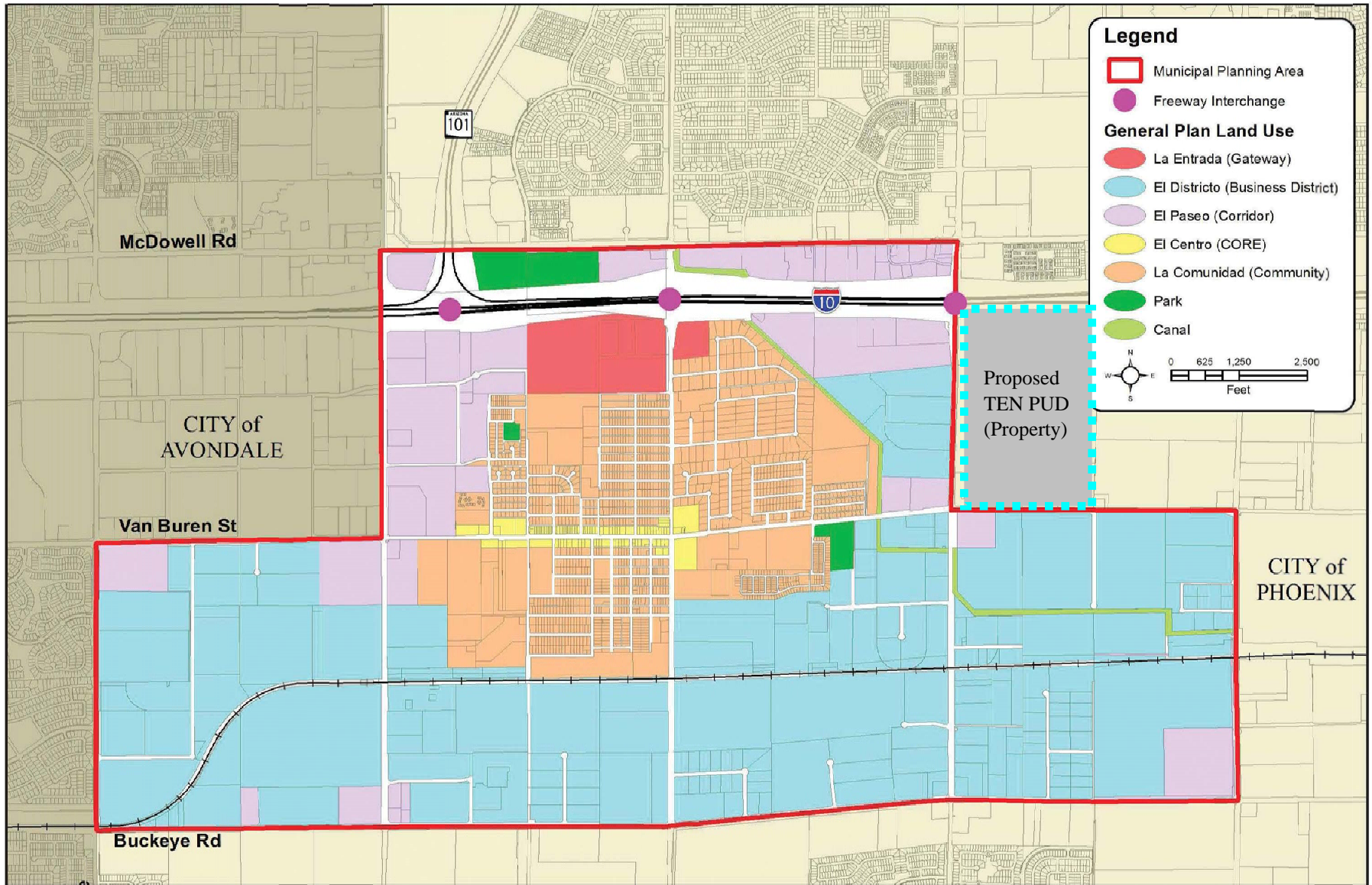







Table 2: General Plan Amendment Decision Matrix

TO: >	La Comunidad (Community)	El Centro (CORE District)	La Entrada (Gateway)	El Paseo (Corridor)	El Distrito (Business District)
FROM: v					
La Comunidad (Community)	No	Yes	No	Yes	Yes
El Centro (CORE District)	Yes	No	Yes	Yes	Yes
La Entrada (Gateway)	No	Yes	No	No	Yes
El Paseo (Corridor)	Yes	Yes	No	No	No
El Distrito (Business District)	Yes	Yes	Yes	No	No

Table 3: General Plan Land Use Categories Summary

Land Use Category	Description	
La Comunidad (Community)	Tolleson's residential and neighborhood services.	
El Centro (CORE District)	Downtown Tolleson commercial, office, retail, and entertainment (CORE) District.	
La Entrada (Gateway)	Tolleson's gateway, providing housing and services for commuting professionals and visitors.	
El Paseo (Corridor)	Land prime for new developments, especially commercial services and housing to foster population growth.	
El Distrito (Business District)	Land used for light manufacturing and distribution centers, as well as services for Tolleson employees.	



