

HOSPICE OF THE VALLEY CAMPUS

SOUTHEAST CORNER OF 44TH STREET

&

INDIANOLA AVENUE

PLANNED UNIT DEVELOPMENT

Land Use and Development Standards [Case: Z-44-18-6]

1st Submittal: June 22, 2018

2nd Submittal: October 18, 2018

3rd Submittal: December 14, 2018

Hearing Draft: December 17, 2018

City Council adopted: March 6, 2019

CITY OF PHOENIX

MAY 22 2019

Planning & Development
Department



PLANNED UNIT DEVELOPMENT DISCLAIMER

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City codes or requirements. Additional public hearings may be necessary such as, but not limited to, right-of-way abandonments.

PRINCIPALS AND DEVELOPMENT TEAM

Property Owner:

Hospice of the Valley
1510 East Flower Street
Phoenix, AZ 85014

Debbie Shumway
Executive Director
dshumway@hov.org

Main Phone #: (602) 530-6900

Diana Murray
Vice President Facilities/Purchasing
dmurray@hov.org

Legal Representative:

Beus Gilbert PLLC
701 North 44th Street
Phoenix, AZ 85008

Paul E. Gilbert, Esq.
(480) 429-3002
pgilbert@beusgilbert.com

Planning Consultant:

Dennis M. Newcombe
(480) 429-3065
dnewcombe@beusgilbert.com

Architect:

Lizard Rock Designs, LLC
201 West Cushing Street
Tucson, AZ 85701

Tom McQuillen
Principal
tmcquillen@lrd-az.com

Minette Mahoney
Project Manager
mmahoney@lrd-az.com

Traffic Engineer:

CivTech
10605 North Hayden Road
Suite 140
Scottsdale, AZ 85260

David Duffy, P.E.
Senior Traffic Engineer
DDuffy@civtech.com

TABLE OF CONTENTS

<i>Executive Summary</i>	5
A. Purpose and Intent	9
B. Land Use Plan	12
C. List of Uses	17
D. Development Standards	20
E. Design Guidelines	24
F. Landscape Standards	27
G. Signs	27
H. Sustainability	27
I. Infrastructure	28
J. Legal Description	29
K. Exhibits	30
1. Context Aerial Map (page 31)	
2. Context Plan and Photos (page 33)	
3. Conceptual Site Plan (page 39)	
4. Conceptual Visual Perspectives (page 41)	
5. Conceptual Elevations and Floorplans (page 47)	
6. Colors/Materials Palette (page 55)	
7. Conceptual Landscape Plan (page 57)	
8. Comparative Zoning Standards Table (page 66)	
9. Traffic Impact Statement (page 70)	
10. Cross-Section along Indianola Avenue (page 72)	
11. Proposed Building Height and Building and Landscape Setback Exhibit (page 76)	
12. Conceptual Site Wall Elevations (page 78)	
13. Proposed Lot Coverage Calculations (page 80)	
Appendix A – Ordinance and Stipulations of Approval	81

EXECUTIVE SUMMARY

The *Hospice of the Valley Campus PUD* is being proposed by Hospice of the Valley. They have purchased the Property from the Scottsdale Unified School District. Hospice of the Valley was founded in 1977 as a not-for-profit organization by a group of citizens that shared a vision about a new way of caring for the dying. Led by the Rev. Q. Gerald Roseberry, the agency was established as the first hospice in Phoenix and was among the first in the nation. As hospice became more accepted nationwide, it was added as a Medicare benefit in 1982, establishing its place in the health care system with a secure financial foundation. Medicare currently accounts for more than 90 percent (90%) of their revenue. In addition, Arizona has one of the nation's highest utilization rates for hospice. With that said, the proposed *Hospice of the Valley Campus PUD* located at the immediate southeast corner of 44th Street and Indianola Avenue, consisting of one (1) Maricopa County Assessor's Parcel 127-01-010 of approximately 3.56 gross acres (the "Property") (See **Figure 1** on the next page and **Exhibit K-1**; Context Aerial Map), will establish the regulatory framework necessary to facilitate this proposed redevelopment of the Property with a comprehensive dementia care and education campus for all levels of dementia; education for professional caregivers and the community, assisted living, a hospice palliative care unit, adult day care, and a child care facility. The child care facility will provide activities, encouragement, and energy to those with dementia and enhance the experience of the children participating in the program.

Figure 1 (Context Aerial Map)



There is a need today, and in the future, for these home-like settings as Alzheimer’s disease is now the 4th leading cause of death in Arizona. Arizona faces an impending crisis as the number of people with dementia rapidly expands. By 2025, over 200,000 Arizonans aged 65 and older will have Alzheimer’s disease – a nearly 54% increase from 2016. Finding solutions for our dementia crisis is important to Hospice of the Valley because they see the physical and emotional toll dementia takes on people with the disease and their family members every day in our community.

As the prevalence of frail older adults and those with dementia explodes, so too does the number of people assuming care giving responsibilities. Yet there is a critical shortage of those who have the skill and desire to care for persons with dementia. Hospice of the Valley’s desire is to educate and inspire both health care professionals – physicians, nurses, social workers, nursing assistants, therapists – and family caregivers on superb dementia care. Motivating young people to become inspired about caring for persons with dementia is one of the goals of the campus. Education requires observation, modeling and practice of great care. Hospice of the Valley hopes to change lives and enhance our community through support and education. As such, and with the support of the neighborhood and community, Hospice of the Valley will create a Dementia Care and Education Campus that will be the gold standard and model of education and care for those living with Alzheimer’s disease and other dementias. To Hospice of the Valley’s knowledge, such a campus with an emphasis on education in addition to care is not available anywhere in the country.

To that end, the proposed *Hospice of the Valley Campus PUD* will complement, protect, and enhance the existing and future social and community amenities, infrastructure, multi-modal transportation options, and development occurring within this area and the Camelback East Village. In addition, the proposed development will capitalize on a remnant parcel (i.e., the Arcadia High School’s administrative office building) that was no longer needed and underutilized along the highly traveled 44th Street corridor (See **Exhibit K-2**; Context Plan and Photos). The proposed development will provide uses such as: dementia care, education, adult day care, assisted living, child care facility, and a hospice palliative care unit in a well-defined “residential” type of environment, which will support existing and new businesses along with being a catalyst for additional sustainable development and redevelopment in the area as well as being a community asset.

The development goals for this specific project are to create a “residential” style, high quality design via architecture, landscaping, contemplative/passive spaces, low-impact, limited surface parking (i.e., by placing the parking underground), and a community resource (See **Figure 2** on the next page and **Exhibit K-3**; Conceptual Site Plan, and see **Figure 3** on page 9 and **Exhibit K-4**; Conceptual Visual Perspectives). The proposed development will provide a nice, symbiotic use, and transitional use with the existing Arcadia High School ballfields, 44th Street abutting the Property to the west, and the residential homes abutting the Property to the south and office and church buildings across Indianola Avenue to the north. Finally, the location by the school and residential homes is ideal for those wishing to learn more about, or needing, the services offered. Overall Hospice of the Valley wants this campus to be replicated and recognized locally,

nationally and internationally, which first begins with the immediate local area being their staunch supporters and advocates to attain said goal.

Figure 2 (Conceptual Site Plan)



[This area intentionally left blank.]

Figure 3 (Conceptual Visual Perspectives)



View looking northeast into courtyard.



View looking east along Indianola Avenue.



View looking southeast at 44th Street and Indianola Avenue.

The proposed high-quality, small scale campus is consistent with the residential character of the neighborhood (e.g., sloped roof, residential style windows with mullions, low-level light fixtures, materials, chimney's, etc.) along with open space, landscape buffers, and building setbacks creates a low-scale, pedestrian friendly development. Moreover, the maximum height of the tallest building will be thirty-three feet (33') and the remaining building area height will be 24-feet. More importantly, Hospice of the Valley is constructing an underground parking garage, which eliminates a "sea" of asphalt typically associated with such a development. Thus, the result is a development that is more calming; is more pleasant and inviting to those staying, visiting, driving-by and living by the campus while maintaining the necessary and needed functions associated with a medical, educational, and care facility.

This PUD document is designed to allow for flexibility by providing a high-quality development while protecting the adjacent residential areas and being compatible with the abutting R1-10 (Single-Family Residence District) zoning district to the south and east and the R1-6 (Single-Family Residence District) zoning district to the west while, at the same time, promoting

sustainability and a viable project for the uses proposed. Thus, it is the endeavor of this PUD to create and effectuate development standards that will help realize the vision of creating a community asset that is a small scale campus consistent with the residential character of the neighborhood that buffers and transitions appropriately in order to provide relief and visual appeal for those existing residences to the south and west. In summation, this proposed development will fulfill both the needs of the City of Phoenix and the immediate area in many ways (e.g., new development, new and reimagined aging care and education campus, reinvestment in the community, quality of development, increased sustainability, and a greater “sense of place”). Thus, the *Hospice of the Valley Campus PUD* will provide for a consistent and appropriate transitional use.

A. PURPOSE AND INTENT

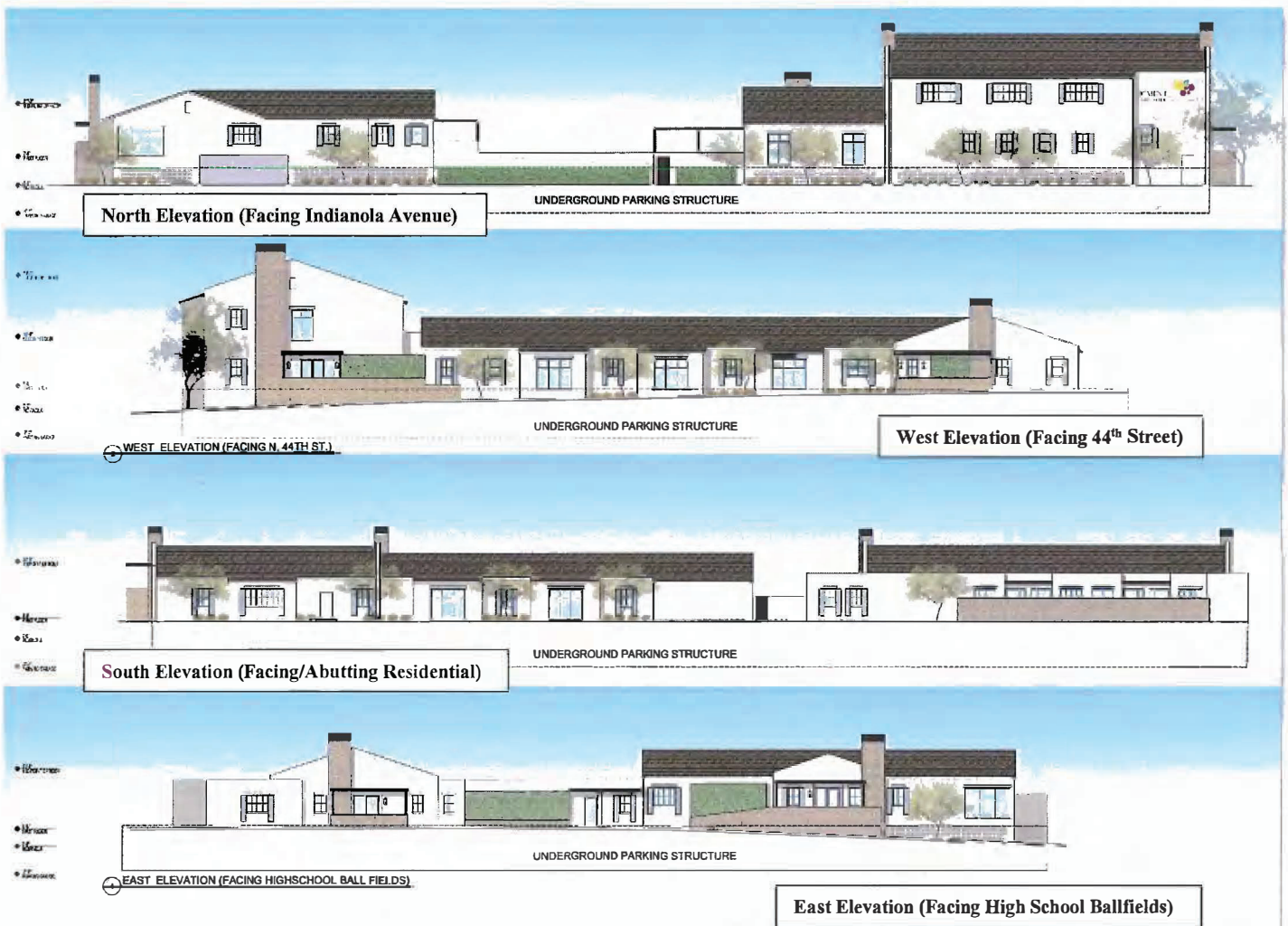
As previously stated, the *Hospice of the Valley Campus PUD* is being proposed by Hospice of the Valley who purchased the Property from the Scottsdale Unified School District. Hospice of the Valley was revolutionary over 40-years ago and they will continue that legacy of innovation with the proposed PUD, which the proposed PUD and ultimate development of this Property will usher in a new era and level of innovation, growth and understanding in aging and dementia care.

Also, as mentioned, the Property is underutilized and the proposed *Hospice of the Valley Campus PUD* encourages the development of the Property to be compatible with the surrounding high school ballfields, offices, churches, and residential homes west and south as well as long-term success due to its proximity to 44th Street and uses beyond (e.g., airport, downtown Phoenix, Scottsdale, and the Village Core, etc.) when it is developed today and into the future. As reflected by the Conceptual Site Plan (See **Exhibit K-3**; Conceptual Site Plan) the two (2) buildings, which will be internally sectioned off inside the building for the uses proposed, which include: education, assisted living, hospice palliative care, adult day care, child care facility. Externally, the architecture will create the impression of four (4) separate buildings. With that said, the buildings are strategically placed on the Property to provide good vehicular access and circulation as well as a large, central, self-contained, secure internal garden and courtyard space area for cooling and shade (i.e., grass/trees/buildings), outdoor activities and events, quiet contemplation, flora and fauna to attract insects (e.g., butterfly garden), play area for children, and private patios. In addition, the two (2) buildings fronting onto Indianola Avenue will provide visual interest and enhanced comfort for walking through architectural treatment and landscaping. More importantly, placing these two (2) buildings as close as possible to the street on Indianola Avenue helps to open up the interior of the Property and keeps the buildings and the minimal automotive intrusions as far away from the existing homes along the south property line, which provides for a nice building setback and landscape buffer with trees, while still maintaining a pleasing, well accessible project.

The buildings are also proposed to be a combination 1-2 stories in height or a maximum height of thirty-three feet (33’) in order to continue the small scale campus consistent with the residential character of the neighborhood. It is important to note, that the portion of the building at thirty-three feet (33’) is located at the southeast corner of 44th Street and Indianola Avenue,

away from the residential homes to the south. Abutting the 3-story office and church building along Indianola Avenue to the north (i.e., the Church of Scientology) and adjacent to a major arterial street to the west (i.e., 44th Street). Clearly, even the proposed height is consistent and compatible with the single-family residential zoning districts which allow a maximum height of 2 stories and 30 feet. Moreover, the roof lines for the two (2) buildings are proposed to be diverse with some flat parapet style and gable roofs with undulation providing relief and diversity in the building massing. The architectural palette and design intent is also proposed to be Southwest Classic architecture with elements that are mindful of the Property's location to ranch style homes, the Arcadia neighborhoods, and those homes built during the late 1950s (See **Figure 3** on page 9; **Figure 4** below; Conceptual Elevations; **Exhibit K-5**; Conceptual Elevations and Floorplans, and **Exhibit K-6** Colors/Materials Palette). The proposed design will respect the neighborhood and improve an underutilized, blighted property making it a visual gem.

Figure 4 (Conceptual Elevations)



In addition, the development restricts 2-story windows facing the residential homes to the south and the high school ballfields to the east. Furthermore, significant building setbacks and trees will be provided along the south property line to provide a nice transition and buffer for those existing residences. Finally, Hospice of the Valley will be building an underground garage (i.e., 152 parking spaces) as a part of their campus – a significant cost, which elevates the property somewhat, approximately 5 feet 6 inches above the natural grade to provide for natural ventilation purposes and slopes back down to the south property line. Hospice of the Valley believes an underground parking garage is the most beneficial for them, the community, and the campus itself. Subterranean parking will create a pedestrian environment by limiting exterior noises that may disturb the residents. The overall result of just these few items will provide a long-term asset to the community and sustainable development.

With that said, the purpose and intent of this PUD is as follows:

1. Work closely with the abutting property owners and neighborhoods as well as the neighborhood associations (e.g., Arcadia Osborn Neighborhood Association, etc.). Initial outreach and discussions regarding Hospice of the Valley's plans for the Property with the Arcadia Osborn Neighborhood Association representatives and a few neighbors who expressed concern during the previous rezoning matter were positive. Additional neighborhood outreach will continue as we continue through the rezoning process.
2. Ensure compatibility with the adjoining neighborhood by limiting the proposed PUD rezoning to limited and specified uses.

Preserve, buffer, and transition with an appropriately scaled small scale campus consistent with the residential character of the neighborhood style by providing a 40-foot building setback along the south property line, limiting the maximum building height to 33-feet at the southeast corner of 44th Street and Indianola Avenue, increased landscape setbacks along the Property's south and west property lines and more openness by maximizing the lot coverage to 40% to be consistent and compatible with single-family residential zoning districts to the south.

3. The proposed building's roof lines will be diverse and include flat parapet style and gable roofs with undulation providing relief and diversity in the building massing, and in turn will preserve views. Finally, a self-contained, secure internal garden, and courtyard area will be wrapped by the two (2) buildings to shield any errant potential noises that may arise from those using this central area.
4. Continue to enhance and improve upon the neighborhood by providing a high-quality, Southwest Classic architecture that will be economically sustainable; and encompass a long standing design that will provide a residential look to an aging care and education campus.

5. Enhance the Property's attributes by fronting onto Indianola Avenue, which will create an interesting street façade, a more enjoyable walking experience, and a sense of comfort for those students and residents utilizing Indianola Avenue to access the high school or the two (2) churches. Fronting onto Indianola Avenue will also minimize 2-story windows, building massing, and any potential noise along the south.
6. Promote sustainable elements associated with the development; such as limiting surface parking and hard surfaces, connecting into the existing physical built environment, creating, encouraging and expanding greater social connections, employment and volunteering opportunities, walkability, multi-modal opportunities by being close to public transit (i.e., bus), and bike lanes, building placement for optimal shading, and economic development.

With that said, the *Hospice of the Valley Campus PUD* will provide for development standards regarding landscaping, screening, design, open space, parking, and a building setback to buffer and transition from the existing residential homes to the south while still allowing the opportunity to provide a compatible aging care and education campus project within close proximity to existing services (e.g., medical professionals, retail/restaurants, etc.), amenities (e.g., church, high school, residences, etc.), and transportation options (e.g., freeways, streets, transit, airport, etc.). In summation, the PUD will ensure compatibility with surrounding properties and promote the redevelopment and development of this "infill" site that will generate new tax revenues and reinvestment for the City of Phoenix and a healthy dialogue/need for the City and the area.

