

CITY OF PHOENIX

SEP 25 2018

**Planning & Development
Department**

GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

**Approximately 480 Feet East of the Southeast corner
of 32nd Street and Baseline Road**

Land Use and Development Standards

First Submittal: September 6, 2016

Second Submittal: December 21, 2016

Third Submittal: March 6, 2017

Fourth Submittal: March 23, 2018

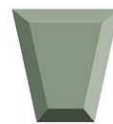
Hearing Draft Submittal: May 22, 2018

Final Submittal: September 21, 2018

Case #: Z-50-16-8

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Landscape Architecture + Land Planning



GARDENER'S ENCLAVE

Planned Unit Development

(A Single-Family Residential and Commercial PUD)

Approximately 480 Feet East of the southeast corner of 32nd Street and Baseline Road

Development Narrative

Case#: Z-50-16-8

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A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. A PUD may include background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies the Phoenix Zoning Ordinance regulations and does not modify other City Codes or requirements

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GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

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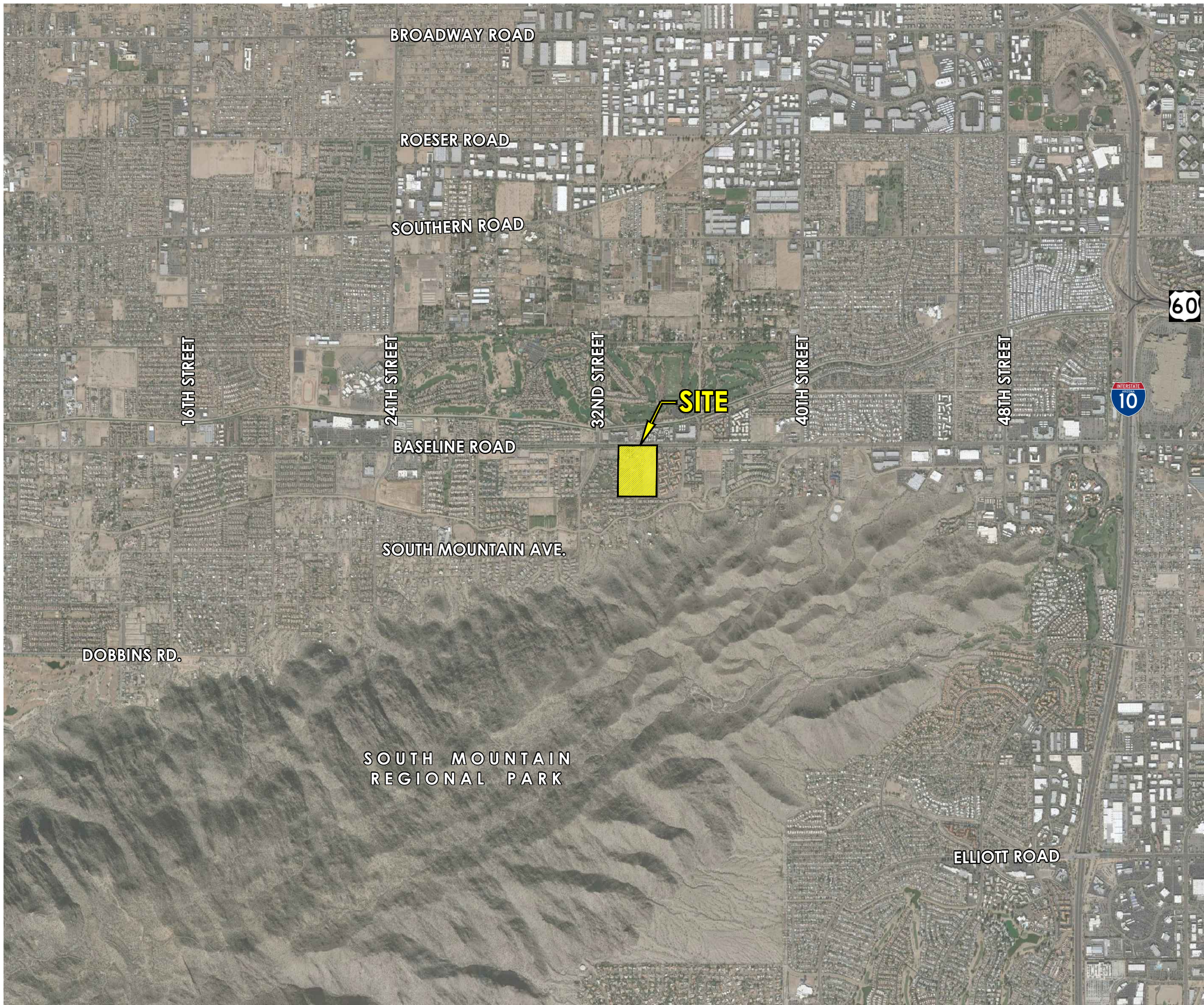
Executive Summary

Gardener's Enclave is a 30.42 gross acre Planned Unit Development consisting of residential and commercial development parcels located approximately 480 feet east of the southeast corner of 32nd Street and Baseline Road. This PUD consists of two parts, a 27.66 acre single family residential component and a 2.76 acre commercial site. Taylor-Morrison and Keystone Homes ("Keystone") are the proposed developers of the residential portion. The non-residential project area will be developed in the future by a separate entity.

See **Figure 1, Aerial and Regional Context**. In a unique arrangement, Taylor-Morrison and Keystone Homes are working together to create a single, unified community on most of the Site. This high quality, gated, single-family residential neighborhood is currently known as "Gardener's Enclave". To achieve this, as well as the establishment of a non-residential development area, we are requesting the Site be rezoned to Planned Unit Development ("PUD") for the proposed residential and non-residential uses. Located just north of the base of South Mountain and adjacent to Baseline Road, Gardener's Enclave is designed to be sensitive to the surrounding single-family context within a Mixed-Use Agricultural (MUA) land use designated area.

The residential development concept proposes 61 detached, single-family homes with three different lot sizes planned. The development features a variety of community open spaces that will function as both active and passive amenities for the overall neighborhood. These spaces will include landscaped common areas, pedestrian trails, shade elements and play areas. Also included will be thematic community elements such as raised flower beds, picnic tables and decorative split-rail fencing. A linear community open space has purposely been located along the community's western edge in recognition of the existing Villages at South Mountain neighborhood and to help manage on-site drainage flows. With the ample open space and extensive buffers to the neighboring residential, the community's gross density is calculated to be 2.01 dwelling units per acre (DU/Ac), based on the full gross acreage of the PUD district. As is discussed below in Seciton B.4 (Density Transition) and depicted on **Figure 4, Density Transition Plan** the density on the western 17.51 residential acres is 2.0 DU/Ac transitioning to 2.56 DU/Ac on the eastern 10.15 residential acres. The community includes pedestrian connections to Baseline Road and Beverly Road to the south. This community design embraces the principles of the Baseline Area Master Plan, the Baseline Area Overlay District and the Mixed-Use Agriculture General Plan land use designation by:

- Establishing a development that is respectful of the context and recognizes historical aspects affiliated with the property,
- Providing a project arrival sequence to reflect the agrarian history of the area,
- Promoting pedestrian connections to area amenities and Baseline Road,
- Embracing an agrarian community theme,
- Providing adequate open space quantity and quality beyond established standards where possible, and
- Creating perimeter buffers to promote the community open space to the benefit of surrounding established neighborhoods.

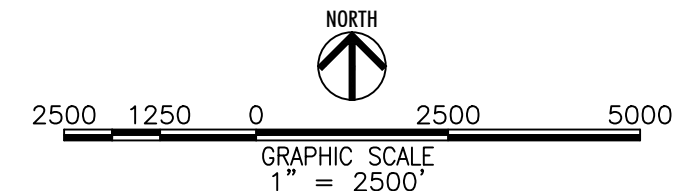


GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

FIGURE 1
AERIAL & REGIONAL CONTEXT

Subject to engineering and City review and approval.



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Date: 3/8/18 Project No. 1621






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- development entitlements
- landscape architecture
- 120 south ash avenue
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A. Purpose and Intent

The purpose and intent of this PUD is to allow for the development of a single-family residential neighborhood and an integrated neighborhood scale commercial development parcel. This Site will complement the surrounding context, providing high quality residential housing and desired non-residential uses while honoring the history of the property and the South Mountain Village. Gardener's Enclave will consist of 61 homes at a density of 2.01 dwelling units per gross acre (DU/Ac) as measured over the entire PUD gross area and 2.0 DU/Ac transitioning to 2.56 DU/Ac on the residential acreage only. This PUD includes development standards and design guidelines that promote the proposed development, perimeter open space areas and a neighborhood character that is consistent with the City's goals - as defined by the General Plan's Mixed-Use Agricultural (MUA) designation, the Baseline Area Master Plan and the Baseline Area Overlay District (BAOD).

1. Regulatory Provisions

Pursuant to Section 671 of the Phoenix Zoning Ordinance, the Planned Unit Development (PUD) will establish the regulatory framework for the Gardener's Enclave development by defining appropriate land uses, creating development standards and establishing design guidelines specific to the context of the project site. The PUD is a stand-alone document comprised of project-specific zoning regulations including permitted uses, performance standards, development standards, building heights and design guidelines. Zoning provisions not specifically regulated by the PUD are governed by the Zoning Ordinance of the City of Phoenix, Arizona. In the event of a conflict between a provision of this PUD and a provision of the Phoenix Zoning Ordinance, the PUD prevails. The PUD does not modify other City Code provisions or requirements including those of the Baseline Area Overlay District (BAOD). This PUD's development standards and design guidelines comply with the Baseline Area Overlay District, except to the extent that a Variance(s) and a Technical Appeal(s), as is discussed below in Section H.6, are needed for ribbon curbs and a reduction in sidewalks. The provisions of this PUD apply to all property within the project boundary (see **Appendix A, PUD Area Legal Description**).

B. Development Plan

The 30.42 gross-acre Site is the former Gardener's World plant nursery and neighboring Crozier property. The 20.27 acres Gardener's World property is currently zoned S-1 BAOD. 8.13 acres of the Crozier property is currently zoned R1-18 SP BAOD with the remaining 2.02 acres being zoned S-1 BAOD (approved MUA BOAD). Both properties have a General Plan land use designation of Mixed-Use Agriculture (MUA). The Site is located within the Baseline Area Overlay District and is in the South Mountain Village. The proposed development plan anticipates 61 detached, single-family residential homes for a density of 2.01 dwelling units per acre (measured over the entire gross PUD area) and an integrated 2.76 gross acre neighborhood commercial development parcel abutting Baseline Road. See **Figure 2, Conceptual Land Use Plan** for a visual depiction of the commercial and residential area. Being sensitive to the existing development context

and surrounding view opportunities, most homes within the community will be buffered from adjacent neighborhoods by landscape tracts provided around the perimeter of the project. In addition to these landscaped buffers, an enlarged, linear open space intentionally located along the project's western edge will provide additional buffering to the existing residences to the west and accommodate a suitable corridor to help with the management of on-site stormwater retention to be determined by the project civil engineer.

The PUD area is bounded by three residential communities to the west and south, a future commercial parcel directly west along Baseline Road, Baseline Road to the north, and a multi-family residential community to the east. The community design promotes the Baseline Road streetscape frontage as an opportunity to provide a significant open space area adjacent to the project entry. This idea captures inspiration from the historic agricultural use of the property - including a multi-use trail, view fencing, a large flower garden and tree-lined entry streetscape. The goal is to establish an open, agrarian feel typical to the Mixed-Use Agriculture and Baseline Area Overlay District design elements, which can be enjoyed by residents and passersby alike. Common area landscape irrigation needs, except for individual homeowner's landscaping, are intended to be primarily served by the existing SRP irrigation line connection along the south boundary of the property which is supplied by the Highline Canal.

The project access is taken from a single local street connection to Baseline Road and aligned with the existing median break. This roadway serves as dual access to both the residential and commercial uses. The public roadway connection will terminate at a full turnaround before reaching private access gates leading into the residential neighborhood area. The initial segment of the local street located between Baseline Road and the private entry gate will be public right-of-way to be dedicated to the City of Phoenix. The local street then transitions to a Private Accessway before reaching the specialized paving area at the residential entry gates. The Private Accessway designation will apply to all streets internal to the community to provide access for the residents and City services. See **Figure 3, Conceptual Development Plan** for a reference of site plan use and circulation.

1. Location and Access

Gardener's Enclave is located approximately 480 feet east of the southeast corner of 32nd Street and Baseline Road. Access will be provided via a public right-of-way to the residential and commercial sites and Private Accessways internal to the residential portion of the project.

2. Land Use

Presently zoned S-1 BAOD, S-1 BAOD (approved MUA BAOD), and R1-18 SP BAOD within the Baseline Area Overlay District (BAOD), the Gardener's Enclave development property is situated amongst a variety of surrounding residential and non-residential zoning districts with various associated densities. This zoning request will create an appropriate residential density and commercial intensity in direct response to the surrounding context. Larger than commonly required perimeter buffer areas

will perpetuate the area's historic identity defined by agrarian open spaces within close proximity to urban and natural amenities.

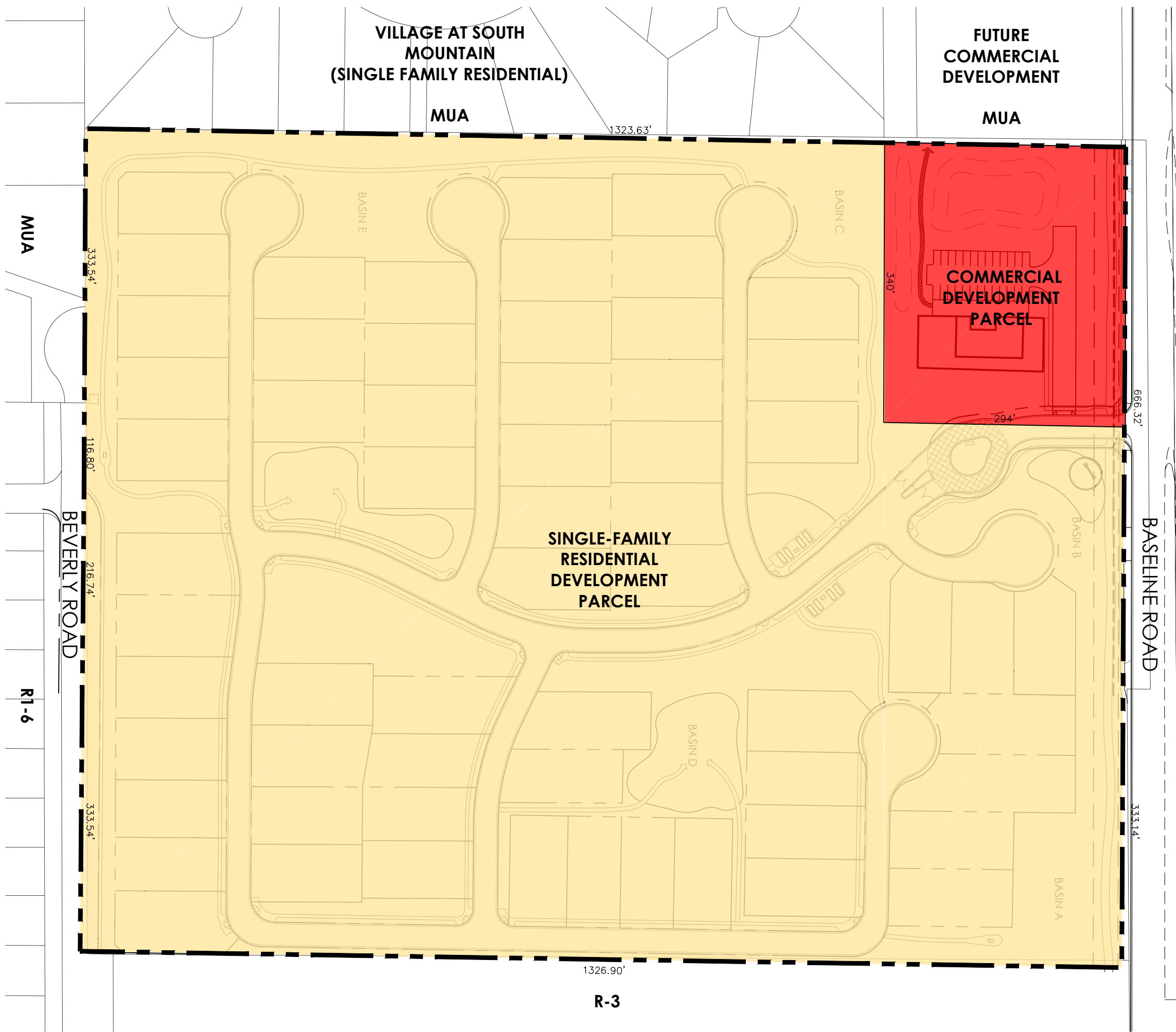
3. Development Standards

Development Standards for Gardener's Enclave can be found in **Section G** of this document. In general, the development standards seek to align with several of the City's suggested MUA and BAOD district standards and design guidelines throughout the Site.

Strategic changes have been made to the development standards to create a marketable and attractive residential community that is sensitive to its surroundings. The Gardener's Enclave PUD allows for appropriate flexibility in the development standards but is carefully constrained by context-specific design performance standards that address neighborhood compatibility and buffering needs.

4. Density Transition

As part of the residential planning effort for Gardener's Enclave an intentional transition of residential development density occurs across the Gardener's Enclave plan from west to east. As depicted on **Figure 4, Density Transition Plan**, the larger portion of the residential planning area, to be developed by Taylor-Morrison, will include the project's largest lot sizes and lowest density area. As the plan transitions east to the Keystone portion of the project area, the density increases. This transitional density planning was derived through discussions with key neighborhood representatives. This concept as applied to this PUD application respects the existing MUA based lower density residential neighborhoods to the west and south by applying a density of 2 dwelling units per acre in the western portion of the project. Then, appropriately locates the higher density areas adjacent to existing higher density multi-family development to the east.



GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

FIGURE 2

CONCEPTUAL LAND USE PLAN

Subject to engineering and City review and approval.

NORTH

120 60 0 120 240

GRAPHIC SCALE
1" = 120'

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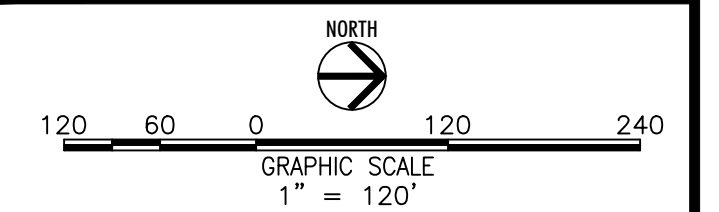
PLANNED UNIT DEVELOPMENT

FIGURE 3
CONCEPTUAL DEVELOPMENT PLAN

SITE PLAN DATA:

EXISTING ZONING:	= S-1 BAOD, S-1 BAOD (APPROVED MUA BAOD), R1-18 SP BAOD
PROPOSED ZONING:	= PUD BAOD
GROSS LAND AREA:	= 30.42 AC.
NET LAND AREA:	= 29.04 AC.
RESIDENTIAL PARCEL DATA	
GROSS AREA:	= 27.66 AC.
NET AREA:	= 26.76 AC.
NUMBER OF LOTS:	= 61
DENSITY:	= 2.01 DU/AC (BASED ON PUD GROSS AREA)
MINIMUM LOT SIZE:	= 65' X 135' (8 LOTS) 70' X 135' (14 LOTS) 75' X 135' (39 LOTS)
MAX BLDG. HEIGHT:	= 24' SINGLE STORY
COMMERCIAL PARCEL	
GROSS AREA:	= 2.76 AC.
NET AREA:	= 2.28 AC.
MAX LOT COVERAGE:	= 25%
MAX BLDG. HEIGHT:	= 1 STORY OR 20'

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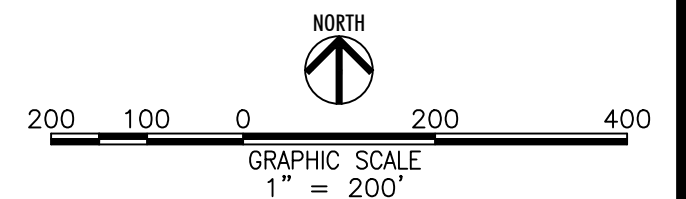
PLANNED UNIT DEVELOPMENT

FIGURE 4

DENSITY TRANSITION PLAN

 GARDENER'S ENCLAVE PUD BOUNDARY

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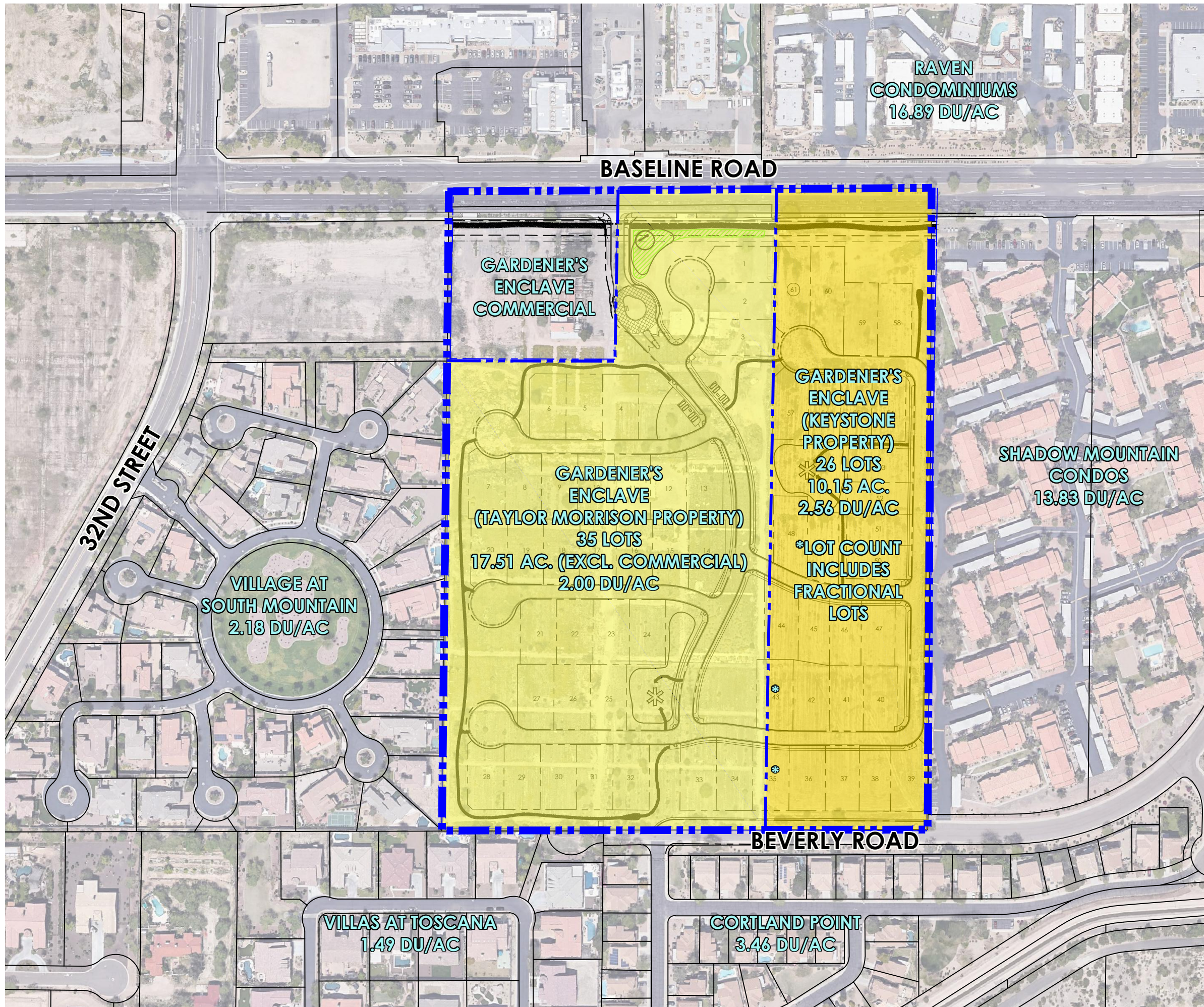


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C. Site Location and Conditions

1. Site Location and Conditions

The Gardener's Enclave PUD is an assemblage of five parcels (301-23-015A, 301-23-016A, 301-23-006B, 301-23-006C, and 301-23-006D) totaling 30.42 gross acres bordered by Baseline Road to the north, a multi-family residential community to the east, and existing single-family residential neighborhoods to the west and south (See **Figure 5, Existing Site Conditions**). The legal description for the PUD is provided in **Appendix A**.