M-8

HGT/WVR*

Z-25-01

Z-SP-15-95

Z-181-05

INTERSTATE 10 FREEWAY

W LATHAN LN

Town of Tolleson

N 83RD AVE

S-1
ANX 333
Z-34-05

C-2
ANX 333
Z-34-05

A-1
ANX 333
Z-34-05

RE-43

C-2
ANX 333
Z-34-05

CP/GCP PCD*
Z-31-06

CP/GCP PCD
Z-31-A-06

R-2 PCD*
Z-31-06

C-2 SF PCD*
Z-31-06

C-2 PCD*
Z-31-06

R-2 PCD*
Z-31-06

A-1

R-3A PCD*
Z-31-06

R-3 PCD*
Z-31-06

CP/GCP PCD
Z-31-06

CP/GCP PCD*
Z-31-06

C-2 PCD*
Z-31-06

PCD*
Z-31-06

CP/GCP*
Z-110-87

CP/GCP*
Z-112-86

A-1*
Z-127-05

RE-43

A-1*
Z-134-05

C-3

ROOSEVELT STREET W ROOSEVELT ST

N 79TH AVE

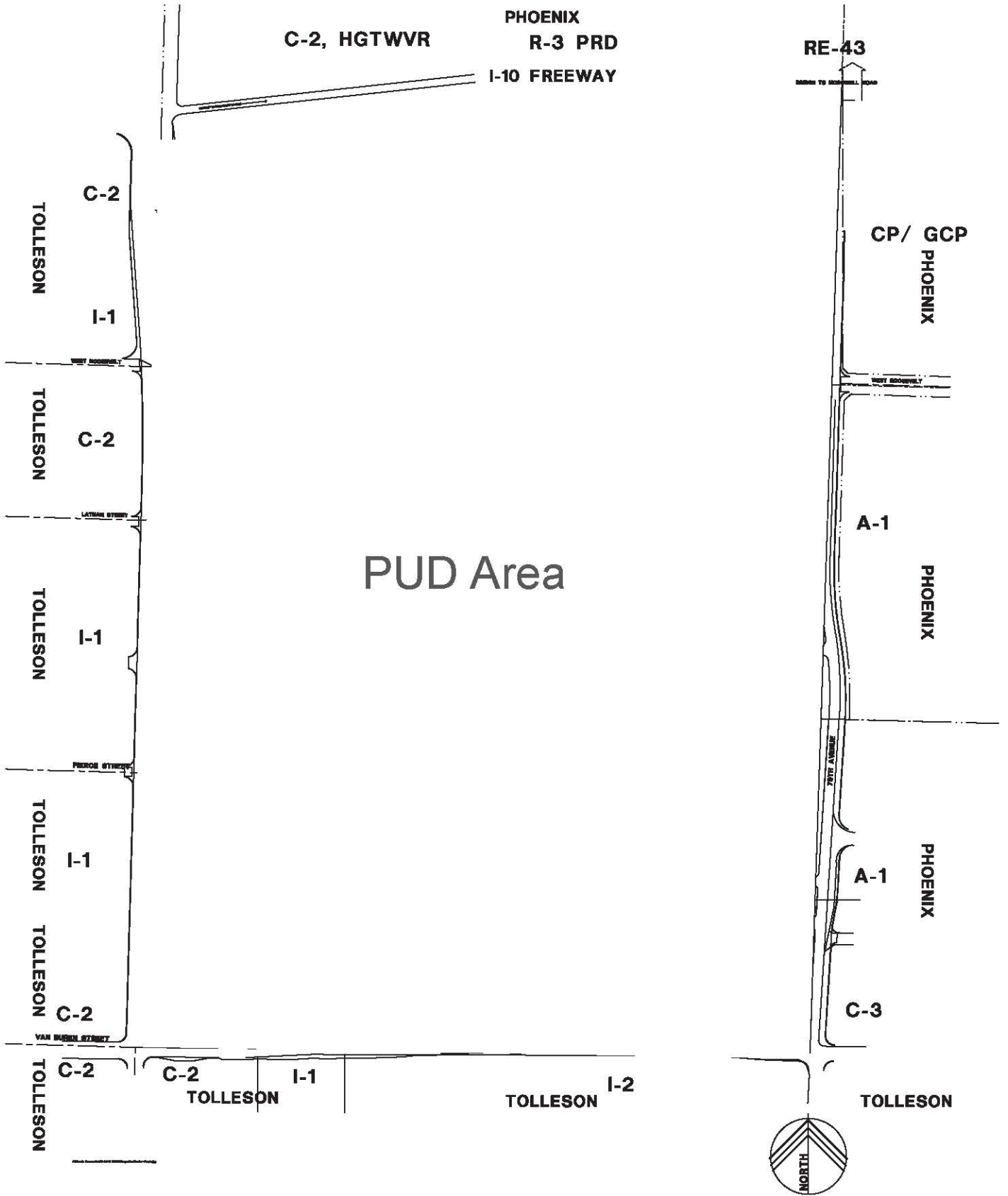
W VAN BUREN ST

Phoenix City Limits

Existing Zoning Map



Proposed PUD Area and Surrounding Zoning Map



M-9

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
BUILDING HEIGHT				
WITHIN 300-FEET OF 83RD AVENUE	30-FEET MAXIMUM 56-FEET MAXIMUM - FOR HOTEL USES	18' WITHIN 30' OF PERIMETER LOT LINE; 1' INCREASE PER 3' ADDITIONAL SETBACK MAXIMUM 56'	56' 80-FEET MAXIMUM WITH USE PERMIT	MAXIMUM 2-STORIES AND 30-FEET. HEIGHT WAIVER REQUIRED FOR REQUESTS UP TO MAXIMUM 4-STORIES AND 56-FEET
WITHIN 300-FEET OF VAN BUREN STREET FOR PERMITTED PRINCIPAL USES IN THE C-1 (SECTION 622), C-2 (SECTION 623), and C-3 (SECTION 624) ZONING DISTRICTS ONLY	30-FEET MAXIMUM 56-FEET MAXIMUM - FOR HOTEL USES			
WITHIN 300-FEET OF VAN BUREN STREET PERMITTED PRINCIPAL USES IN THE COMMERCE PARK (SECTION 626) AND A-1 LIGHT INDUSTRIAL (SECTION 627) ZONING DISTRICTS	56-FEET MAXIMUM			
ALL OTHER AREAS	56-FEET MAXIMUM 80-FEET MAXIMUM WITH USE PERMIT			
LOT COVERAGE				
WITHIN 300-FEET OF 83RD AVENUE RIGHT OF WAY	50% MAXIMUM OF NET SITE AREA	50% OF NET SITE AREA	NONE SPECIFIED	50% OF NET SITE AREA
ALL OTHER AREAS	60% MAXIMUM OF NET SITE AREA			

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
BUILDING & LANDSCAPE SETBACKS (ADJACENT TO STREETS AND PERIMETER)				
<p><u>83RD AVENUE</u> BUILDING & LANDSCAPE SETBACK</p>	<p>AVERAGE 25-FEET MINIMUM 20-FEET PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS</p>	<p>30' FROM PERIMETER LOT LINE ON A STREET, 20' NOT ON A STREET</p>	<p>25-FOOT FRONT 30-FOOT WHERE ADJACENT TO A RESIDENTIAL DISTRICT FOR CLOSED BUILDINGS AND 150-FEET FOR OPEN BUILDINGS OR USES</p> <p>EXCEPT FOR VEHICLE PARKING, NO OUTDOOR USES, OUTDOOR STORAGE, OR OPEN BUILDINGS SHALL BE WITHIN 75-FEET OF A PUBLIC STREET</p>	<p>AVERAGE 25' WITH MINIMUM 20' PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS</p>
<p><u>ROOSEVELT STREET*</u> BUILDING & LANDSCAPE SETBACK</p> <p>(*Potential Private Accessway)</p>	<p>AVERAGE 25-FEET MINIMUM 20-FEET PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS</p>	<p>30' FROM PERIMETER LOT LINE ON A STREET, 20' NOT ON A STREET</p> <p>20' FROM INTERIOR LOT LINE ON A STREET, 0' NOT ON A STREET</p>	<p>25-FOOT FRONT 30-FOOT WHERE ADJACENT TO A RESIDENTIAL DISTRICT FOR CLOSED BUILDINGS AND 150-FEET FOR OPEN BUILDINGS OR USES</p> <p>EXCEPT FOR VEHICLE PARKING, NO OUTDOOR USES, OUTDOOR STORAGE, OR OPEN BUILDINGS SHALL BE WITHIN 75-FEET OF A PUBLIC STREET</p>	<p>AVERAGE 25' WITH MINIMUM 20' PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS</p>

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
BUILDING & LANDSCAPE SETBACKS (ADJACENT TO STREETS AND PERIMETER) (CONT.)				
<u>VAN BUREN STREET</u> BUILDING & LANDSCAPE SETBACK	30-FEET MINIMUM	30' FROM PERIMETER LOT LINE ON A STREET, 20' NOT ON A STREET	<p>25-FOOT FRONT</p> <p>30-FOOT WHERE ADJACENT TO A RESIDENTIAL DISTRICT FOR CLOSED BUILDINGS AND 150-FEET FOR OPEN BUILDINGS OR USES</p> <p>EXCEPT FOR VEHICLE PARKING, NO OUTDOOR USES, OUTDOOR STORAGE, OR OPEN BUILDINGS SHALL BE WITHIN 75-FEET OF A PUBLIC STREET</p>	AVERAGE 25' WITH MINIMUM 20' PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS
<u>79TH AVENUE</u> BUILDING & LANDSCAPE SETBACK	15-FEET MINIMUM	30' FROM PERIMETER LOT LINE ON A STREET, 20' NOT ON A STREET	<p>25-FOOT FRONT</p> <p>30-FOOT WHERE ADJACENT TO A RESIDENTIAL DISTRICT FOR CLOSED BUILDINGS AND 150-FEET FOR OPEN BUILDINGS OR USES</p> <p>EXCEPT FOR VEHICLE PARKING, NO OUTDOOR USES, OUTDOOR STORAGE, OR OPEN BUILDINGS SHALL BE WITHIN 75-FEET OF A PUBLIC STREET</p>	AVERAGE 25' WITH MINIMUM 20' PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
BUILDING & LANDSCAPE SETBACKS (ADJACENT TO STREETS AND PERIMETER) (CONT.)				
<u>I-10 FREEWAY</u> BUILDING SETBACK	50-FEET MINIMUM	30' FROM PERIMETER LOT LINE ON A STREET, 20' NOT ON A STREET	25-FOOT FRONT 30-FOOT WHERE ADJACENT TO A RESIDENTIAL DISTRICT FOR CLOSED BUILDINGS AND 150-FEET FOR OPEN BUILDINGS OR USES EXCEPT FOR VEHICLE PARKING, NO OUTDOOR USES, OUTDOOR STORAGE, OR OPEN BUILDINGS SHALL BE WITHIN 75-FEET OF A PUBLIC STREET	AVERAGE 25' WITH MINIMUM 20' PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS
<u>I-10 FREEWAY</u> LANDSCAPE SETBACK	10-FEET MINIMUM	30' FROM PERIMETER LOT LINE ON A STREET, 20' NOT ON A STREET	N/A	AVERAGE 25' WITH MINIMUM 20' PERMITTED FOR UP TO 50% OF THE STRUCTURE, INCLUDING PROJECTIONS
INTERIOR BUILDING & LANDSCAPE SETBACKS				
FOR PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS	10-FEET MINIMUM	20' FROM INTERIOR LOT LINE ON A STREET, 0' NOT ON A STREET	EXCEPT FOR VEHICLE PARKING AREAS, NO OUTDOOR USES, OUTDOOR STORAGE, OR OPEN BUILDINGS SHALL BE LOCATED WITHIN SEVENTY-FIVE (75) FEET OF A PUBLIC STREET	<u>BUILDING</u> 0-FEET FOR PROPERTY LINES NOT ADJACENT TO STREETS, ADJACENT TO C-1, C-2, C-3 A-1, A-2, CP, IND. PK., P-1, P-2 <u>LANDSCAPE</u> MINIMUM 10-FEET FOR PERIMETER PROPERTY LINES NOT ADJACENT TO A STREET
FOR PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS	10-FEET MINIMUM			