B. LAND USE PLAN

The Property has been designed with the best and highest standards possible in mind while considering the City's Guidelines for Design Review and Zoning Ordinance requirements. Although the proposed PUD and ultimate development plan will deviate from some of the City's design paradigms and Ordinance requirements, it is the intent of this PUD to foster an atmosphere consistent with a vision of providing a quality, compatible development that will build upon and retain many of the residential design components associated with the area along with encouraging architectural variety that is unique to the proposed development, but will be attractive and provide stability for the area.

1. SITE CONDITIONS AND LOCATION

The Property is located at the immediate southeast corner of 44th Street and Indianola Avenue, consisting of one (1) Maricopa County Assessor's parcel: 127-01-010 of approximately 3.56 gross acres. The Property is generally bounded by 44th Street, a major arterial street to the west; existing high school ballfields to the east; existing residential homes to the south, and an office and church use to the north across Indianola Avenue. The entire Property has a vacant building on it. Hospice of the Valley has purchased the Property for the proposed development previously outlined. Finally, the Property is relatively flat with a gentle slope from the northeast to southwest.

2. THE CONCEPTUAL SITE PLAN.

The Property's conceptual site plan has been designed to buffer the single-family residential homes to the south and west, minimize vehicular intrusions, create pedestrian comfort and connectivity via a self-contained and secure internal garden/courtyard area, and provide easy access to 44th Street and Indianola Avenue. (See **Exhibit K-3**; Conceptual Site Plan)

Key elements of the Plan include:

- The establishment of a clear and well-designed entry and streetscape along for both pedestrians and automobiles.
- The establishment of pedestrian connections within and bounding the Property.
- Incorporating design features along the buildings' bases (e.g., stone, metal pedestrian level residential style windows, window sills, headers, shutters, private patios, low-level residential style light fixtures, green screen trellis and walls) to blend with the neighborhood architectural vernacular while providing a pleasant, human scale environment.
- Provide greater open space (i.e., a minimum of 7% of the gross site area) in order to create more openness and preserve views while enhancing privacy onsite and offsite through the use of landscape setback buffers and trees. This prevents the impression of congestion and adapts well with an area built in the 1950s.
- Maintaining a minimum 40-foot building setback along the south property line. Within the 40-foot building setback there will be a limited drive-aisle and landscaping.
- There will be limited surface parking along 44th Street on the west and abutting the high school ballfields to the east for short-term visitors and those not familiar with the campus and underground garage parking.
- An average 28-foot landscape setback along 44th Street will provide a sense of place, comfort, softness, and interest along this street frontage.
- Incorporating sustainable elements into the overall design (e.g., buildings orientation, screening to minimize solar gain, limiting surface parking, roof garden area over the underground parking, shade with trees at 2" - 4" caliper sizes, etc.).

In summation, Hospice of the Valley and their design team have maximized every feasible opportunity for creating a safe, functional, appealing, and stylish development

plan while buffering and screening those around the Property with a mixture of increased building and landscape setbacks and architectural details: non-invasive lighting, buildings location; appropriately located ingress and egress points and vehicular circulation plan. Again, the ultimate goal is to create an overall cohesive environment that will foster a campus of quiet contemplation, comfort, education, experiences, and stability for those living and visiting, but will also support and identify the Property as unique to the area.

3. THE ARCHITECTURE.

There were five (5) significant provisions that were important to Hospice of the Valley when creating their design, they are:

1. Maintain a typical small scale campus consistent with the residential character of the neighborhood;
2. Protect views;
3. Restrict 2-story windows facing the residential homes or the high school ballfields;
4. Provide a significant building setback (i.e., 40') with trees along the south property line to protect, transition, and buffer those existing residences; and
5. Make the project look like a small scale campus consistent with the residential character of the neighborhood.

As such, the architectural palette and design intent is proposed to be Southwest Classic architecture with elements that are mindful of the Property's location to ranch style homes, the Arcadia neighborhoods, and those homes built during the late 1950s which will both complement the area's design influence as well as the market today and into the future. (See **Exhibit K-5**; Conceptual Elevations and Floorplans, and **Exhibit K-6**; Colors/Materials Palette)

Four (4) sided architecture was a priority in creating the architectural vernacular and to provide visual interest on all sides of the buildings, as well as the use of colors and materials palette consistent with the area and market today, which is similar to what is being built in many of the Arcadia neighborhoods as well as the abutting neighborhoods. The proposed two (2) buildings encompass many of the surrounding design elements, such as gable roofs, stone, ornamental metal, pedestrian level residential style windows, window sills, headers, shutters, private patios, low-level residential style light fixtures, chimneys, green screen trellis and walls, roof, overhangs, etc., while clearly maintaining a unique identity as an aging care and education campus. The buildings are also proposed to be a combination 1-2 stories in height (i.e., maximum 33') in order to continue the "residential" appearance and compatibility. It is important to note, that the portion of the building at thirty-three feet (33') is located at 44th Street and Indianola Avenue away from the residential homes to the south and abutting the 3-story office and

church building across Indianola Avenue (i.e., the Church of Scientology) and a major arterial street (i.e., 44th Street). Clearly even the proposed height of thirty-three feet (33') is consistent and compatible with a typical single-family residential home (i.e., 30-feet). Moreover, the roof lines for the two (2) buildings are proposed to be diverse with some flat parapet style and gable roofs with undulation providing relief and diversity in the building massing.

Finally, the building's design elements incorporate pedestrian scale details and materials that make for a more tactile and pleasant social and human connection along the ground plane. The proposed incorporation of private patio areas, enhanced landscaping, large internal garden/courtyard space area, green screen trellis and walls and unique plantings (e.g., a butterfly garden), special paving, stone and material changes, etc. enhances the pedestrian experience. The end result will be a visually interesting and tactile design that incorporates some of the key objectives outlined with the City's Guidelines for Design Review and Zoning Ordinance requirements and better connectivity to the expanding urban fabric.

4. BUILDING HEIGHT.

As discussed, the proposed two (2) buildings will not be out of scale with surrounding context and/or the abutting properties. The buildings are also proposed to be a combination 1-2 stories in height (i.e., maximum 33') in order to continue the residential appearance and compatibility. It is important to note, that the portion of the building at thirty-three feet (33') is located at the southeast corner of 44th Street and Indianola Avenue, furthest away from the residential homes to the south. Clearly, even the proposed height of thirty-three feet (33') is consistent and compatible with single-family residential homes. Moreover, the proposed buildings provide for a mix of materials, shading elements, roofline undulation, building massing, and colors to "break up" the appearance of these two (2) buildings. Although, we are just slightly over the allowance of 30-feet (i.e., proposing 33') for properties zoned single family; specifically, the R1-10 and R1-6 (Single-Family Residence District) zoning districts to the south and west, respectively, it is a small, strategically located area of the site. In addition, the property to the north is zoned C-O (Commercial Office, Restricted Commercial District). The C-O zoning districts permit up to a maximum height of 56 feet. The site is currently developed with an office and church use building to 3-stories and 36 feet. Thus, the site design takes these factors into account.

It is also worth noting that the conceptual site plan contemplates a lot coverage of 40% maximum, consistent and compatible with typical single-family residential zoning districts (e.g., R1-10 and R1-6). The result of this compatible lot coverage is the creation of greater openness and views as well as privacy for the abutting homes. Finally, Hospice of the Valley will be building an underground garage (i.e., 152 parking spaces) as a part of their campus, which although elevates the property slightly or approximately 5 feet 6 inches above the natural grade for natural ventilation purposes, it does slope back down to the south property line. As previously stated, Hospice of the Valley believes an

underground parking garage is the most beneficial for them, the community, and the campus itself if they want to create a campus that provides a place of calm, contemplation, pedestrian environment by limiting mechanical equipment, noise, cars, or other intrusive factors that could potentially disturb said environment. Thus, the proposed development by Hospice of the Valley is designed for their aging care model, user's comfort, and the community which necessitates the need for the slight (noninvasive) building height on the Property at the southeast corner of 44th Street and Indianola Avenue.

5. THE LANDSCAPE DESIGN.

The primary goal of the conceptual landscape plan is to include the creation of aesthetically pleasing and rewarding spaces for all individuals on the campus and abutting residents and pedestrians both onsite and offsite. Thus, the proposed Landscape Plan reveals a lush, open, active, tactile and visual impression with massing of trees providing shade, visual buffers and shrubs in groupings along with the use of ground coverings. (See **Exhibit K-7**; Conceptual Landscape Plan)

It is important to note that frequent access to outdoor spaces provides many physical health improvements for aging patients with cognitive constraints. Wayfinding is an integral consideration in the landscape design, helping people recognize distinctive features through the use of color, interesting plant material, and features such as shade structures and unique fountains. Also, the playground area gives the opportunity for young children and visiting families to play outside. The sight and sound of children playing can have a positive effect on people with cognitive constraints, who will be able to watch or participate from nearby seating areas.

In addition, raised planters will allow people to engage in gardening without bending down. A variety of plants and flowers within the landscaped areas, especially in the self-contained and secure internal garden/courtyard space area, include sensory experiences such as soft textures, stimulating colors, interesting movement, and pleasant smell. Interior spaces and private patios will overlook the self-contained and secure internal garden/courtyard space area, which includes a meditative walkway, outdoor dining areas, a nature-inspired playground, shaded retreats and other exterior recreational amenities.

An average 28-foot landscape setback along 44th Street provides a welcoming entrance. Iconic Ironwood trees frame the entry, along with features such as decorative entry walls, patios, balconies, accent brick, and decorative landscape areas. The entire landscape setback will be landscaped with drought-tolerant plants, groundcovers, and mature shade trees on each side of a detached sidewalk, creating a sense of comfort and scale in the pedestrian realm. Finally, the proposed development utilizes pedestrian-friendly access points from the street to the buildings. It is worth noting, there will be an average of a 5-foot landscaped area measured from back of Easement along Indianola Avenue, in which all unimproved easement areas shall be landscaped. Furthermore, the design does provide

the most efficient, low-maintenance irrigation systems with the use of grading techniques to preserve and use runoff water effectively in order to increase the potential for plant survival and growth

In summation, the design and use of open spaces with lush landscaping throughout the Property will help to minimize heat gain by having an underground parking garage with courtyard above, provide areas of respite, and reflect the character of the area. The overall result is the most effective means of creating a pleasing, water sensitive environment that meets the many goals of the City for new development.

C. LIST OF USES

The following is a very limited use list, which is specifically tailored for Hospice of the Valley. The *Hospice of the Valley Campus PUD* is proposed to develop a comprehensive dementia care and education campus for all levels of dementia; adult day care for earlier stages; assisted living for moderate stages; child care facility, and a hospice palliative care unit for advanced stages. The limiting of uses will provide assurances to the neighborhood of that fact. In addition, development standards are compatible with the surrounding area and will also be implemented by this PUD.

1. PERMITTED AND ACCESSORY LISTS OF USES.

- a) The property owner may request an interpretation of analogous use to the defined list below from the City of Phoenix Zoning Administrator. The Zoning Administrator may administratively approve a use analogous to those listed below. (See **Table 1** below and continued on the next page; Permitted and Accessory Lists of Uses Tables.)
- b) No residential dwelling units, as defined by Section 202 of the City of Phoenix Zoning Ordinance shall be permitted.

Table 1 (Permitted Uses)

Permitted Principal Uses		Conditions/Limitations
1.	Assisted Living Center.*	
2.	Hospice.	

3.	Office for Administrative, Clerical, or Sales Services.	No commodity or tangible personal property, either by way of inventory or sample, shall be stored, kept, or exhibited for purposes of sale in any said office or on the premises wherein the said office is located.
4.	Office for Professional Use, Including Medical Center, Wellness Center, and Counseling Services.	
5.	Unclassified Health Care Institution	A health care institution not classified or subclassified in statute or in rule that provides medical services, nursing services, or health-related services.
6.	Nursing Home	
7.	Adult Day Care	
8.	Conference and Reception Center.	

Table 1 - Continued (Accessory Uses)

Accessory Uses		Conditions/Limitations
1.	Beauty Shop.	No outside public access. Access shall be from within the building only, that no sign or display for the accessory uses shall be located so as to be visible from a public thoroughfare or adjacent property.
2.	Dependent Care Facility.	
3.	Massage (Therapy).	No outside public access. Access shall be from within the building only, that no sign or display for the accessory uses shall be located so as to be visible from a public thoroughfare or adjacent property.
4.	Teaching of the Fine Arts.	No outside public access. Access shall be from within the building only, that no sign or display for the accessory uses shall be located so as to be visible from a public thoroughfare or adjacent property.
5.	Restaurant/Kitchen	Access shall be from within the building only, that no sign or display for the accessory uses shall be located so as to be visible from a public thoroughfare or adjacent property.

* Definition:

Assisted living center: An *assisted living facility* (housing environment including adult foster care that provides supervisory care services, personal care services or directed care services, food preparation and services on a continuing basis) that provides resident rooms or residential units to eleven or more residents.

2. TEMPORARY USES.

- a) Temporary uses shall be permitted pursuant to regulations and standards for temporary uses specified by Section 708 of the City of Phoenix Zoning Ordinance.

D. DEVELOPMENT STANDARDS

The proposed PUD development standards are consistent and appropriate with the surrounding area. The proposed development standards also include conformance to the City of Phoenix Zoning Ordinance Design Guidelines, *Section 507, Tab A* to help ensure compatibility with the adjacent properties while still being a unique signature development. (See **Table 2**; Development Standards)

Table 2 (Development Standards)

DEVELOPMENT STANDARDS	
Building Setbacks *See Exhibit K-11 for setback exhibit	West (44 th Street): 60-feet - Minimum East: 50-feet - Minimum North: 49-feet Minimum (Building setback to be inclusive of ingress/egress easement) South: 40-feet – Minimum

DEVELOPMENT STANDARDS

<p>Landscape Setbacks/Area *See Exhibit K-11 for setback exhibit.</p> <p>Two separate standards are required for the landscape setback/area along the southern property line.</p>	<p>West (44th Street): 14-foot Minimum; 28-foot Average</p> <p>East: 0-feet</p> <p>North: 2-foot Minimum; 5-foot Average (Landscape area to be measures from the back of easement; all unimproved easement areas to be landscaped)</p> <p>South (1): 14-foot Minimum (Within 121 feet Minimum of the West Property line)</p> <p>South (2): 6-foot Minimum (beginning 121 Feet Minimum of the west property line and measured from the back of alley/PUE easement line)</p>
<p>Maximum Building Height</p> <p>*See Exhibit K-11 for restricted building height area</p>	<p>33-foot Maximum</p> <p>Note: Within 125-foot maximum of the North Property Line and within 200-foot maximum from the West Property Line (Northwest corner of the site)</p>
<p>Maximum Building Height</p> <p>*See Exhibit K-11 for restricted building height area</p>	<p>25-foot Maximum for remainder of the site</p>
<p>Lot Coverage</p> <p>*See Exhibit K-13 for lot coverage calculation standards</p>	<p>40% - Maximum</p> <p>3% - Maximum (accessory structures, including parking canopies)</p> <p>47% - Maximum (underground parking garage)</p>
<p>Open Space</p>	<p>7% of the gross site area – Minimum</p>

PARKING STANDARDS

Shall comply with Section 702 of the Zoning Ordinance of the City of Phoenix, Arizona. Of the total parking provided onsite a minimum of 85% of the provided parking shall be located within the underground parking garage. All surface parking spaces and drive aisles directly in front of surface parking spaces shall have precast concrete pavers installed.

LANDSCAPE STANDARDS

West Property Line (44th Street)	<p><u>Rows:</u> Minimum 1 row of trees</p> <p><u>Spacing:</u> 20-feet on center or in equivalent groupings</p> <p><u>Tree Size:</u> Minimum 2-inch caliper tree (50% of required trees)</p> <p>Minimum 3-inch caliper or multi-trunk tree (25% of required trees)</p> <p>Minimum 4-inch caliper or multi-trunk tree (25% of required trees)</p> <p><u>Shrubs:</u> Minimum five (5) 5-gallon shrubs per tree</p> <p><u>Groundcover:</u> Minimum 50% living groundcover</p>
East Property Line	0-feet
North and South Property Lines	<p><u>Rows:</u> Minimum 1 row of trees</p> <p><u>Spacing:</u> 20-feet on center or in equivalent groupings</p> <p><u>Tree Size:</u> Minimum 3-inch caliper tree (60% of required trees)</p> <p>Minimum 4-inch caliper tree (40% of required trees)</p> <p><u>Shrubs:</u> Minimum five (5) 5-gallon shrubs per tree</p> <p><u>Groundcover:</u> Minimum 50% living groundcover</p>

WALLS	
<p>Walls may be solid block or combination of solid and view fencing. Green screens shall be utilized in combination with solid block walls along the east property line.</p>	
Screening Walls	Shall comply with Section 703 of the Zoning Ordinance of the City of Phoenix, Arizona
Retaining Walls	6-feet - Maximum (height)
Mechanical Yard/Refuse Enclosures	6-feet - Minimum (height) All enclosures shall have gates (opaque or semi-opaque)
ADDITIONAL STANDARDS	
<p>Detached Sidewalk</p> <p style="padding-left: 40px;">- Along 44th Street</p>	<p>The detached sidewalk shall begin 40-feet from the south property line.</p> <p><u>Width</u></p> <p>The detached sidewalk shall be a minimum width of 5-feet and comply with ADA requirements.</p> <p><u>Landscape Strip</u></p> <p>The detached sidewalk shall include a minimum 5-foot wide landscaped strip located between the sidewalk and back of curb.</p> <p><u>Landscape Strip Planting Standard</u></p> <p>One row of trees containing a minimum of 2-inch caliper shade trees shall be planted at a minimum of 20-feet on center or in equivalent groupings.</p> <p>This standard shall be in addition to the landscape planting standards for the 44th Street frontage.</p>
Mechanical Yard/Refuse Enclosures (Setbacks)	<p>West Property Line (44th Street): 15-feet - Minimum</p> <p>East Property Line: 0-feet – Minimum</p> <p>South Property Line: 15-feet – Minimum</p>

	Note: Mechanical Yard/Refuse Enclosures are permitted to be within the Building Setbacks.
Parking Canopies (Setbacks)	East Property Line: 0-feet – Minimum South Property Line: 50-feet - Minimum Parking canopies are only allowed along the east property line.
Pedestrian Pathway	All pedestrian driveway crossings shall have precast concrete pavers installed a minimum of 5-feet in width.
Shade	Minimum of 50% of public sidewalk, pedestrian pathways, and common amenities areas shall be shaded through the use of landscaping, architectural features or projections, or other stand-alone structural shading devices. Shade calculations shall be based on the summer solstice at 12:00 p.m.

For illustrative purposes, a comparative zoning standards table is included as an exhibit to show the contrast, and improvements, between the PUD’s proposed development standards, the standards of the Property’s existing R1-10 (Single-Family Residence District) zoning designation, and the C-1 (Commercial) zoning district in which the majority of the proposed land uses are permitted. (See **Exhibit K-8**; Comparative Zoning Standards Table)

E. DESIGN GUIDELINES

Unless specifically modified herein, the *Hospice of the Valley Campus PUD* shall conform to the City of Phoenix Zoning Ordinance Design Guidelines, *Section 507, Tab A*.