2. Topography and Physical Features

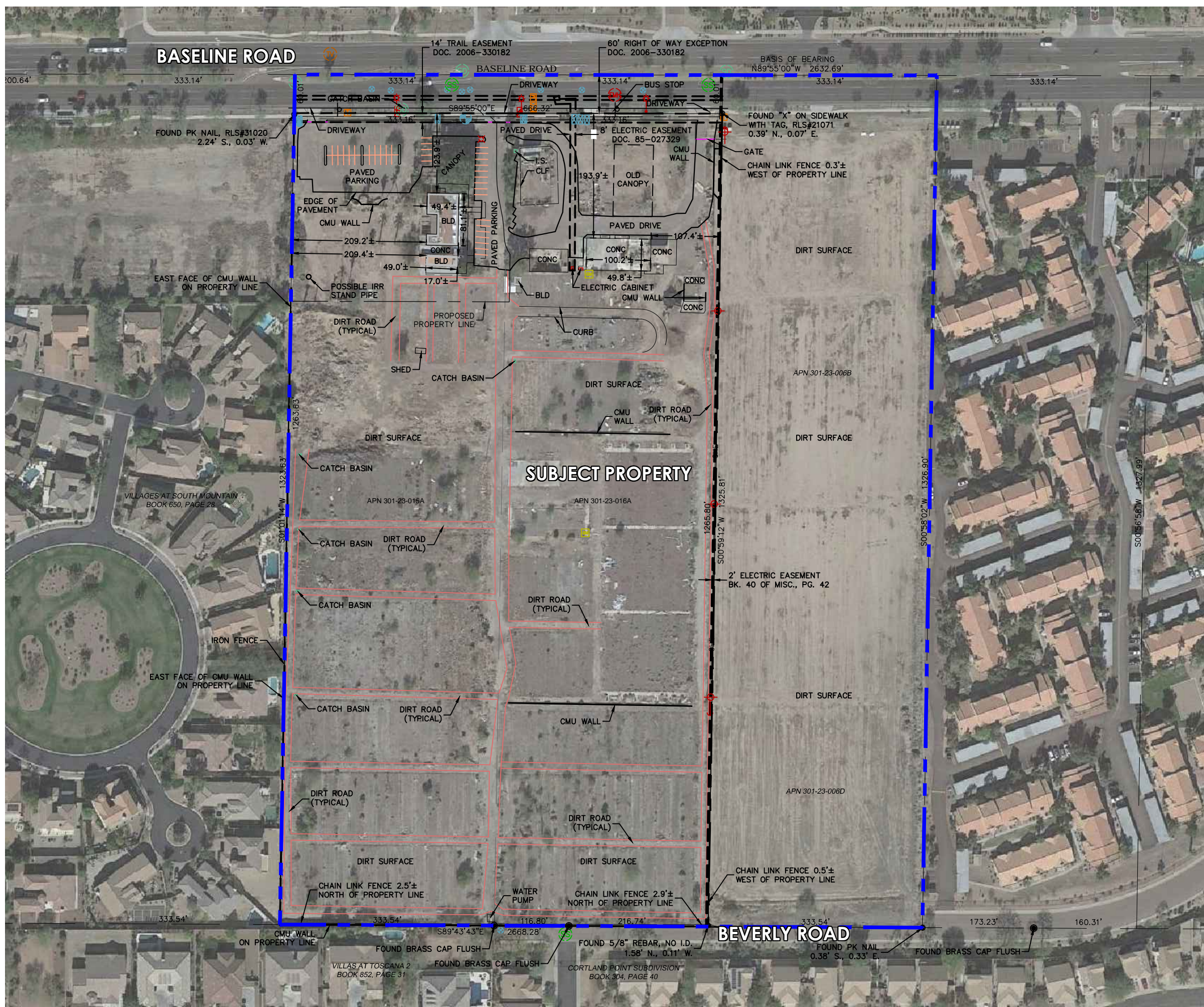
Like most terrain in the area, the Site gradually slopes away from South Mountain, south to north, at approximately 1.5% grade. Along the western boundary of the Site is an existing subdivision, *Village at South Mountain*, with lots constructed 0-feet to 4-feet above the natural grade of the site. Adjacent to the south boundary of the Site are the *Villas at Toscana* and *Cortland Point* subdivisions, which are also constructed near predominant grade of the surrounding area. Adjacent to the east boundary of the Site are the *Shadow Mountain Villas* condos constructed near natural grade. The Site is bounded to the north by Baseline Road, which is generally lower in elevation than the predominant natural grade of the Site.

The western portion of the Site had historically been used as a plant nursery and currently consists of an array of vacated buildings and remnant elements from the prior use. The eastern portion of the Site is currently vacant. There are no jurisdictional washes located on the Site.

3. Surrounding Context

Neighboring properties in the immediate vicinity of the west and south sides of Gardener's Enclave are predominantly single-family residential, although they represent a variety of zoning districts. The Village at South Mountain (MUA) and the Baseline Marketplace (MUA) are located to the west of the Site. Cortland Point (R1-6) and Villas at Toscana (MUA) are located to the south. Shadow Mountain Villas (R-3) is a higher density multi-family community that abuts the east side of Gardener's Enclave. A commercially developed (C-1) property and a (R-3A) multi-family community are located to the north across Baseline Road. All neighboring properties are located within the BAOD. (See **Figure 6, Project Context and Vicinity**).

BASELINE ROAD



GARDENER'S ENCLAVE

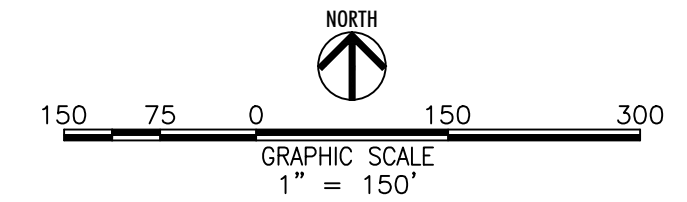
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FIGURE 5
EXISTING SITE CONDITIONS

--- PUD BOUNDARY

NOTE:
SURVEY INFORMATION SHOWN PREPARED BY SURVEY INNOVATION GROUP (SIG), DATED MAY 4TH, 2016.

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FIGURE 6
PROJECT CONTEXT & VICINITY

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APPROX. SCALE: NTS

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D. General Plan Conformance

1. Statement of Conformity

The City of Phoenix General Plan Land Use Map designates the Site as Mixed-Use Agriculture (MUA). Refer to **Figure 7, Existing and Proposed General Plan Land Use**. The MUA is defined as a land use category that helps to preserve the character of agricultural areas while allowing new development, which is consistent with the traditional design and uses of a rural and agricultural area.

The City of Phoenix Planning and Development Department has a policy regarding how staff should determine if a MUA Planned Unit Development (PUD) meets the General Plan intent of the MUA land use designation. The policy outlines standards by which PUD's on property designated MUA on the General Plan Land Use Map would not trigger a General Plan Land Use Map amendment.

The Gardener's Enclave PUD was reviewed by City Staff and was determined to have met these requirements. Therefore, the request does not trigger the requirement for a General Plan Land Use Map amendment.

The submittal of this PUD included a Scorecard addressing development standards and design guidelines relevant to the City of Phoenix MUA/PUD General Amendments Policy. Staff determined that the proposed enhanced standards met the intent of the policy and a minor General Plan Amendment was not required.

The following section of the Development Narrative may contain one or more of these development standards and/or design guidelines. If any of these standard or guidelines are modified, deleted, or otherwise revised, a Major Amendment to the PUD, General Plan Amendment, or other requirement may be triggered. Please reference "APPENDIX E – MUA/PUD General Plan Amendment Policy – 5th Submittal" for the complete Scorecard and staff evaluation.

This PUD is designed to ensure that the Gardener's Enclave community expresses design elements which are consistent with the MUA Zoning district and typically required by the BAOD. These additional efforts, as proposed within the Conceptual Development Plan for Gardener's Enclave, help ensure conformance with the MUA General Plan Land Use Map designation, as further advanced by the City's expressed PlanPHX Visions, Community Benefits and Core Values, as follows:

Vision

The City's vision of the Connected Oasis is enhanced by the Gardener's Enclave PUD through:

- *A Commitment of Open Space* – Gardener's Enclave is committed to providing a minimum of 20% of the PUD net site area as open space;

- *Sensitivity to the Phoenix Mountain Preserve System* – Gardener’s Enclave will provide a project entry sequence, increased perimeter buffers and building orientations that recognize and maintain the views of South Mountain;
- *A Blueprint for a Connected City* – By utilizing and improving the existing infrastructure, Gardener’s Enclave recognizes that the notion of “Creating a Connected Oasis” remains intact. Proposed connectivity to existing streets will build upon the City’s assets while taking advantage of a historic context that has shaped Phoenix into what it is today.

Community Benefits

Gardener’s Enclave is a community that promotes prosperity, health and environment. The following components provide a foundation from which the proposed development will begin to address Phoenix’s quality of life. Gardener’s Enclave will provide residents:

- additional high-quality housing types with an integrated sense of property history;
- connectivity to parks, recreation facilities, trails and clean, safe neighborhoods;
- views and physical access to the surrounding natural open space and mountains; and
- desired neighborhood scale commercial development.

Core Values

Each of the following Core Values address Phoenix’s many assets. By building on and ultimately expanding these assets, Gardener’s Enclave employs an asset-based approach to community development.

- Connect People and Places – This application promotes the redevelopment of vacant, underutilized parcels within the developed area of the City that is consistent with the character of the area and the area’s transitional objectives. This will reduce the cost of managing growth by utilizing existing primary infrastructure elements. Gardener’s Enclave is located along existing fully improved streets with water and sewer infrastructure. This public infrastructure will accommodate the project’s needs without requiring significant upgrades.
- The proposed conceptual development plan anticipates pedestrian improvements along Baseline Road and pedestrian connections from within the Site to Baseline Road to the north and Beverly Road to the south. This will afford easy pedestrian access to adjacent neighborhoods, commercial developments and nearby 32nd Street, where full access to the Highline Canal leading west and east to the South Mountain Park trail system is available.
- Celebrate Our Diverse Community & Neighborhoods – As an area identified within the Baseline Area Master Plan, the Mixed Use Agriculture Land Use designation has been defined based upon patterns of historic agricultural use in the region. The Gardener’s Enclave vision realizes a land use evolution and recognizes the surrounding development patterns. While proposing a density of 2.01 du/ac over the entire gross PUD area (2.0 DU/Ac transitioning easterly to 2.56 DU/Ac on the residential acreage), the Gardener’s Enclave project will institute oversized perimeter buffers, particularly along Baseline Road and the western project

boundary. This will create a visual aesthetic that further promotes the unique character of the surrounding area while providing an intimate setting for a quality housing development within the South Mountain Village.

- Build the Sustainable City – Gardener’s Enclave will create a network of “trees and shade” that are integrated within the built environment to conserve ecosystem functions and provide associated benefits to residents. The proposed landscape design strives to create an environment that utilizes shade trees within the project. From the new pedestrian multi-use trail improvements along Baseline Road to the pedestrian circulation throughout the development, the project will provide a consistent and well-designed shade tree pattern with summertime shade throughout the community.

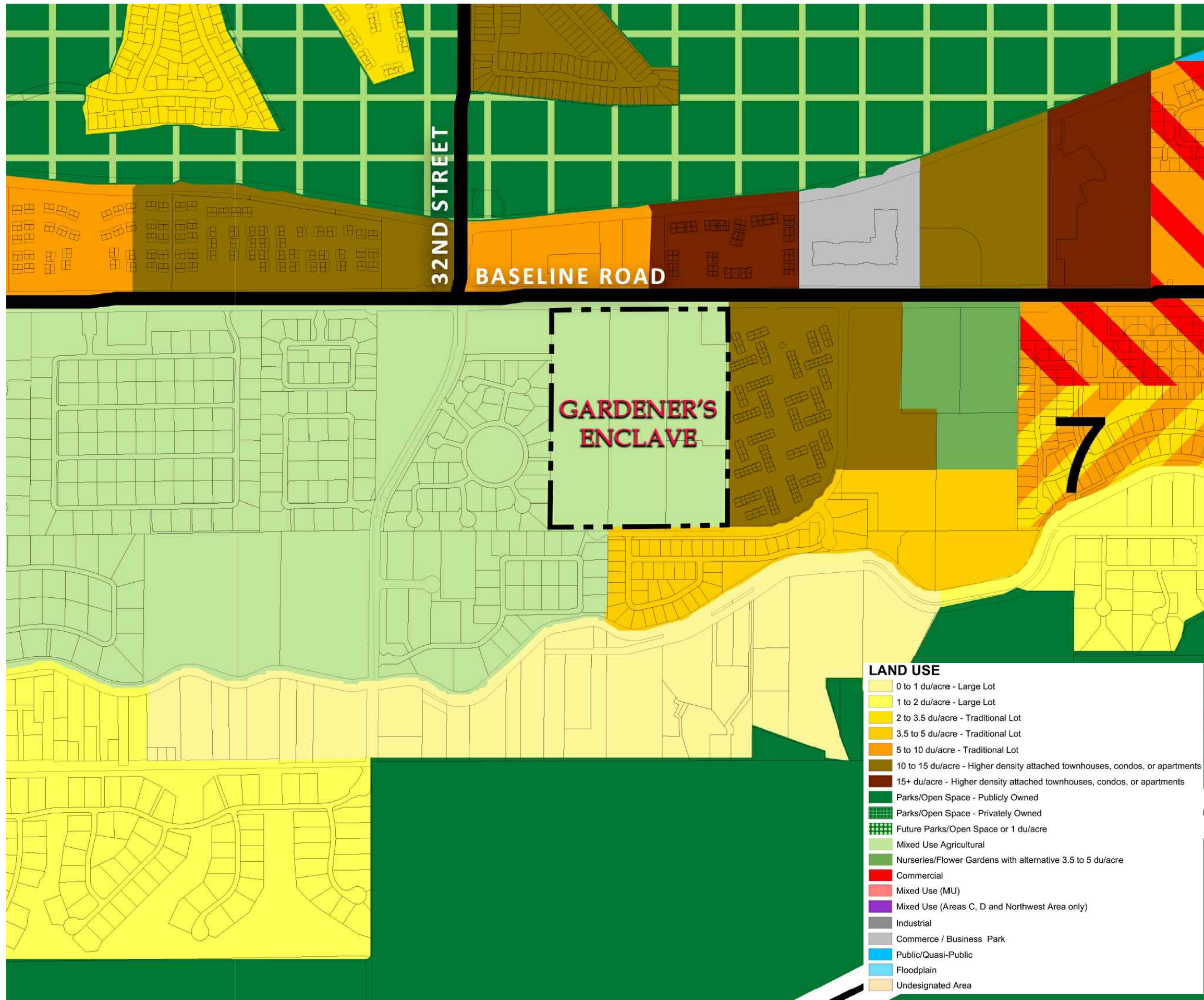
The new structure of the General Plan ensures that a proposed development is designed and ultimately evaluated on how well the proposal enhances the quality of life of the Phoenix residents within each of the Core Values. The Gardener’s Enclave PUD, as described above, proposes development standards that promote the vision of the General Plan.

GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

FIGURE 7

EXISTING & PROPOSED GENERAL PLAN LAND USE



Subject to engineering and City review and approval.



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E. Zoning and Land Use Compatibility

1. Surrounding Zoning and Land Use

The Gardener's Enclave property is zoned S-1 BAOD (approved MUA BAOD), and R1-18 SP BAOD (Refer to **Figure 8, Existing & Proposed Zoning**). Properties adjacent to the Gardener's Enclave PUD that are developed as single-family residential have varied densities ranging from 2.0 to 3.6 dwelling units per acre, and Shadow Mountain Villas is developed at 13.8 DU/Ac.

Table 1: Surrounding Zoning

Location	General Plan	Zoning	Land Use
North	RESIDENTIAL 5-10, RESIDENTIAL 15+	C-1, R-3A	Neighborhood Commercial, Multi-Family Residential
South	MUA	R1-6 & MUA	Single-Family Residential
East	MUA	R-3	Multi-Family Residential
West	MUA	MUA	Single-Family Residential

F. Land Uses

The following list of uses defines Permitted Primary Uses, Accessory Uses, and uses subject to Performance Standards allowed within Gardener's Enclave. The developer(s) or any property owner within the defined limits of the PUD may request an interpretation of analogous use to the defined list below from the City of Phoenix Zoning Administrator. The Zoning Administrator may administratively approve a use analogous to those listed below.

The Gardener's Enclave Planned Unit Development includes both a single-family residential and commercial land use area. The specific locations of these areas can be viewed on the **Figure 2, Conceptual Land Use Plan**. The following section identifies the uses permitted within each of these areas.

1. Permitted Uses on Residential Parcels Only

a. Permitted Primary Residential Uses

The following uses are permitted within the single-family residential areas of this PUD as shown on the Conceptual Land Use Plan in accordance with the regulations and special standards established below.

1. Residential, Single-Family Detached.
2. Residential, Model Home Complex and Sales Office

b. Permitted Residential Accessory Uses

Land designated single-family residential on the Conceptual Land Use Plan may be used as permitted accessory uses and structures, incidental to and on the same zoning lot as the primary use, for the following uses:

1. Guesthouse, provided that it does not exceed six hundred square feet or twenty-five percent of the floor area of the principal structure, whichever is larger.
2. Community Garden. In accordance with Section 608 of the Zoning Ordinance.
3. Home Occupations. In accordance with Section 608 of the Zoning Ordinance.

c. Permitted Residential Accessory Uses with Use Permit

The following residential accessory uses are permitted in the single-family residential component of the PUD area as defined on the Conceptual Land Use Plan with a use permit in accordance with the regulations and special standards established below.

1. Game court, lighted, as an accessory use.

2. Permitted Uses on Commercial Parcel Only

a. Permitted Commercial Uses

The following commercial uses are permitted in the commercial component of the PUD area as defined on the Conceptual Land Use Plan.

Commercial uses on a site shall be limited to a maximum of 15,000 (fifteen thousand) gross square feet per each establishment.

1. Agricultural crops: raising, harvesting and indoor/outdoor retail sales.
2. Art supplies, retail sales.
3. Art gallery and studio
4. Antique shop
5. Bakery, retail sales
6. Bank and trust companies
7. Barber and beauty shops
8. Bicycle shop, new and used, retail sales and repairs
9. Book and magazine, retail sales
10. Butcher shop (no slaughtering)
11. Camera shop, retail sales and repair
12. Candy shop, retail sales
13. Clothing, retail sales
14. Curio Shops

15. Delicatessens
16. Farmer's market
17. Fine art, instruction
18. Fish, retail sales
19. Florist, retail sales and wholesale
20. Grocery, retail sales
21. Hardware, retail Sales
22. Furniture, retail sales
23. Gift Shops
24. Craft studio, retail sales and handcrafting of; textiles, pottery, glass blowing, jewelry, wood, leather and photography.
25. Health club
26. Health food products, retail sales
27. Hobby and craft products, retail sales
28. Home furnishing, retail sales
29. Household appliance, retail sales and repair
30. Ice cream shop
31. Jeweler, retail sales and repair
32. Music instruction, musical instrument repair and retail sales
33. Office, administrative or professional
34. Pet store, retail sales
35. Pharmacy
36. Photographic developing and printing
37. Photographic equipment and supplies, retail sales
38. Picture framing
39. Plant nursery, wholesale or retail sales, provided that:
 - a. Any bulk or hardscape materials shall be stored in contained areas or bins and not be visible from the public right-of-way.
 - b. Boxing of plants and other similar processing shall not be visible from the public right-of-way.
 - c. Sales may include garden-related items including, fertilizers, pest and weed control items, gardening implements, and garden furniture.