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
INTERIOR BUILDING & LANDSCAPE SETBACKS (CONT.)				
FOR PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE C-1, C-2, AND C-3 ZONING DISTRICTS	NONE	NONE	NONE	NONE
FOR PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS WHERE ABUTTING OR ADJACENT TO PERMITTED PRINCIPAL USES IN THE COMMERCE PARK AND A-1 ZONING DISTRICTS	NONE	NONE	NONE	NONE

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
LANDSCAPING STANDARDS BY STREET				
83RD AVENUE & VAN BUREN STREET	<p>1 ROW TREES PLANTED 20-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>	<p>APPROPRIATE GROUND COVER</p> <p>SUITABLE PLACEMENT OF SHRUBS AND TREES</p> <p>APPROPRIATE WATERING SYSTEM</p>	<p>WHERE ANY PARKING SPACE IS ESTABLISHED BETWEEN THE FRONT PROPERTY LINE AND THE PRINCIPAL BUILDING OR STRUCTURE, LANDSCAPING IS REQUIRED AS FOLLOWS:</p> <p>(A) A TOTAL LANDSCAPED AREA NOT LESS THAN 8' TIMES THE LOT FRONTAGE, MEASURED IN SQUARE FEET, SHALL BE PROVIDED BETWEEN PROPERTY LINES ABUTTING PUBLIC RIGHT-OF-WAY AND THE PRINCIPAL BUILDING OR STRUCTURE; AND</p> <p>(B) OF THIS TOTAL AREA, A LANDSCAPED STRIP OF NOT LESS THAN 5' IN DEPTH SHALL BE LOCATED BETWEEN THE FRONT PROPERTY LINE AND THE PARKING AREA, EXCLUSIVE OF DRIVEWAYS AND WALKWAYS.</p>	<p>MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES) MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>
ROOSEVELT STREET* (*Potential Private Accessway)	<p>1 ROW TREES PLANTED 20-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>	<p>APPROPRIATE GROUND COVER</p> <p>SUITABLE PLACEMENT OF SHRUBS AND TREES</p> <p>APPROPRIATE WATERING SYSTEM</p>	(SAME AS ABOVE)	<p>MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES) MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES) MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
LANDSCAPING STANDARDS BY STREET (CONT.)				
<u>79TH AVENUE</u>	<p>1 ROW TREES PLANTED 20-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 3-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>	<p>APPROPRIATE GROUND COVER</p> <p>SUITABLE PLACEMENT OF SHRUBS AND TREES</p> <p>APPROPRIATE WATERING SYSTEM</p>	(SAME AS ABOVE)	<p>MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES)</p> <p>MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>
<u>I-10 FREEWAY</u>	<p>1 ROW TREES PLANTED 30-FEET ON CENTER OR EQUIVALENT GROUPINGS</p> <p>MINIMUM 3-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>	<p>APPROPRIATE GROUND COVER</p> <p>SUITABLE PLACEMENT OF SHRUBS AND TREES</p> <p>APPROPRIATE WATERING SYSTEM</p>	N/A	<p>MINIMUM 2-INCH CALIPER (50% OF REQUIRED TREES)</p> <p>MINIMUM 3-INCH CALIPER (25% OF REQUIRED TREES)</p> <p>MINIMUM 4-INCH CALIPER (25% OF REQUIRED TREES)</p> <p>MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE</p>

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
LANDSCAPING STANDARDS FOR PARKING LOT AREAS				
<u>PARKING LOT AREAS</u> INTERIOR SURFACE AREA, EXCLUSIVE OF PERIMETER LANDSCAPING AND REQUIRED SETBACKS WITHIN 300-FEET OF 83RD AVENUE & VAN BUREN STREET RIGHTS OF WAY	10% MINIMUM	N/A	N/A	10% MINIMUM
<u>PARKING LOT AREAS</u> INTERIOR SURFACE AREA, EXCLUSIVE OF PERIMETER LANDSCAPING AND REQUIRED SETBACKS ALL OTHER AREAS	5% MINIMUM	N/A	N/A	10% MINIMUM
<u>LANDSCAPE PLANTERS</u>	AT ENDS OF EACH ROW OF PARKING & APPROX. EVERY 110'	N/A	N/A	AT ENDS OF EACH ROW OF PARKING & APPROX. EVERY 110'
<u>LANDSCAPE PLANTERS</u> SINGLE ROW	MINIMUM 120 S.F.	N/A	N/A	MIN.120 S.F.
<u>LANDSCAPE PLANTERS</u> DOUBLE ROW	MINIMUM 240 S.F.	N/A	N/A	MINIMUM 240 S.F.

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
LANDSCAPING STANDARDS FOR PARKING LOT AREAS (CONT.)				
<u>PARKING LOTS</u>				
SINGLE-PARKING ISLAND	1 – 2-INCH CALIPER TREE MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE	N/A	N/A	MINIMUM 2-INCH CALIPER (60% OF REQUIRED TREES) MINIMUM 1-INCH CALIPER (40% OF REQUIRED TREES) MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE
<u>PARKING LOTS</u>				
DOUBLE PARKING ISLAND	2 – 2-INCH CALIPER TREES MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE	N/A	N/A	MINIMUM 2-INCH CALIPER (60% OF REQUIRED TREES) MINIMUM 1-INCH CALIPER (40% OF REQUIRED TREES) MINIMUM FIVE (5) 5-GALLON SHRUBS PER TREE
LANDSCAPING STANDARDS – OTHER				
ON-SITE, OPEN AREAS, RETENTION BASINS, ETC.	THE PUD SHALL COMPLY WITH SECTIONS 507 TAB A AND 703 OF THE CITY OF PHOENIX ZONING ORDINANCE.	N/A	N/A	N/A