1. Permeable hardscape materials are to be used throughout the site to encourage responsible storm water management and groundwater recharge.
 - a. Precast concrete permeable pavers should maintain minimal joint openings for ADA compliance and 4.88% open area per unit.
 - b. The types of permeable hardscape materials to be used shall include, but are not limited to, porous asphalt, permeable interlocking concrete pavers and porous/pervious concrete.

2. Façade articulation standards.

- a. All sides of building shall exhibit 4-sided architecture and contain multiple exterior accent materials such as stacked stone, stucco, glass and painted wood shutters.
 - b. Along 44th Street or the west facing elevation, a minimum of 15% of the façade will be stacked stone, 15% will be glass and 70% will be stucco.
 - i. The other 3-sides of the building facades shall be compatible with the façade on 44th Street as to colors, materials and design. The use of stacked stone on the north and south facing elevations will be limited, as these architectural features are used to highlight the building entries on the east and west facing elevations.
 - c. Building facades shall not exceed 40 linear feet without architectural embellishments such as window fenestration, painted wood shutters, chimneys, bay windows or green screens.
 - d. Gable roof lines will not be in excess of 90-feet in length of continuous run.
 - e. The building façades will not be a singular plane. The façades will move in and out. There will not be a distance of greater than 60-feet in length of uninterrupted flat wall on the facade without either an offset or architectural feature.
 - f. There will be a minimum of three (3) different exterior colors and two (2) wall material changes throughout the project enhancing the change in elevation of the various elements of the façade.
 - g. Second story windows shall be prohibited along the southern property line.
3. Architectural style. The surrounding neighborhood has an eclectic mix of architectural styles. Historically, the area was filled with a mixture of large estates and modest ranch homes. Generous setbacks, wide side yards and lush landscaping characterized the predominate development of the neighborhood in the 1950s. In recent years homes are being modernized and updated. The following characteristics shall be incorporated in the architectural style in order to be compatible with the neighborhood.
- a. Gabled roofs with overhanging eaves.
 - b. Roof shingles.
 - c. Chimneys.
 - d. Stacked stone accents.
 - e. Aluminum-clad wood windows with divided lites.

- f. Shutters.
 - g. Stucco.
 - h. A minimum of two (2) wall materials and colors.
 - i. Use of Green-Screen or green walls, including trellises, to reduce excessive radiant heat in pedestrian areas and to soften hard surfaces used for screening.
4. Flat roofs shall be of non-reflective materials, such as built-up, modified bitumen or light-colored rubber membrane.
5. All lighting shall conform to the lighting requirements in the City of Phoenix Zoning Ordinance Section 507 Tab A and City Code 23-100. The site lighting for this project will include sufficient lighting for personal safety in the parking and drive lanes and walkways, accent lighting for landscape and feature stone walls, and decorative wall sconces to identify primary entrances. The following lighting standards shall be included within the proposed *Hospice of the Valley Campus PUD*.
- a) Supplemental lighting will be provided on walkways from lighted bollards that are also dark sky compliant.
 - b) Decorative sconces at main entrances will have lamps that do not exceed 60-watts to minimize glare.
 - c) The entrance to the parking garage will be provided with lighting during daylight hours to allow for adaptation from daylight to parking garage lighting levels. These lights will be zoned separately to turn off at dusk when they are not required.
 - d) Façade lighting will be provided on the north and west elevations facing the streets from downlights within overhang to define building architecture.
 - e) Landscape lighting will also be limited to 60-watt adjustable fixtures ground mounted at the drip line of trees, pedestrian path lights for low level planting areas, and tree mounted dangling down lights in select locations.
 - f) Feature stone walls to be illuminated from adjustable flush-to-grade fixtures that are aimed at the wall to minimize spill light into the night sky.
 - g) The lighting control system will be designed to provide lighting for safety from dusk to dawn and allow decorative lighting fixtures to be turned off or significantly dimmed after curfew hours.

F. LANDSCAPING STANDARDS

The proposed *Hospice of the Valley Campus PUD*'s landscaping shall utilize the Phoenix AMA Low Water Use/Drought Tolerant Plants list of approved low water use plants. The Phoenix AMA Low Water Use/Drought Tolerant Plants list is not all inclusive, but provides a starting point for the *Hospice of the Valley Campus PUD* development and may be supplemented and modified as approved by the Planning and Development Department.

Permitted plant species may be modified and approved by Planning and Development Department if located within a public utility easement.

Grasses shall also be utilized to provide consistency with the existing mature, lush, irrigated lots and ballfields within the area. With that said the following grasses may be utilized throughout the *Hospice of the Valley Campus PUD*'s development.

- a. *Diets bicolor*, African Iris
- b. *Muhlenbergia capillaris*, Regal Mist
- c. *Muhlenbergia lindheimeri*, Big Muhly
- d. *Muhlenbergia rigens*, Deergrass
- e. *Nassella tenuissima*, Mexican Feathergrass

G. SIGNS

Signs shall conform to the requirements of Section 705 of the Phoenix Zoning Ordinance for non-residential activity in a residential area.

Hospice of the Valley will start the process for a Comprehensive Sign Plan.

H. SUSTAINABILITY

The proposed development is planned as a sustainable development within the community. Energy efficiency and environmentally responsive environments create a better atmosphere for people, flora, fauna, and wildlife. There are many ways to define sustainability, but the simplest and most fundamental is the ability to "sustain" oneself or project or the "the capacity to endure." The proposed *Hospice of the Valley Campus PUD* and the development proposes to do just that: to "endure" for many years as a high-quality, economically sustainable, enjoyable, contemplative, active, and peaceful development that will stand the "test" of time. That is why Hospice of the Valley is committed to developing the Property with energy efficiencies and utilizing unique (as well as simple) design solutions for long-term sustainability and maintenance. Many of the elements associated with LEED designed building will be incorporated within the PUD design (e.g., glass/windows, materials, shade, building orientation, heat reflective surfaces, minimal lot coverage, reduced hard surfaces associated with parking, etc.). However, the *Hospice of the Valley Campus PUD* at a minimum is willing to do more with

the implementation of the following additional sustainability principles below, which shall be required.

1. Hardscape: Not less than 50-percent (50%) of the surface area of the hardscape on the lot meets one or a combination of the following methods.
 - a) Shading of hardscaping: Shade is provided from existing or new vegetation (i.e., within five years) or from trellises. Shade of hardscaping is to be measured on the summer solstice at noon.
 - b) Light-colored hardscaping: Horizontal hardscaping materials are installed with a solar reflectance index (SRI) of 29 or greater. The SRI shall be calculated in accordance with ASTM E1980. A default SRI value of 35 for new concrete without added color pigment can be used instead of measurements.
2. Water efficient landscaping (drought tolerant plants).
3. Utilize a drip irrigation system to minimize water waste.
4. Permeable paving along internal drive aisles and garden paths.
5. Utilize low “e” double pane windows.
6. Recycling collection areas shall be identified on the site plan at the time of the site plan review process. A minimum of two recycle containers to service the development shall be provided, as approved by the Planning and Development Department.

I. INFRASTRUCTURE

The *Hospice of the Valley Campus PUD* is a development that is strategically located and has an opportunity to tap into the existing built infrastructure while spurring further economic activity, education, and sense of community. Being closer to the City’s developed areas and population base as opposed to the outskirts where new infrastructure would need to be installed is optimal. This type of development and innovative user (i.e., Hospice of the Valley) is encouraged by the City of Phoenix, because of the existing population base that may need these services, the infrastructure already in place as well as the development and reinvestment it brings to the developed areas of the City while reducing the amount and distance that people travel in their cars. Moreover, redevelopment of an underutilized property appropriately helps utilize and upgrade what is already built; provides and encourages better access to multi-modal forms of transportation; improves air quality; greater energy efficiency, and can even help reduce the “heat-island” effect in a number of ways (e.g., less driving, underground parking, more plants and buildings for shade, higher quality and less heat producing building materials, etc.). Finally, Hospice of the Valley’s proposed comprehensive dementia care and education campus increases the diversity of uses in an area and helps create a stable, healthy, and complete neighborhood.

1. CIRCULATION SYSTEM (TRAFFIC).

The *Hospice of the Valley Campus PUD* has great access from a major collector street (i.e. 44th Street) via Indianola Avenue as well as having a signalized intersection at 44th Street and Indianola Avenue. Moreover, the Property is well served by an internal circular drive aisle, which provides efficient internal circulation as well as ease of access to their proposed underground parking garage. Any necessary street dedications, improvements, which include pavement, driveway curb cuts, attached or detached sidewalks, landscaping, and streetlights adjacent to this Property will be reviewed and discussed during the rezoning and the formal processes and procedures required by the City of Phoenix during its development review process.

A traffic impact statement was also completed by CivTech Engineering. The traffic impact statement determined there would be no significant impact to the street network or requirements for any street mitigation to accommodate this proposed development. However, Hospice of the Valley will work to address cars not stopping at the traffic signal by working with the City and community on how to best resolve this situation safely. (See **Exhibit K-9**; Traffic Impact Statement)

2. GRADING AND DRAINAGE.

Water retention for the proposed development will be provided within common retention areas servicing the overall development. Retention areas may be either via surface basins, underground storage, storm drains (if available) or a combination thereof and will be determined during the formal processes and procedures required by the City of Phoenix during its development review process.

3. WATER AND SEWER SERVICE.

Development will be adequately served by the existing water and sewer systems. Infrastructure capacity requirements will be provided during the site plan review process and will comply with City of Phoenix Water and Sewer Design Standards, Codes and Policies.

J. LEGAL DESCRIPTION

Lot 2 (per Title Report):

The land referred to herein below is situated in Phoenix, in the County of Maricopa, State of Arizona, and is described as follows:

Lot 2, of **ARCADIA HIGH SCHOOL**, according to Book 1248 of Maps, page 49, records of Maricopa County, Arizona.

Lot 2 (Metes and Bounds, See BK 1259, PG 08, MCR):

That part of the Northeast quarter of Section 30, Township 2 North, Range 4 East of the Gila and Salt River Meridian, Maricopa County Arizona, being particularly described as follows:

COMMENCING at the North quarter corner of said Section 30, from which the Northeast corner of said Section 30 bears South 87°51'48" East, a distance of 2684.68 feet;

Thence South 0°17'18" West, along the mid-section line of said Section 30, a distance of 993.73 feet to a point on the North line of the South half of the Southwest quarter of the Northwest quarter of the Northeast quarter of said Section 30;

Thence, departing from said mid-section line, South 87°57'36" East, along said North line, a distance of 40.02 feet to a point on the East right-of-way line of 44th Street, also being the **POINT OF BEGINNING** of the herein described part;

Thence continuing South 87°57'36" East, along said North line, a distance of 428.06 feet;

Thence, departing from said North line, South 0°54'31" West, a distance of 330.68 feet to a point on the South line of the North half of the Northeast quarter of said Section 30;

Thence North 87°59'13" West, along said South line, a distance of 424.47 feet to a point on the East right-of-way line of said 44th Street;

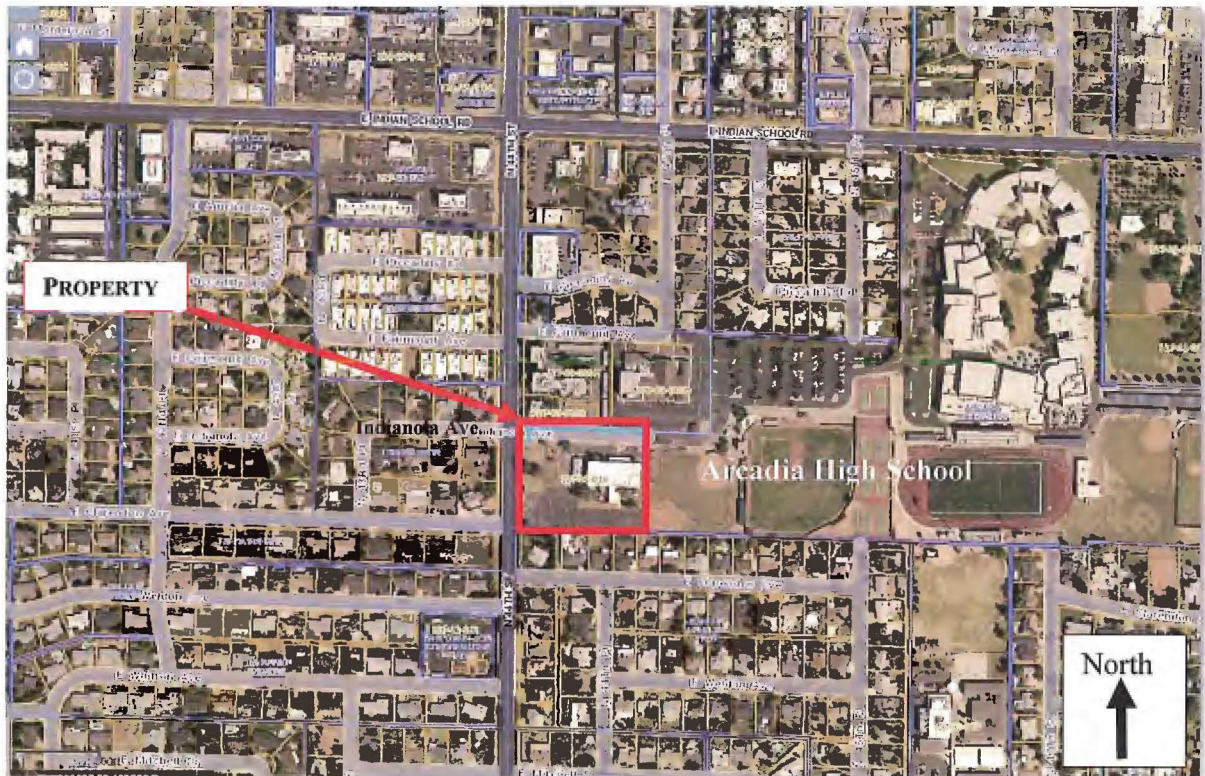
Thence North 0°17'18" East, along said East right-of-way line, a distance of 330.98 feet to the **POINT OF BEGINNING**.

K. EXHIBITS

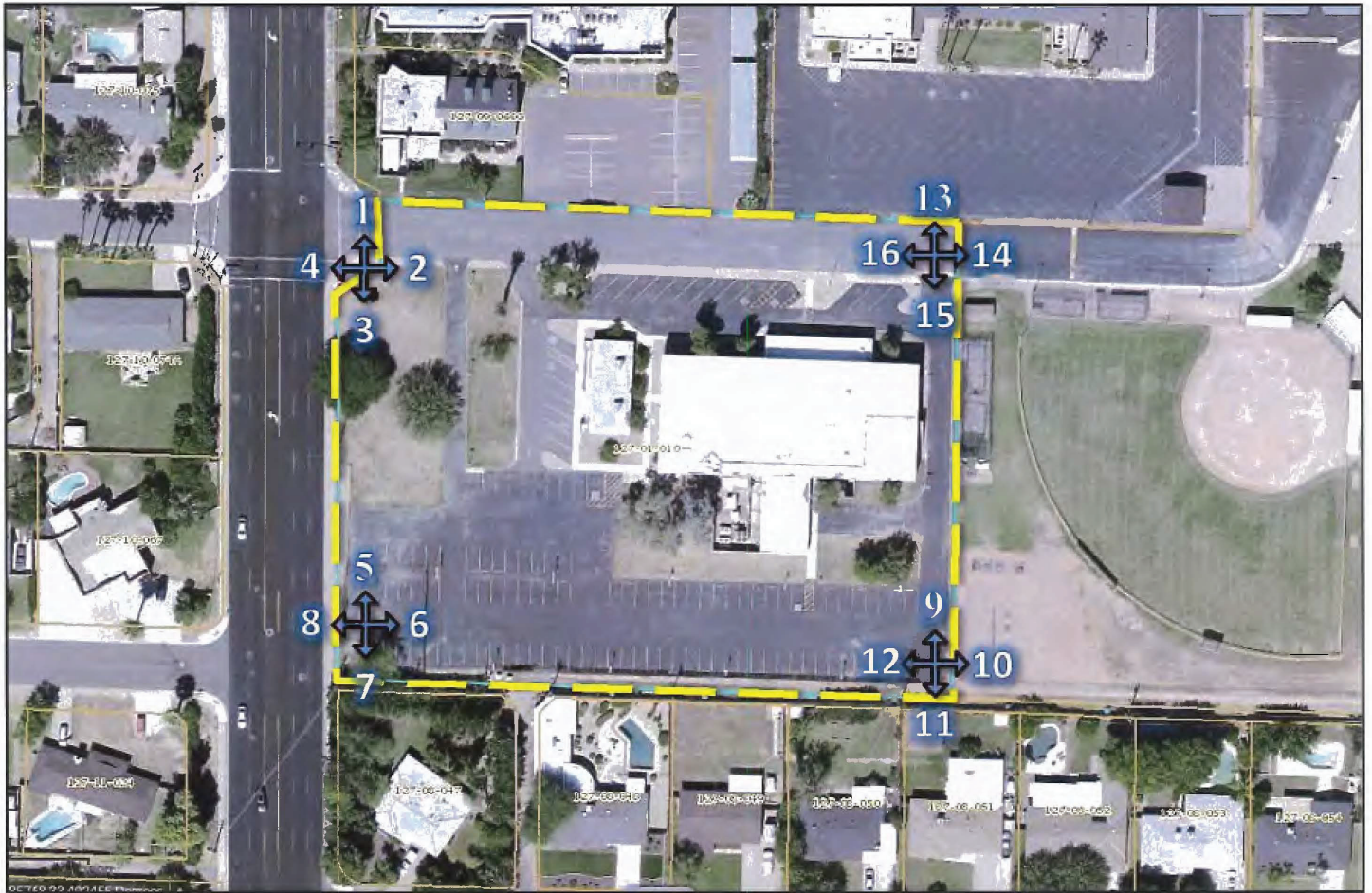
1. Context Aerial Map (**page 31**)
2. Context Plan and Photos (**page 33**)
3. Conceptual Site Plan (**page 39**)
4. Conceptual Visual Perspectives (**page 41**)
5. Conceptual Elevations and Floorplans (**page 47**)
6. Colors/Materials Palette (**page 55**)
7. Conceptual Landscape Plan (**page 57**)
8. Comparative Zoning Standards Table (**page 66**)
9. Traffic Impact Statement (**page 70**)
10. Proposed Building and Landscape Setbacks (**page 72**)
11. Proposed Building Heights, Setbacks and Easements (**page 76**)
12. Conceptual Site Wall Elevations (**page 78**)
13. Lot Coverage Calculation Standards (**page 80**)

K-1

Context Aerial Map



K-2



“44th Street & Indianola Avenue”
S.E.C. of 44th Street & Indianola Avenue
APN # 127-701-010