40. Restaurant, provided that:
 - a. Music and entertainment is limited to recorded music or one entertainer
 - b. Entrances to the restaurant shall be from the side of the restaurant which does not face a contiguous residentially zoned property, including undeveloped or residentially developed R-5 parcels, on the same block, and side of the street as the restaurant. For the purpose of applying this provision, property separated by a right-of-way of twenty (20) feet or less in width shall be considered contiguous.
41. Saddlery and tack shops, custom crafting and retail sales.
42. Veterinary office and hospital.
43. Veterinary supplies, wholesale and retail sales.
44. Vineyard, production and retail sales.
45. Window treatment and upholstery; custom fabrication and retail sales.

b. Permitted Commercial Uses with Use Permit

Land in this PUD District may be used for the following purposes, subject to obtaining a use permit in accordance with the standards and procedures of Section 307 of the Zoning Ordinance.

1. Animal boarding.
2. Massage therapy, performed by a licensed massage therapist, as an accessory use.
3. Processing of off-site grown agricultural products, including, pressing cider, oil, or wine.
4. Outdoor public assembly uses/special events, including seasonal festivals.
5. Restaurant with:
 - a. Sales of alcoholic beverages permitted upon approval by the Zoning Administrator or the Board of Adjustment of a specific floor plan for the restaurant facility.
 - b. Live music or entertainment of more than one entertainer
 - c. Patron dancing
 - d. Outdoor dining, outdoor recreation uses, and associated lighting
 - e. Drive-through facility as an accessory use, access to the Site is to be from an arterial or collector street as defined on the street classification map

6. Outdoor Sales of Food Items

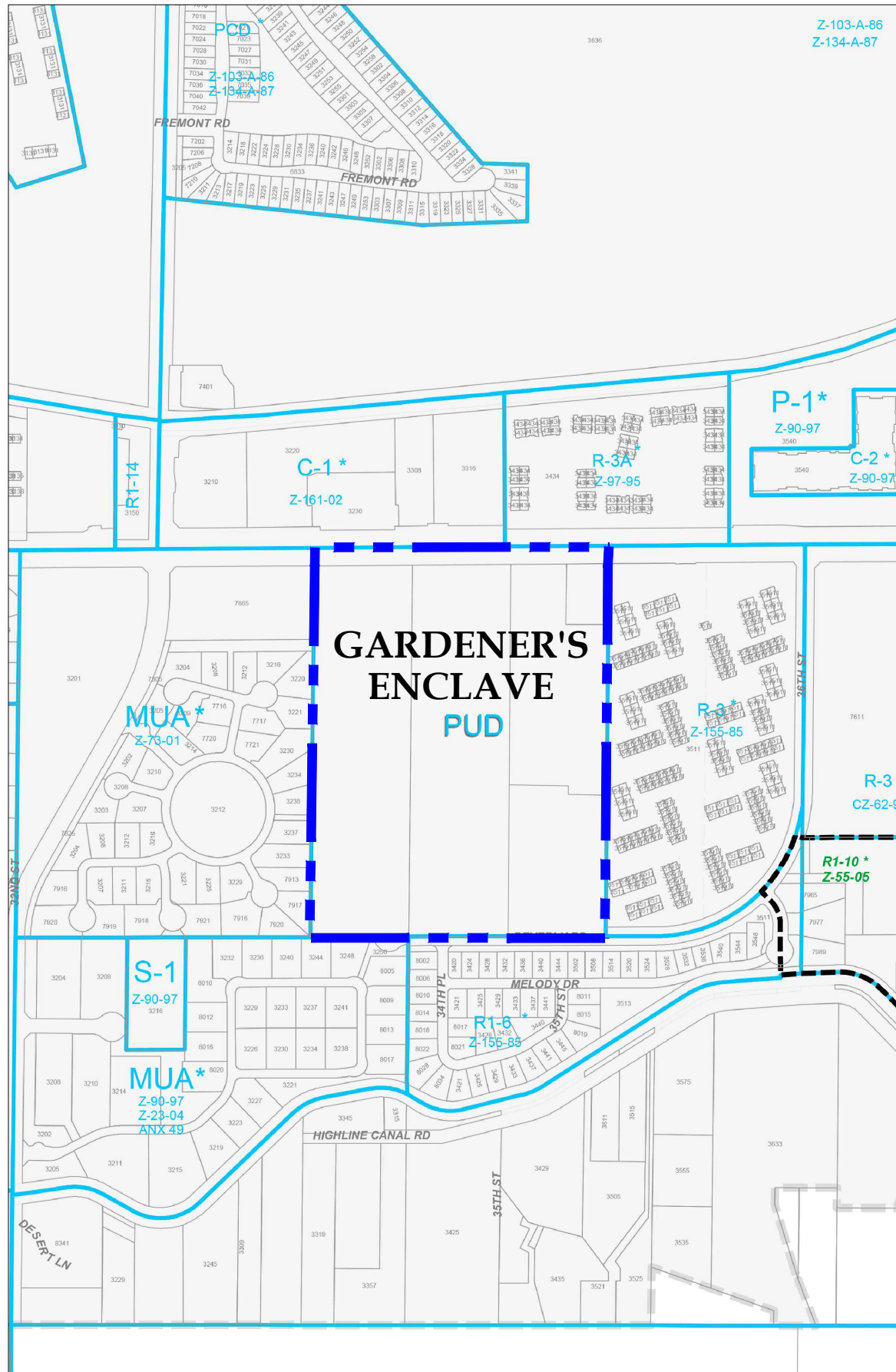
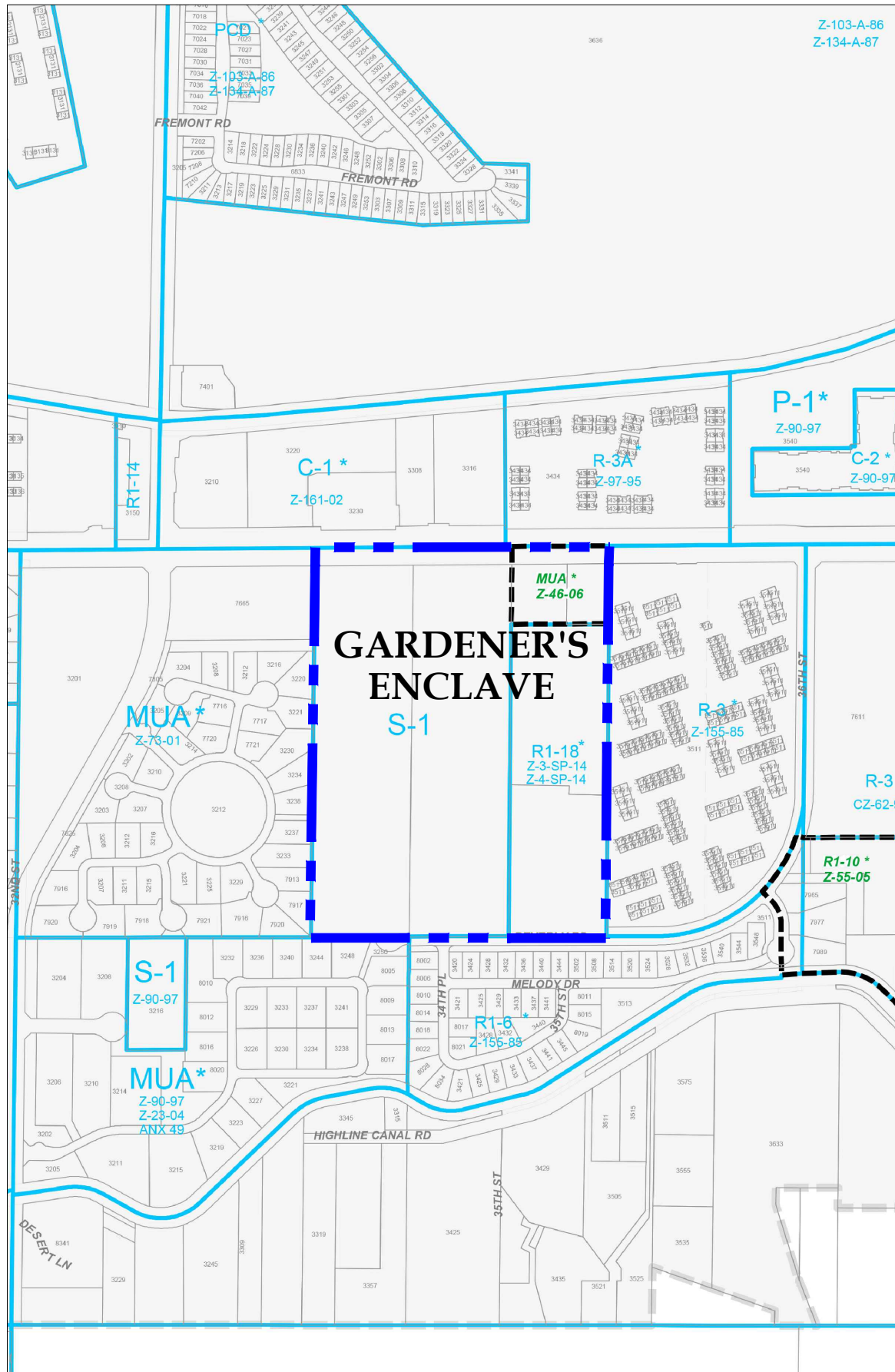
c. Permitted Commercial Accessory Uses

The following commercial accessory uses are permitted in the commercial component of the PUD area as defined on the Conceptual Land Use Plan.

- Instruction/classes pertaining to the primary use of the Site, including, culinary classes at a restaurant or horticulture classes at a plant nursery.

3. Temporary Uses

Temporary Uses for land within the PUD district to be allowed in accordance with Section 708 of the City of Phoenix Zoning Ordinance.



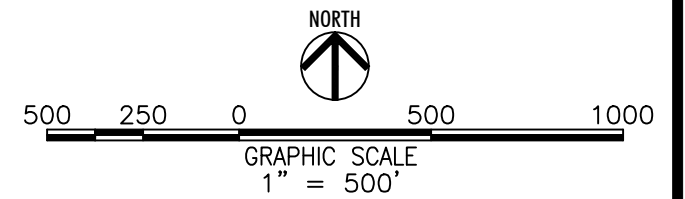
GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

FIGURE 8

EXISTING & PROPOSED ZONING

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EXISTING ZONING:
S-1 BAOD, R1-18 SP BAOD, S-1 BAOD (APPROVED MUA BAOD)

PROPOSED ZONING: (PUD BAOD)

G. Development Standards

1. Development Standards (Yard, Height, and Area Requirements)

The following standards herein established for yard, height, and area requirements for residential and commercial development within this PUD are intended to promote sensitivity to the surrounding neighborhoods and provide an appropriate transition between neighboring properties.

The Site is within the Baseline Area Overlay District (BAOD). The Gardener's Enclave PUD shall be governed by the following standards while also meeting or exceeding typically applicable standards set forth in the BAOD, as is proposed to be modified for ribbon curbing and reductions in sidewalks as is discussed below in Section H.6.

The submittal of this PUD included a Scorecard addressing development standards and design guidelines relevant to the City of Phoenix MUA/PUD General Amendments Policy. Staff determined that the proposed enhanced standards met the intent of the policy and a minor General Plan Amendment was not required.

The following section of the Development Narrative may contain one or more of these development standards and/or design guidelines. If any of these standard or guidelines are modified, deleted, or otherwise revised, a Major Amendment to the PUD, General Plan Amendment, or other requirement may be triggered. Please reference "APPENDIX E – MUA/PUD General Plan Amendment Policy – 5th Submittal" for the complete Scorecard and staff evaluation.

The following section of the Development Narrative contains development standards. If any of these standards or guidelines are materially modified or deleted, a Major Amendment to the PUD, may be triggered; provided however, the City's denial of the Variance(s) and/or Technical Appeal(s) that are discussed below in Section H.6 shall not trigger the need for a PUD amendment.

The following table indicates development standards for The Gardener's Enclave PUD. A reference comparison to standards typically utilized for MUA and BAOD zoning district has been provided in **Appendix C** of this report.

PUD DEVELOPMENT STANDARDS – Table 2
--

RESIDENTIAL DEVELOPMENT STANDARDS
MAXIMUM BUILDING OR STRUCTURE HEIGHT
One-Story and twenty-four (24) feet
BUILDING SETBACKS

<u>Front Yard</u>	
Local streets / Private Accessways	Thirty (30) feet min.
<u>Side Yard</u>	
Interior	Five (5) feet minimum, Fifteen (15) feet combined
Street	Ten (10) feet min.
<u>Rear Yard</u>	Twenty-Four (24) feet min.
PROJECTIONS	
Open Projections & Side-Loaded Garages	Ten (10) feet into the required front yard.
Closed Projections	Total not to exceed 50% of the maximum width of the structure. <ul style="list-style-type: none"> - Projections up to five feet into the required front yard for no more than 50% of the maximum width of the structure. - Projections up to ten feet into the required front yard for no more than 25% of the maximum width of the structure. - These provisions shall not apply to front-loaded garages.
LOT COVERAGE	
<p>Maximum lot coverage: *Residential: 28%</p> <p>*Method of calculating maximum residential lot coverage permitted for the residential development area shall be based on the following formula,</p> <p><u>Gross Site Area – (Perimeter Right-of-Way + Interior Street ROW / Tract) = Net Area</u></p> <p><u>Net Area (0.28) = Max. Building Area for Community (X)</u></p> <p><u>X / # of Lots = Maximum Square Foot Area (Building / Accessory Footprint) Allowed Per Lot</u></p> <p>Shade structures accessory to agricultural or plant nursery use which are fabric or plastic film covered and which do not exceed twelve feet in height shall not be included in lot coverage calculations.</p>	
DENSITY	
Maximum project residential density = 2.01 dwelling units per acre (as calculated over entire PUD gross area)	
REQUIRED FRONT PORCHES (Refer to Section H for Additional Design Guidelines)	

60% min. of Homes		
LANDSCAPE DEVELOPMENT STANDARDS (RESIDENTIAL)		
REQUIRED LANDSCAPE SETBACKS – PERIMETER (Refer to Appendix D – Open Space Exhibit and Section H for Additional Design Guidelines)		
Baseline Road	Sixty (60) feet min.	
Beverly Road	Twenty (20) feet min.	
Perimeter Property Lines (Not Adjacent to a Street)	Ten (10) feet min.	
PLANT TYPE	SPACING	MINIMUM PLANTING SIZE
Trees (Baseline Road)	Two Rows of Trees – Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (25% of required trees) Min. 4-inch caliper or multi-trunk (25% of required trees)
Trees (Beverly Road)	Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (25% of required trees) Min. 4-inch caliper or multi-trunk (25% of required trees)
Trees (Perimeter Property Lines Not Adjacent to a Street)	Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (50% of required trees)
Shrubs	Five (5) Shrubs per tree	5-gallon
LANDSCAPE SETBACK – INTERIOR RESIDENTIAL LOCAL STREET / PRIVATE ACCESSWAY (Refer to Section H for Additional Design Guidelines)		
Interior streets shall have detached sidewalks in select locations a minimum of four feet in width that are separated from the street with six-foot landscaped planter areas. This six-foot landscape planter area shall be consistent throughout the residential development whether a sidewalk is proposed or not. Landscape planter areas to be landscaped at time of adjacent lot home construction, not prior. Refer to Section H for additional design guidelines related to the proposed locations of internal street sidewalks.		
PLANT TYPE	SPACING	MINIMUM PLANTING SIZE

Trees	Approx. Twenty Five (25) feet on center spacing or equivalent groupings	Min. 2-inch caliper and 24-inch box
Shrubs	Five (5) shrubs per tree	5-gallon
RESIDENTIAL PROJECT ENTRY STANDARDS		
Entry Median	Provide mix of features boulders located outside the public right-of-way, specimen shade trees and bermed lawn.	
Enhanced Paving	Decorative concrete pavers, stamped concrete, stamped colored asphalt, or the equivalent shall be provided at the project main vehicular entry. The use of Ribbon style concrete curb shall be provided around the entry median and along the project entry perimeter. Alternative surfaces will comply with City of Phoenix alternative dustproofing regulations.	
Raised Garden Bed	Min. 1,100 sq. ft. in size to be filled with flowering annuals, perennials, and accent plants.	

COMMERCIAL DEVELOPMENT STANDARDS	
MAXIMUM BUILDING OR STRUCTURE HEIGHT	
One-Story, not to exceed Twenty (20) feet	
BUILDING SETBACKS	
North Side (Baseline Road)	Sixty (60) feet min.
East Side (Project Entry Road)	Twenty (20) feet min.
South Side	Twenty (20) feet min.
West Side	Twenty (20) feet min.
LOT COVERAGE	
Maximum lot coverage: 25% of net site area	
LANDSCAPE DEVELOPMENT STANDARDS (COMMERCIAL)	
REQUIRED LANDSCAPE SETBACKS – PERIMETER (Refer to Appendix D – Open Space Exhibit and Section H for Additional Design Guidelines)	

Baseline Road	Sixty (60) feet min.	
East Side (Project Entry Road)	Twenty (20) feet min.	
Perimeter Property Lines (Not Adjacent to a Street)	Ten (10) feet min.	
PLANT TYPE	SPACING	MINIMUM PLANTING SIZE
Trees (Baseline Road)	Two Rows of Trees – Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (25% of required trees) Min. 4-inch caliper or multi-trunk (25% of required trees)
Trees (East Side Project Entry Road)	Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (50% of required trees)
Trees (Perimeter Property Lines Not Adjacent to a Street)	Thirty (30) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (50% of required trees)
Shrubs	Five (5) Shrubs per tree	5-gallon
PARKING LOT AREA		
Interior surface area (exclusive of perimeter landscaping and required setbacks)	Min. 10%	
Landscape Planters	At ends of each row of parking & approximately every 110 feet.	
Landscape Planters, single row of parking	Min. 120 Sq. Ft	
Landscape Planters, double row of parking	Min. 240 Sq. Ft.	
Additional Parking Lot Landscaping	As needed to meet 10% minimum requirement, evenly distributed throughout the entire parking lot. Min. interior dimension 5-feet (length and width)	
PLANT TYPE	MINIMUM PLANTING SIZE	
Trees	Min. 2-inch caliper (60% of required trees) Min. 1-inch caliper (40% of required trees)	

Shrubs	Min. five 5-gallon shrubs per tree
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OPEN SPACE DEVELOPMENT STANDARDS (Refer to Appendix D "Open Space Exhibit" and Section H for Additional Design Guidelines)	
Required Total Open Space	20% Min. of Net Area for entire PUD
Open Space Landscape Standards (Refer to Appendix D – Open Space Exhibit for location and minimum areas of active open spaces identified below)	
Active Open Space (Areas A,B &C), remaining Active Open Space areas and Common Open Space areas: Shall conform to Zoning Ordinance Section 507 Tab A for planting requirements	
General Landscape Standards (Applicable to all open space identified on the Open Space Exhibit excluding required landscape setbacks)	
Live Coverage	Fifty percent (50%) min. live coverage in all open spaces, landscaped and retention areas which includes trees, shrubs, ground cover and turf. Landscape treatment must be used for the entire site exclusive of building(s) and pavement for vehicular use
Turf	Turf and high water use plants are limited to fifty percent (50%) of the planted area or ten percent (10%) of the net lot area, whichever is less. <i>(Does not apply to functional turf areas such as residential amenity areas or individual single-family lots, or areas where excessive turf may function as drainage erosion control)</i>
Inerts (Rick Mulch / Decomposed Granite)	Applied dust control products (i.e. decomposed granite, river rock, ground cover, etc.) are to be installed a minimum of two inches (2") thick in all landscape areas. Decomposed granite size should be a minimum of ¼" to ¾" per Zoning Ordinance section 202 and City of Phoenix Supplement to MAG Standards section 430. All dustproofing materials will comply with the Zoning Ordinance Standards. Requests for the use of alternative dustproofing materials shall be submitted for review through the City of Phoenix Request to Use Alternative Dustproofing Materials process.

2. Signs

Signage shall conform to the sign standards outlined in Sections 649, 651 and 705 of the Zoning Ordinance.

H. Design Guidelines and Standards

The Design Guidelines and standards contained in this section reflect the standards intended for Gardener's Enclave with consideration and applicability of standards affiliated with the BAOD. The intent of the guidelines and standards is to ensure that development is consistent with the character of the context area and to reflect buffers and transitions defined through the public involvement process. The City of Phoenix Zoning Ordinance's Guidelines for Design Review (Section 507 Tab A) shall apply to the development of Gardener's Enclave to the extent the design guidelines do not conflict with the following standards. All development in this PUD District is subject to Site Plan Review to ensure appropriate applicability of the development standards and design guidelines. (As a result, as is discussed below in Section H.6, future technical appeal or variance requests will be required to fulfill the desired rural character design guidelines regarding ribbon curbs and reduced sidewalks which have been negotiated with the surrounding community to help ensure the MUA themed compatibility. Specifically in relation to the allowance of ribbon curbing or reduced sidewalk areas, denial of technical appeal or variance requests will not trigger an amendment to this PUD).

The submittal of this PUD included a Scorecard addressing development standards and design guidelines relevant to the City of Phoenix MUA/PUD General Amendments Policy. Staff determined that the proposed enhanced standards met the intent of the policy and a minor General Plan Amendment was not required.