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
SCREEN WALLS				
<u>SCREEN WALLS</u> CAR PARKING AREAS	FOR AREAS FRONTING ON A PUBLIC STREET, PRIVATE ACCESSWAY OR PRIVATE DRIVE, A FENCE OR FREESTANDING WALL WITHIN OR BOUNDING THE REQUIRED FRONT YARD SHALL BE LIMITED TO A MAXIMUM HEIGHT OF 40-INCHES OFFSETS EVERY 40- FEET PIERS EVERY 40- FEET DECORATIVE BANDING	N/A	4 TO 6-FOOT WALL OR LANDSCAPED BERM WITHIN ONE HUNDRED FIFTY (150) FEET OF A RESIDENCE DISTRICT	N/A
<u>MASONRY SCREEN WALLS</u> TRAILER PARKING	8-FOOT MAXIMUM HEIGHT MASONRY WALLS OFFSETS EVERY 40- FEET	N/A	4 TO 6-FOOT WALL OR LANDSCAPED BERM WITHIN ONE HUNDRED FIFTY (150) FEET OF A RESIDENCE DISTRICT	N/A
<u>MASONRY SCREEN WALLS</u> OPEN STORAGE AREAS	SUFFICIENT HEIGHT TO SCREEN STORAGE AREAS LOCATION OF STORAGE AREAS AND SCREENING TO BE REVIEWED AND APPROVED BY THE PLANNING & DEVELOPMENT DEPARTMENT	6-FOOT HIGH SOLID MASONRY WALL	6-FOOT HIGH SOLID FENCE OR WALL FOR OUTSIDE STORAGE OR USE WITHIN 100-FEET OF A RESIDENTIAL DISTRICT OR PUBLIC STREET	MAXIMUM 12- FEET HEIGHT

COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
SCREEN WALLS (CONT.)				
<u>FENCING</u> AT INDUSTRIAL/RETAIL SHARED PROPERTY LINES	6-FOOT MAXIMUM HEIGHT OFFSETS EVERY 40- FEET	N/A	N/A	N/A
<u>MASONRY SCREEN WALLS</u> AT REFUSE AREAS	6-FOOT MASONRY WALLS DECORATIVE METAL GATES DECORATIVE BANDING TO MATCH PERIMETER WALLS	N/A	N/A	N/A
SITE LIGHTING STANDARDS				
<u>PARKING LOTS</u> WITHIN 300- FEET OF 83RD AVENUE	15-FOOT MAXIMUM HEIGHT ALL LIGHTING SHALL BE FULLY SHIELDED	NO ILLUMINATION VISIBLE FROM A PUBLIC STREET OR RESIDENTIALLY ZONED PROPERTY LIGHT INTENSITY DOES NOT EXCEED ONE FOOTCANDLE ON ADJACENT RESIDENTIALLY ZONED PROPERTY	N/A	PLACED TO REFLECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS
<u>PARKING LOTS</u> ALL OTHER AREAS	25-FOOT MAXIMUM HEIGHT ALL LIGHTING SHALL BE FULLY SHIELDED	NO ILLUMINATION VISIBLE FROM A PUBLIC STREET OR RESIDENTIALLY ZONED PROPERTY LIGHT INTENSITY SHALL NOT EXCEED ONE FOOTCANDLE ON ADJACENT RESIDENTIALLY ZONED PROPERTY	N/A	PLACED TO REFLECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS

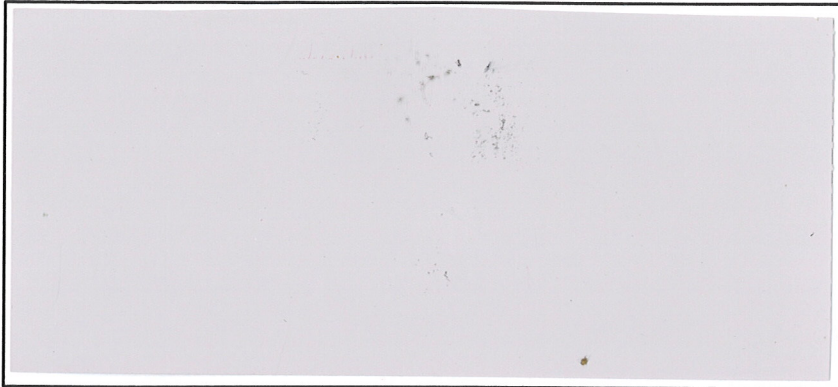
COMPARATIVE DEVELOPMENT STANDARDS

	TEN PUD	CP/GCP	A-1	C-3
SITE LIGHTING STANDARDS (CONT.)				
PEDESTRIAN AREAS & BUILDING ENTRIES	<p>25-FOOT MAXIMUM HEIGHT</p> <p>15-FOOT MAXIMUM HEIGHT WITHIN 150- FEET OF ANY RESIDENTIAL USES</p> <p>WALL MOUNTED LIGHTS</p> <p>ALL LIGHTING SHALL BE FULLY SHIELDED</p>	<p>NO ILLUMINATION VISIBLE FROM A PUBLIC STREET OR RESIDENTIALLY ZONED PROPERTY</p> <p>LIGHT INTENSITY DOES NOT EXCEED ONE FOOTCANDLE ON ADJACENT RESIDENTIALLY ZONED PROPERTY</p>	N/A	<p>PLACED TO REFLECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS</p>
SECURITY LIGHTING	<p>WALL PACKS AS NEEDED AT MAIN AND DOCK DOORS</p> <p>DOWNLIGHTING OR EQUAL AT BUILDING ENTRIES</p> <p>ALL LIGHTING SHALL BE FULLY SHIELDED</p>	<p>NO ILLUMINATION VISIBLE FROM A PUBLIC STREET OR RESIDENTIALLY ZONED PROPERTY</p> <p>LIGHT INTENSITY DOES NOT EXCEED ONE FOOTCANDLE ON ADJACENT RESIDENTIALLY ZONED PROPERTY</p>	N/A	<p>PLACED TO REFLECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS</p>
PARKING LOTS AT TRUCK COURTS & TRAILER PARKING AREAS	<p>25-FOOT POLES</p> <p>ALL LIGHTING SHALL BE FULLY SHIELDED</p>	<p>NO ILLUMINATION VISIBLE FROM A PUBLIC STREET OR RESIDENTIALLY ZONED PROPERTY</p> <p>LIGHT INTENSITY DOES NOT EXCEED ONE FOOTCANDLE ON ADJACENT RESIDENTIALLY ZONED PROPERTY</p>	N/A	<p>PLACED TO REFLECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS</p>

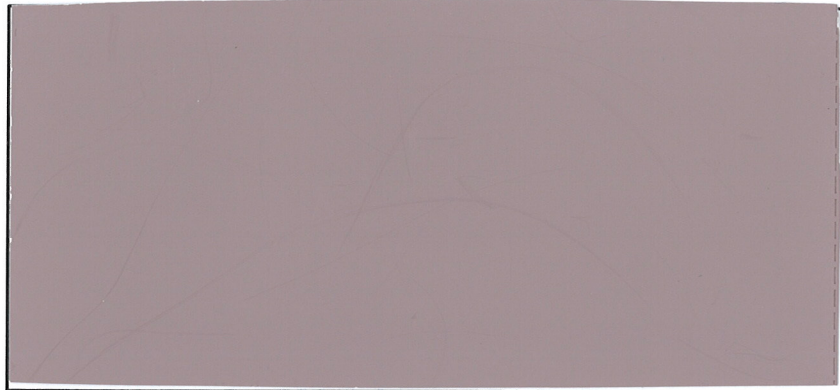
M-10

**Building Color Palettes
Conceptual Color Selections**

Group 1



DE 5261 Cashew Nut



DE 5262 Field of Wheat



DE5263 Sonora Shade

REFERENCE SHEET : ##



IRWIN G. PASTERNAK & ASSOCIATES, P.C.
ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS

745 EAST MARVILAND AVENUE
PHOENIX, ARIZONA 85014

SUITE 100
279-2808

JOB NO. : 214005

DATE : 4/1/17

DRAWN BY : DP

SHEET NO. : 1

**Building Color Palettes
Conceptual Color Selections**

Group 2



DE 6037 Geyser

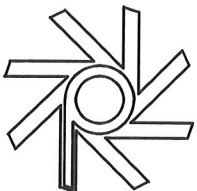


DE 6032 Hazelnut



DE 6034 Raisin in the Sun

REFERENCE SHEET : ##



IRWIN G. PASTERNAK QIA, P.C.
ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS

745 EAST MARSHLAND AVE.
PHOENIX, ARIZONA 85014

SUITE 100
279-2808

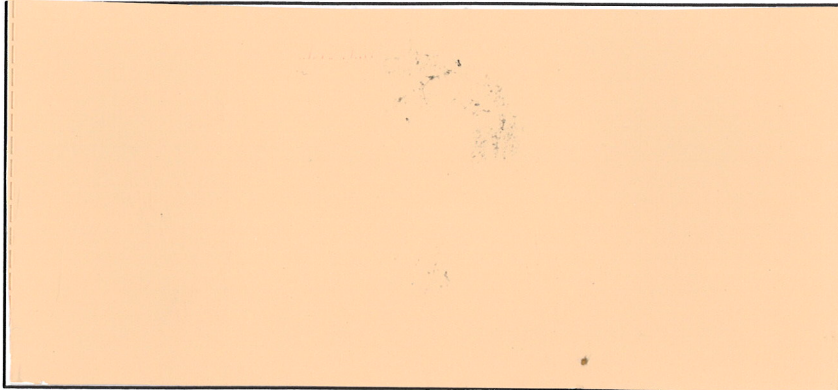
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DATE : 4/1/17

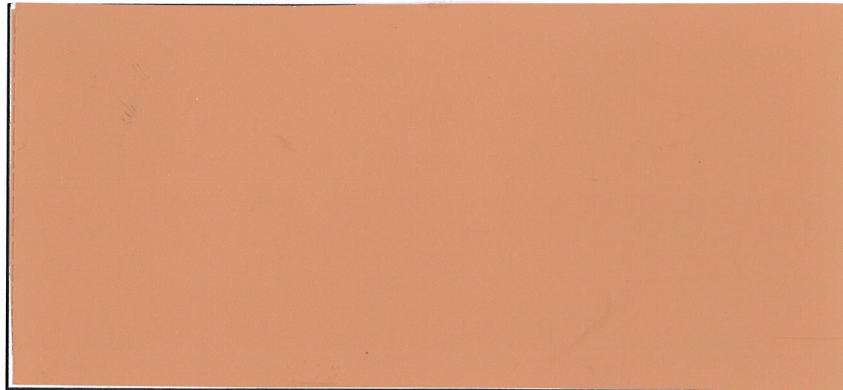
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Building Color Palettes
Conceptual Color Selections
Group 3



DE5247 Allspice



DE 5207 Pecan Veneer



DE 5186 Secluded Canyon

REFERENCE SHEET : ##



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745 EAST MARVILAND AVE. SUITE 100
PHOENIX, ARIZONA 85014 279-2808

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**Building Color Palettes
Conceptual Color Selections
Group 4**



De 6094 Canyon Dusk



DE 6096 Homestead



DE 6076 Wandering Road

REFERENCE SHEET : ##



IRWIN G. PASTERNAK AIA, P.C.
ARCHITECTURE - PLANNING - LANDSCAPE - INTERIOR

745 EAST MARVILAND AVENUE
PHOENIX, ARIZONA 85014

SUITE 100
279-2808

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DATE : 4/7/17

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SHEET NO. : 1

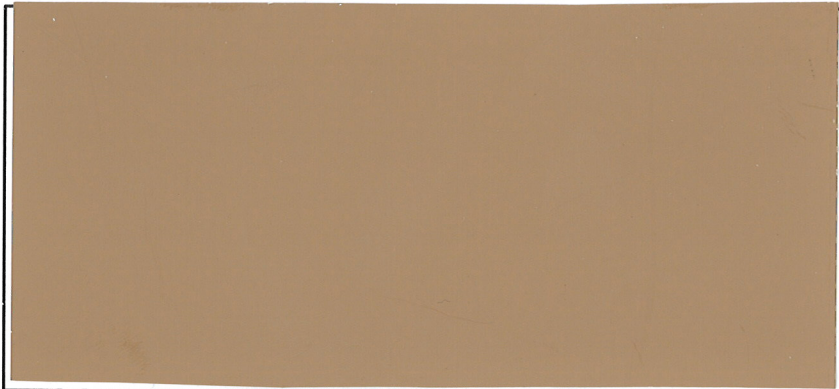
Building Color Palettes
Conceptual Color Selections
Group 5



DE 5260 Sandy Beach



DE 6109 Kraft Paper



De 6110 Warm Hearth

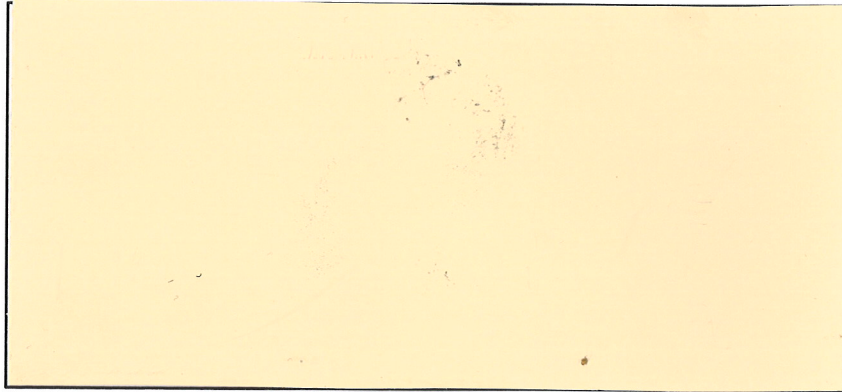
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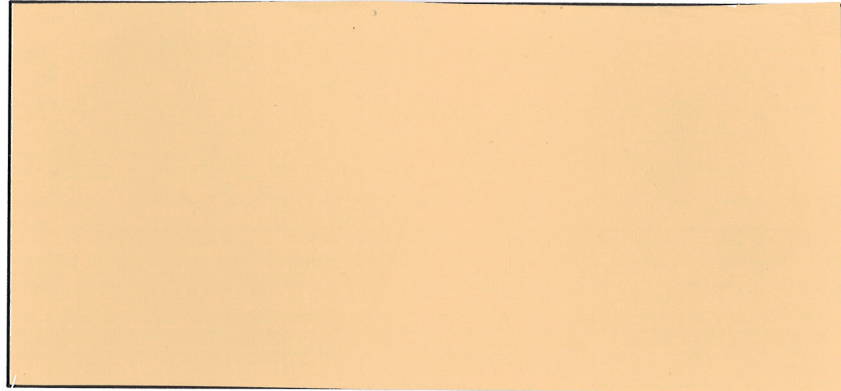
IRWIN G. PASTERNAK **QIA, P.C.**
ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS
745 EAST MARYLAND AVE. SUITE 100
PHOENIX, ARIZONA 85014 279-2808

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DATE : 4/1/17
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**Building Color Palettes
Conceptual Color Selections
Group 6**



DE 5267 Almondine

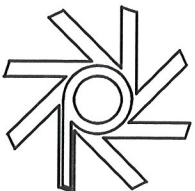


DE5268 Sundown



DE 5248 Rusty Orange

REFERENCE SHEET : ##



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ARCHITECTURE - PLANNING - LANDSCAPE - INTERIORS

745 EAST MARSHLAND AVENUE
PHOENIX, ARIZONA 85014

SUITE 100
279-2808

JOB NO. : 214005

DATE : 4/1/17

DRAWN BY : DP

SHEET NO. : 1

M-11

← PARKING LOT →

NOTE: WALL LENGTHS MAY VARY

TYPICAL TREE

3'-4' HIGH MASONRY SCREEN WALL

DRIVEWAY

20'-0"