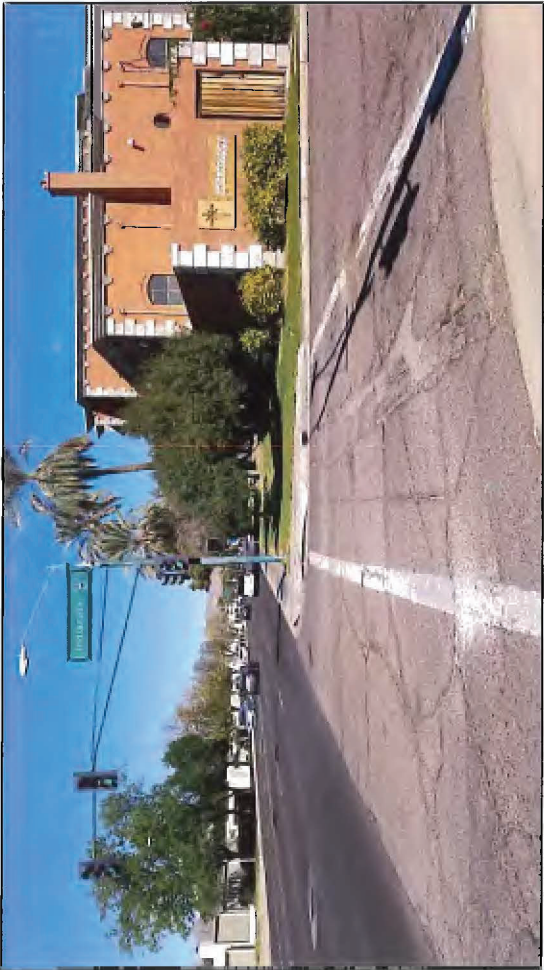


PHOTO 1 – LOOKING NORTH

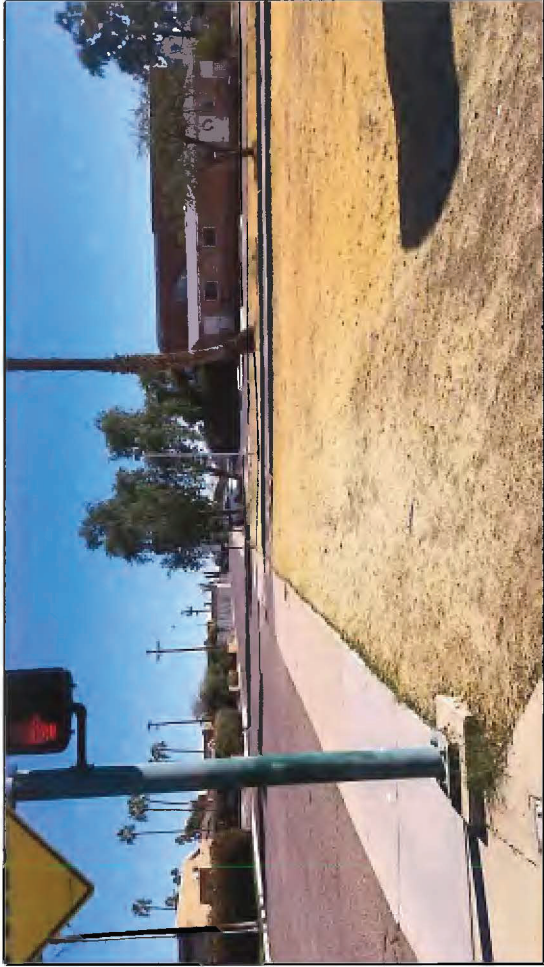


PHOTO 2 – LOOKING EAST



PHOTO 3 – LOOKING SOUTH



PHOTO 4 – LOOKING WEST



PHOTO 5 – LOOKING NORTH



PHOTO 6 – LOOKING EAST



PHOTO 7 – LOOKING SOUTH

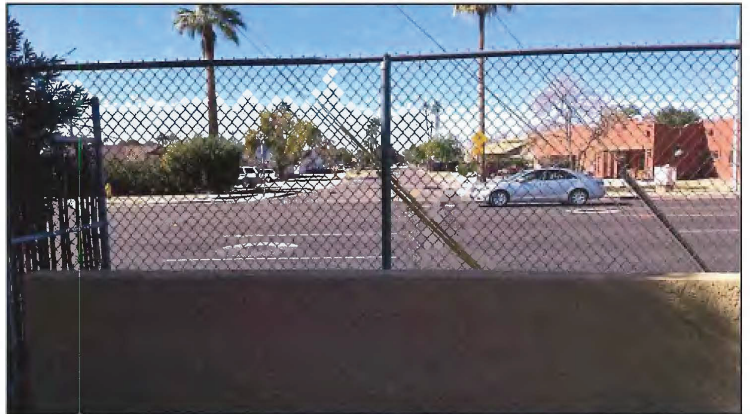


PHOTO 8 – LOOKING WEST



PHOTO 9 – LOOKING NORTH



PHOTO 10 – LOOKING EAST



PHOTO 11 – LOOKING SOUTH



PHOTO 12 – LOOKING WEST



PHOTO 13 – LOOKING NORTH



PHOTO 14 – LOOKING EAST



PHOTO 15 – LOOKING SOUTH

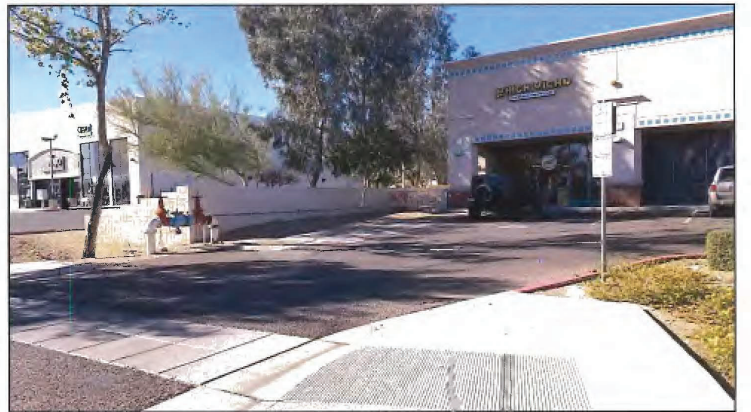
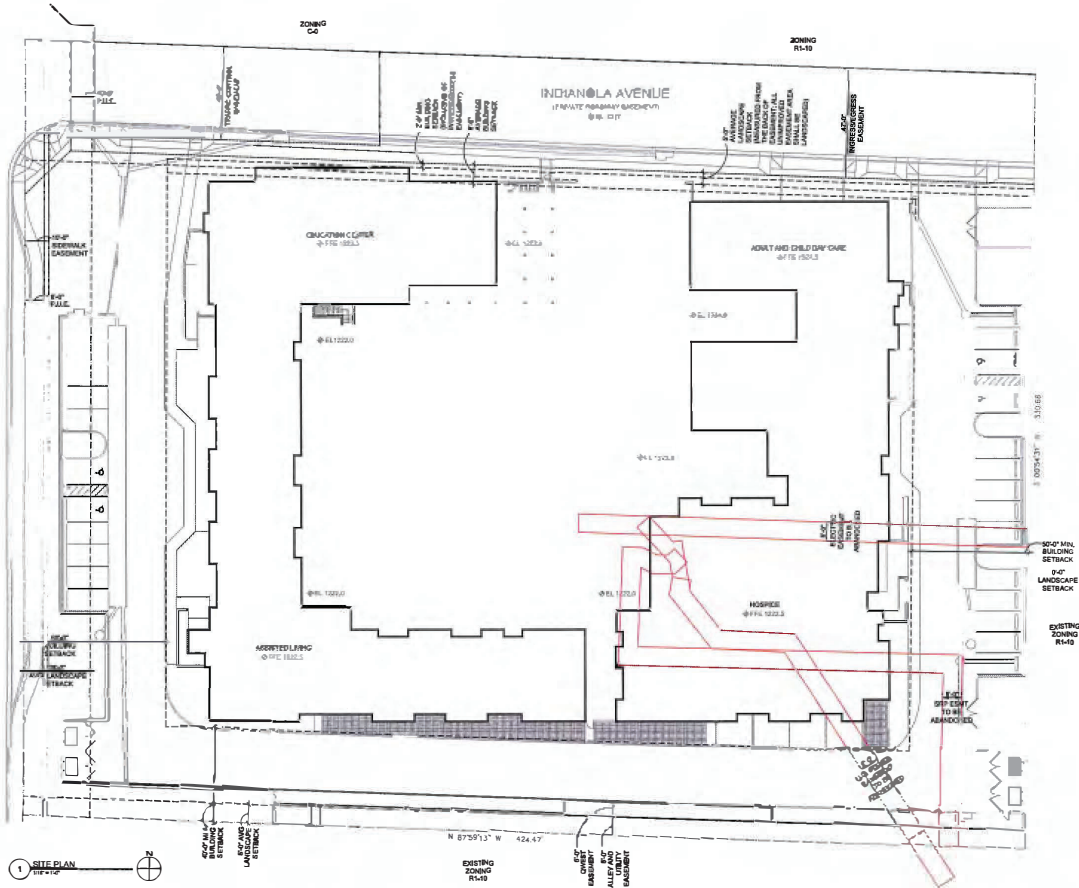


PHOTO 16 – LOOKING WEST

K-3

44TH STREET



1 SITE PLAN

PROJECT NAME AND ADDRESS:
 HOSPICE OF THE VALLEY
 DEMENTIA CARE AND EDUCATION CENTER
 3811 NORTH 44TH
 PHOENIX, AZ 85018

GENERAL ZONING ANALYSIS:
 PARCEL: 01-008-01-001-001-001
 3.8 ACRES

ZONING:
 EXISTING: RM-10
 PROPOSED: PUD

BUILDING INFO:
 TWO SEPARATE BUILDINGS WITH FOUR

USES OVER ONE STORY FOOTPRINT:
 STRUCTURE PARKING GARAGE

PROPOSED EDUCATION CENTER:
 11,000 SF
 2 STORY
 33'-0" MIDPOINT OF ROOF

PROPOSED ASSISTED LIVING:
 11,000 SF
 1 STORY
 20'-0" MIDPOINT OF ROOF

PROPOSED HOSPICE:
 11,000 SF
 1 STORY
 20'-0" MIDPOINT OF ROOF

PROPOSED CHILD AND ADULT DAY CARE:
 7,100 SF
 1 STORY
 21'-0" MIDPOINT OF ROOF

BUILDING SETBACKS:
 NORTH: PROPOSED MIN. 2'-0" AVERAGE 8'-0"
 (MEASURED FROM PRIVATE ROADWAY
 EASEMENT LINE)
 EAST: PROPOSED 50'-0"
 WEST: PROPOSED 80'-0"
 SOUTH: PROPOSED 45'-0"

**NOTE: MECHANICAL, YARD/REFUSE
 ENCLOSURES ALLOWED IN BUILDING
 SETBACKS PER PROPOSED PUD.**

AVG. LANDSCAPE SETBACKS:
 AVERAGE PROPOSED MIN. 2'-0" S.O.P.
 AVERAGE (MEASURED FROM PRIVATE
 ROADWAY EASEMENT LINE)

EAST: 0'-0"
 WEST: 28'-0"
 SOUTH: 5'-0"

**LOT COVERAGE: PROPOSED 47%
 COVERAGE INCLUDING UNDERGROUND
 PARKING GARAGE**

PARKING:
 REQUIRED PER EXISTING ZONING:
 84 SPACES
 PROPOSED:
 PARKING GARAGE - 152 SPACES
 SURFACE - 15 SPACES
 TOTAL - 177 SPACES

LEGEND:

- BUILDING OUTLINE/FOOTPRINT
- SETBACK EASEMENTS
- PROPERTY LINE
- GREEN SCREEN



REVISION/RELEASE DATE:

LED JOB NO: 41524
 CLIENT NUMBER: 000.00

OVERALL SITE PLAN

A1.1

1 OF 1



PRELIMINARY
 NOT FOR CONSTRUCTION

HOSPICE OF THE VALLEY
 DEMENTIA CARE AND
 EDUCATION CAMPUS
 3811 N. 44TH STREET

K-4



HOSPICE OF THE VALLEY - DEMENTIA CARE FACILITY
FEBRUARY 13, 2018



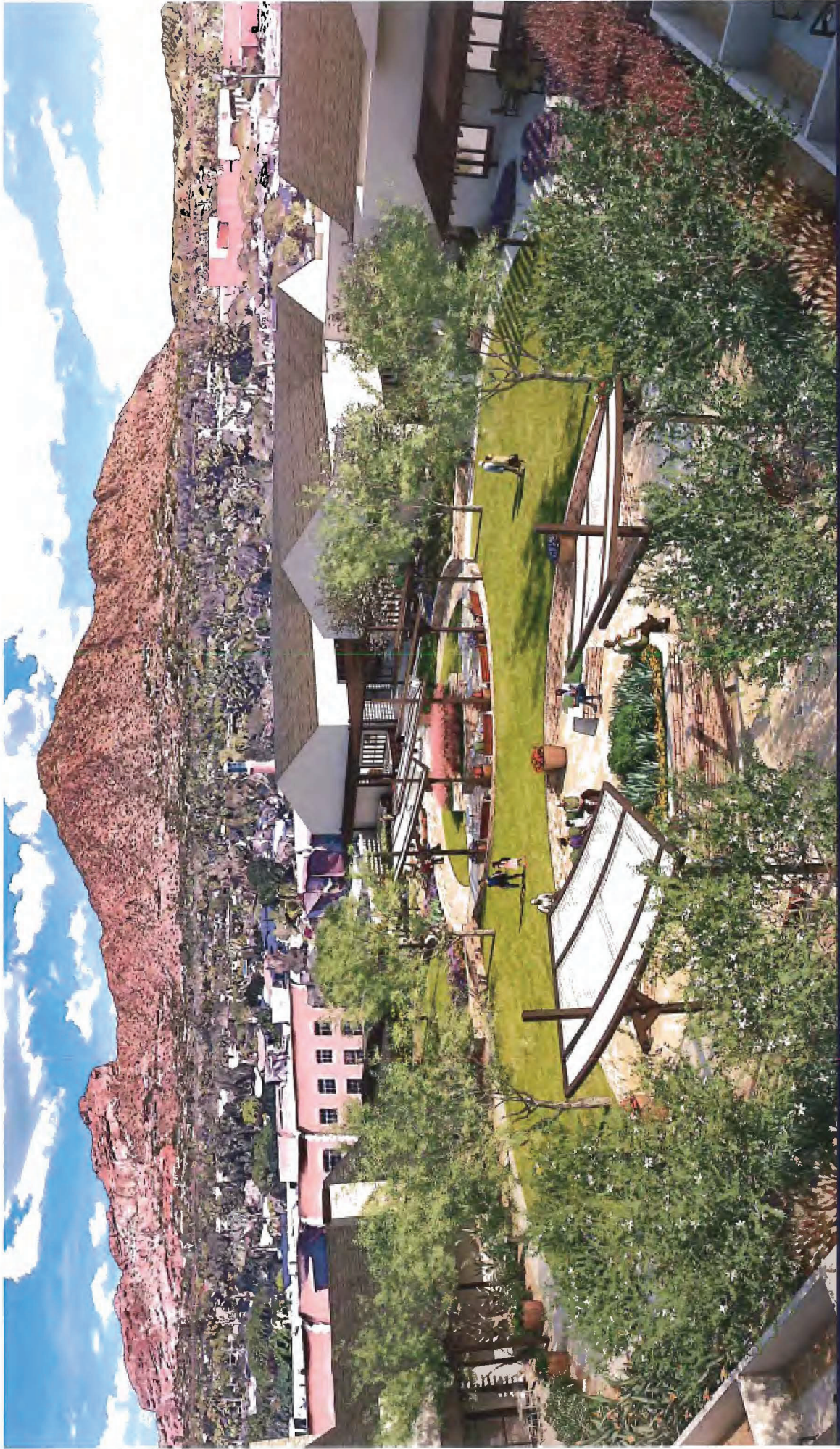
HOSPICE OF THE VALLEY - DEMENTIA CARE FACILITY
FEBRUARY 13, 2018



HOSPICE OF THE VALLEY - DEMENTIA CARE FACILITY
FEBRUARY 13, 2018



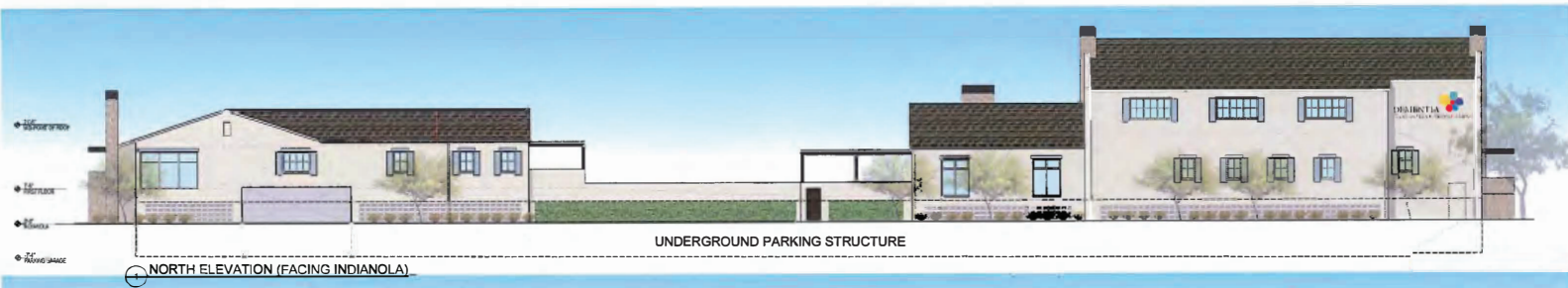
HOSPICE OF THE VALLEY - DEMENTIA CARE FACILITY
FEBRUARY 13, 2018



HOSPICE OF THE VALLEY - DEMENTIA CARE FACILITY
FEBRUARY 13, 2018



K-5



⊕ NORTH ELEVATION (FACING INDIANOLA)



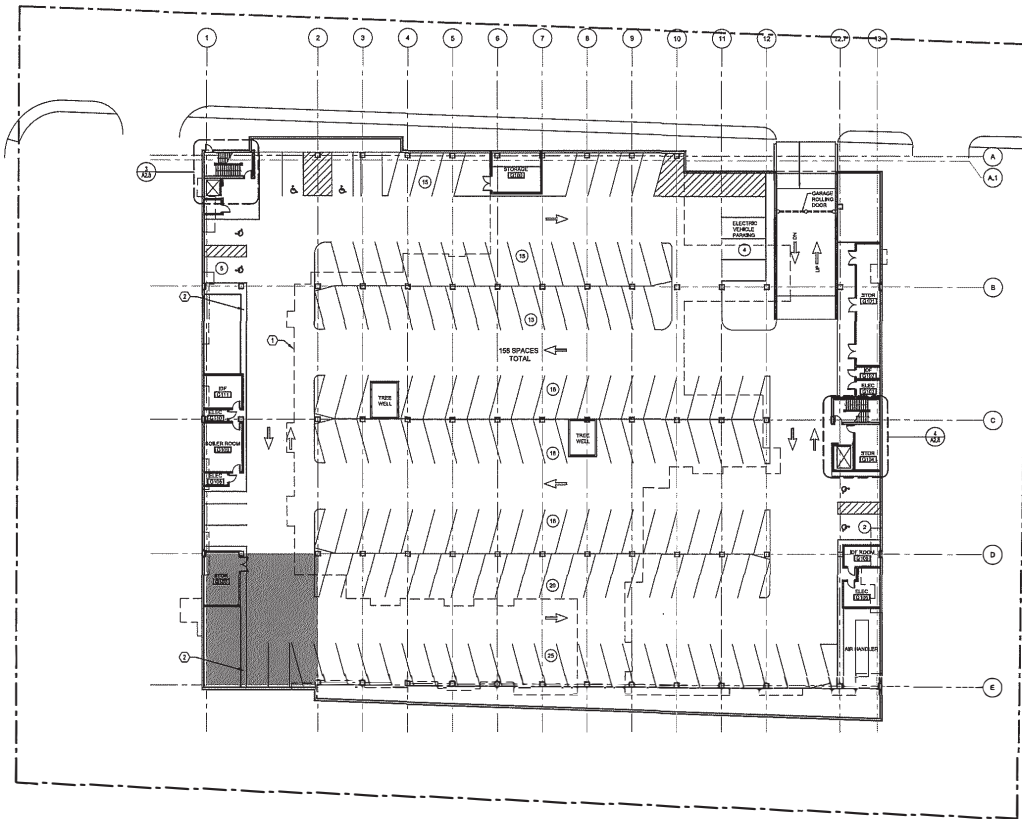
⊕ WEST ELEVATION (FACING N. 44TH ST.)