The following section of the Development Narrative may contain one or more of these development standards and/or design guidelines. If any of these standard or guidelines are modified, deleted, or otherwise revised, a Major Amendment to the PUD, General Plan Amendment, or other requirement may be triggered. Please reference "APPENDIX E – MUA/PUD General Plan Amendment Policy – 5th Submittal" for the complete Scorecard and staff evaluation.

1. Fences and Walls

Throughout the community, thematic walls and fences shall be utilized to convey a cohesive and unified theme that showcases elements and design details complimentary to the Baseline area. View fencing will be strategically located throughout the site to allow neighborhood residents view opportunities into the open spaces and provide, to a realistic extent, an open feeling through the community. Solid walls, which can obstruct views of properties, mountains and detract from a rural / agricultural character, should be minimized and applied appropriately to select rear yards, side yards and end street side yards to protect the privacy and safety of individual residences. Refer to **Figure 9, Wall & Fence Plan and Figures 10-11, Wall & Fence Details** for a depiction of the project walls. This PUD consists of both a single-family residential component and a commercial component. The location of each of these land use areas are depicted on the **Conceptual Land Use Plan**. Approval of final wall locations and construction details will occur during future site plan review(s) and approval processes.

The fences and walls will consist of the following types:

Residential Walls & Fences

- a. Primary Theme Walls – The primary theme wall will be utilized predominantly for the side and rear yards of the homes adjacent to the community entry and where side yard lots are close to internal streets or immediately adjacent to side yard / rear yard conditions. These walls will be constructed with either an integrally colored or painted smooth face CMU block with a decorative CMU block cap band. Theme columns shall be located at the outside corners for changes in wall direction or at approximately 150'-0" on center along the Baseline Road frontage and at the project entry. The design for the theme columns shall consist of an integrally colored or painted decorative CMU block with a 4" CMU block of the same column material and color used as the cap. The colors selected for the wall and theme column finishes shall be consistent with the architecture and community theme.
- b. View Fencing – View fencing shall incorporate three different variations that will be used in specific areas of the project depending on exposure. Full height 6-foot Metal View Fence shall be utilized at the residential project entry drive, vehicular gate location, any exposed tract areas facing Baseline Road and a portion of the south property line where adjacent to a neighboring open space. This full view fence type will be used to promote an open view opportunity into the neighborhood and to South Mountain beyond. 5-foot tall Metal View Fence over a 1-foot solid CMU base wall shall be used for portions of the side and rear yards facing internal open space tracts. This variation shall be used to promote open orientation to common open space in accordance with provisions of the Baseline Area Overlay District. The final variation shall utilize a 2-foot height Metal View Fence panel over a 4-foot solid CMU base wall and will be used where more privacy is required for lots that are adjacent to the commercial development at the NWC of the site and those lots that are exposed to Beverly Lane to the south. This scaled view fence will allow for the thematic character of the fuller view fence styles to be employed to allow for partial openness and visibility characteristics while still maintaining a sense of private space for the rear yards. All view fencing shall be allowed to weather to a natural rust patina or be painted to match a Rust patina color.
- c. Post and Rail Fencing – The Post and Rail Fencing shall be used along Baseline Road and at visible internal project locations as a theming accent in appropriate locations. It will be constructed of heavy wood posts at approximately 8'-0" on center and round tubular steel rails. The rails shall be allowed to rust to a natural patina to compliment the Baseline area and general architectural project themes.

Commercial Walls and Fences

Commercial Parcel – Fences and Walls on commercial parcel shall be in conformance with section 703 of the City of Phoenix Zoning Ordinance and the Baseline Area Overlay District and shall be complimentary in design style, materials and colors to the Gardener’s Enclave residential community wall theming.

FIGURE 9: WALL AND FENCE PLAN

GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

FIGURE 9

WALL & FENCE PLAN

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WALL SCHEDULE

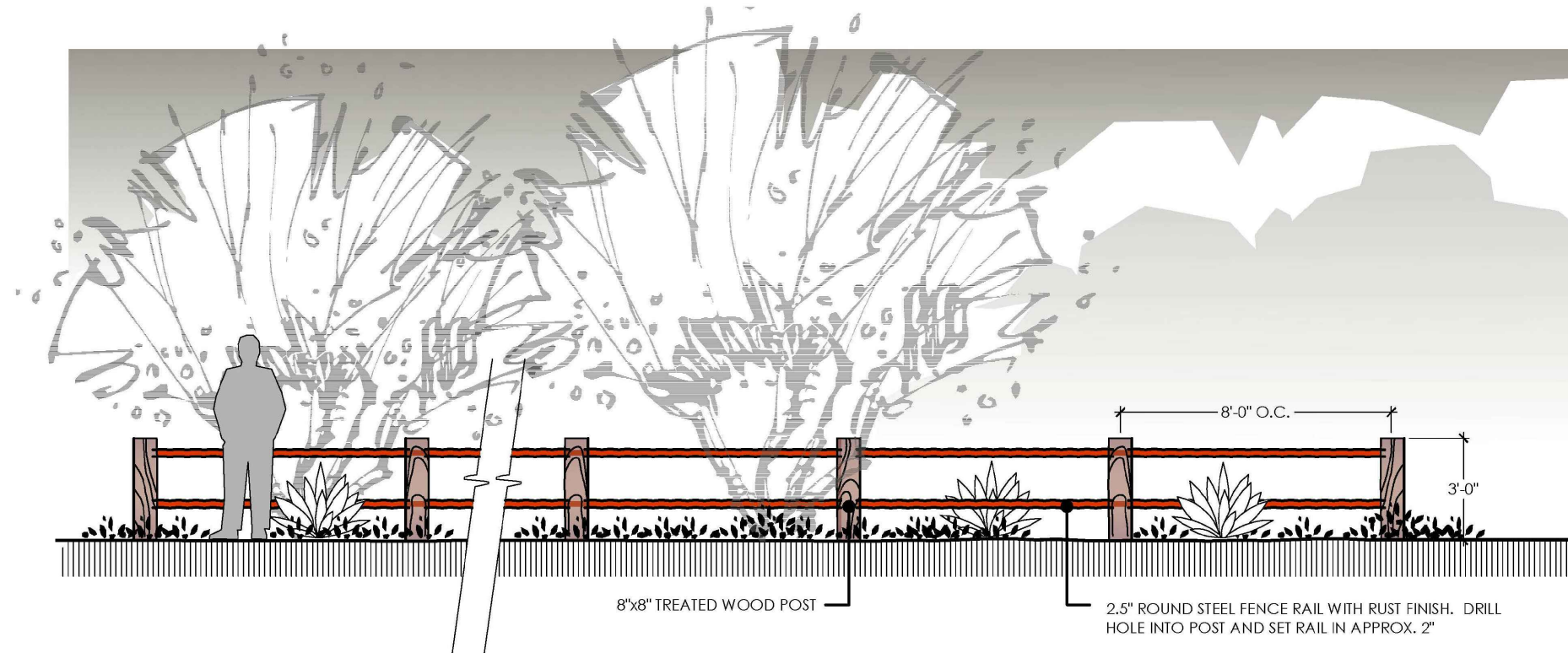
- THEME WALL WITH COLUMNS (6'-0" HT)
- FULL VIEW FENCE AT PERIMETER (6')
- FULL VIEW FENCE AT LOTS (5' ON 1')
- PARTIAL VIEW FENCE AT LOTS (2' ON 4')
- POST AND RAIL FENCE
- MONUMENT SIGN

GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

FIGURE 10

WALL & FENCE DETAILS



POST AND RAIL FENCING

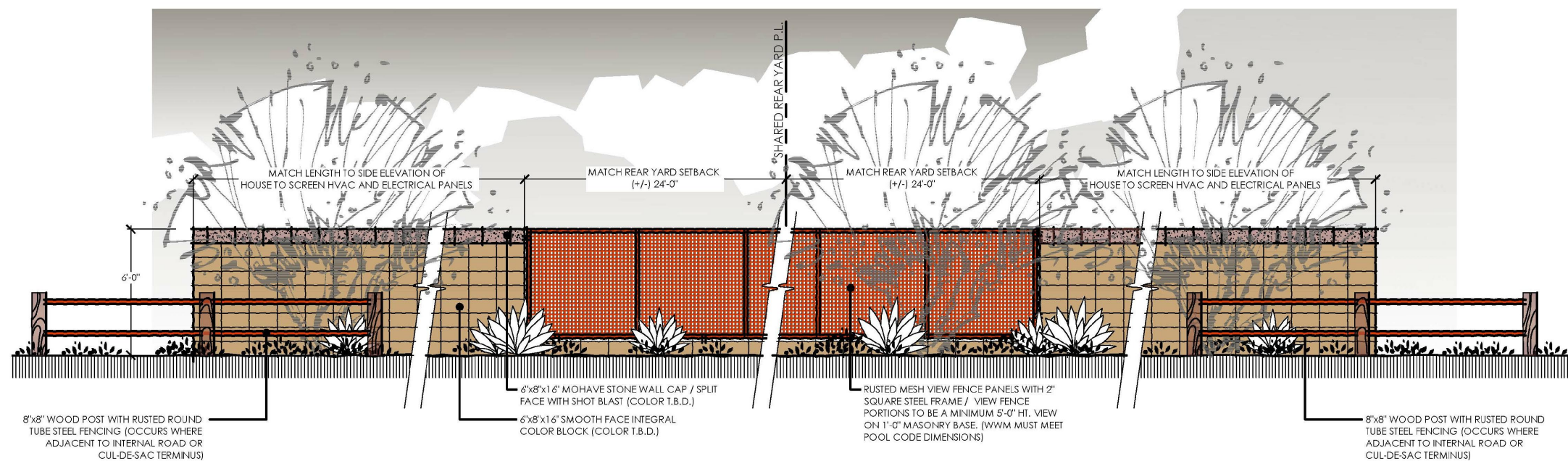
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SIDE YARD / REAR YARD FULL VIEW FENCE

N.T.S.

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Kimley-Horn and Associates, Inc.

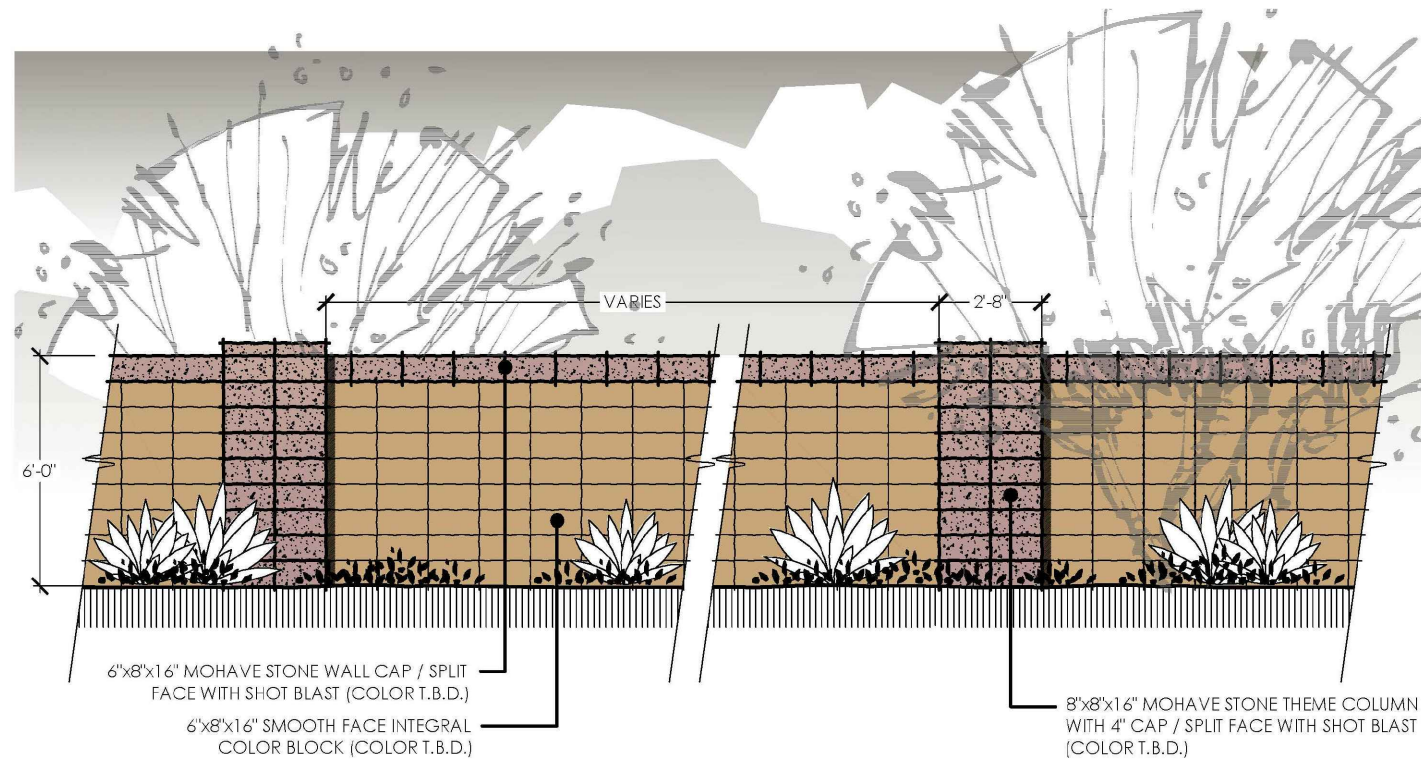
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GARDENER'S ENCLAVE

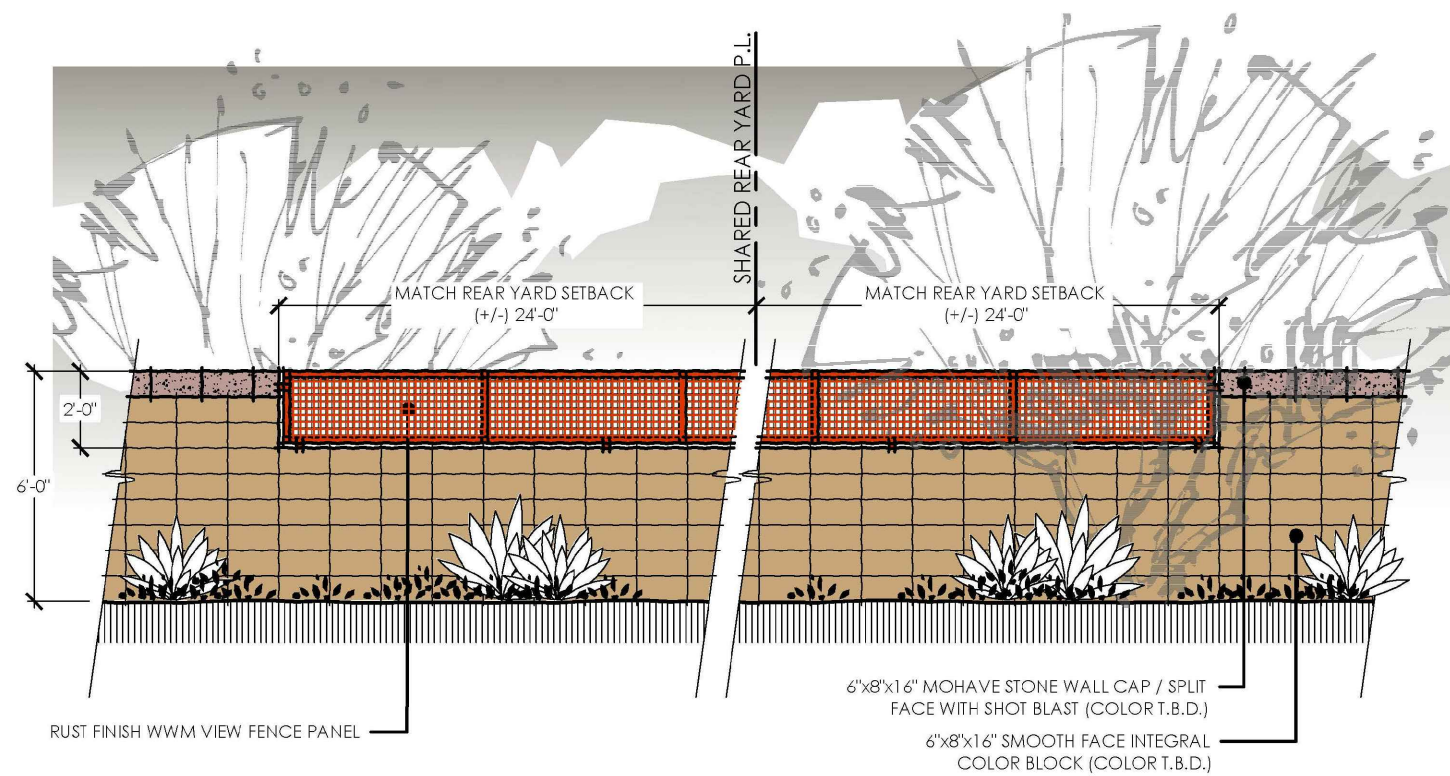
PLANNED UNIT DEVELOPMENT

FIGURE 11
WALL & FENCE DETAILS



COMMUNITY THEME WALL WITH COLUMNS

N.T.S.



SIDEYARD / REAR YARD PARTIAL VIEW FENCE

N.T.S.

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2. Lighting

Lighting development through the Site shall comply with City Code. In order to promote dark skies, street lights are only being proposed at street intersections, corners and the ends of cul-de-sacs. Due to the sensitivity of the surrounding neighborhoods; an electrical engineer will design the community with safety and low intensity lighting in mind. Future on-site lighting which may be proposed within the non-residential development area shall be approved as part of a future site plan review process. Any exterior landscape, bollard or pedestrian scaled lighting within Gardener's Enclave shall be in conformance with the provisions set forth in the City of Phoenix's Zoning Code.

- a. Selected architectural, landscape and hardscape features will be accent lit.
- b. Any on-site lighting will be consistent with the character of the MUA through the use of low level uniform lighting fixtures dispersed throughout the Site with a lumen rating of 3,000 or less. Said lights shall be fully shielded and directed down.

3. Architecture and Building Materials

a. Gardener's Enclave's architecture will be of high quality and consistent with the desired character of the MUA zoning district. Architectural styles permitted within Gardener's Enclave shall include a minimum of three of the following options: Farmhouse, Craftsman, Prairie and/or Ranch style homes. Architectural styles prohibited include Tuscan or Spanish styles which have dominated the surrounding vicinity. Elevations shall be reviewed and approved by the Single-Family Design Advisor for compliance with these design guidelines. All homes will be single-story, ranging in size from 2,500 – 3,400 square feet, and will incorporate new designs never before built in the Baseline corridor. The following building materials should be incorporated into commercial buildings:

- 1) Board and batten;
- 2) Clapboard siding;
- 3) Wood/heavy timbers;
- 4) Adobe;
- 5) Stone or stone veneer;
- 6) Stucco, not to exceed 70% of the exterior wall surface area.

b. Roofs:

- 1) Barrel tile roofs shall be prohibited.
- 2) Pitched roof elements should be encouraged.
- 3) If flat roofs are proposed a false front parapet should be included.
- 4) Overhanging wooden eaves and exposed rafters should be encouraged.

4. Covered Porches

A minimum of 60% of residences within this community will be constructed with covered porches. These porches will be built to meet or exceed the standards established in 651.E.3b.(4).

5. Residential Driveways and Walkways

(Note: This is not a standard requirement of any base or overlay district in the City of Phoenix).

All individual private residence driveways and walkways shall be constructed of a decorative brick or concrete paver surface. Paver style and color options should vary between neighboring residences. The following paver character images serve as an example of the types of unique driveway and walkway treatments required within Gardener's Enclave.



6. Sidewalks, Trails and Ribbon Curbing

To help preserve the rural character desired by the community for this MUA area project, internal street sidewalks are only provided in selected locations throughout the residential development. This design guideline has been put in place to support the vision of the MUA and area residents to further the MUA/rural character elements within new neighborhoods which fall in MUA land use areas. Detached sidewalks shall be provided along the primary entry accessway and along one side of the internal private accessways in the eastern portion of the project that is developed with 70-foot and 65-foot wide lots. There are no sidewalks proposed along lot frontages on the portion of the neighborhood that is developed with 75-foot wide lots. Pedestrian street crossings shall be located at intersections throughout the development to promote safe and visible crossing locations.

Additionally, and per request of the surrounding community, ribbon curbing shall be utilized within the residential project in locations which are approved by the City to not be detrimental to the conveyance of stormwater drainage. All residential area sidewalks, curbing and ribbon curbing shall be integral colored concrete which is an earth tone shade.

Refer to **Figure 12 Sidewalks, Trails & Ribbon Curbing** for a depiction of proposed sidewalk, trail and ribbon curbing locations. Please note, that although these design standards have been placed within the Gardener's Enclave PUD, additional requests to vary from the City of Phoenix typical technical design requirements and details will be required. As related to this proposal of limiting internal street sidewalks and utilizing ribbon curb, a future Technical Appeal(s) will be required to deviate from typical

street design guidelines and a zoning Variance(s) required to deviate from the typical BAOD local residential street ordinance requirements. Submittal and City action on the Technical Appeal(s) and Variance(s) will be necessary before a future Preliminary Site Plan approval may be granted. This PUD does not grant approval of the Technical Appeal(s) and/or Variance(s) and development of Gardener's Enclave in accordance with other aspects of this PUD is not contingent on the City's approval of Technical Appeal(s) and/or Variance(s). Development of the project is not contingent upon these approvals. If not granted, the project may continue to Preliminary Site Plan approval without amending this PUD, using typical city approved street design details.

7. Open Space

The primary active open spaces for Gardener's Enclave will be centralized within the project. Additional active open spaces parallel the west boundary of the project and are placed throughout the PUD as depicted on **Appendix D – Open Space Exhibit**. Pedestrian connections are proposed between all identified amenity areas within the development's active open spaces as depicted on the Conceptual Development plan and the Open Space Exhibit to promote a sense of openness and allow unrestricted access to the spaces.