SHRUB
TYPICAL

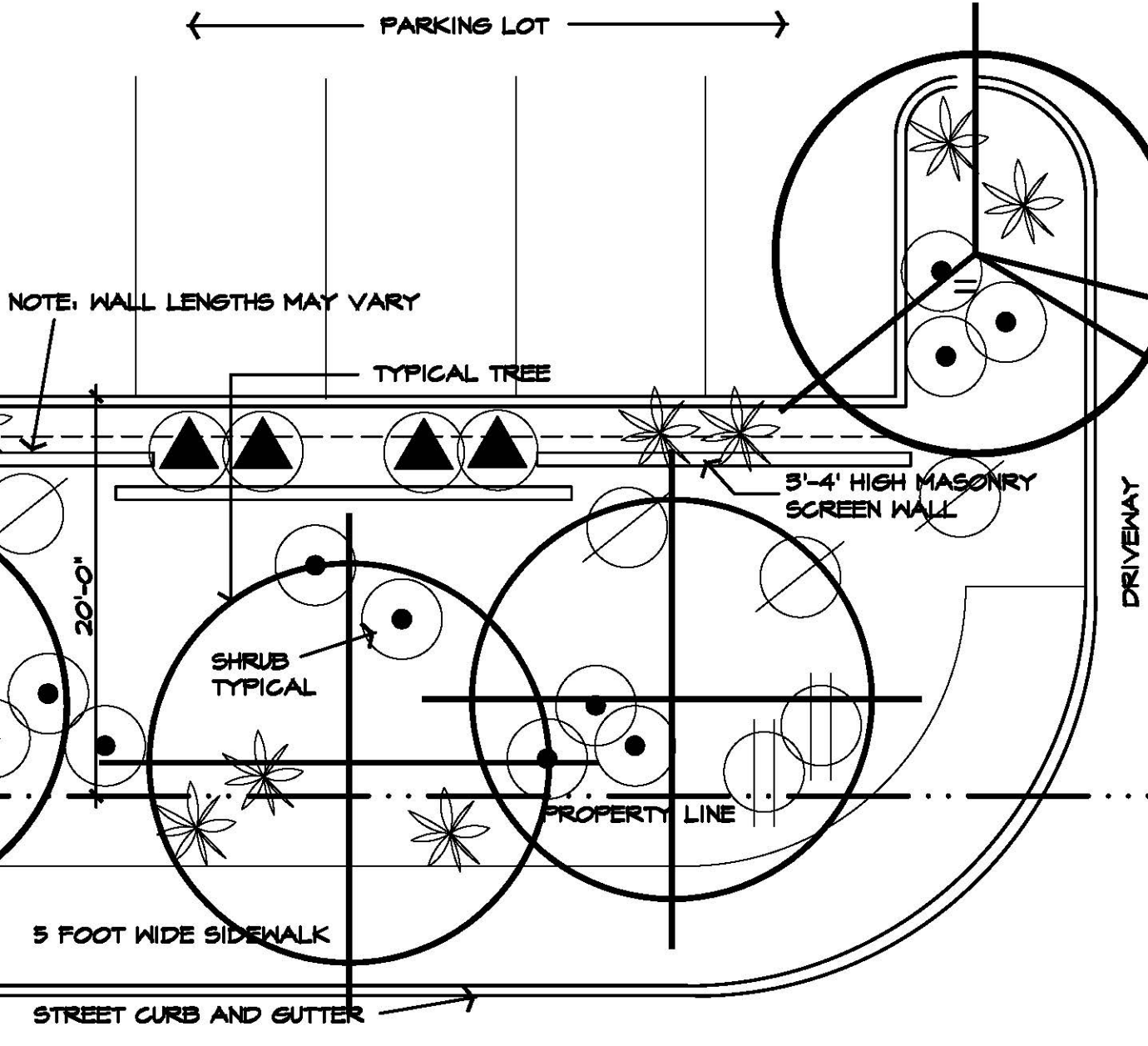
PROPERTY LINE

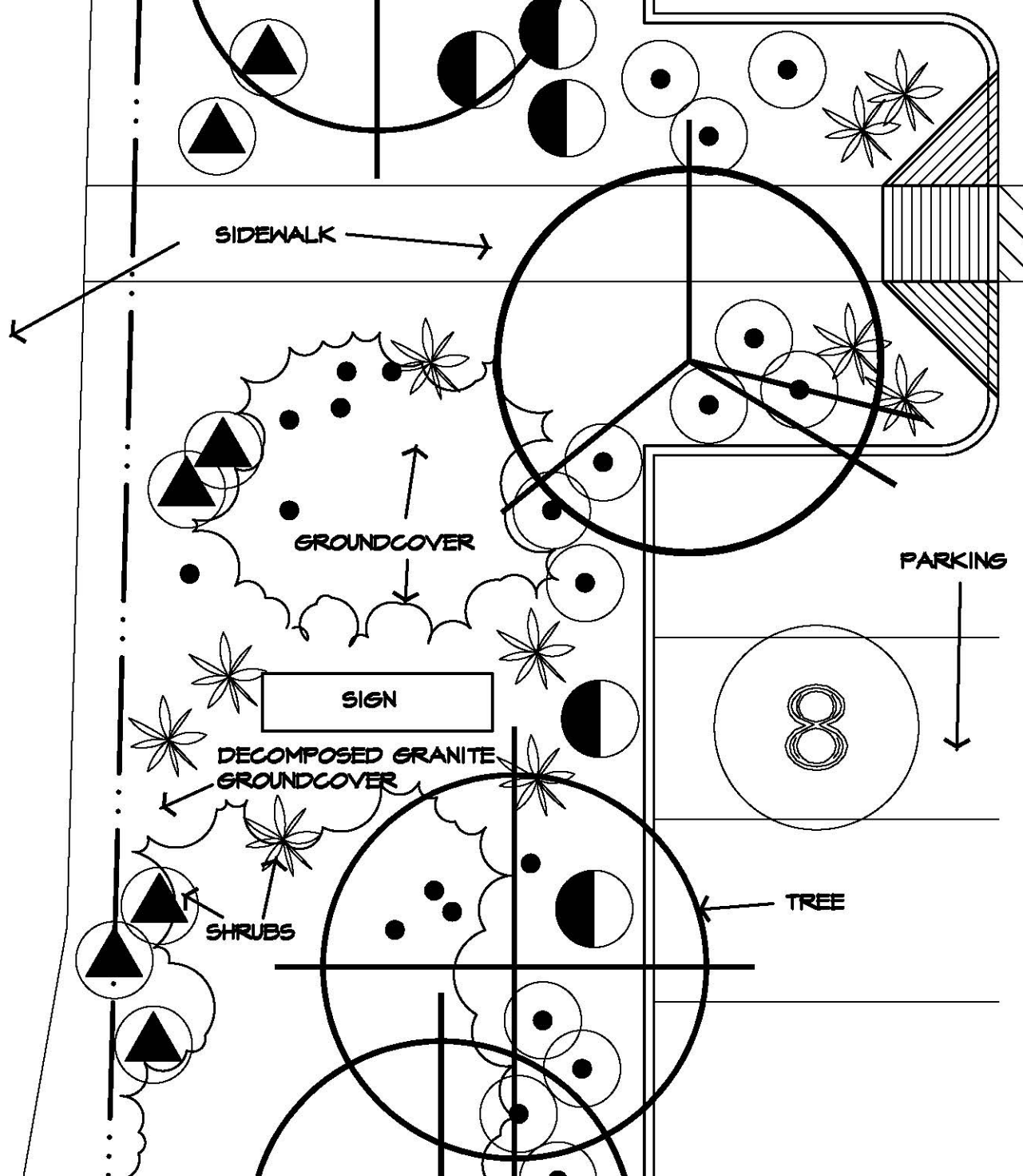
5 FOOT WIDE SIDEWALK

STREET CURB AND GUTTER

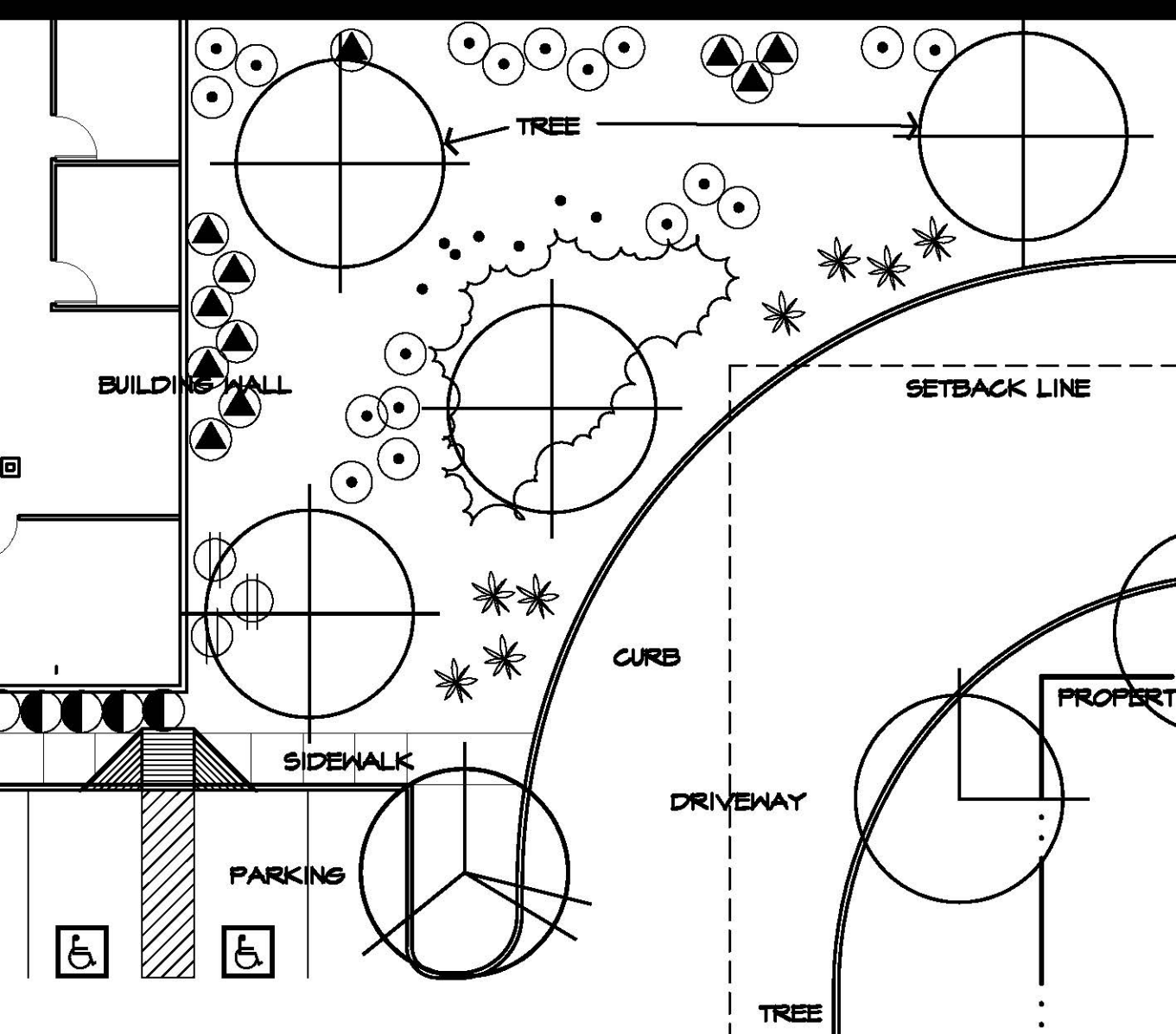
TREES AT THE RATE OF 1 TREE PER 25 LINEAL FEET OF FRONTAGE

STREET





BUILDING WALL



TREE

BUILDING WALL

SETBACK LINE

CURB

SIDEWALK