⊕ SOUTH ELEVATION (FACING/ABUTTING RESIDENTIAL)



⊕ EAST ELEVATION (FACING HIGH SCHOOL BALL FIELDS)



GENERAL NOTES:

A. REFER TO PARKING CONSULTANT DRAWING 0000 FOR PARKING LAYOUT.

UNDERGROUND PARKING GARAGE PLAN KEYNOTES: (C)

1. STRUCTURE ABOVE.
2. 6" HIGH CONCRETE PAD.
3. TREE WELL, REFER TO LANDSCAPE AND STRUCTURAL DRAWINGS.
4. ROLL DOWN ENTRY GATE, REFER TO SPECIFICATIONS.
5. CONCRETE BARRIER WALL, REFER TO STRUCTURAL DRAWINGS.
6. CHAIN LINK FENCE ENCLOSURE AROUND MECHANICAL EQUIPMENT.
7. 4" CONCRETE HOUSEKEEPING PAD, VERIFY FINAL DIMENSIONS WITH MANUFACTURER.



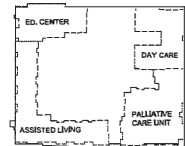
3811 N. 44TH STREET
TULSA, OK 74109
P. 918.442.1234
F. 918.442.1235

PRELIMINARY
NOT FOR CONSTRUCTION

HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
EDUCATION CAMPUS**
3811 N. 44TH STREET

REVISION/RELEASE DATE:

UNDERGROUND GARAGE PLAN
DWG. 112



IRD JOB NO: 415.24
CLIENT NUMBER: 000.00
**PARKING GARAGE
PLAN**

A2.0



PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES

- A. COORDINATE AND VERIFY ALL DIMENSIONS WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND TRADES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES AS SOON AS POSSIBLE.
- B. LARGE SCALE DETAILS AND PLANS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- C. REFER TO INTERIOR ELEVATIONS ON SHEET A&S-104 FOR ADDITIONAL SCOPE OF WORK.
- D. REFERENCE FFE FOR ALL PLANS SHALL BE AT 100'-0". ACTUAL BUILDING FFE SHALL BE AT 226.0'. SEE CIVIL FOR FURTHER INFORMATION.
- E. NOT ALL NOTES APPLY TO THIS PAGE.
- F. REFER TO A&S, A&S, A&S FOR DIMENSION FLOOR PLAN.

FLOOR PLAN KEYNOTES: (0)

- 1. STEEL COLUMN. SEE STRUCTURAL.
- 2. FIRE RISER.
- 3. FLOOR DRAIN. SEE PLUMBING.
- 4. AREA DRAIN (ROOF DECK). SEE DETAIL 20A.1.
- 5. PLUMBING VENT.
- 6. FURROUT WITH 3/8" METAL STUDS AND 1/2" DRG.
- 7. MAILBOXES. REFERENCE SPECS.
- 8. ROOF LEADERS. SEE PLUMBING.
- 9. RECESSED FIC. SEE DETAIL 20A.1.
- 10. WOOD HANDRAIL. SEE DETAIL 40A.1.
- 11. FLOOR SINK. SEE PLUMBING.
- 12. SHOE STRUCTURE.
- 13. CONTROL JOINT.
- 14. PRINTED IN L.C. OF CI.
- 15. COMPUTER N.J.C. OF CI.
- 16. COUNTER SUPPORT @ 3/4" TO 4" O.C.
- 17. MAILBOXES. REF. SPECS.
- 18. TRASH CHUTE. REF. SPECS.
- 19. ADJUSTABLE SHELVES.
- 20. SITE WALL. REFER TO D.
- 21. STEEL DRAWING OVER VENTILATION OPENING. REFER TO DETAIL 6.0.
- 22. HOLDING ROOM PARTITION. REFER TO DETAIL 6.0.
- 23. BACK LIT WALL SIGN. REFER TO SIGNAGE AND WAYFINDING DRAWINGS.
- 24. REPLACE INSERT SIGNAGE CHARGE. REFER TO MECHANICAL.
- 25. MEDICATION CART.
- 27. SHAMPOO SINK IN MILLWORK.
- 28. STAFF LOCKERS.
- 29. RECESSED WALK-OFF MAT.

HOSPICE OF THE VALLEY
DEMENTIA CARE AND
EDUCATION CAMPUS
3811 N. 44TH STREET

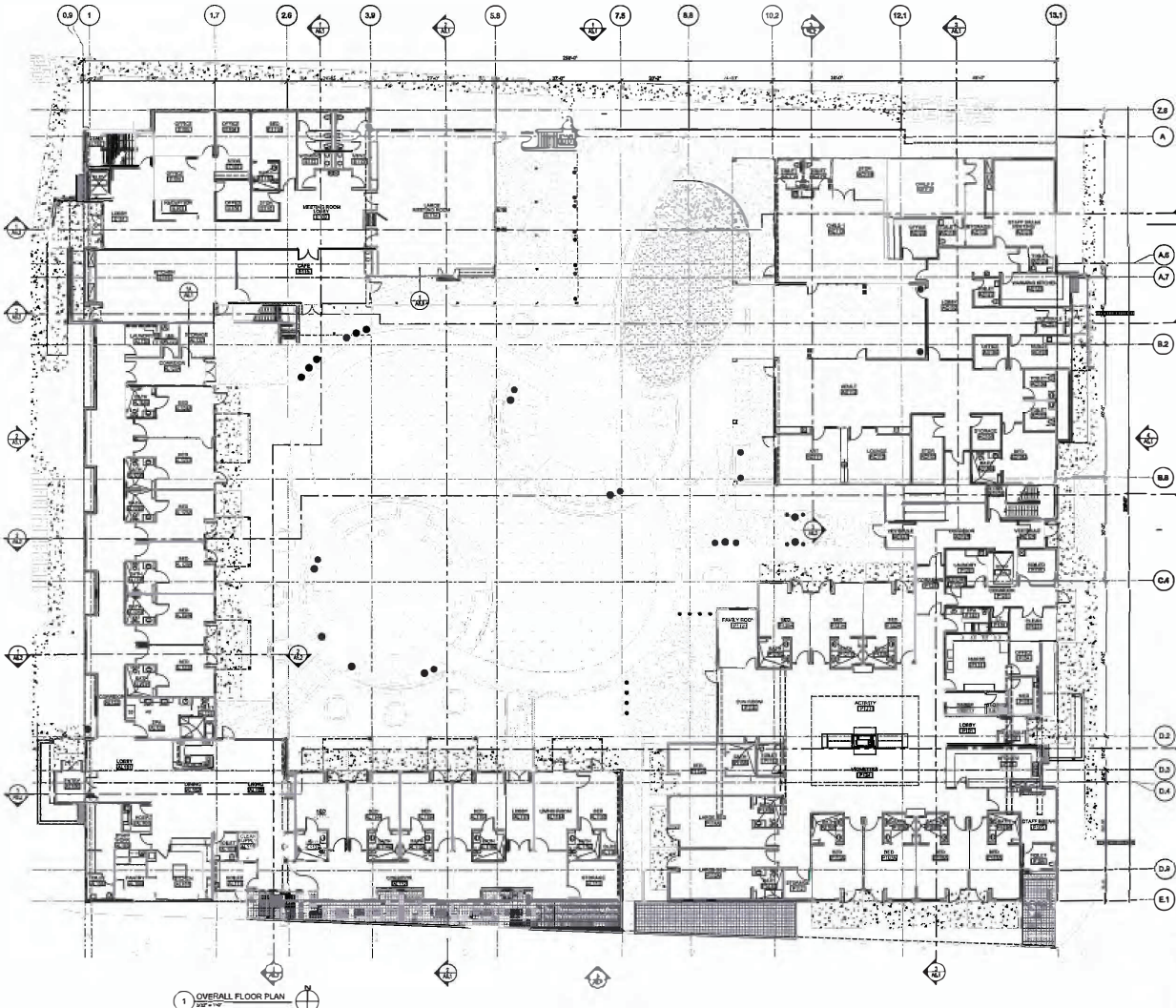
REVISION/RELEASE DATE:
7/25 SUBMITAL 12/10/18

IRD JOB NO: 415.25
CLIENT NUMBER: 000.00

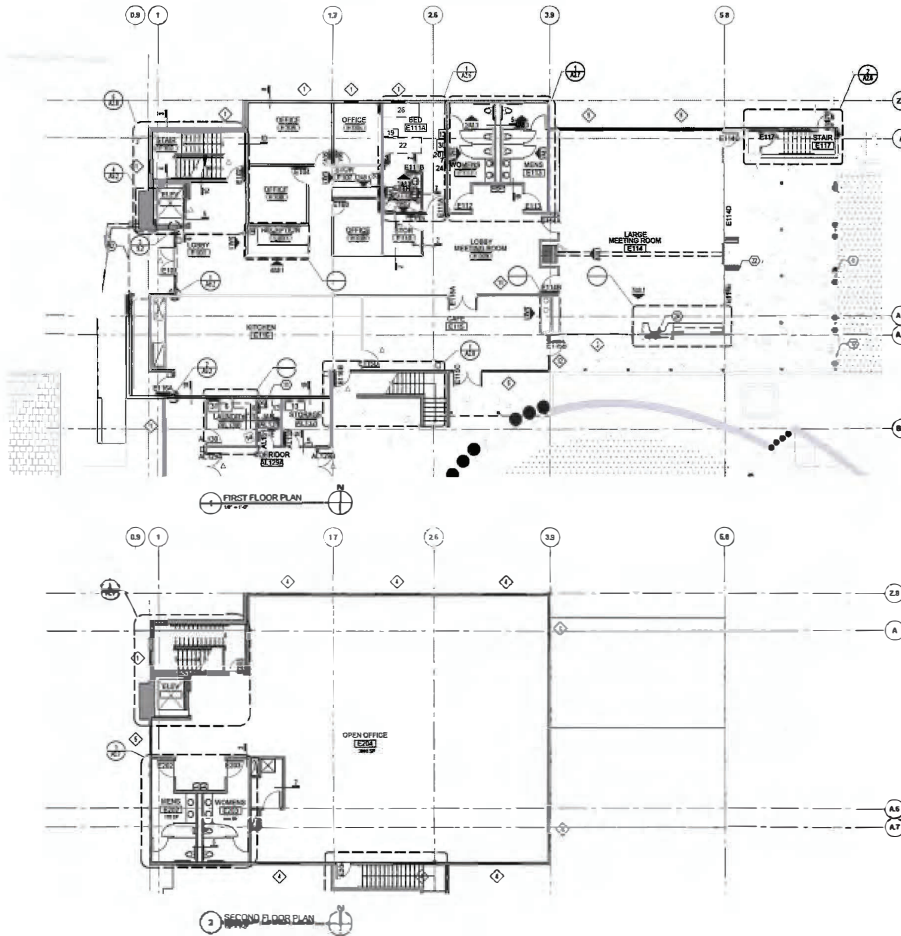
OVERALL FLOOR PLAN

A2.1

OF 1



1 OVERALL FLOOR PLAN
7/25/18



GENERAL NOTES:

- A. REFER TO A1.1 FOR WALL TYPES ALL INTERIOR PARTITIONS ARE TYPE 1, U.S.G.O.
- B. REFER TO A1.1X FOR FINISH SCHEDULE
- C. REFER TO SHEET A1.2X FOR FINISH SCHEDULE
- D. REFER TO SHEETS A1.3X AND A1.4X FOR DOOR AND WINDOW SCHEDULES
- E. REFER TO INTERIOR ELEVATIONS A7.1 TO A7.4 FOR ADDITIONAL SCOPE OF WORK
- F. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK
- G. COORDINATE AND VERIFY ALL DIMENSIONS WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND TRADES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES AS SOON AS POSSIBLE.
- H. EXTERIOR WALL DIMENSIONS ARE TO EDGE OF CONCRETE SLAB
- I. DIMENSIONS TO WINDOWS AND DOORS ARE TO OUTSIDE OF WINDOW AND DOOR FRAMES
- J. SEE DETAIL 19.1 FOR TYP. DIMENSION @ DOOR OFFSET FROM WALL, TYPICAL EVERYWHERE U.N.O.
- K. NOT ALL NOTES APPLY TO THIS PAGE

FLOOR PLAN KEYNOTES:

- 1. STEEL COLUMN, SEE STRUCTURAL
- 2. FIRE RISER
- 3. FLOOR DRAIN, SEE PLUMBING
- 4. AREA DRAIN (ROOF DECK), SEE DETAIL 20A.1
- 5. PLUMBING VENT
- 6. FURFOUT WITH 3/8\"/>
- 7. MAILBOXES, REFERENCE SPECS.
- 8. ROOF LEAKERS, SEE PLUMBING
- 9. RECESSED F.E.C. SEE DETAIL 30A.1
- 10. WOOD HANDRAIL, SEE DETAIL 40A.1
- 11. FLOOR SINK, SEE PLUMBING
- 12. GARAGE STRUCTURE
- 13. CONTROL JAMB
- 14. FRONTER I.C. OFD
- 15. COMPUTER R.A.C. OFD
- 16. COUNTER SUPPORT @ 3/4\"/>
- 17. MAILBOXES, REF. SPECS
- 18. TRANS. CHUTE, REF. SPECS
- 19. ADJUSTABLE SHELVES
- 20. SITE WALL, REFER TO 3.3
- 21. STEEL GRATING OVER VENTILATOR OPENING, REFER TO DETAIL 3.9
- 22. FOLDING ROOM PARTITION, REFER TO DETAIL 39
- 23. BACKLIT WALL SIGN, REFER TO DRAMA AND WAYFINDING DRAWINGS
- 24. FIREPLACE INSERT
- 26. DUCT CHANGE, REFER TO MECHANICAL
- 28. MEDICATION CART
- 27. SHAMPOO SINK IN HELLWORK
- 28. STAFF LOCKERS
- 29. RECESSED WALK-OFF MAT



HOSPICE OF THE VALLEY
 DEMENTIA CARE AND
 EDUCATION CAMPUS
 3811 N. 44TH STREET

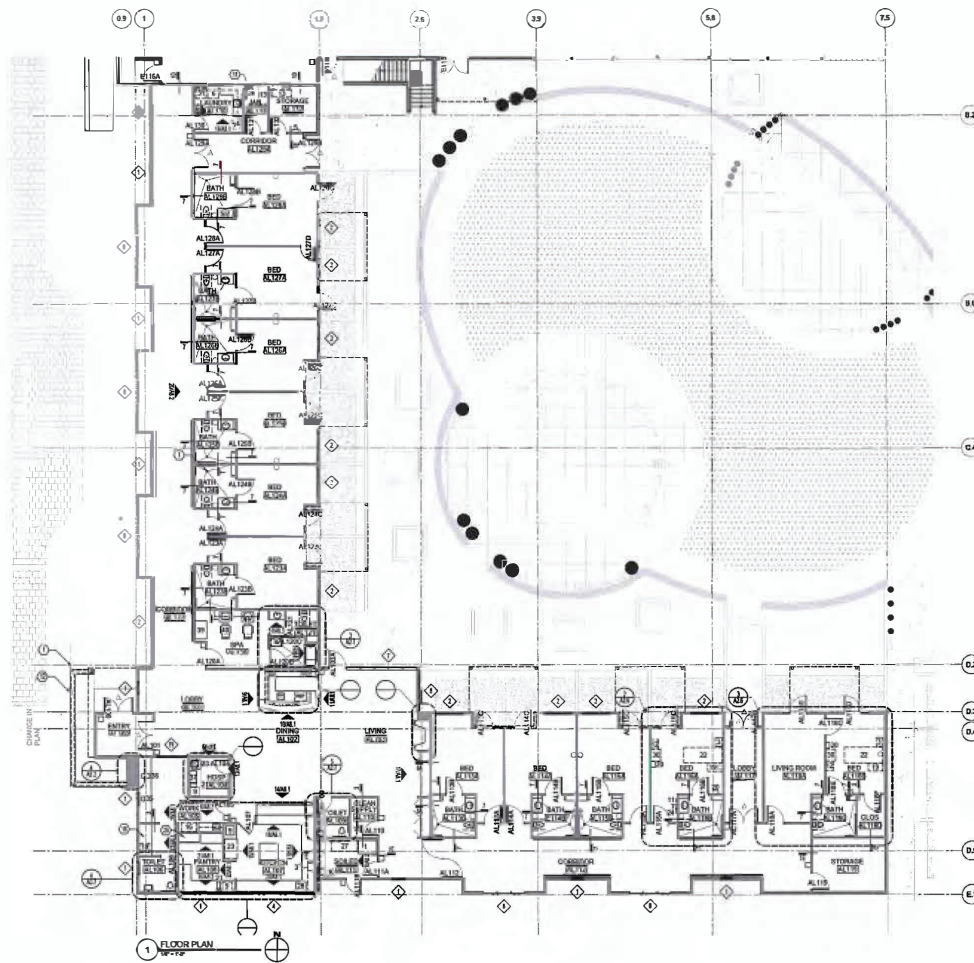
REVISION/RELEASE DATE:

LRD JOBNO: 415.24
 CLIENT NUMBER: 000.00

EDUCATION CENTER
 FLOOR PLAN

A2.2

OF 4



GENERAL NOTES:

- A. REFER TO TAB 1 FOR WALL TYPES. ALL INTERIOR PARTITION ARE TYPE 1, UNLESS NOTED OTHERWISE.
- B. REFER TO AIS X FOR FINISH SCHEDULE.
- C. REFER TO AIS X AND AIS X FOR DOOR AND WINDOW SCHEDULES.
- D. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- E. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- F. COORDINATE AND VERIFY ALL DIMENSIONS WITH GCVA.
- G. STRUCTURAL, MECHANICAL, ELECTRICAL, DRAWINGS AND TRADES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES AS SOON AS POSSIBLE.
- H. EXTERIOR WALL DIMENSIONS ARE TO EDGE OF CONCRETE SLAB.
- I. DIMENSIONS TO WINDOWS AND DOORS ARE TO OUTSIDE OF WINDOW AND DOOR FRAMES.
- J. SEE DETAIL 10.1 FOR TYP. DIMENSION @ DOOR OFFSET FROM WALL-TYPICAL EXTERIOR FINISH U.N.D.
- K. ALL PARTITION WALLS MUST HAVE A MINIMUM CLEAR DIMENSION OF 8'-0" FROM FINISH FACE TO FINISH FACE.
- L. NOT ALL NOTES APPLY TO THIS PAGE.