- a. All area not accounted for by street tracts, lots, and required landscape setbacks shall be open space per the Open Space Exhibit.
- b. Required active open space accessible to residents may be used for storm water retention. Shall comply with 507 Tab A – II.A.2.
- c. Amenities throughout the Gardener's Enclave residential open spaces A, B, C & D as depicted on the Open Space Exhibit shall include, but are not limited to:
 - Community walking paths
 - Primary shade ramada
 - Seating / Gathering area (in active area C)
 - Turf activity lawn (5,000 sq. ft. min.)
 - Community Garden
 - Natural or Agrarian themed children's play equipment (in active area B)
- d. Open spaces A, C & D as depicted on the Open Space Exhibit shall be restricted from allowing children's play equipment.
- e. View fencing allows visual access to the open space which is the desired goal of Section 651.E.3.b. (6). In addition, the design presumption seeks open access to the active open spaces. Conformance with this Design Presumption shall be determined during the project site plan review phase.

8. Landscape Standards

The landscape design for Gardner's Enclave uses a mix of elements to provide a unique character through the use of landscape setbacks, open spaces, specific plant selections, planting arrangements and themed hardscape components that emphasizes the agrarian heritage of the Baseline corridor. The integrated use of several components in the landscape design include themed walls, post and rail fencing, enhanced entry monumentation, and amenity features. Details regarding

the landscape setbacks, open spaces, and streetscapes are illustrated in **Figures 13-16**.

The plant palette for Gardener’s Enclave is a combination of the Mixed Use Agricultural and Baseline Area Overlay District’s plant lists with additional species selected for their decorative, agrarian, or shade providing characteristics. The plant palette consists entirely of drought tolerant species, with the exception of turf areas in appropriate locations and the citrus trees used at the entry to reinforce the property’s history and proximity to the Baseline Road corridor. Refer to **Appendix B – PUD Plant List**.

a. Permitted Plant Materials

The selection of plant materials has a historic significance for ornamental or traditional use in agricultural areas of Phoenix and is a key method to preserve and foster the agricultural character of this district. See **Appendix B** for the complete PUD Plant List.

All plants identified in Section 507 Tab A, Appendix B, of the Zoning Ordinance (prohibited and invasive plant species list for Sonoran Preserve edge treatment guidelines) are prohibited within the PUD.

b. Streetscape – Baseline Road (Scenic Drive)

The Baseline Road buffer and transition consists of rows of densely planted groundcover, ornamental grasses and grove type shade trees suggesting the linear character of agricultural crops. The density of plant material proposed will also provide the “lush” character representative of the agrarian aesthetic established elsewhere in the Baseline Corridor. The proposed design includes two rows of trees adjacent to the sidewalk and a multi-use trail with additional tree plantings arranged adjacent to the theme fencing and lotting. The row planted closest to the street is comprised of several existing mature trees preserved in place (Palo Verde and Mesquite) and supplemented with additional plantings of Palo Verde trees to complement the existing streetscape theme. The second row will be ‘Red Push’ Pistache trees. The remaining tree plantings will be an evergreen variety to assure that development is screened in the winter when the Pistache trees are dormant. The commercial parcel will also utilize a double row of trees, but shall be arranged to allow for clear sight lines into the commercial area for signage and retail space visibility.

Baseline Road currently maintains a 5’-0” detached concrete sidewalk located 8’-0” behind existing street curb. Shade trees shall be planted to provide a continuous shade canopy for pedestrians. A 10’-0” compacted stabilized multi-use trail will be aligned through the community open space with a minimum 5’-0” separation from the concrete sidewalk and within a 30’-0” multi-use trail easement. Ornamental grasses and shrubs will be planted to

frame the sidewalk and trail. Large groupings of these plant species shall be used and will be strategically located to provide maximum impact in regards to form, texture and color.

In addition to these landscape elements, a post and rail fence shall be installed in large segments between the sidewalk and multi-use trail for the length of the residential project Baseline frontage.

The residential community entry shall also be enhanced to provide a welcoming sense of arrival through the use of a large raised garden bed which will be located at the main corner of the entrance, and for visual impact will be installed on the down slope of a large berm facing the intersection. This element will include raised concrete planter walls, monument signage and enhanced landscaping as described in Zoning Ordinance Section 651.E.3.a.(3) for the BAOD.

The sloped planting area within shall include a mix of flowering annuals, perennials and accent plants for year round color and textural interest. Plantings in the raised bed will be chosen for year round color. The raised garden bed shall be a minimum of 1,100 square-feet in area. A grove of citrus trees (Orange species) will be planted in a grid pattern surrounding the raised planter bed.

The residential monument sign design within the raised garden bed includes elements found in agricultural uses – concrete and steel. The wing walls of the sign will be integral color cast in place concrete with a decorative element such as sandblasted patterning or mounted perforated steel panels.

The main sign panel is a full wrap-around style and features a rust finish which is reminiscent of the metal roof panels and steel farm equipment commonly found in the area prior to development. Rock mulch will be applied in all planting areas.

c. Project Entry Street

The Gardener's Enclave project entry street is designed to be a continuation of the Baseline Road frontage character for both the residential and commercial element. The section of roadway between Baseline Road and the residential gates is designed to the local street standards with trees spaced at 20-foot average on center or equivalent groupings and detached sidewalk on one side. Ornamental grasses and dense shrub and groundcover plantings shall be located below the row of street trees. Segments of the aforementioned post and rail fencing shall also be included on both sides of the drive to enhance the entry sequence. The generously proportioned entry median shall include a mix of features boulders located outside the public

right-of-way, specimen shade trees and bermed lawn to provide a focal point for those stopping at the gate control call box.

Surrounding the median, enhanced paving will be used to provide an audible and visual cue for slowing traffic at the entry and provide an attractive alternative to standard paving materials. Allowed enhanced paving materials include decorative concrete pavers, stamped concrete, stamped colored asphalt, or the equivalent. Alternative surfaces will comply with City of Phoenix alternative dustproofing regulations. The approval of specialized paving will be determined by the City of Phoenix Planning and Development staff through the future detailed site plan review process.

Beyond the entry median, a pair of custom vehicular gates will be installed and shall include design elements that take their design cues from the metal view fencing with added detailing of reclaimed wood slats and architectural metal enhancements.

Finish colors for the view fencing and entry gates shall be similar to the patina rust finish of the monument sign.

d. Streetscape – Internal Local Street / Private Accessway

The central spine road that bisects Gardener’s Enclave shall include a 4’-0” detached sidewalk on both sides of the street with shade trees, lush understory plantings and select areas for turf in the open space tracts. Segments of the post and rail fencing shall also be included to allow for the continuity of the agrarian theme along its length. Local streets west of the spine road in front of the lots will have a 6’-0” HOA maintained landscape strip at the back of the curb and shall be separated from the yard landscaping by steel landscape edging. This landscape strip shall include shade trees and low growing accent or shrub plantings with decorative rock mulch. Local streets on the east side of the spine road shall include a similar treatment in front of the lots with one side of the street including a 4’-0” sidewalk at the back of the 6’-0” landscape strip with the opposite side utilizing the same 6’-0” landscape strip bordered with the steel edging. Side yard tracts on this side of the spine road may also have detached sidewalks which connect to the front of lot sidewalks where safe pedestrian access to open space is needed. The sidewalk alignments will conform to the **Conceptual Development Plan** and the **Sidewalk, Trails and Rolled Curb Exhibit**. All sidewalks shall be integrally colored with a natural earth tone color.

Street trees will be planted at 25’-0” on center or equivalent groupings throughout the community, or as approved by the Planning and Development Department, in accordance with standards defined in the Baseline Area Overlay District. Trees located between the sidewalk and curb and in front of a residential lot, are installed at the time of the individual home construction

and grouped together as needed to avoid conflicts created by driveways and utility infrastructure.

e. Common Area and Retention Areas

The common areas within the residential development plan area consist of the landscape setbacks, retention basins, active and common open spaces. The first envisioned active open spaces, which shall contain community amenities in the form of raised garden beds, are located just beyond the gated entry and implement post and rail fencing between the curb and sidewalk and a continuation of the entry street plantings. The raised garden beds shall be included on both sides of the street and be planted with species of shrubs, accents and flowers for year-round interest. Shade trees and rolling lawn will also be included to showcase the rural theme upon entering the project.

The primary residential open space areas located central to the community are designed to accommodate internal project amenities for residents within Gardener's Enclave and are designated at areas A, B, C & D on Appendix D – Open Space Exhibit. Components for amenity spaces A, C & D shall include concrete sidewalks and/or natural surface trails, a shade structure, activity / play lawns with meandering berms and shade trees for year-round sun protection. Additionally, a naturally or agrarian themed play amenity area may be provided in open space amenity area B only.

A future development plan for the commercial area of Gardener's Enclave shall determine through site plan review the appropriate locations and configuration of open space and retention needs for that area of the project.

f. General Landscape Requirements

(1) Berms shall not exceed a ratio of four (4): one (1) side slopes.

(2) Basins shall not exceed a ratio of three (3): one (1) side slopes.

(3) All landscape areas are to have an automatic irrigation system. Trees, shrubs and groundcover shall be watered by a drip irrigation system and turf areas shall incorporate high efficiency spray heads.

VILLAGE AT SOUTH MOUNTAIN
(SINGLE FAMILY RESIDENTIAL)

FUTURE
COMMERCIAL
DEVELOPMENT

MUA

MUA

GARDENER'S ENCLAVE

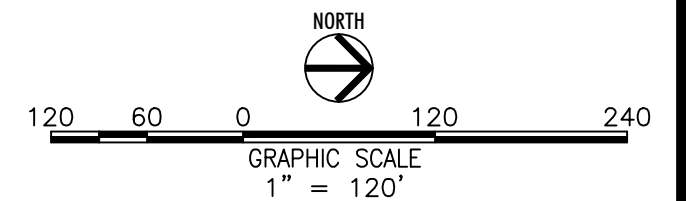
PLANNED UNIT DEVELOPMENT

FIGURE 12
SIDEWALKS, TRAILS & RIBBON CURB

-  SIDEWALK LOCATION
-  RIBBON CURB LOCATION
-  NATURAL SURFACE TRAIL LOCATION
-  PEDESTRIAN CROSSING

NOTE:
ALL CONCRETE SIDEWALKS, PATHS AND CURBING SHALL BE OF AN INTEGRAL COLOR WHICH COMPLEMENTS THE LANDSCAPE AREA SURFACE TREATMENT.

Subject to engineering and City review and approval.

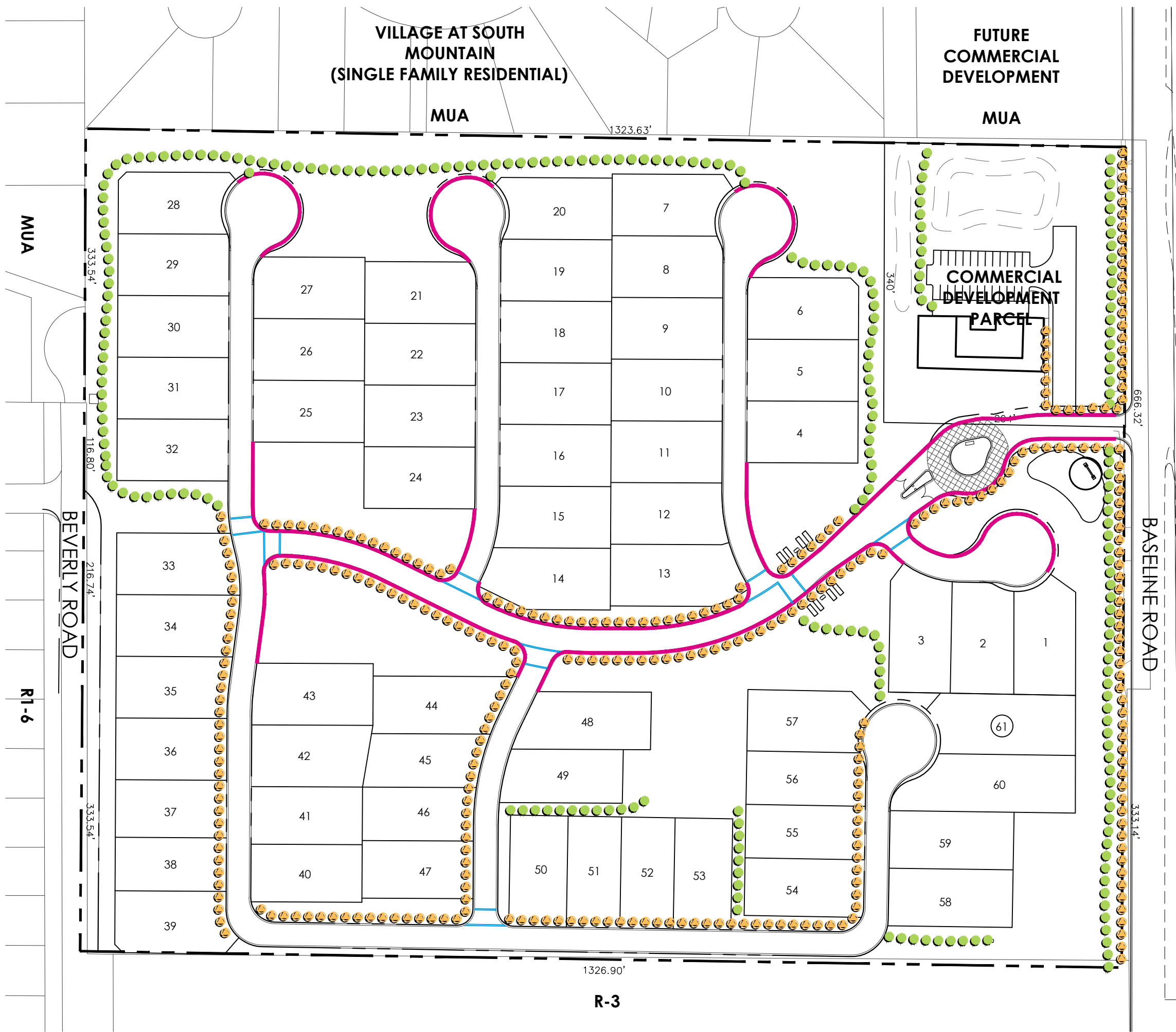


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GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

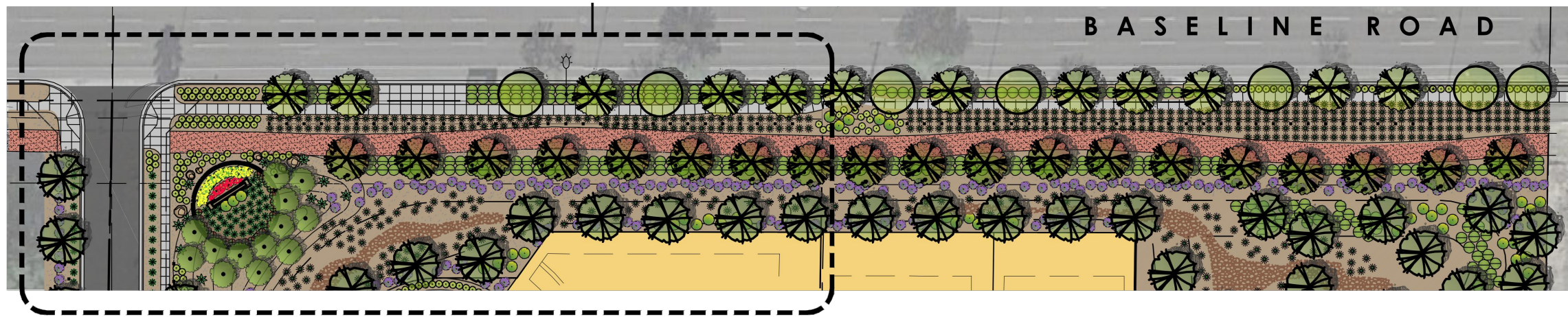
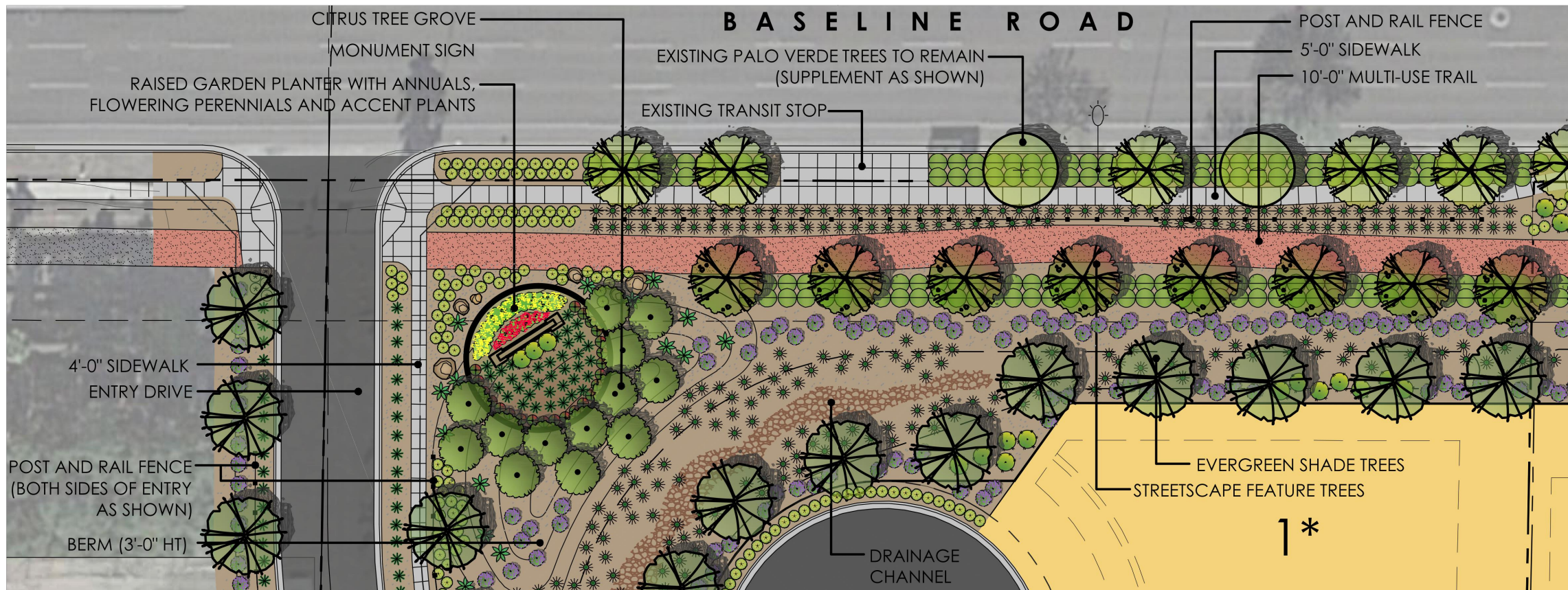


FIGURE 13
BASELINE ROAD
STREETScape DETAILS



Subject to engineering and City review and approval.