DRIVEWAY

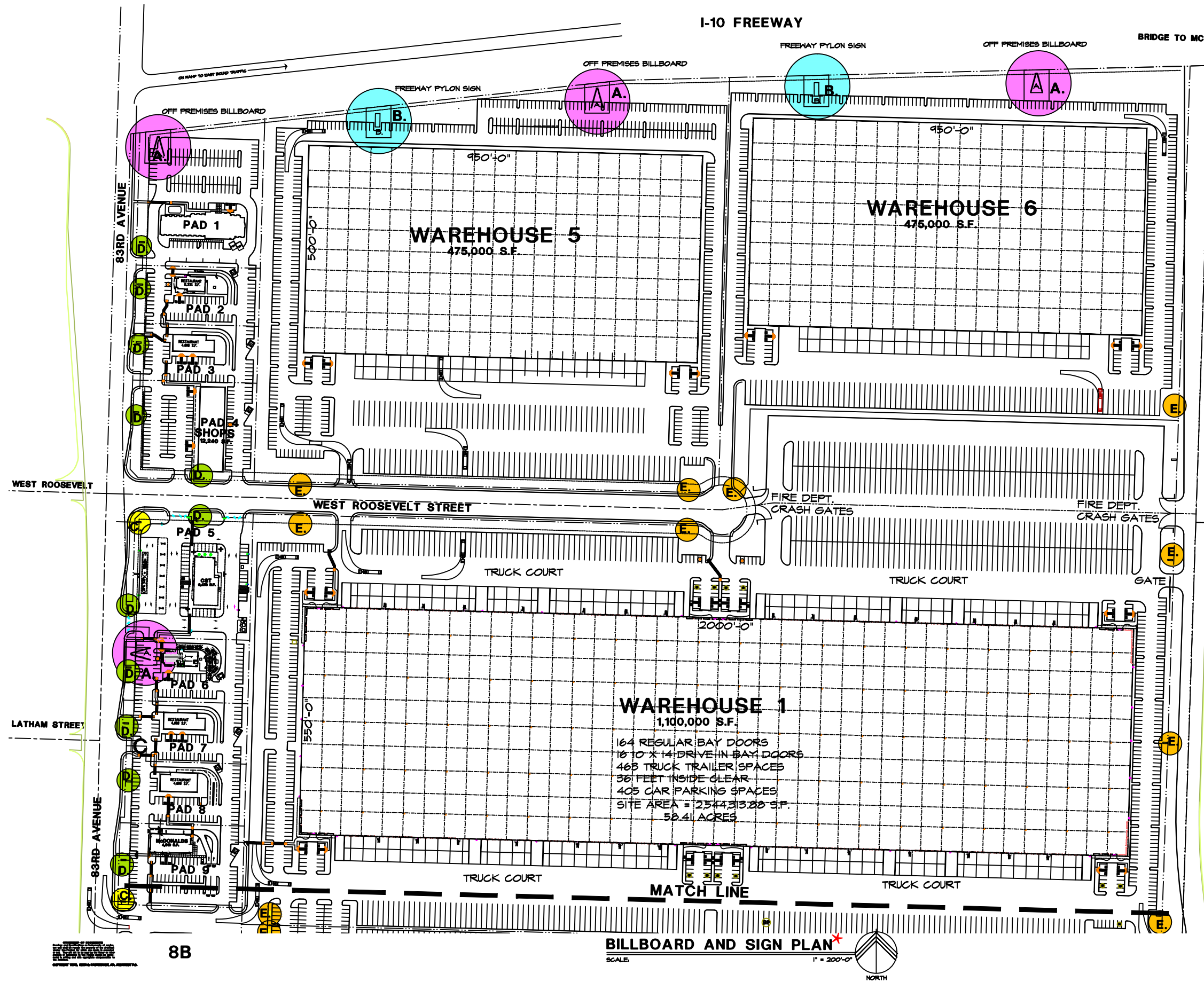
PARKING

PROPERTY

TREE



M-12



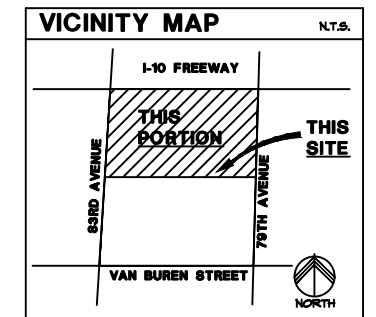
SIGN IDENTIFICATION MATRIX

- A.** OFF-PREMISES BILLBOARD SIGN
- B.** FREEWAY PYLON SIGN
- C.** COMMERCIAL/ INDUSTRIAL MULTI-TENANT GROUND SIGN
- D.** COMMERCIAL USER GROUND SIGN
- E.** INDUSTRIAL USER GROUND SIGN