FLOOR PLAN KEYNOTES: 0

- 1. STEEL COLUMN, SEE STRUCTURAL.
- 2. FIRE RISER.
- 3. FLOOR DRAIN, SEE PLUMBING.
- 4. AREA DRAIN (PROOF DECK), SEE DETAIL 20.1.
- 5. PLUMBING VENT.
- 6. FURSCUT WITH 3/4" METAL STUDS AND 1/2" GIB.
- 7. MAIL BOXES, REFERENCE SPICES.
- 8. ROOF LEADERS, SEE PLUMBING.
- 9. RECESSED FEG, SEE DETAIL 30.1.
- 10. WOOD HANDRAIL, SEE DETAIL 40.1.
- 11. FLOOR SINK, SEE PLUMBING.
- 12. BRIDGE STRUCTURE.
- 13. CONTROL ZONE.
- 14. PRINTER N.I.C. CPDI.
- 15. COMPUTER N.I.C. CPDI.
- 16. COUNTER SUPPORT @ 3'-0" TO 4'-0" O.C.
- 17. MAILBOXES, REF. SPICES.
- 18. TRASH CHUTE, REF. SPICES.
- 19. ADJUSTABLE SHELVES.
- 20. SITE WALL, REFER TO R.0.
- 21. STEEL GRATING OVER VENTILATION OPENING, REFER TO DETAIL 03.
- 22. FOLDING ROOM PARTITION, REFER TO DETAIL 03.
- 23. BACKLIT WALL SIGN, REFER TO (SIGNAGE AND WAYFINDING) DRAWINGS.
- 24. PRISMA FACE INDEX.
- 25. DUCT CHASE, REFER TO MECHANICAL.
- 26. MEDICATION CART.
- 27. SHAMPOO SINK IN HALLWORK.
- 28. STAFF LOCKERS.
- 29. RECESSED WALK-OFF MAT.



HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
 EDUCATION CAMPUS**
 3811 N. 44TH STREET

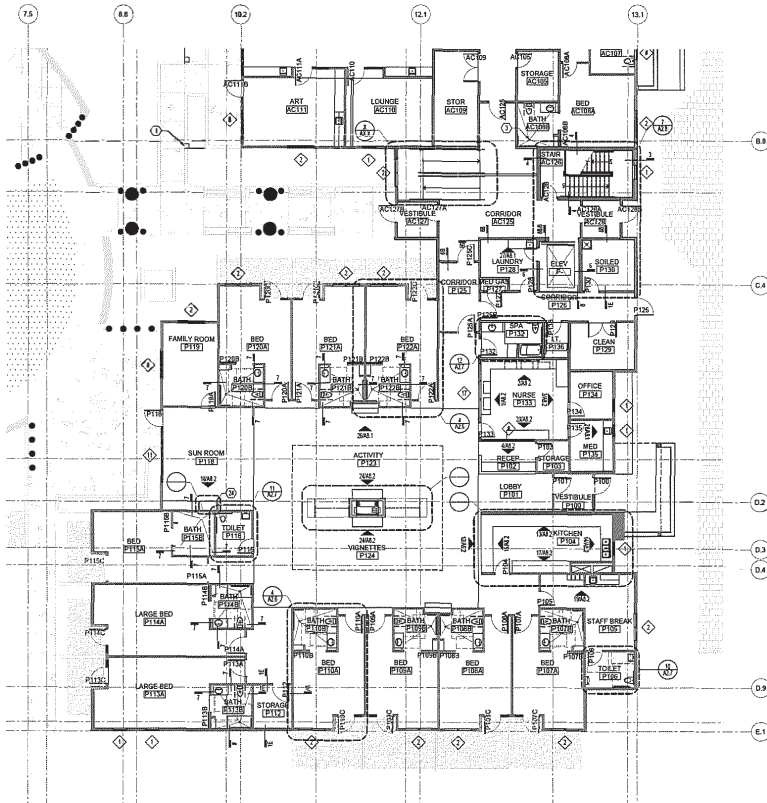
REVISION/RELEASE DATE:

UND JOB NO: 015-24
 CADD #/NAME: 00000

ASSISTED LIVING
 FLOOR PLAN

A2.3

P. OF 1



1 FLOOR PLAN
10'-0" = 1"

GENERAL NOTES:

- A. REFER TO A3.1 FOR WALL TYPES. ALL INTERIOR PARTITION ARE TYPE 1, UNLESS NOTED OTHERWISE.
- B. REFER TO A3.4 FOR FINISH SCHEDULE.
- C. REFER TO SHEETS 10.5 AND A10.2 FOR DOOR AND WINDOW SCHEDULES.
- D. REFER TO FINISH ELEVATIONS A3.1 TO A3.4 FOR ADDITIONAL SCOPE OF WORK.
- E. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- F. COORDINATE AND VERIFY ALL DIMENSIONS WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND TRADES PRIOR TO CONSTRUCTION NOTIFY ARCHITECT OF ANY DISCREPANCIES AS SOON AS POSSIBLE.
- G. EXTERIOR WALL DIMENSIONS ARE TO EDGE OF CONCRETE SLAB.
- H. DIMENSIONS TO WINDOWS AND DOORS ARE TO OUTSIDE OF WINDOW AND DOOR FRAMES.
- I. SEE DETAIL 10.1 FOR TYP. DIMENSION @ DOOR OFFSET FROM WALL. TYPICAL EVERYWHERE UNLESS NOTED.
- J. ALL PATIENT HALLWAYS MUST HAVE A MINIMUM CLEAR DIMENSION OF 6'-0" FROM FINISH FACE TO FINISH FACE.
- K. NOT ALL NOTES APPLY TO THIS PAGE.

FLOOR PLAN KEYNOTES:

- 1. STEEL COLUMN. SEE STRUCTURAL.
- 2. FIRE RISER.
- 3. FLOOR DRAIN. SEE PLUMBING.
- 4. AREA DRAIN (ROOF DECK) SEE DETAIL 2A.1.
- 5. PLUMBING SINK.
- 6. FURROUT WITH 3/8" METAL STUDS AND 1/2" GWB.
- 7. MAILBOXES. REFERENCE SPECS.
- 8. ROOF LEADERS. SEE PLUMBING.
- 9. RECESSED SEC. SEE DETAIL 3A.1.1.
- 10. WOOD HANDRAIL. SEE DETAIL 4A.1.
- 11. FLOOR SINK. SEE PLUMBING.
- 12. BRIDGE STRUCTURE.
- 13. CONTROL JOINT.
- 14. PRINTER N.I.C. (P1)
- 15. COMPUTER N.I.C. (P1)
- 16. COUNTER SUPPORT @ 3'-0" TO 4'-0" O.C.
- 17. MAILBOXES. REF. SPECS.
- 18. TRASH CHUTE. REF. SPECS.
- 19. 1/4" STAINLESS STEEL.
- 20. SITE WALL. REFER TO 0.0.
- 21. STEEL GRATING OVER VENTILATION OPENING. REFER TO DETAIL 0.0.
- 22. FOLDING ROOM PARTITION. REFER TO DETAIL 9.0.
- 23. BACKLIT WALL SIGN. REFER TO SIGNAGE AND WAYFINDING DRAWINGS.
- 24. FIREPLACE INSERT.
- 25. DUCT CHANGE. REFER TO MECHANICAL.
- 26. MEDICATION CART.
- 27. SHAMPOO SINK IN MILLWORK.
- 28. STAFF LOCKERS.
- 29. RECESSED WALK-OFF MAT.



HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
 EDUCATION CAMPUS**
 3811 N. 44TH STREET

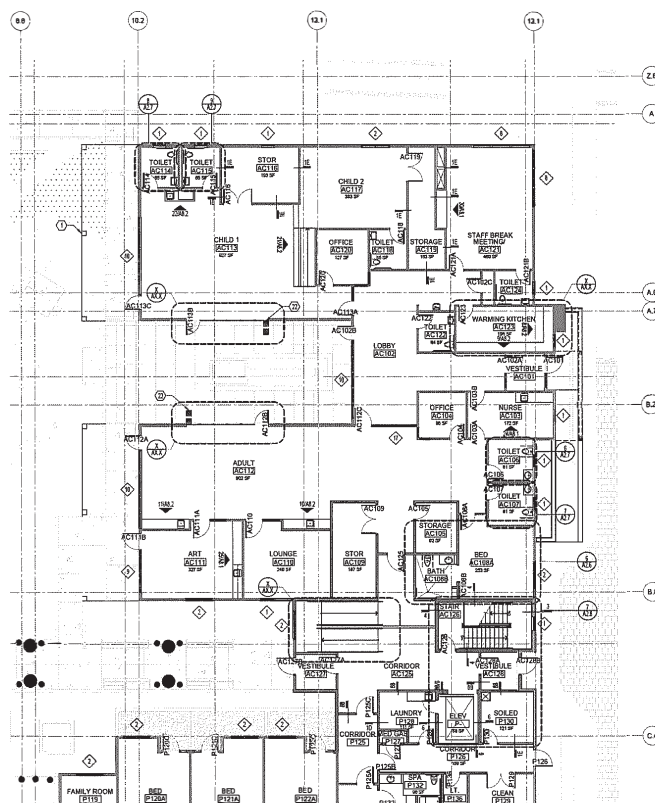
REVISION/RELEASE DATE:



LRO JOB NO: 4123
 CLIENT NUMBER: 00030

PALLIATIVE CARE
 UNIT FLOOR PLAN

A2.4



GENERAL NOTES:

- A. REFER TO A1 FOR WALL TYPES. ALL INTERIOR PARTITIONS ARE TYPE U, N, O.
- B. REFER TO A10 X 4 FOR FINISH SCHEDULE.
- C. REFER TO SHEETS A10 X 7 AND A10 X 8 FOR DOOR AND WINDOW SCHEDULES.
- D. REFER TO SHEETS A10 X 9 AND A10 X 10 FOR INTERIOR ELEVATIONS A1.1 TO A1.4 FOR ADDITIONAL SCOPE OF WORK.
- E. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- F. COORDINATE AND VERIFY ALL DIMENSIONS WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND TRADES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES AS SOON AS POSSIBLE.
- G. EXTERIOR WALL DIMENSIONS ARE TO EDGE OF CONCRETE SLAB. DIMENSIONS TO WINDOWS AND DOORS ARE TO OUTSIDE OF WINDOW AND DOOR FRAMES.
- H. SEE DETAIL 10.1 FOR TYP. DIMENSION Q DOOR OFFSET FROM WALL. TYPICAL EVERYWHERE U.N.O.
- I. NOT ALL NOTES APPLY TO THIS PAGE.

FLOOR PLAN KEYNOTES: ①

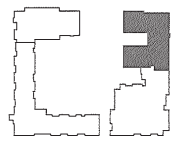
- 1. STEEL COLUMN. SEE STRUCTURAL.
- 2. FIRE RISER.
- 3. FLOOR DRAIN. SEE PLUMBING.
- 4. AREA DRAIN (PROOF DECK). SEE DETAIL 200.1.
- 5. PLUMBING VENT.
- 6. FURROUT WITH 3/8" METAL STRIPS AND 1/2" GWR.
- 7. MILDSTEEL. REFERENCE SPECS.
- 8. ROOF LEADERS. SEE PLUMBING.
- 9. RECESSED E.C. SEE DETAIL 300.1.
- 10. WOOD HANDRAIL. SEE DETAIL 400.1.
- 11. FLOOR SINK. SEE PLUMBING.
- 12. BRASS STRUCTURE.
- 13. CONTROL JOINT.
- 14. PRINTER N.I.C. OFP.
- 15. COMPUTER N.I.C. OFP.
- 16. COUNTER SUPPORT @ 3'-0" TO 4'-0" O.C.
- 17. MILDSTEEL. REF. SPECS.
- 18. TRASH CHUTE. REF. SPECS.
- 19. ADJUSTABLE SHELVES.
- 20. STAIR WALL. REFER TO 0.0.
- 21. STEEL GRATING OVER VENTILATION OPENING. REFER TO DETAIL 0.0.
- 22. FOLDING ROOM PARTITION. REFER TO DETAIL 0.0.
- 23. BACKLIT WALL SIGN. REFER TO SIGNAGE AND WAYFINDING DRAWINGS.
- 24. FIREPLACE INSERT.
- 25. DUCT CHASE. REFER TO MECHANICAL.
- 26. MEDICATION CART.
- 27. SHAMPOO SINK IN BATHWORK.
- 28. STAFF LOCKERS.
- 29. RECESSED WALK-OFF MAT.

1 FLOOR PLAN



HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
 EDUCATION CAMPUS**
 3811 N. 44TH STREET

REVISION/RELEASE DATE:



LED JOB NO: 415.24
 C/D/N NUMBER: 000.00
**ADULT + CHILD
 DAY CARE CENTER
 FLOOR PLAN**

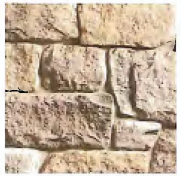
A2.5
 OF 1

K-6

COLOR & MATERIALS PALETTE



ROOF SHINGLES
COLOR: TIMBERLINE HD (WEATHERED WOOD)
MANUFACTURER: GAF ROOFING SHINGLES & MATERIALS



STONE
COLOR: TIMBER WOLF CRAFT ORCHARD
MANUFACTURER: CREATIVE MINES



WINDOWS DOORS
COLOR: PR 0151 BROWN
MANUFACTURER: PELLA WINDOWS AND DOORS



EXTERIOR WALL PAINT
COLOR: PARCHMENT 915
MANUFACTURER: C2 PAINT



TRIM PAINT
COLOR: FAUQUIER SPRING BD-19
MANUFACTURER: C2 PAINT

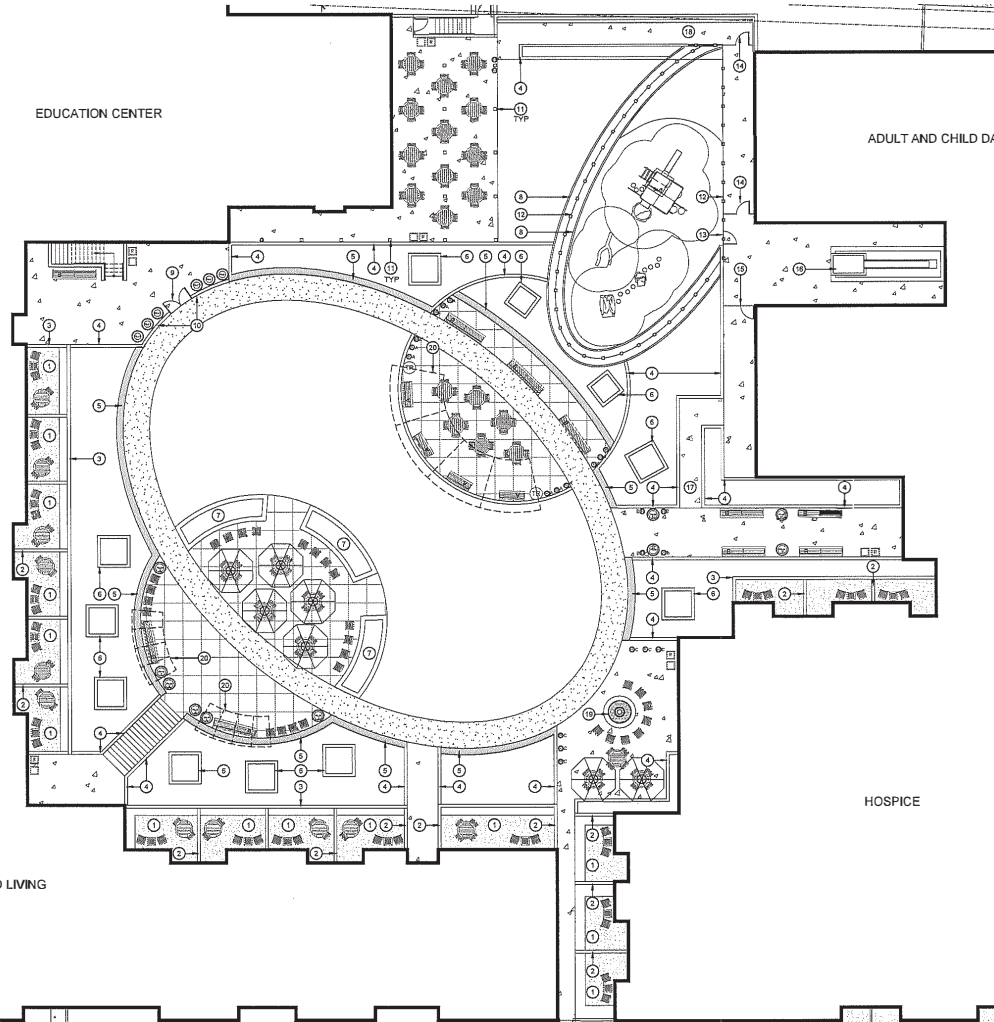


HOSPICE OF THE VALLEY - DEMENTIA CARE AND
EDUCATION CAMPUS



lrd
architects

K-7



KEY NOTES - BUILDING PERIMETER AND PARKING LOT

- ① PRIVATE RESIDENTIAL PATIO
- ② 42" HEIGHT RESIDENTIAL PATIO CMU SCREEN WALL, SMOOTH STUCCO FINISH, PAINT AND FINISH TO MATCH ARCHITECTURE. SEE DETAIL XLA 30X
- ③ 42" HEIGHT RESIDENTIAL PATIO CMU RETAINING SCREEN WALL, SMOOTH STUCCO FINISH, PAINT AND FINISH TO MATCH ARCHITECTURE. SEE DETAIL XLA 30X
- ④ 18" HEIGHT LOW CMU PLANTER WALL, SMOOTH STUCCO FINISH, PAINT AND FINISH TO MATCH ARCHITECTURE. SEE DETAIL XLA 30X
- ⑤ 18" HEIGHT LOW PLANTER WALL AND BENCH, SMOOTH STUCCO FINISH, PAINT AND FINISH TO MATCH ARCHITECTURE. CONCRETE CAP COLOR TBD. SEE DETAIL XLA 30X
- ⑥ 42" HEIGHT CMU THREE PLANTER, SMOOTH STUCCO FINISH, PAINT AND FINISH TO MATCH ARCHITECTURE. SEE DETAIL XLA 30X
- ⑦ RAISED HERB GARDEN. SEE DETAIL XLA 30X
- ⑧ 18" HEIGHT 1" THICK CURVED CONCRETE PLANTER WALL AT PLAYGROUND, SMOOTH STUCCO FINISH, PAINT AND FINISH TO MATCH ARCHITECTURE. SEE DETAIL XLA 30X
- ⑨ COURTYARD ENTRY GATE, 42" IN HEIGHT SEE DETAIL XLA 30X
- ⑩ 42" HEIGHT CMU SCREEN WALL AT COURTYARD ENTRY, SMOOTH STUCCO FINISH, PAINT AND FINISH TO MATCH ARCHITECTURE. SEE DETAIL XLA 30X
- ⑪ PATIO SHADE STRUCTURE COLUMN. SEE ARCHITECTURE.
- ⑫ FENCE AT PLAYGROUND. SEE DETAIL XLA 30X
- ⑬ GATE AT PLAYGROUND. SEE DETAIL XLA 30X
- ⑭ GATE AT PATIO CHILD CARE ENTRY. SEE DETAIL XLA 30X
- ⑮ GATE AT PATIO ADULT CARE ENTRY. SEE DETAIL XLA 30X
- ⑯ INTERACTIVE STONE WATER FEATURE. SEE DETAIL XLA 30X
- ⑰ RAMP AT ADULT CARE. SEE DETAIL XLA 30X
- ⑱ RAMP AT NORTH COURTYARD. SEE DETAIL XLA 30X
- ⑲ WATER FEATURE XLA 30X
- ⑳ SHADE STRUCTURE. SEE DETAIL XLA 30X