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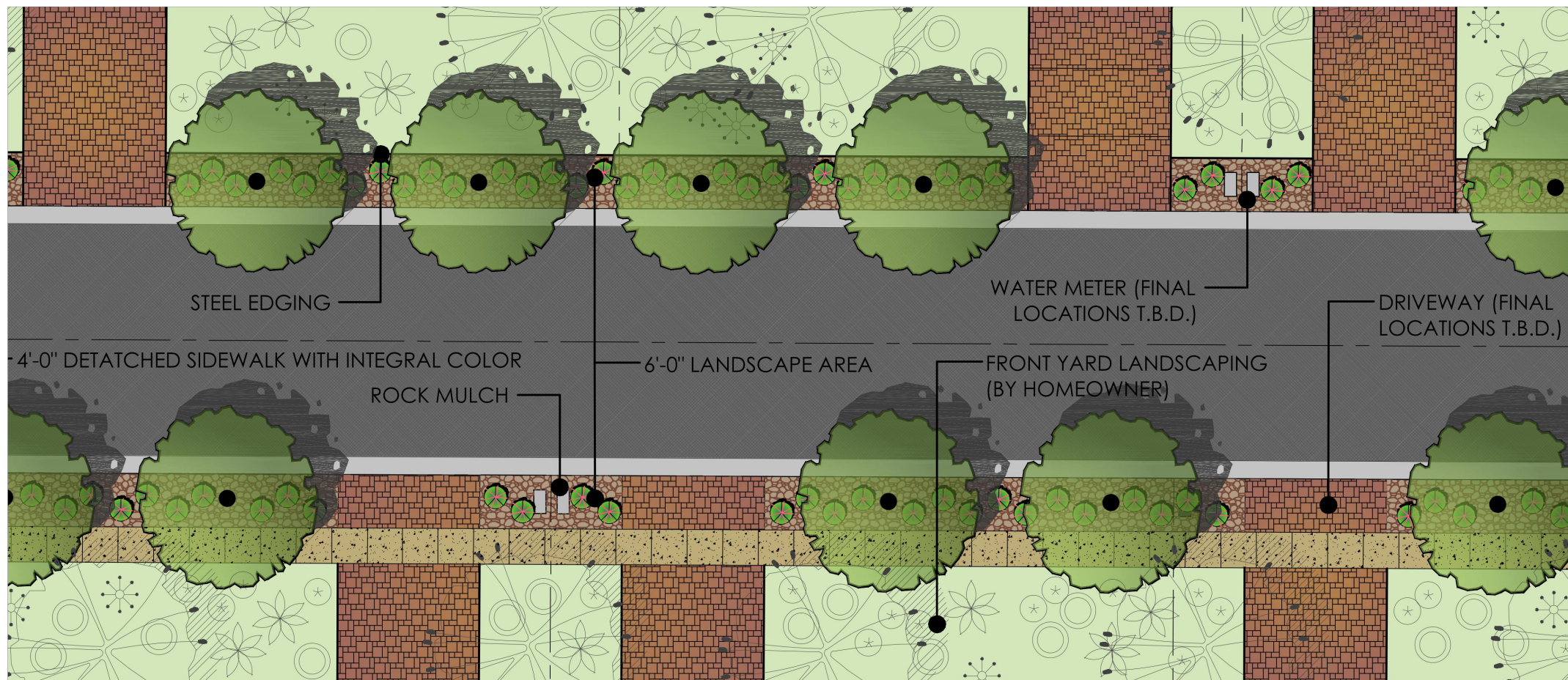
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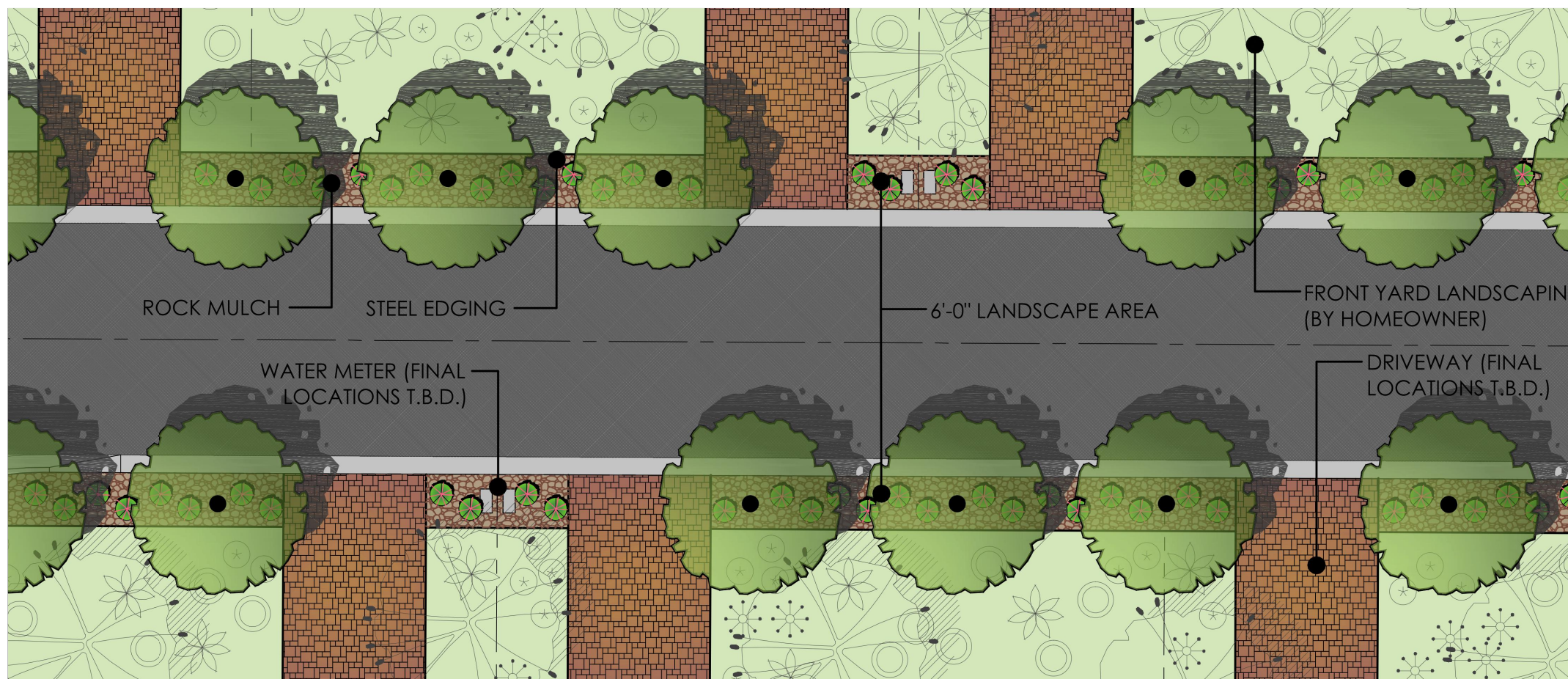
PLANNED UNIT DEVELOPMENT

FIGURE 14

INTERNAL STREETS



INTERNAL STREETSCAPE - SIDEWALK ONE SIDE



INTERNAL STREETSCAPE - NO SIDEWALK

Subject to engineering and City review and approval.

APPROX. SCALE: NTS

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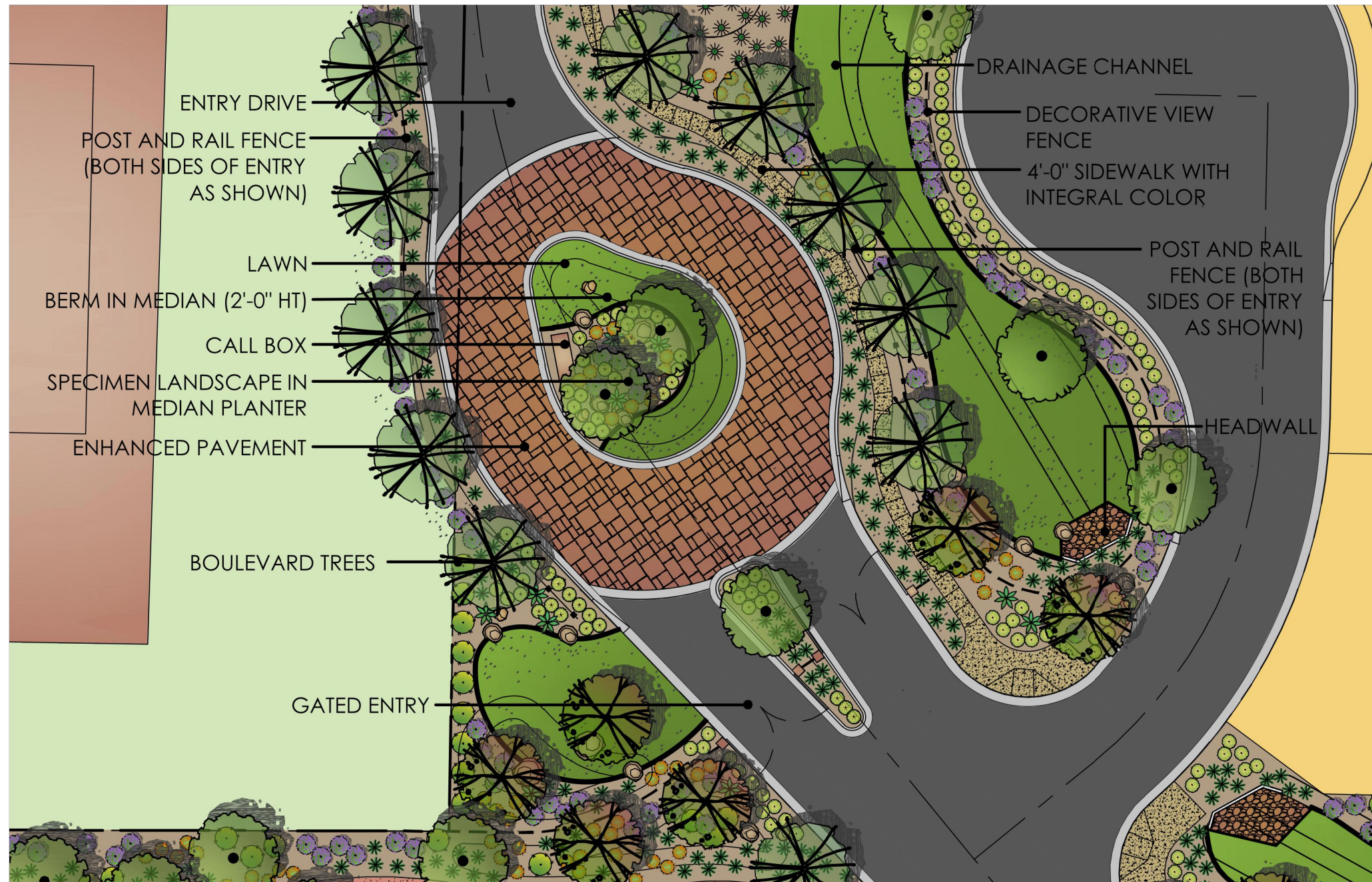
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GARDENER'S ENCLAVE

PLANNED UNIT DEVELOPMENT

FIGURE 15
ENTRY PLAN



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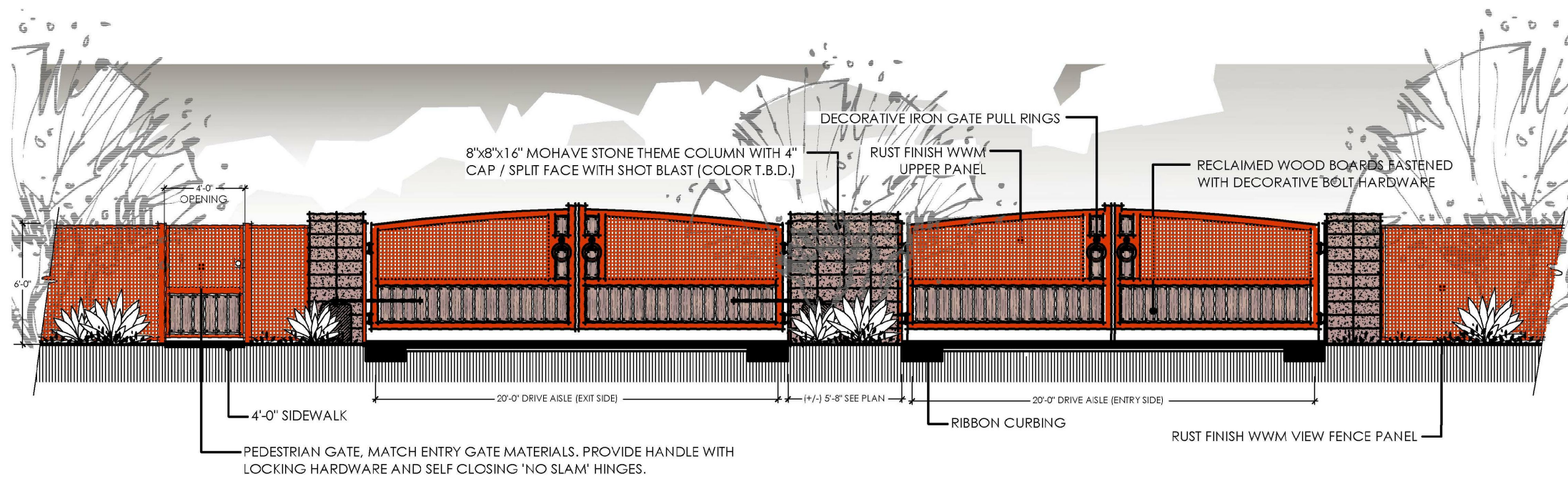
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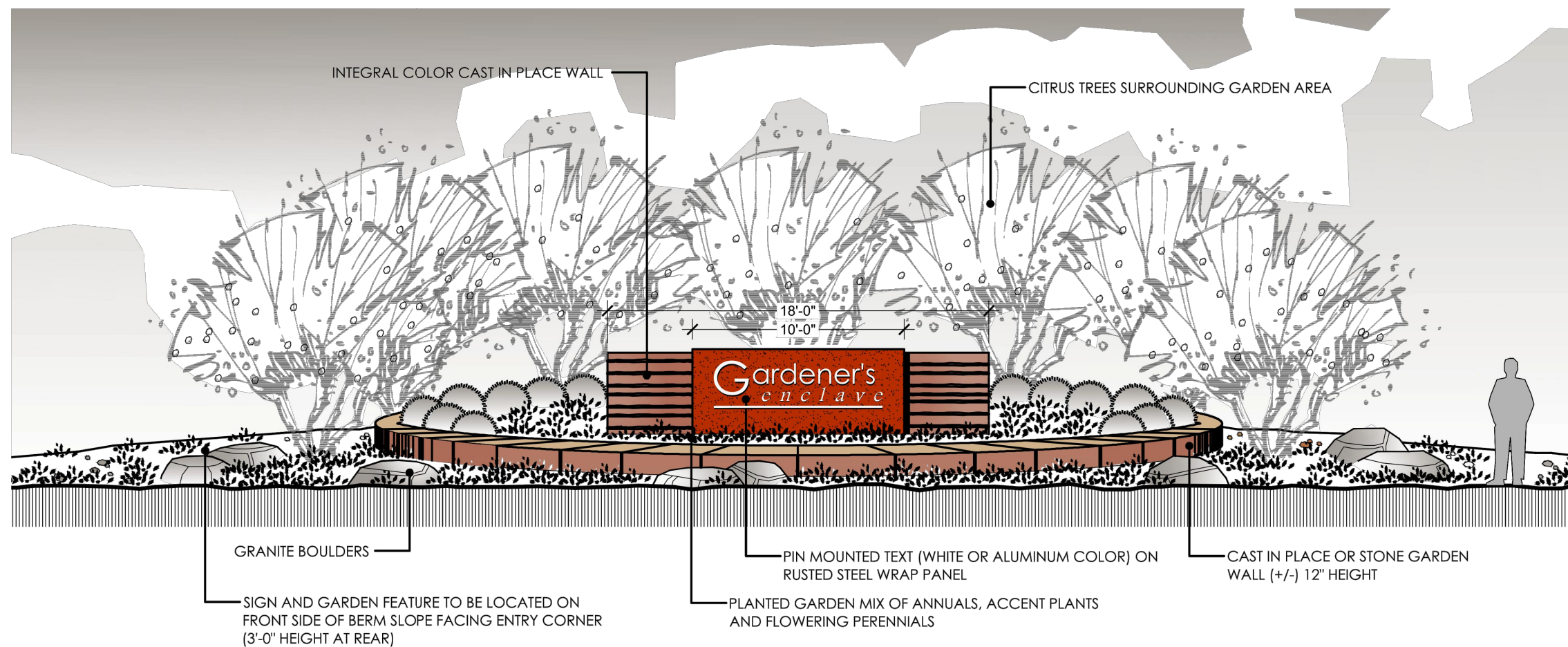
FIGURE 16

ENTRY CHARACTER DETAILS



COMMUNITY ENTRY GATES (WITH FULL VIEW FENCE PANELS)

N.T.S.



Subject to engineering and City review and approval.

APPROX. SCALE: NTS

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g. Landscape Sustainability

Sustainable landscape and irrigation design practices shall be considered. This project is encouraged to implement items described below with each phase of development.

- (1) Utilize Salt River Project water supply from Highline Canal to provide irrigation to all common (HOA managed) landscape areas.
- (2) Utilize "Smart" irrigation control systems.
- (3) Utilize efficient drip irrigation technology.
- (4) Locate plant material in or near storm water drainage swales or basins to maximize water benefit for landscape areas.
- (5) Provide slope stabilizing plant material where appropriate to limit erosion.

9. Shade

Trees shall be located to provide shade for the sidewalks, and trails to maximize their usability. Pedestrian walkways and gathering areas shall be shaded a minimum of fifty percent (50%) at maturity per City of Phoenix Ordinance Section 507 Tab A.II.B.6.1.

10. Sustainability Guidelines

This PUD should establish a community which adheres to sustainable development practices where feasible. The concept of sustainability recognizes that projects should seek to integrate with and conform to the character of the existing community. The South Mountain Village and immediate surrounding neighborhoods have a history of agriculture that is still evident throughout the area. Gardener's Enclave incorporates character elements borrowed from historically rural agrarian elements. In addition, more modern sustainability practices can be implemented throughout the project through consideration of the following items with the direct application of three (3), which are required as noted by an "R".

- (1) Design for effective water usage and conservation methods in buildings by using low flow plumbing fixtures using minimal amounts of potable water. To be enforced through future review and permitting of building plans and building construction inspecting.
- (2) Incorporate "Smart" irrigation control systems into the design and development of the development open spaces. To be enforced through review and permitting of future landscape and irrigation construction documents and field inspection. (R)
- (3) Design for effective use of energy efficient appliances and HVAC systems by demonstrating reductions in on-going power consumption building designs. To be enforced through future review and permitting of building plans and energy compliance reporting, and building construction inspecting.
- (4) Utilize LED type light fixtures for common areas or street lighting (outside of the Gardener's Enclave Single-family community). To be enforced through review and approval of lighting construction documents and field inspection. (R)
- (5) Building designs should respond to the harsh southwest climate by incorporating materials and design and building insulating methods suitable for the region. (R)

- (6) Use recycled and/or salvaged, non-hazardous, construction and demolition materials. Develop and implement a construction waste management plan to identify the materials to be diverted from disposal and whether the materials will be sorted on-site or comingled.

11. City Administered Design Guidelines

The City of Phoenix Zoning Ordinance's Guidelines for Design Review (Section 507 Tab A) shall apply to the development of Gardener's Enclave to the extent the design guidelines do not conflict with this PUD.

I. Infrastructure Standards

1. Circulation System

The Street Classification of Baseline Road adjacent to the Gardener's Enclave PUD is defined by the City of Phoenix Street Classification Map as a Scenic Drive – Major Arterial roadway and is constructed to its ultimate improved width. The developer will be responsible to construct the "finished edge" at the location of the newly proposed local street connection including a curb, sidewalk and accessible ramps. Additionally, a multi-use trail along the property frontage will be constructed on the south side of Baseline Road.

2. Stormwater / Grading and Drainage

Offsite Stormwater

According to the Hohokam Drainage Area Master Study, a regional drainage study prepared for the Flood Control District of Maricopa County, sheet flow may enter the Site from the south during large storm events. A proposed drainage channel is designed to intercept and route this runoff through the Site to maintain the existing drainage pattern in the local area. A weir basin is provided along the northern boundary of the Site to return this captured runoff into the existing sheet flow condition.

Onsite Stormwater

Storm runoff that originates on the project Site is collected by the local street network and routed to on-site retention basins. The basins are limited to 3' in depth and sized to store the volume necessary for full stormwater storage requirements (100-year 2 -hour design storm), consistent with the City of Phoenix Stormwater Policy. The storm basins are located in open space tracts throughout the subdivision. Each basin will utilize dry wells to percolate drainage within the required 36-hour time period. Local streets are sized to contain the 10-year storm event within the street section, and the 100-year storm event within the private street tracts. In areas where ribbon curb is used in-lieu of rolled curb, the drainage will run off of the street directly into a swale or channel, where it will then be routed to the nearest retention basin. All finished floors are designed to be a minimum of

14 inches above the low top of curb and 1 foot above all adjacent channel high-water elevations.

3. Water and Wastewater Service

Water

A public, eight-inch (8") water main will be installed by the developer in each street within Gardener's Enclave and will connect to the existing City of Phoenix public water main located in Baseline Road. This water main will be owned by City of Phoenix and will serve as domestic water and supply fire hydrants located within the local street network. Each lot will have a private water meter service located along the lot frontage.

Wastewater

A public, eight-inch (8") sewer main will be installed by the developer in each street within the development and will connect to the existing City of Phoenix public sewer located in Baseline Road. Each lot will have a private sewer service with cleanout located along the lot frontage.

4. Dry Utilities

Dry utilities owned and managed by SRP Electric, Southwest Gas, Cox Communications, and Century Link are available to the project within the adjacent Baseline Road right-of-way. It is anticipated that private services for each of these utilities will be installed in underground lines to each lot within the development.

5. Other

Police service, Fire service and residential refuse collection will be provided to the development by City of Phoenix. Commercial development refuse collection will be provided by a private service.

6. SRP Irrigation Supply

The Gardener's Enclave residential development shall utilize, to the extent feasible, the existing SRP irrigation supply connection located at the south end of the property. This historic connection leads to the nearby Highline Canal and served the previously property uses. The intent of the Gardener's Enclave residential project will be to introduce pumping and filtration equipment which would allow for the widespread irrigation system water source to be utilized within the project open spaces.

J. Phasing Plan

It is anticipated that the residential and commercial elements of Gardener's Enclave will be constructed independently, each within a separate single development phase.

APPENDIX A: PUD AREA LEGAL DESCRIPTION

**LEGAL DESCRIPTION (GROSS)
GARDNER'S ENCLAVE
3401 & 3309 E. BASELINE ROAD
PHOENIX, ARIZONA**

November 2, 2016
Job No.2013-163
Page 1 of 1

LOT 7 AND THE EAST HALF OF LOT 8, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO SUPPLEMENTAL PLAT OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 3 EAST, MARICOPA COUNTY, ARIZONA, BY UNITED STATES SURVEYOR GENERAL DATED JANUARY 3, 1918.

COMMENCING AT A FOUND PK NAIL AT THE WEST QUARTER CORNER OF SAID SECTION 1, FROM WHICH A FOUND ¾" IRON PIPE AT THE CENTER OF SAID SECTION 1 BEARS SOUTH 89 DEGREES 32 MINUTES 49 SECONDS EAST, A DISTANCE OF 2671.48 FEET;

THENCE NORTH 01 DEGREES 04 MINUTES 29 SECONDS EAST, ALONG THE WEST LINE OF SAID SECTION 1, A DISTANCE OF 1315.03 FEET TO A FOUND BRASS CAP FLUSH;

THENCE SOUTH 89 DEGREES 43 MINUTES 43 SECONDS EAST, LEAVING SAID WEST SECTION LINE, A DISTANCE OF 1000.61 FEET TO THE **POINT OF BEGINNING** OF THE PARCEL HEREIN DESCRIBED;

THENCE NORTH 01 DEGREES 01 MINUTES 14 SECONDS EAST, A DISTANCE OF 1,323.63 FEET TO A POINT ON THE MONUMENT LINE OF BASELINE ROAD;

THENCE SOUTH 89 DEGREES 55 MINUTES 00 SECONDS EAST, ALONG SAID MONUMENT LINE, A DISTANCE OF 999.42 FEET;

THENCE SOUTH 00 DEGREES 59 MINUTES 06 SECONDS WEST, LEAVING SAID MONUMENT LINE, A DISTANCE OF 1,326.90 FEET;

THENCE NORTH 89 DEGREES 43 MINUTES 43 SECONDS WEST, A DISTANCE OF 667.07 FEET TO A FOUND BRASS CAP FLUSH;

THENCE CONTINUING NORTH 89 DEGREES 43 MINUTES 43 SECONDS WEST, A DISTANCE OF 333.54 FEET TO THE **POINT OF BEGINNING** OF THE PARCEL HEREIN DESCRIBED.