NOTE: ALL SIGN LOCATIONS MAY VARY AS LONG AS REQUIRED SEPARATIONS ARE MAINTAINED. INTERIOR PARCELS MAY VARY AS THE SITE PLAN SHOWN IS CONCEPTUAL.

OFF-PREMISES BILLBOARD SIGNS SHALL BE SEPARATED BY A DISTANCE OF 1000 FEET SIGN FACE TO SIGN FACE TO THE NEXT BILLBOARD OF SIMILAR TYPE

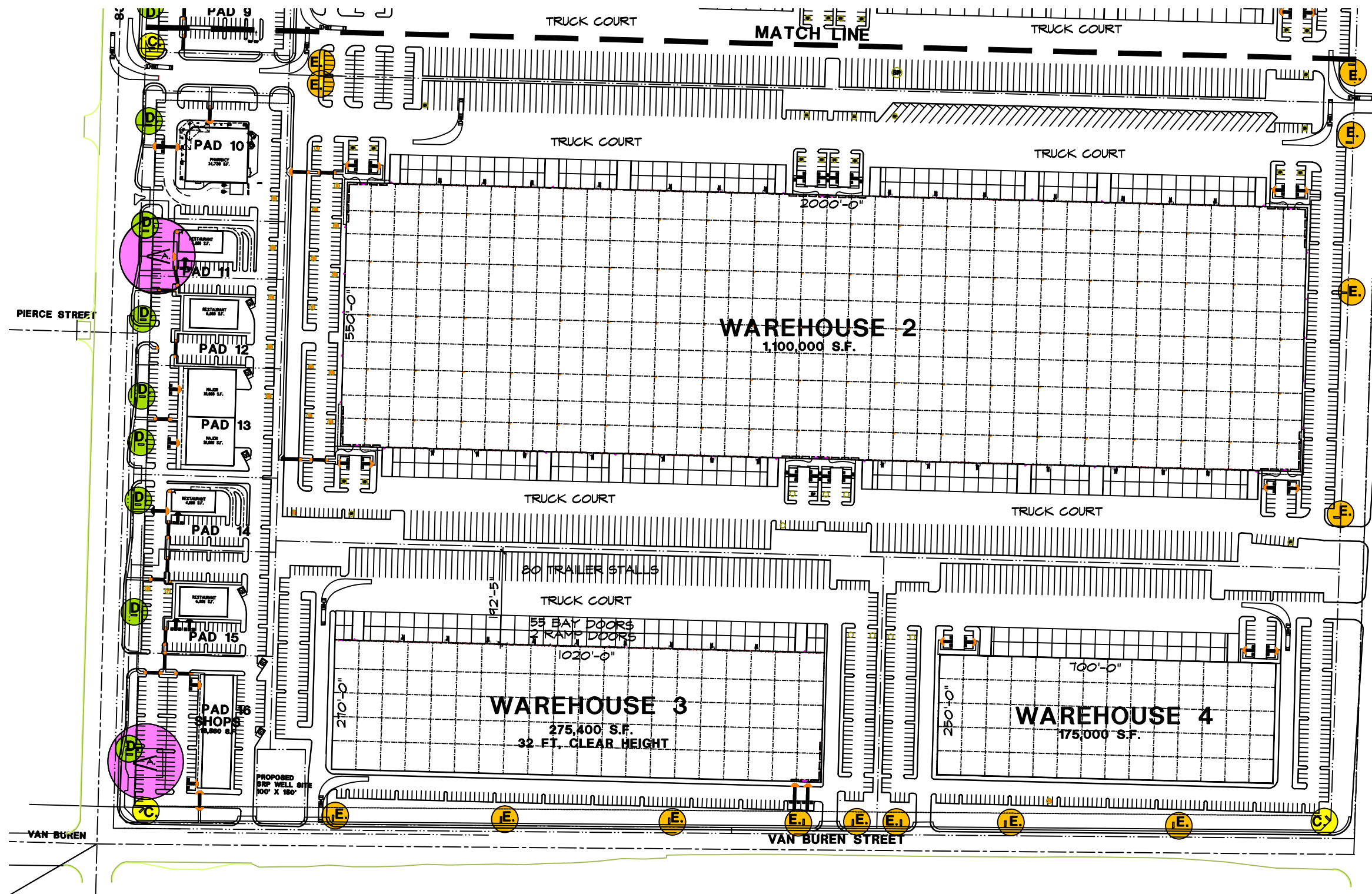
BILLBOARDS SHALL BE SEPARATED FROM PYLON SIGNS BY A DISTANCE OF 500 FEET SIGN FACE TO SIGN FACE WHICH REQUIRES BILLBOARD SEPARATION TO INCREASE.



8B

BILLBOARD AND SIGN PLAN*
 SCALE: 1" = 300'-0"
 NORTH

***This plan is conceptual.**



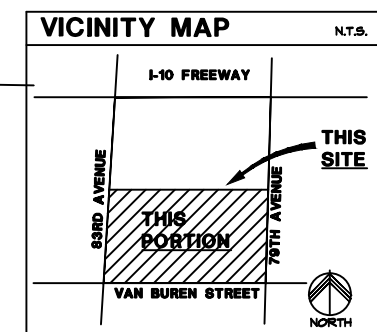
SIGN IDENTIFICATION MATRIX

- A.** OFF-PREMISES BILLBOARD SIGN
- B.** FREEWAY PYLON SIGN
- C.** COMMERCIAL/ INDUSTRIAL MULTI-TENANT GROUND SIGN
- D.** COMMERCIAL USER GROUND SIGN
- E.** INDUSTRIAL USER GROUND SIGN

NOTE: ALL SIGN LOCATIONS MAY VARY AS LONG AS REQUIRED SEPARATIONS ARE MAINTAINED. INTERIOR PARCELS MAY VARY AS THE SITE PLAN SHOWN IS CONCEPTUAL.

OFF-PREMISES BILLBOARD SIGNS SHALL BE SEPARATED BY A DISTANCE OF 1000 FEET SIGN FACE TO SIGN FACE TO THE NEXT BILLBOARD OF SIMILAR TYPE

BILLBOARDS SHALL BE SEPARATED FROM PYLON SIGNS BY A DISTANCE OF 500 FEET SIGN FACE TO SIGN FACE WHICH REQUIRES BILLBOARD SEPARATION TO INCREASE.



BILLBOARD AND SIGN PLAN *
 SCALE: 1" = 200'-0"
 NORTH

THIS PLAN IS CONCEPTUAL AND NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND LOCATIONS ARE APPROXIMATE. SEE ALL NOTES AND SPECIFICATIONS FOR DETAILS.

***This plan is conceptual.**

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**Traffic Impact Analysis
Submitted Under Separate Cover
to the city of Phoenix Street Transportation
Department.**

By Jamie Blakeman with J2 Engineering.