J. J. NORRIS DESIGN
 Planning | Urban Design | Landscaping

101 East 12th Street
 Phoenix, Arizona 85002
 602.254.4800
 www.norrisdesign.com

HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
 EDUCATION CAMPUS**
 44TH STREET AND INDIANOLA AVENUE

REVISION/RELEASE DATE

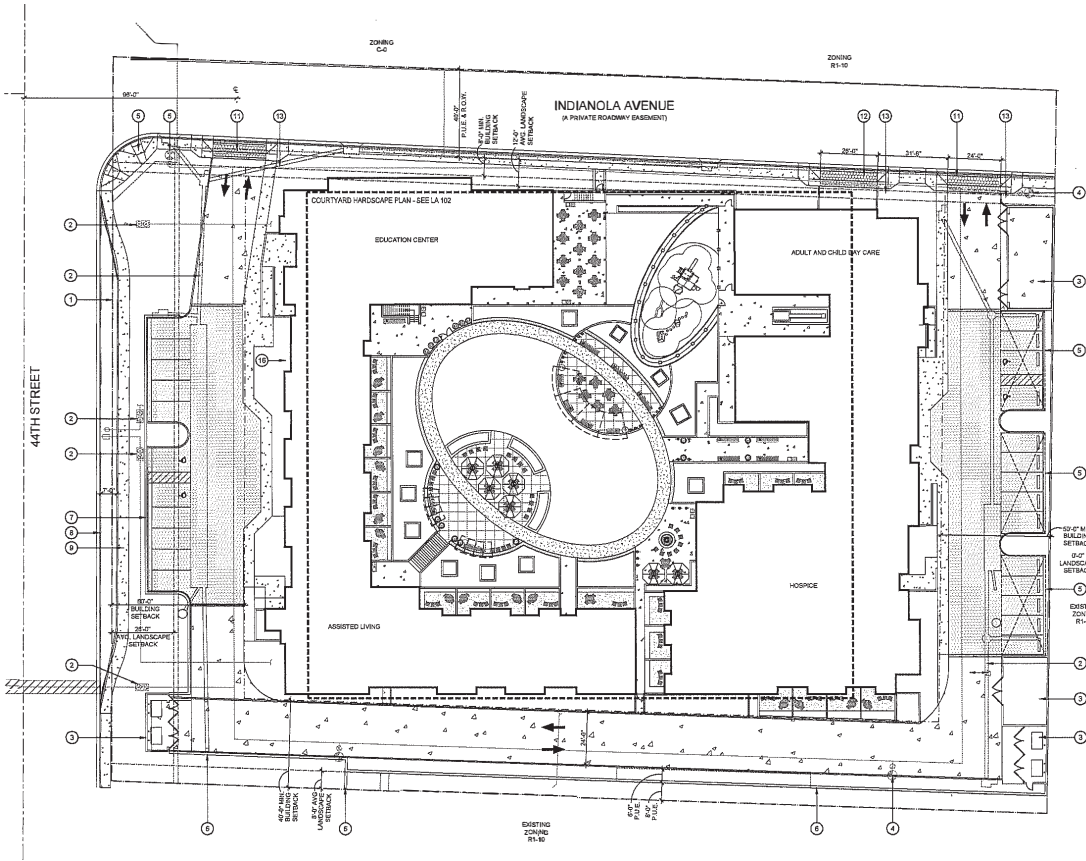
LRD JOB NO: 41579
 CLIENT NUMBER: 000-00

**COURTYARD
 HARDSCAPE
 PLAN**

LA 102
 SHEET ___ OF 1



NOVA: XXXXX DEV: XXXXXX PAPP NUMBER: XXXXXX L. IISH: XXXXXX CSI: XX-XX



- KEY NOTES - BUILDING PERIMETER AND PARKING LOT**
- ① PROPERTY LINE
 - ② PROPOSED UTILITY - SEE CIVIL DRAWINGS
 - ③ UTILITY ENCLOSURE - SEE ARCHITECTURAL
 - ④ FIRE HYDRANT - SEE CIVIL DRAWINGS
 - ⑤ PARKING SHADE STRUCTURE - SEE ARCHITECTURAL DRAWINGS
 - ⑥ PERIMETER SITE WALL - SEE CIVIL FOR FINISH ELEVATIONS. SEE ARCHITECTURAL
 - ⑦ LOW RETAINING / SCREENWALL - SEE CIVIL FOR FINISH ELEVATIONS. SEE DETAIL XLA 20X
 - ⑧ EXISTING / NEW CURB - SEE CIVIL FOR DETAILS
 - ⑨ PROPOSED SIDEWALK - SEE CIVIL
 - ⑩ LIMIT OF UNDERGROUND PARKING
 - ⑪ PAVED CROSSWALK AT ENTRY DRIVE. SEE DETAIL XLA 20X
 - ⑫ PAVED CROSSWALK PARKING GARAGE ENTRY. SEE DETAIL XLA 20X
 - ⑬ CROSS WALK SIGN - SEE SIGNAGE PLAN
 - ⑭ MONUMENT SIGN - SEE DETAIL XLA 20X
 - ⑮ FRASH ENCLOSURE - SEE ARCHITECTURAL DRAWINGS
 - ⑯ GREENSCREEN AT BUILDING ENTRY. SEE DETAIL XLA 20X

lrd architects
201 W. DOWNS STREET
MOUNTAIN VIEW, CALIFORNIA 91201
TEL: 626.251.1000

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

NORRIS DESIGN
Planning | Landscape Architecture | Interiors

151 East Madison Street
Hollywood, CA 91602
Phone: 310.461.0001
www.norrisdesign.com

HOSPICE OF THE VALLEY
DEMENTIA CARE AND
EDUCATION CAMPUS
44TH STREET AND INDIANOLA AVENUE

REVISION/RELEASE DATE

UID JOB NO: 413.20
CLIENT NUMBER: 000.00

HARDSCAPE
PLAN



LA 101

KVA: XX.XX SDV: XX.XXX PAPP NUMBER: XXXXXX L.BSH: XXXXXX DSA: XX.XX SHEET ___ OF X

HOSPICE OF THE VALLEY

PHOENIX, AZ

OWNER | HOSPICE OF THE VALLEY

ARCHITECT | JAZARD ROCK DESIGN

LANDSCAPE ARCHITECT | NORRIS DESIGN

150 EAST FLOWER STREET
PHOENIX, ARIZONA 85014
PH: 602.520.8998
CONTACT: DIANA MURRAY
EMAIL: DMURRAY@HVC.ORG

201 WEST CUSHING STREET
TUCSON, ARIZONA 85701
PH: 520.882.4644
CONTACT: THOMAS MCDULLEN
EMAIL: TMCDULLEN@JRCD.COM

901 EMADISON ST
PHOENIX, ARIZONA 85014
PH: 602.294.9600
CONTACT: JOEL THOMAS
EMAIL: JTHOMAS@NORRIS-DESIGN.COM



NORRIS DESIGN
Landscape Architecture & Design

801 East Madison Street
Phoenix, Arizona 85014
PH: 602.294.9600
www.norris-design.com

CITY OF PHOENIX GENERAL LANDSCAPE NOTES

- THE CITY OF PHOENIX GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN BY THE CITY OF PHOENIX. ADDITIONAL GENERAL NOTES GENERATED BY THE SEAL AND ANNOTATED ON THESE PLANS ARE NOT VERIFIED BY THE CITY.
- APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.
- FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL KONING OR APPROVED ASSURANCES IS PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
- NO PLANT SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY OR DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS, ARE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT 602.26.711.
- ALL PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO THE ARIZONA NURSERYMAN ASSOCIATIONS STANDARDS. ALL RIGHT-CROWN AND CITY REFINISHED (PERMITTER, RETENTION, AND PARKING) MATERIAL SHALL BE LOW WATER USE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLAN LIST.
- CONTACT THE PARKS & RECREATION DEPARTMENT, PERMISSY SUPERVISOR AT 602.526.6862 TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN THE PUBLIC R.O.W. PRIOR TO ANY PLANT RELOCATION OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE PARKS & RECREATION DEPARTMENT PRIOR TO THE RELOCATION OR REMOVAL OF ANY CITY PLANT MATERIAL OR EQUIPMENT.
- CONTACT THE STREET TRANSPORTATION DEPARTMENT, HORTICULTURALIST AT 602.520.6100 PRIOR TO THE RELOCATION OR REMOVAL OF EXISTING PLANT MATERIAL IN THE A.L.C. R.O.W. THAT IS ON THE CITY'S SIDE OF THE SOUND WALL. OBTAIN WRITTEN PERMISSION FROM THE STREET TRANSPORTATION DEPARTMENT PRIOR TO THE RELOCATION OR REMOVAL OF ANY PLANT MATERIAL OR EQUIPMENT.
- ALL EXISTING TREES AND SHRUBS IN RIGHT-OF-WAY DESIGNATED TO REMAIN BUT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN THE SAME SIZE AND KIND BY THE CONTRACTOR.
- THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE ANY MODIFICATIONS REQUIRED TO THE EXISTING CITY OF PHOENIX IRRIGATION SYSTEM IN RIGHT-OF-WAY TO THE PROPOSED SYSTEM. ALL THROUGH IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND/OR ABANDONING EXISTING IRRIGATION TO PLANT MATERIAL AND PROVIDING NEW IRRIGATION TO THE EXISTING

CITY OF PHOENIX GENERAL LANDSCAPE NOTES CONT.

- PLANT MATERIAL IN RIGHT-OF-WAY PER THE APPROVED PLAN.
- WALLS ARE NOT APPROVED AS PART OF LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.
- TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF SIX FEET EIGHT INCHES IN 4" PERFECTION.
- 5/8" TABA ILLA. 1.10 OF THE CITY OF PHOENIX ZONING ORDINANCE ARE REQUIRED. A MAXIMUM OF FIVE FEET 5/8" OF POLY TUBING OFF OF THE V.C. PIPE LATERAL IS ALLOWED. NO TUBING LATERALS ARE ALLOWED.
- PLANT QUANTITIES AND CALIPER SIZES FOR THE SPECIFIC ZONING REQUIREMENTS FOR THIS SITE. PROVIDED IN THE LEGEND ON THE APPROVED PLAN AND ARE REQUIRED TO BE INSTALLED IN THE FIELD OF ANY DEVIATION FROM THE PLAN. NOTE: MINIMUM CALIPER SIZE IS A ZONING REQUIREMENT. IF THE MINIMUM CALIPER REQUIREMENT CANNOT BE MET AT THE BOX SIZE THAT IS SPECIFIED, THEN THE BOX SIZE MUST BE INCREASED TO MEET CALIPER REQUIREMENTS.
- PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF LANDSCAPE PLANS AND PERMITS SHALL FOLLOW THE SAME CLOSURE AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 155.3 FOR BUILDING PERMITS.

LANDSCAPE GENERAL NOTES (NOT APPROVED BY CITY)

- CONTRACTOR TO OBTAIN PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE LANDSCAPE DOCUMENTS. THE SHALL BE RESPONSIBLE FOR CAREERS, SITE INSPECTION, DETAILED REVIEW OF THE PLANS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION, ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
- PRIOR TO INITIATING THESE LANDSCAPE IMPROVEMENTS, THE LANDSCAPE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING ON-SITE WITH THE APPROVAL OF THE OWNER AND THE GENERAL CONTRACTOR. THE OWNERS REPRESENTATIVE AND/OR THE PROJECT LANDSCAPE ARCHITECT MUST BE PRESENT. THE PURPOSE OF THIS MEETING IS TO RESOLVE ANY EXISTING SITE CONDITIONS THAT MAY BE IN CONFLICT WITH THESE LANDSCAPE CONSTRUCTION DOCUMENTS AND THEREFORE IMPACT THE INSTALLATION OF ANY OF THESE PROPOSED IMPROVEMENTS. THIS FIRST MEETING SHOULD BE SCHEDULED TO OCCUR AFTER THE COMPLETION OF ON-SITE AND OFF-SITE IMPROVEMENTS INCLUDING ALL UNDERGROUND UTILITIES, MASS GRADING, AND STREET IMPROVEMENTS.

LANDSCAPE GENERAL NOTES (NOT APPROVED BY CITY)

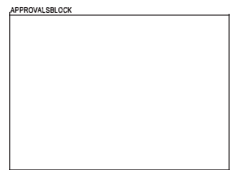
- DAMAGE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC. SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
- ANY DISCREPANCIES FOUND BETWEEN THE PLANS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL QUANTITIES PROVIDED ARE FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISH GRADING IN LANDSCAPED AREAS. HE/SH/ SHE/ IT SHALL COORDINATE WITH THE GENERAL CONTRACTOR, THE EXTENT OF ROUGH GRADING AND/OR FINISH GRADING TO BE ESTABLISHED BY OTHERS.
- ALL GRADING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PLANS PREPARED BY THE PROJECT CIVIL ENGINEER, OR AS DIRECTED BY THE OWNERS REPRESENTATIVE. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING IN ALL CONDITIONS. CONTRACTOR TO MEET ALL EXISTING GRADES AT PROJECT BOUNDARIES. ROUGH GRADE SHALL BE 3" BELOW THE TOP OF ADJACENT WALKS AND CURBS PRIOR TO RECEIVING DECOMPOSED GRANITE.
- ADJACENT UNDISTURBED AREAS DAMAGED OR DISTURBED TO BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL FINE GRADE ENTIRE LANDSCAPE AREAS AS REQUIRED PRIOR TO INSTALLATION OF PLANTING. ALL GRADES SHALL BE NEAT, SMOOTH AND BE FREE OF DEBRIS PRIOR TO SUBSTANTIAL COMPLETION.
- PRIOR TO SPREADING MATERIAL, GROUND COVERS, ADJUST AND COMPACT FINISH GRADES. APPLY FINE PRE-EMERGENT SURFLIN AS PER MANUFACTURERS INSTRUCTIONS. THEN SPREAD DECOMPOSED GRANITE, RIVER RUN, OR MULCH AS INDICATED ON PLANS. DECOMPOSED GRANITE SHALL BE WATERED, THEN COMPACTED WITH A 2" ROLLER TO A MINIMUM DEPTH OF 2" AFTER APPLICATION OF THE PRE-EMERGENT SURFLIN AT THE END OF THE MAINTENANCE PERIOD.
- ALL LANDSCAPED AREAS SHALL RECEIVE A 2" TOP DRESSING OF DECOMPOSED GRANITE AS SPECIFIED IN THE TOP DRESSING SCHEDULE. PROVIDE SAMPLE OF SIZE AND COLOR FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO DELIVERY.
- STAKE LOCATIONS OF ALL TREES FOR APPROVAL PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN MULCH IS TO BE USED) FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS (NOT FOOT BOUND), A NORMAL HABIT OF GROWTH, CONSISTENT WITH INDUSTRY STANDARDS, AND FREE OF ANY BRUISES, CUTS, OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.
- ALL RIGHT-OF-WAY PLANT MATERIAL MUST BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT

LANDSCAPE GENERAL NOTES (NOT APPROVED BY CITY)

- BACKFILL MIXTURES, EXCEPT AS NOTED, TO BE COMPOSED OF 75% WASHED #20 AND 25% DECOMPOSED GRANULAR BARK MULCH AND 2 LBS. DISPERSED FERTILIZER/CHOP'D BACKFILL AND 400% ORGANIC FERTILIZER TABLETS AT THE FOLLOWING RATES:
- 1 SMALL PLANT - 1 TABLET
- 1 SMALL OR PLANT - 4 TABLETS
- 5 SMALL OR PLANT - 2 TABLET
- BOXED TREE - 6 TABLETS (MIN)
- TABLETS TO BE PLACED NO DEEPER THAN 6" BELOW SURFACE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTING SHOWING ON PLANTING PLAN. DO NOT SUBSTITUTE PLANTS BY TYPE OR QUANTITY WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO SELECT ANY SELECTION OF PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON SIZE, SHAPE, EVIDENCE OF STRESS OR IMPROPER CARE.
- PRIOR TO INITIATING THE SOAK MAINTENANCE PERIOD, COMPLETE ANY INITIAL FINCH-LIST ITEMS, THEN OBTAIN APPROVAL FROM OWNERS REPRESENTATIVE OF SUBSTANTIAL COMPLETION, DETERMINE WITH OWNERS REPRESENTATIVE THE START DATE FOR THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR TO THEN MAINTAIN LANDSCAPE WHICH MAY INCLUDE WATERING, WEEDING, PRUNING, AND REPLACEMENT OF ANY MATERIAL THAT HAS DIED OR IS SHOWING EVIDENCE OF STRESS. SUBMIT WRITTEN REQUEST FOR FINAL FINCH LIST ONE WEEK PRIOR TO END OF MAINTENANCE PERIOD.
- PROVIDE OWNER WITH A WRITTEN GUARANTEE OF ONE (1) YEAR FOR ALL TREES AND 90 DAYS FOR ALL PLANT MATERIAL DATED FROM START OF MAINTENANCE PERIOD AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. PROVIDE OWNER WITH WRITTEN INSTRUCTIONS ON Ongoing MAINTENANCE PROCEDURES TO BE ADOPTED IN ORDER TO PROTECT GUARANTEE. INCLUDE WATERING SCHEDULE AND FERTILIZER PROGRAM, ONE (1) YEAR GUARANTEE FOR ALL TREES AND PALMS.
- TREAT ALL DATE PALM TREES FOR CROWN ROT AT LEAST ONCE PRIOR TO END OF THE GUARANTEE PERIOD. CONTRACTOR SHALL ARRANGE FOR A SUBCONTRACTOR SPECIALIZING IN PALM TREE MAINTENANCE TO SERVICE ALL PALMS AND PROVIDE BREF STATEMENT FOR EACH PALM.
- INSTALL ALL SIDEWALKS PER A.D.A. REQUIREMENTS.
- A LOCALITY OVER CONTROL PERMITS REQUIRED, THE CONTRACTOR SHALL RETAIN THIS PERMIT.
- ALL PLANT MATERIAL BETWEEN 3'0" AND 10'0" IN HEIGHT, WITHIN A SIX (6) FEET TRIANGLE, SHALL NOT EXCEED 1/4" OF ITS GREATEST CROSS-SECTIONAL DIMENSION PER CITY OF PHOENIX CODE, CHAPTER 31 - SECTION 1A.