SAID PARCEL CONTAINS 1,325,146 SQUARE FEET OR 30.421 ACRES, MORE OR LESS.





60' EX
RIGHT OF WAY

S89°55'00"E 999.42'
BASELINE ROAD

VILLAGES AT SOUTH MOUNTAIN
BOOK 650, PAGE 28

N1°01'14"E 1323.63'

**GARDNER'S ENCLAVE
(3401 & 3309
E. BASELINE)**

S0°58'02"W 1326.90'



FOUND BRASS
CAP FLUSH
S89°43'43"E
1000.61'

POB N89°43'43"W
333.54'

FOUND BRASS
CAP FLUSH
N89°43'43"W
667.07'

N1°04'29"E
1315.03'
32ND ST.
FOUND PK NAIL
WEST 1/4
COR. SEC 1
POC

VILLAS AT TOSCANA 2
BOOK 852, PAGE 31

CORTLAND POINT SUBDIVISION
BOOK 304, PAGE 40

BASIS OF BEARING
S89°32'49"E 2671.48'

FOUND 3/4"
IRON PIPE
CENTER OF SEC. 1

**3401 E BASELINE/3309 E BASELINE
GARDNER'S ENCLAVE (GROSS)
PHOENIX, ARIZONA**

JOB #13-163	DWG: COMBINED GROSS	DATE: 11/2/16
SCALE: NTS	DRAWN: JAS	CHK: RMH
		SHEET: 1 OF 1

APPENDIX B: PUD PLANT LIST

Trees	
<u>Latin Name</u>	<u>Common Name</u>
Acacia species	Acacia
Bauhinia species	Anacacho, Blakeana, Variegated Orchid Tree
Brachychiton populneus	Bottle Tree
Butia capitata	Jelly Palm
Caesalpinia calacao	Cascalote
Callistemon viminalis	Weeping Bottlebush
Carya Illinoensis	Pecan
Cercidium floridum	Blue Palo Verde
Cercidium hybrid	Desert Jewel Palo Verde
Cercidium microphyllum	Foothills Palo Verde
Cercidium praecox	Sonoran Palo Verde, Palo Brea
Cercis Canadensis v. texensis	Texas Redbud
Cercis Canadensis v. Mexicana	Mexican Redbud
Chamaerops humilis	Mediterranean Fan Palm
Chilopsis linearis	Desert-willow
Chitalpa tashkentensis	Chitalpa
Citrus species	Citrus Species
Cordia boissieri	Texas Olive
Eucalyptus species	Ghost Gum, Ironbark, Mallee
Fraxinus Uhdei	Shamel Ash
Fraximus Velutina	Arizona Ash
Fraximus Velutina "Modesto"	Modesto Ash

<i>Olea europaea</i>	Fruitless Olive
<i>Olneya testota</i>	Ironwood
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Pinus eldarica</i>	Afghan Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pistacia chinensis</i>	Chinese Pistachio / Red Push
<i>Pithecellobium flexicaule</i>	Texas Ebony
<i>Prosopis alba</i> hybrid	Argentine Thornless Mesquite
<i>Prosopis chilensis</i> hybrid	Chilean Thornless Mesquite
<i>Prosopis velutina</i>	Native Mesquite
<i>Quercus virginiana</i>	Southern Live Oak
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Sophora secundiflora</i>	Mescal Bean
<i>Tipuana tipu</i>	Tipu Tree
<i>Ulmus parviflora</i>	Evergreen Elm
<i>Vitex angus castus</i>	Monk's Pepper, Chaste Tree
<i>Washingtonia Robusta</i>	Mexican Fan Palm

Shrubs

<u>Latin Name</u>	<u>Common Name</u>
<i>Ambrosia deltoidea</i>	Bursage
<i>Anisacanthus quadrifidus</i>	Hummingbird Bush
<i>Buddleia marrubifolia</i>	Wooly Butterfly Bush
<i>Caesalpinia Mexicana</i>	Mexican Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Calliandra californica</i>	Baja Fairy duster
<i>Callistemon viminalis</i>	Dwarf Bottlebrush

<i>Cassia nemophila</i>	Desert Cassia
<i>Chrysactinia Mexicana</i>	Damianita
<i>Celtis pallida</i>	Desert Hackberry
<i>Convolvulus cnerorum</i>	Bush Morning Glory
<i>Cordia parviflora</i>	Little Leaf Cordia
<i>Dodonaea viscosa</i>	Hopbush
<i>Encelia farenosa</i>	Brittlebush
<i>Ericameria laricidolia</i>	Turpentine Bush
<i>Eremophila maculata</i>	Valentine Bush
<i>Forestiera neomexicana</i>	Desert Olive
<i>Fraxinus greggii</i>	Little leaf Ash
<i>Hamelia patens</i>	Fire Bush
<i>Jasminum mesneyi</i>	Primrose Jasmine
<i>Justicia candicans</i>	Red Justicia
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Lantana camara</i>	Bush Lantana
<i>Larrea tridentate</i>	Creosote Bush
<i>Leucophyllum species</i>	Sage
<i>Lonicera sempervirens</i>	Trumpet Honeysuckle
<i>Nerium oleander</i>	Petite Oleander
<i>Myrtus communis</i>	True Myrtle, Roman Myrtle
<i>Myrtus communis cv. Boetica</i>	Twisted Myrtle
<i>Myrtus communis cv. Compacta</i>	Dwarf Myrtle
<i>Plumbago scandens</i>	Plumbago
<i>Punica granatum</i>	Pomegranate
<i>Pracantha coccinea</i>	Pyracantha
<i>Rhus ovata</i>	Sugarbrush
<i>Rosmarinus officinalis</i>	Rosemary

Ruellia spp.	Ruellia
Russelia equisetiformis	Coral Fountain
Salvia greggii	Autumn Sage
Salvia leucantha	Mexican Bush Sage
Salvia clevelandii	Chapparal Sage
Simmondsia chinensis	Jojoba
Tagetes palmeri	Bush Marigold
Tecoma sp. Orange jubilee	Mountain Marigold
Tecoma stans	Yellow Bells
Tecomaria capensis	Cape Honeysuckle
Thevetia peruviana	Yellow Oleander
Groundcovers	
<u>Latin Name</u>	<u>Common Name</u>
Acacia redolens	Trailing Acacia
Asparagus densiflorus	Sprenger Asparagus
Baccharis 'Centennial'	Baccharis
Callistemon citrinus 'Little John'	Little John Bottlebrush
Carpobrotus sp.	Ice Plant
Dalea greggii	Indigo Bush
Dalea capitata	Sierra Gold Dalea
Eremophila prostrata 'Outback Sunrise'	Outback Sunrise Eremophila
Euphorbia rigida	Gopher Plant
Gazania rigens csv.	Gazania
Hymenoxys acaulis	Angelita Daisy
Lantana spp.	Lantana
Oenothera sp.	Primrose

Oenothera berlandieri	Mexican Evening Primrose
Oenothera stubbei	Saltillo Primrose
Olea europaea 'Little Ollie'	Dwarf Olive
Rosmarinus officinalis	Dwarf Rosemary
Ruellia brittoniana prostrata	Katie Ruellia
Salvia chamaedryoides	Blue Sage
Salvia farinacea	Mealy Cup Sage
Teucrium chamaedrys cv. Prostratum	Germander
Verbena sp.	Verbena
Wedelia trilobata	Yellow Dot
Vines	
<u>Latin Name</u>	<u>Common Name</u>
Antigonon leptopus	Coral Vine, Queen's Wreath
Bignonia capreolata	Cross Vine
Bougainvillea sp.	Bougainvillea
Campsis radicans	Common Trumpet Creeper
Hardenbergia comptiana	Lilac Vine, Wild Wisteria
Macfadyeni unguis-cati	Cat's Claw Vine
Mascagnia macroptera	Yellow Orchid Vine
Podranea ricasoliana	Pink Trumpet Vine
Rosa banksiae Alba Plena, Lutea	Lady Bank's Rose
Accents	
<u>Latin Name</u>	<u>Common Name</u>
Agave sp.	Agave
Aloe sp.	Aloe
Dasyilirion Wheeleri	Desert Spoon

Euphorbia antisyphilitica	Candelilla
Hesperaloe sp.	Red Yucca / Giant Hesperaloe
Muhlenbergia sp.	Deer Grass
Nolina macrocarpa	Bear Grass
Opuntia ficus indica	Indian Fig
Yucca sp.	Yucca
Perennials / Wildflowers	
<u>Latin Name</u>	<u>Common Name</u>
Berlandiera lyrata	Chocolate Flower
Gaura lindheimeri	Desert Orchid
Psilostrophe tagetina	Paperflower
Penstemon species	Penstemon
Sphaeralcea spp.	Globe-mallow
Tagetes palmeri (lemmonii)	Mt. Lemmon Marigold

APPENDIX C: PUD DEVELOPMENT STANDARDS & COMPARISON REFERENCE TABLE

PUD DEVELOPMENT STANDARDS & COMPARISON REFERENCE			
GARDENER’S ENCLAVE PUD		MUA	BAOD
RESIDENTIAL DEVELOPMENT STANDARDS			
MAXIMUM BUILDING OR STRUCTURE HEIGHT			
One-Story and twenty-four (24) feet		Thirty (30) feet	Two-Stories not to exceed thirty (30) feet.
BUILDING SETBACKS			
<u>Front Yard</u>			
Local streets / Private Accessways	Thirty (30) feet min.	Thirty (30) feet	(50) feet adjacent to Baseline Road.
<u>Side Yard</u>			
Interior	Five (5) feet minimum, Fifteen (15) feet combined	Fifteen (15) feet	Min. 10 feet spacing between each single family detached home.
Street	Ten (10) feet min.	Twenty (20) feet	No Standard
<u>Rear Yard</u>	Twenty-Four (24) feet min.	Twenty (20) feet	No Standard
PROJECTIONS			
<u>Open Projections & Side-Loaded Garages</u>	Ten (10) feet into the required front yard.	No Standard	No Standard
<u>Closed Projections</u>	Total not to exceed 50% of maximum width of the structure. - Projections up to five feet into the required front yard for no more than 50% of the maximum	No Standard	No Standard

	<p>width of the structure.</p> <ul style="list-style-type: none"> - Projections up to ten feet into the required front yard for no more than 25% of the maximum width of the structure. - These provisions shall not apply to front-loaded garages. 		
LOT COVERAGE			
<p>Maximum lot coverage: *Residential: 28%</p> <p>*Method of calculating maximum residential lot coverage permitted for the residential development area shall be based on the following formula,</p> <p><u>Gross Site Area – (Perimeter Right-of-Way + Interior Street ROW / Tract) = Net Area</u></p> <p><u>Net Area (0.28) = Max. Building Area for Community (X)</u></p> <p><u>X / # of Lots = Maximum Square Foot Area (Building / Accessory Footprint) Allowed Per Lot</u></p> <p>Shade structures accessory to agricultural or plant nursery use which are fabric or plastic film covered and which do not exceed twelve feet in height shall not be included in lot coverage calculations.</p>	35%	No Standard	
DENSITY			
Maximum project residential density = 2.01 dwelling units per acre (as calculated over entire PUD gross area)	2.0	None	
REQUIRED FRONT PORCHES (Refer to Section H for Additional Design Guidelines)			
60% min. of Homes	No Standard	50%	
LANDSCAPE DEVELOPMENT STANDARDS (RESIDENTIAL)			

REQUIRED LANDSCAPE SETBACKS – PERIMETER (Refer to Appendix D – Open Space Exhibit and Section H for Additional Design Guidelines)

Baseline Road	Sixty (60) feet min.	Avg. 35' along arterial / collector streets min. 30' for 50%.	Fifty (50) feet	
Beverly Road	Twenty (20) feet min.	Avg. 25' along local streets, min. 20' for 50%	No Standard	
Perimeter Property Lines (Not Adjacent to a Street)	Ten (10) feet min.	Min. 10-foot	No Standard	
PLANT TYPE	SPACING	MINIMUM PLANTING SIZE	Same as PUD Standards	No Standard
Trees (Baseline Road)	Two Rows of Trees – Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (25% of required trees) Min. 4-inch caliper or multi-trunk (25% of required trees)	Same as PUD Standards	Two-inch caliper and twenty-four-inch box size
Trees (Beverly Road)	Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (25% of required trees) Min. 4-inch caliper or multi-trunk (25% of required trees)	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk tree (25% of required trees) Min. 4-inch caliper or multi-trunk tree (25% of required trees)	No Standard
Trees (Perimeter Property Lines Not Adjacent to a Street)	Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (50% of required trees)	Min. 2-inch caliper (60% of required trees) Min. 1-inch caliper (40% of required trees)	No Standard

Shrubs	Five (5) Shrubs per tree	5-gallon	Same as PUD Standards	No Standard
LANDSCAPE SETBACK – INTERIOR RESIDENTIAL LOCAL STREET / PRIVATE ACCESSWAY (Refer to Section H for Additional Design Guidelines)				
Interior streets shall have detached sidewalks in select locations a minimum of four feet in width that are separated from the street with six-foot landscaped planter areas. This six-foot landscape planter strip shall be consistent throughout the residential development whether a sidewalk is proposed or not. Landscape planter areas to be landscaped at time of adjacent lot home construction, not prior. Refer to Section H for additional design guidelines related to proposed locations of internal street sidewalks.				
PLANT TYPE	SPACING	MINIMUM PLANTING SIZE		
Trees	Approx. Twenty Five (25) feet on center spacing or equivalent groupings	Min. 2-inch caliper and 24-inch box	No Standard	25-feet on center. Minimum 2-inch caliper and 24-inch box
Shrubs	Five (5) shrubs per tree	5-gallon	Same as PUD Standards	No Standard
RESIDENTIAL PROJECT ENTRY STANDARDS				
Entry Median	Provide mix of features boulders located outside the public right-of-way, specimen shade trees and bermed lawn.		No Standard	Minimum of three hundred feet in area and planted with a variety of at least three plant materials.
Enhanced Paving	Decorative concrete pavers, stamped concrete, stamped colored asphalt, or the equivalent shall be provided at the project main vehicular entry. The use of Ribbon style concrete curb shall be provided around the entry median and along the project entry perimeter. Alternative surfaces will comply		No Standard	No Standard

	with City of Phoenix alternative dustproofing regulations.		
Raised Garden Bed	Min. 1,100 sq. ft. in size to be filled with flowering annuals, perennials, and accent plants.	No Standard	250 sq. ft. with at least 3 plant varieties.

COMMERCIAL DEVELOPMENT STANDARDS			
MAXIMUM BUILDING OR STRUCTURE HEIGHT			
One-Story not to exceed Twenty (20) feet		One story (1) not to exceed twenty (20) feet	Two-Stories not to exceed Thirty (30) feet.
BUILDING SETBACKS			
North Side (Baseline Road)	Sixty (60) feet min.	Fifty (50) feet (Max. 15 foot high building); Sixty (60) feet (Max. 30 foot high building)	(50) feet adjacent to Baseline Road.
East Side (Project Entry Road)	Twenty (20) feet min.	Twenty (20) feet	No Standard
South Side	Twenty (20) feet min.	Twenty (20) feet	No Standard
West Side	Twenty (20) feet min.	Fifteen (15) feet	No Standard
LOT COVERAGE			
Maximum lot coverage: 25% of net site area		35%	No Standard
LANDSCAPE DEVELOPMENT STANDARDS (COMMERCIAL)			
REQUIRED LANDSCAPE SETBACKS – PERIMETER (Refer to Appendix D – Open Space Exhibit and Section H for Additional Design Guidelines)			
Baseline Road	Sixty (60) feet min.	Avg. 35' along arterial / collector streets min. 30' for 50%.	Fifty (50) feet.
East Side (Project Entry Road)	Twenty (20) feet min.	Avg. 25' along local streets, min. 20' for 50%	No Standard

Perimeter Property Lines (Not Adjacent to a Street)	Ten (10) feet min.	Min. 10-foot	No Standard	
PLANT TYPE	SPACING	MINIMUM PLANTING SIZE		
Trees (Baseline Road)	Two Rows of Trees – Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (25% of required trees) Min. 4-inch caliper or multi-trunk (25% of required trees)	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk tree (25% of required trees) Min. 4-inch caliper or multi-trunk tree (25% of required trees)	Two-inch caliper and twenty-four-inch box size
Trees (East Side Project Entry Road)	Twenty (20) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (50% of required trees)	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk tree (25% of required trees) Min. 4-inch caliper or multi trunk tree (25% of required trees)	No Standard
Trees (Perimeter Property Lines Not Adjacent to a Street)	Thirty (30) feet on center spacing or equivalent groupings	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk (50% of required trees)	Min. 2-inch caliper (60% of required trees) Min. 1-inch caliper (40% of required trees)	No Standard
Shrubs	Five (5) Shrubs per tree	5-gallon	Min. five (5) 5-gallon shrubs per tree	No Standard
PARKING LOT AREA				
Interior surface area (exclusive of perimeter landscaping and required setbacks)	Min. 10%	Min. 10%	Min. 15%	

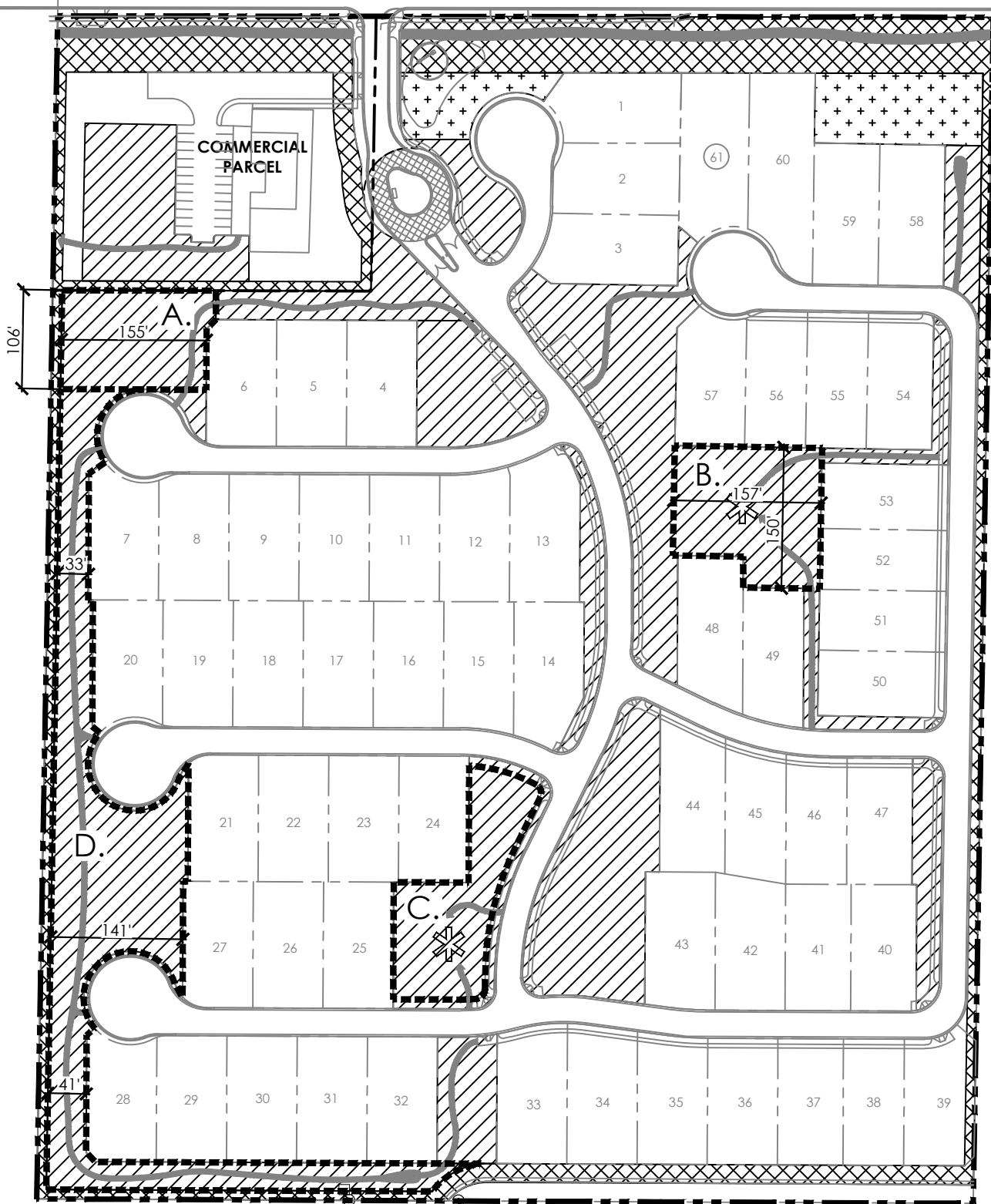
Landscape Planters	At ends of each row of parking & approximately every 110 feet.	At ends of each row of parking & approximately every 110 feet	Landscape shall be dispersed throughout the parking area
Landscape Planters, single row of parking	Min. 120 Sq. Ft	Same as PUD Standards	Minimum 8-feet in width and minimum 120 SF in area
Landscape Planters, double row of parking	Min. 240 Sq. Ft.	Same as PUD Standards	Minimum 8-feet in width and minimum 120 SF in area
Additional Parking Lot Landscaping	As needed to meet 10% minimum requirement, evenly distributed throughout the entire parking lot. Min. interior dimension 5-feet (length and width)	Same as PUD Standards	No Standard
PLANT TYPE	MINIMUM PLANTING SIZE		
Trees	Min. 2-inch caliper (60% of required trees) Min. 1-inch caliper (40% of required trees)	Same as PUD Standards	No Standard
Shrubs	Min. five 5-gallon shrubs per tree	Same as PUD Standards	No Standard

OPEN SPACE DEVELOPMENT STANDARDS (Refer to Appendix D "Open Space Exhibit" and Section H for Additional Design Guidelines)			
Required Total Open Space	20% Min. of Net Area for entire PUD	25% for Commercial, Office or Mixed Use	No Standard
Open Space Landscape Standards (Refer to Appendix D – Open Space Exhibit for location and minimum areas of active open spaces identified below)			
Active Open Space (Areas A,B & C), remaining Active Open Space areas and Common Open Space areas: Shall conform to Zoning Ordinance Section 507 Tab A for planting requirements.			
General Landscape Standards (Applicable to all open space identified on the Open Space Exhibit excluding required landscape setbacks)			


Live Coverage	Fifty percent (50%) min. live coverage in all open spaces, landscaped and retention areas which includes trees, shrubs, ground cover and turf. Landscape treatment must be used for the entire site exclusive of building(s) and pavement for vehicular use	No Standard	No Standard
Turf	Turf and high water use plants are limited to fifty percent (50%) of the planted area or ten percent (10%) of the net lot area, whichever is less. <i>(Does not apply to functional turf areas such as residential amenity areas or individual single-family lots, or areas where excessive turf may function as drainage erosion control)</i>	No Standard	No Standard
Inerts (Rick Mulch / Decomposed Granite)	Applied dust control products (i.e. decomposed granite, river rock, ground cover, etc.) are to be installed a minimum of two inches (2") thick in all landscape areas. Decomposed granite size should be a minimum of ¼" to ¾" per Zoning Ordinance section 202 and City of Phoenix Supplement to MAG Standards section 430. All dustproofing materials will comply with the Zoning Ordinance Standards. Requests for the use of alternative dustproofing materials shall be submitted for review through the City of Phoenix Request to Use Alternative Dustproofing Materials process.	No Standard	No Standard


APPENDIX D: OPEN SPACE EXHIBITS

BASELINE ROAD



OPEN SPACE ANALYSIS

 ACTIVE OPEN SPACE
TOTAL: 284,356 S.F. or 22.5 %

 COMMON OPEN SPACE
TOTAL: 21,507 S.F. or 1.7%

 REQUIRED LANDSCAPE SETBACK
TOTAL: 103,657 S.F. or 8.2%*

 PROPOSED CENTRAL AMENITY LOCATIONS

*REQUIRED LANDSCAPE SETBACKS DO NOT COUNT TOWARDS THE TOTAL OPEN SPACE AREA SHOWN.

BEVERLY ROAD

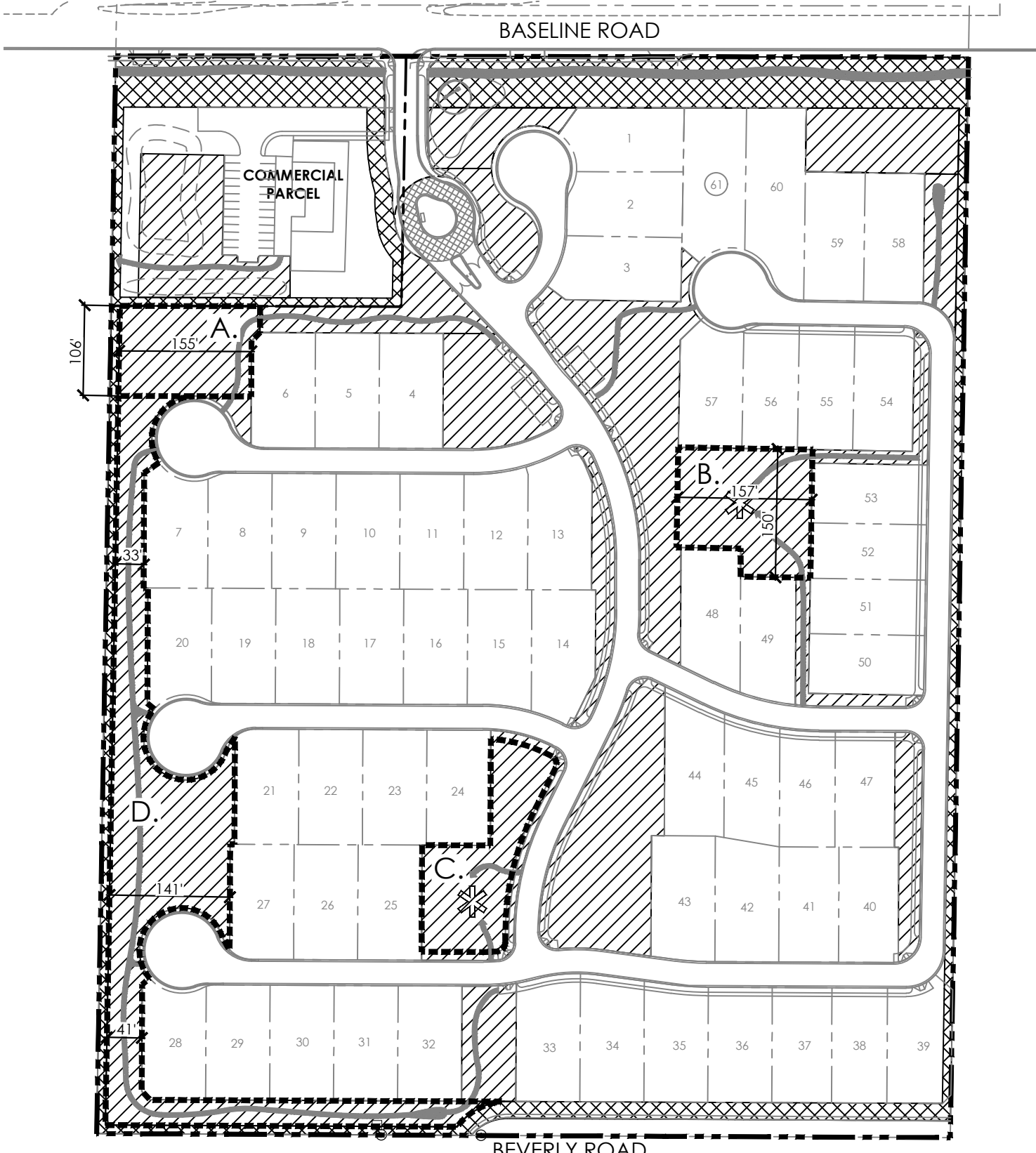


land planning
development entitlements
landscape architecture
120 south ash avenue
tempe, arizona 85281
480.994.0994


GARDENER'S ENCLAVE
OPEN SPACE EXHIBIT
(ACTIVE/Common OPEN SPACES)



APPROX. SCALE: NTS



OPEN SPACE ANALYSIS

 TOTAL OPEN SPACE
TOTAL: 305,863 S.F. or 24.1%

 REQUIRED LANDSCAPE SETBACK
TOTAL: 103,657 S.F. or 8.2%*

 PROPOSED CENTRAL AMENITY LOCATIONS

*REQUIRED LANDSCAPE SETBACKS DO NOT COUNT TOWARDS THE TOTAL OPEN SPACE AREA SHOWN.



land planning
development entitlements
landscape architecture
120 south ash avenue
tempe, arizona 85281
480.994.0994

GARDENER'S ENCLAVE
OPEN SPACE EXHIBIT
(TOTAL OPEN SPACE)



APPROX. SCALE: NTS

APPENDIX E: MUA/PUD GENERAL PLAN AMENDMENT POLICY – 5TH SUBMITTAL



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

To: Ron Harris
LVA Urban Design Studio

Date: March 1, 2017

From: Adam Stranieri
South Mountain Village Planner

Subject: Z-50-16-8 - MUA/PUD GPA Scorecard – 5th Submittal

MUA/PUD GENERAL PLAN AMENDMENT POLICY – 5th Submittal

Reviewed per applicant submitted “Scorecard” date stamped February 27, 2017

Determination: Proposal meets the requirements of the MUA/PUD GPA Policy

Reviewer/Date: Adam Stranieri, 03/01/17

***Note:** Staff review comments and/or proposed stipulations will require that all of the proposed standards be explicitly included in the text of the Development Narrative.*

MUA STANDARDS

The PUD must contain development requirements that exceed five (5) out of the eight (8) provided MUA Zoning District Development Standards.

The proposal meets the following five (5) requirements:

1) Maximum Building Height

- **Maximum Building Height required: 24 feet**
- **Maximum Building Height proposed: 24 feet**
- Proposed standard meets the policy requirement.

2) Rear Yard Setback

- **Minimum rear yard setback required: 24 feet**
- **Minimum rear yard setback proposed: 24 feet**
- Proposed standard meets the policy requirement.

3) Lot Coverage

- **Maximum lot coverage required: 28%**

- **Maximum lot coverage proposed: 28%**
 - Proposed standard meets the policy requirement.

4) **Landscape Setback – Baseline Road**

- **Minimum Landscape Setback required: 60-feet (Residential and Commercial)**
- **Minimum Landscape Setback proposed: 60-feet (Residential and Commercial)**
 - Proposed standard meets the policy requirement.

5) **Agricultural character**

- **Required: Development standards that are consistent with the purpose and intent of the MUA district and beneficial to achieving the desired agricultural character.**
- **Proposed: Architectural character and theme, open fencing.**
 - Proposal meets the policy requirement. Relevant standards identified in the 2nd Draft Development Narrative include enhanced pavement, landscaping, and signage at the primary entry, the use of split-rail and view fencing, proposed building materials expressing agricultural character for the commercial component, and the provision of walking paths, a ramada, activity lawn, community garden, and other amenities within active open spaces.

BAOD STANDARDS

The PUD must meet design requirements that exceed three (3) out of the five (5) provided BAOD design provisions.

The proposal meets the following three (3) requirements:

1) **Covered Porches**

- **Minimum percentage of homes with covered porches required: 60%**
- **Minimum percentage of homes with covered porches proposed: 60%**
 - Proposed standard meets the policy requirement.

2) **Primary Entry Feature**

- **Required: Residential developments shall have primary entry features that incorporate landscaping with the entry sign. The landscaping should be a minimum of three hundred (300) square feet held in a common tract, planted, and maintained with a variety of at least three plant materials**

including a series of annuals that will each maintain a constant bloom throughout the year.

- **Proposed: 1,100 SF primary entry feature**
 - Proposed standard meets the policy requirement.

3) Historic Baseline Character

- **Required: Enhanced landscaping and signage at the community's main entry or along the project's perimeter.**
 - Proposal meets the policy requirement. Relevant standards identified in the 2nd Draft Development Narrative include the following:
 - a) Landscaping along the project perimeter includes enhanced landscape setbacks, active open spaces in various locations, and a plant palette that is consistent with the surrounding character.
 - b) Signage at the main entry to the residential component incorporates an agrarian character through the use of an agricultural design motif, materials, and integration with surrounding landscaping.

APPENDIX F: RESERVED - PUD – CONDITIONS OF ZONING APPROVAL

ORDINANCE G-6494

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-50-16-8) FROM S-1 BAOD (RANCH OR FARM RESIDENCE DISTRICT, BASELINE AREA OVERLAY DISTRICT), S-1 BAOD (APPROVED MUA BAOD) (RANCH OR FARM RESIDENCE DISTRICT, BASELINE AREA OVERLAY DISTRICT (APPROVED MIXED USE AGRICULTURAL DISTRICT, BASELINE AREA OVERLAY DISTRICT)), AND R1-18 SP BAOD (SINGLE-FAMILY RESIDENCE DISTRICT, SPECIAL PERMIT, BASELINE AREA OVERLAY DISTRICT) TO PUD BAOD (PLANNED UNIT DEVELOPMENT, BASELINE AREA OVERLAY DISTRICT).

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as

follows:

SECTION 1. The zoning of an approximately 30.42 acre property located approximately 480 feet east of the southeast corner of 32nd Street and Baseline Road in a portion of Section 1, Township 1 South, Range 3 East, as described more specifically in Exhibit "A", is hereby changed from "S-1 BAOD" (Ranch or Farm Residence District, Baseline Area Overlay District), "S-1 BAOD (Approved MUA BAOD)" (Ranch or Farm Residence District, Baseline Area Overlay District (Approved Mixed Use Agricultural District, Baseline Area Overlay District)), and "R1-18 SP BAOD"

(Single-Family Residence District, Special Permit, Baseline Area Overlay District) to “PUD BAOD” (Planned Unit Development, Baseline Area Overlay District).

SECTION 2: The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit “B”.

SECTION 3. Due to the site’s specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

1. An updated Development Narrative for the Gardener’s Enclave PUD reflecting the changes approved through this request shall be submitted to the Planning and Development Department within 30 days of City Council approval of this request. The updated Development Narrative shall be consistent with the Development Narrative date stamped May 22, 2018, as modified by the following stipulations:
 - a. Page 19, Section F.2.c, 1st Sentence: Replace with the following: “The following commercial accessory uses are permitted in the commercial component of the PUD area as defined on the Conceptual Land Use Plan.”
 - b. Page 22, Projections, Closed Projections: Add text to development standard as follows and update Comparison Reference Table accordingly: “These provisions shall not apply to front-loaded garages.”
 - c. Page 32, Section H.3.a, 2nd & 3rd Sentence: Replace with the following: “Architectural styles permitted within Gardener’s Enclave shall include a minimum of three of the following options: Farmhouse, Craftsman, Prairie and/or Ranch style homes. Architectural styles prohibited include Tuscan or Spanish styles which have dominated the surrounding vicinity. Elevations shall be reviewed and approved by the Single-Family Design Advisor for compliance with these design guidelines.”
 - d. Page 44, Section H.10, Last Sentence: Update minimum required sustainability practices from two to three.

- e. Page 59, Landscape Development Standards (Commercial), Trees (Baseline Road): Delete standard: "Fifty (50) feet".
 - f. Renumber the Table of Contents to make Section H.12 the new Section I, renumber Sections H.12.a-e to I.1-5, make Section H.8.f the new Section I.6, make Section H.13 the new Section J, and update the PUD text accordingly.
2. Building elevations shall be reviewed and approved by the Single-Family Design Advisor for compliance with the Design Guidelines of the PUD, with specific regard to the building style requirements in Section H.3, Architecture and Building Materials, of the PUD Development Narrative.
 3. The developer shall dedicate a 30-foot wide multi-use trail easement (MUTE) along the south side of Baseline Road and construct a minimum 10-foot wide multi-use trail (MUT) within the easement, in accordance with the MAG supplemental detail and as approved by the Parks and Recreation and Planning and Development Departments.
 4. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards. Nothing in this stipulation shall be construed to require improvements that may be modified or waived by the Subdivision Committee upon approval of a technical appeal or by the approval of a zoning adjustment.
 5. The property owner shall record documents that disclose the existence, and operational characteristics of Phoenix Sky Harbor International Airport (PHX) to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
 6. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 5th day of September,

2018.



Thelda Williams

MAYOR

ATTEST:

[Signature]

Acting City Clerk

APPROVED AS TO FORM:

[Signature]

Acting City Attorney *pml*

REVIEWED BY:

[Signature]

City Manager

PL:tml:LF18-2390:09/05/18:2063832v1

Exhibits:

A – Legal Description (1 Page)

B – Ordinance Location Map (1 Page)

EXHIBIT A

LEGAL DESCRIPTION FOR Z-50-16-8

THE WEST HALF OF LOT 7 AND THE EAST HALF OF LOT 8, SECTION 1, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO SUPPLEMENTAL PLAT OF SECTION 1, TOWNSHIP 1 SOUTH, RANGE 3 EAST, MARICOPA COUNTY, ARIZONA, BY UNITED STATES SURVEYOR GENERAL DATED JANUARY 3, 1918.

COMMENCING AT A FOUND PK NAIL AT THE WEST QUARTER CORNER OF SAID SECTION 1, FROM WHICH A FOUND ¾" IRON PIPE AT THE CENTER OF SAID SECTION 1 BEARS SOUTH 89 DEGREES 32 MINUTES 49 SECONDS EAST, A DISTANCE OF 2671.48 FEET;

THENCE NORTH 01 DEGREES 04 MINUTES 29 SECONDS EAST, ALONG THE WEST LINE OF SAID SECTION 1, A DISTANCE OF 1315.03 FEET TO A FOUND BRASS CAP FLUSH;

THENCE SOUTH 89 DEGREES 43 MINUTES 43 SECONDS EAST, LEAVING SAID WEST SECTION LINE, A DISTANCE OF 1000.61 FEET TO THE **POINT OF BEGINNING** OF THE PARCEL HEREIN DESCRIBED;

THENCE NORTH 01 DEGREES 01 MINUTES 14 SECONDS EAST, A DISTANCE OF 1,323.63 FEET TO A POINT ON THE MONUMENT LINE OF BASELINE ROAD;

THENCE SOUTH 89 DEGREES 55 MINUTES 00 SECONDS EAST, ALONG SAID MONUMENT LINE, A DISTANCE OF 666.28 FEET;

THENCE SOUTH 00 DEGREES 59 MINUTES 06 SECONDS WEST, LEAVING SAID MONUMENT LINE, A DISTANCE OF 1,325.81 FEET;

THENCE NORTH 89 DEGREES 43 MINUTES 43 SECONDS WEST, A DISTANCE OF 333.54 FEET TO A FOUND BRASS CAP FLUSH;

THENCE CONTINUING NORTH 89 DEGREES 43 MINUTES 43 SECONDS WEST, A DISTANCE OF 333.54 FEET TO THE **POINT OF BEGINNING** OF THE PARCEL HEREIN DESCRIBED.

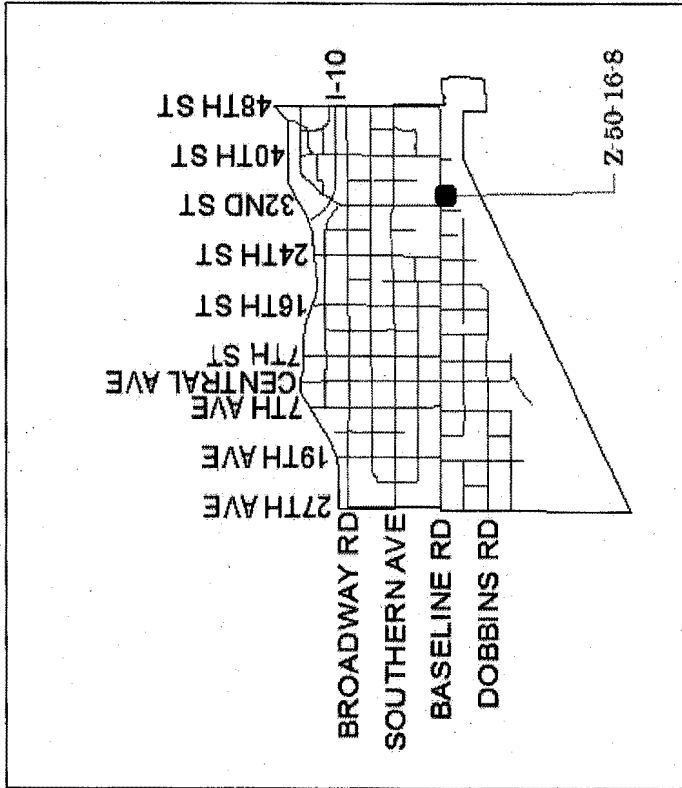
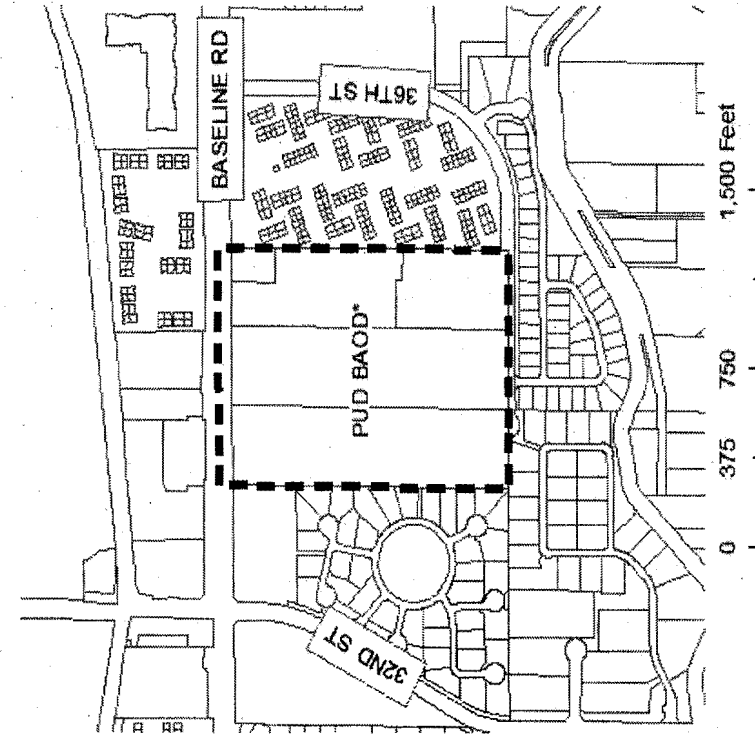
SAID PARCEL CONTAINS 883,065 SQUARE FEET OR 20.272 ACRES, MORE OR LESS.

EXHIBIT B

ORDINANCE LOCATION MAP

Zoning Case Number: Z-50-16-8
Zoning Overlay: Baseline Area Plan and Overlay District
Planning Village: South Mountain

ZONING SUBJECT TO STIPULATIONS: *
SUBJECT AREA: - - - - -



NOT TO SCALE

Drawn Date: 8/3/2018

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