SHEET INDEX

SHEET #	DESCRIPTION	REVISED	DATE
LA 001	LANDSCAPE COVERSHEET		
LA 002	LANDSCAPE & AMENITY SCHEDULE		
LA 003	LANDSCAPE SCHEDULE		
LA 004	LANDSCAPE PLAN		
LA 005	COURTYARD LANDSCAPE PLAN		
LA 006	LANDSCAPE PLAN		
LA 007	COURTYARD LANDSCAPE PLAN		
LA 008	LANDSCAPE DETAILS		
LA 009	LANDSCAPE DETAILS		



HOSPICE OF THE VALLEY
**DEMINTIA CARE AND
 EDUCATION CAMPUS**
 44TH STREET AND INDIANOLA AVENUE

REVISION/RELEASE DATE:

4/23/20
 CLIENT NUMBER: 000000

**LANDSCAPE
 COVERSHEET**

LA 001

MATERIAL SCHEDULE (CONTRACTOR TO SUBMIT SAMPLES FOR ALL ITEMS IN MATERIAL SCHEDULE FOR OWNER / ARCHITECT REVIEW AND APPROVAL)

ITEM	DESCRIPTION	MANUFACTURER	SIZE / AREA	PRODUCT NAME	COLOR / FINISH
4	CONCRETE FLATWORK TYPE A			STANDARD CONCRETE FERTILIZER PHOSPHOR SPECIFICATIONS / MAG STANDARDS	STANDARD BROOM FINISH
			TOTAL AREA: 10,000 SF		
	CONCRETE FLATWORK TYPE B			DAVIS INTEGRAL COLOR TBO MEDIUM SANDBLAST	
			TOTAL AREA: 10,000 SF		
	CONCRETE FLATWORK TYPE C			DAVIS INTEGRAL COLOR TBO MEDIUM SANDBLAST	
			TOTAL AREA: 10,000 SF		
	CONCRETE FLATWORK TYPE D			DAVIS INTEGRAL COLOR TBO BROOM FINISH	
			TOTAL AREA: 10,000 SF		
	ENHANCED PAVING 8 PRECAST CONCRETE PAVERS	HANOVER PAVERS	8" x 8" x 2"	PRESTI PAVER	COLOR: TAN FINISH: TUDOR
			TOTAL AREA: 10,000 SF		
	ENHANCED PAVING 8 PRECAST CONCRETE PAVERS	HANOVER PAVERS	8" x 8" x 2"	PRESTI PAVER	COLOR: TAN FINISH: TUDOR
			TOTAL AREA: 10,000 SF		
	TURF	MIDPOINT TURF			
			TOTAL AREA: 10,000 SF		
	DECOMPOSED GRANITE TOPRESS INIAL LANDSCAPE AREAS	PIONEER	1/2" SCREENED	DECORATIVE ROCK	NAVAJO BROWN 2" MIN DEPTH
			TOTAL AREA: 10,000 SF		

NOTE: AREA CALCULATIONS ENCOMPASS ENTIRE LIMIT OF WORK AND ARE NOT SPECIFIC TO SHEETS.

AMENITY SCHEDULE - COURTYARD

ITEM	DESCRIPTION	MANUFACTURER	CONTACT	PRODUCT NAME	COLOR / FINISH	QTY
	UMBRELLA	TUJCI	CONTACT: www.tujci.com	TUJCI PLANTATION CLASSIC 16' HEXAGONAL	FABRIC COLOR: LINEN	7
	PATIO SIDE TABLE	LANDSCAPE FORMS	CONTACT: 800.430.6206 x1324 www.landscapeforms.com	WELLSPRING	TEAK	22
	DINING TABLE AND CHAIRS	LANDSCAPE FORMS	CONTACT: 800.430.6206 x1324 www.landscapeforms.com	WELLSPRING	TABLE CHAIR: W/ ARM; CHAIR: W/ ARM	44 44 132
NOTE: (7) TABLES TO HAVE UMBRELLA HOLES IN CENTER						
	LITTER RECEPTACLE	LANDSCAPE FORMS	CONTACT: 800.430.6206 x1324 www.landscapeforms.com	WELLSPRING LITTER RECEPTACLE	BLACK POWDER COATED TOP LID	6
	LITTER RECEPTACLE (RECYCLE)	LANDSCAPE FORMS	CONTACT: 800.430.6206 x1324 www.landscapeforms.com	WELLSPRING LITTER RECEPTACLE	BLACK POWDER COATED TOP LID W/ RECYCLE LABEL OPTION (5) FEES	6
	TRASH RECEPTACLE	LANDSCAPE FORMS	CONTACT: 800.430.6206 x1324 www.landscapeforms.com	RIBBED SERIES	COLOR TBO 36" TALL 34" DIA. 12" BASE	4
	BENCH TYPE A	LANDSCAPE FORMS	CONTACT: 800.430.6206 x1324 www.landscapeforms.com	WELLSPRING	48" 19" SEAT HEIGHT FREE STANDING	4
	BENCH TYPE B	LANDSCAPE FORMS	CONTACT: 800.430.6206 x1324 www.landscapeforms.com	WELLSPRING	72" W/ 2 INTERMEDIATE ARMS 19" SEAT HEIGHT FREE STANDING	10
	ROCKING CHAIR	KINGSLEY BATE	www.kingsleybate.com	CHARLESTON ROCKER	TEAK	12
	ADIRONDACK CHAIR	KINGSLEY BATE	www.kingsleybate.com	ADIRONDACK CHAIR	TEAK	8

LANDSCAPE CONTAINERS SCHEDULE - COURTYARD

ITEM	DESCRIPTION	MANUFACTURER	CONTACT	PRODUCT NAME	COLOR / FINISH	QTY
Ⓜ	LANDSCAPE CONTAINER	KORNEGAY DESIGN	CONTACT: 800.252.1832 www.kornegaydesign.com	RIBBED SERIES RS-36	COLOR TYPE A DAVIS: CUSTOM TBO WITH DRAIN HOLE	6
Ⓜ	LANDSCAPE CONTAINER	KORNEGAY DESIGN	CONTACT: 800.252.1832 www.kornegaydesign.com	RIBBED SERIES RS-36	COLOR TYPE A DAVIS: CUSTOM TBO WITH DRAIN HOLE	4
Ⓜ	LANDSCAPE CONTAINER	KORNEGAY DESIGN	CONTACT: 800.252.1832 www.kornegaydesign.com	RIBBED SERIES RS-33	COLOR TYPE A DAVIS: CUSTOM TBO WITH DRAIN HOLE	12
Ⓜ	LANDSCAPE CONTAINER	KORNEGAY DESIGN	CONTACT: 800.252.1832 www.kornegaydesign.com	RIBBED SERIES RS-33	COLOR TYPE B DAVIS: CUSTOM TBO WITH DRAIN HOLE	4
Ⓜ	LANDSCAPE CONTAINER	KORNEGAY DESIGN	CONTACT: 800.252.1832 www.kornegaydesign.com	RIBBED SERIES RS-33	COLOR TYPE B DAVIS: CUSTOM TBO WITH DRAIN HOLE	6
Ⓜ	LANDSCAPE CONTAINER	KORNEGAY DESIGN	CONTACT: 800.252.1832 www.kornegaydesign.com	RIBBED SERIES RS-27	DAVIS: COLOR TBO WITH DRAIN HOLE	6

LANDSCAPE CONTAINER PLANTING SCHEDULE - COURTYARD

ITEM	DESCRIPTION	SCIENTIFIC NAME / COMMON NAME	SIZE	QTY PER CONTAINER	QTY OVERALL TOTAL
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	12
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	8
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	24
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	24
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	8
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	12
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	12
Ⓜ	LANDSCAPE CONTAINER	SCIENTIFIC NAME / COMMON NAME	5 GALLON	2	12

lrd
INCORPORATED
381 W. COLUMBIA STREET
MIDLAND, TX 79701
P: 806.424.4444
F: 806.424.4444

PRELIMINARY
DESIGN
NO CONTRACT
NO FIELD CHANGES

NORRIS DESIGN
PLANNING | ARCHITECTURE | INTERIOR DESIGN
101 E. COLLETON STREET
FLORENCE, ALABAMA 36633
P: 205.274.2525
WWW.NORRISDESIGN.COM

HOST OF THE VALLEY
**DEMENTIA CARE AND
EDUCATION CAMPUS**
44TH STREET AND INDIANOLA AVENUE

REVISION/RELEASE DATE:

USD JOB NO: #1234
CLIENT NUMBER: 00000

**HARDSCAPE
& AMENITY
SCHEDULE**

LA 002

NO: 1-XX-XX BOY: XXXXXX PAPP NUMBER: XXXXXXX L. SHE: XXXXXX CSI: XX-XX SHEET ___ OF X

PLANT SCHEDULE - BUILDING PERIMETER AND PARKING LOT

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	CALIPER HT & WIDTH	QTY
TREES				
	<i>Aspid. alata</i> Albizia	30" BOX	2' to 3' CAL 9 HT & 9 W	42
	<i>Chrys. indica</i> Flamboyant Tree	40" BOX MULTI	2' to 4" CAL 10 HT & 9 W	5
	<i>Prosopis AZT hybrid</i> AZT Thornless Mesquite	40" BOX MULTI	3" to 4" CAL 14 HT & 9 W	17
SHRUBS / ACCENTS				
	<i>Aloe arborescens</i> Aloe Vera	5 GALLON		24
	<i>Philadelph. flor.</i> Fountain Lily	5 GALLON		77
	<i>Querc. laevis</i> 'Lac. Scaevola' Yellow Wild Lily	5 GALLON		84
	<i>Quercus. nigra</i> Green Hoop Pine	5 GALLON		45
	<i>Eremophila hygrophila</i> Blue Bell	5 GALLON		27
	<i>Leucopryon laevigatum</i> White White Cloud Sage	5 GALLON		70
	<i>Muhlenbergia sp.</i> Deer Grass	5 GALLON		82
	<i>Prosopis juliflora</i> Little Old Tree	5 GALLON		9
	<i>Ruellia brittoniana</i> Mexican Petunia	5 GALLON		119
	<i>Ruellia brittoniana</i> Mexican Petunia	5 GALLON		30
	<i>Yucca filifera</i> Yucca	15 GALLON		31
	<i>Yucca filifera</i> Yucca	15 GALLON		5
GROUNDCOVER / VINYL				
	<i>Paspalum paspalodes</i> Paspalum	15 GALLON		66
	<i>Lantana x morisonensis</i> Lantana	1 GALLON		279

PLANT SCHEDULE - COURTYARD

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	CALIPER HT & WIDTH	QTY
TREES				
	<i>Chusa. linearis</i> Limon Tree	30" BOX	2' to 3' CAL 9 HT & 9 W	5
	<i>Prosopis AZT hybrid</i> AZT Thornless Mesquite	30" BOX MULTI	2 1/2" CALIPER 10 HT & 9 W	4
	<i>Prinos. s. affinis</i> Chevy Plum Tree	30" BOX	2" to 2 1/2" CAL 10 HT & 9 W	5
SHRUBS / ACCENTS				
	<i>Aloe arborescens</i> Aloe Vera	5 GALLON		91
	<i>Acrostichum</i> Crested Fern	5 GALLON		23
	<i>Philadelph. flor.</i> Fountain Lily	5 GALLON		81
	<i>Querc. laevis</i> 'Lac. Scaevola' Yellow Wild Lily	5 GALLON		53
	<i>Quercus. nigra</i> Green Hoop Pine	5 GALLON		14
	<i>Eremophila hygrophila</i> Blue Bell	5 GALLON		9
	<i>Leucopryon laevigatum</i> White White Cloud Sage	5 GALLON		28
	<i>Muhlenbergia sp.</i> Deer Grass	5 GALLON		82
	<i>Muhlenbergia sp.</i> Deer Grass	5 GALLON		67
	<i>Prosopis juliflora</i> Little Old Tree	5 GALLON		42
	<i>Ruellia brittoniana</i> Mexican Petunia	5 GALLON		70
	<i>Ruellia brittoniana</i> Mexican Petunia	5 GALLON		15
	<i>Yucca filifera</i> Yucca	15 GALLON		12
	<i>Yucca filifera</i> Yucca	15 GALLON		25
GROUNDCOVER				
	<i>Bahia</i> Bahia	5 GALLON		20
	<i>Lantana x morisonensis</i> Lantana	5 GALLON		24
	<i>Lantana x morisonensis</i> Lantana	5 GALLON		33
	<i>Paspalum paspalodes</i> Paspalum	5 GALLON		20
	<i>Lantana x morisonensis</i> Lantana	5 GALLON		71
	<i>Lantana x morisonensis</i> Lantana	5 GALLON		50

Ird
200 W. Columbia Street
Waco, TX 76798
737.875.0000

PEELBINARY
200 W. Columbia Street
Waco, TX 76798
737.875.0000

NORRIS DESIGN
200 W. Columbia Street
Waco, TX 76798
737.875.0000

HOSPICE OF THE VALLEY
**DEMINTIA CARE AND
 EDUCATION CAMPUS**
 44TH STREET AND INDIANOLA AVENUE

REVISION/RELEASE DATE:

LDG JOB NO: 415.20
 CLIENT NUMBER: 300.00

LANDSCAPE
 SCHEDULE

LA 002



NORRIS DESIGN
 PEPPER HARBOR ARCHITECTURAL GROUP
 951 East Lakeside Street
 Pepper, Angles, ASUHA
 F 805.374.9200
 www.norrisdesign.com

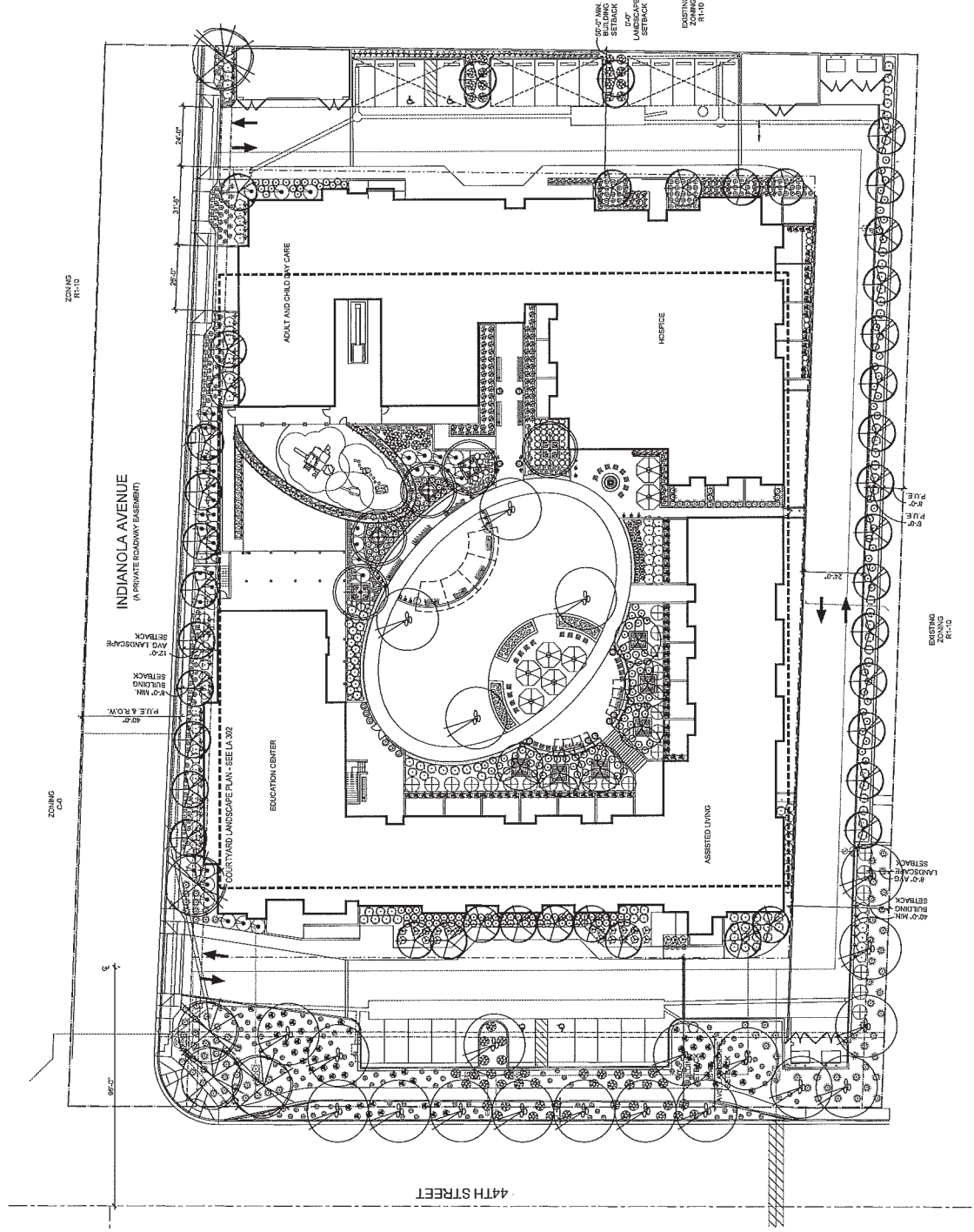
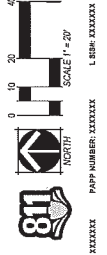
HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
 EDUCATION CAMPUS**
 44TH STREET AND INDIANOLA AVENUE

REVISION/RELEASE DATE

4/15/24
 200.20
 US JOB NO.
 CLIENT NUMBER

**LANDSCAPE
 PLAN**

LA 301
 SHEET _ OF 1



ZONING
 CA
 R1-10

ZONING
 CA
 R1-10

INDIANOLA AVENUE
 (A PRIVATE RAILWAY BASEMENT)

ADULT AND CHILD DAY CARE

HOSPICE

EDUCATION CENTER

ASSISTED LIVING

44TH STREET

SETBACK
 BUILDING
 4'-0" MIN.
 P.U.E. & R.O.W.
 4'-0"

SETBACK
 LANDSCAPE
 12'-0"

COURTYARD LANDSCAPE PLAN - SEE LA 302

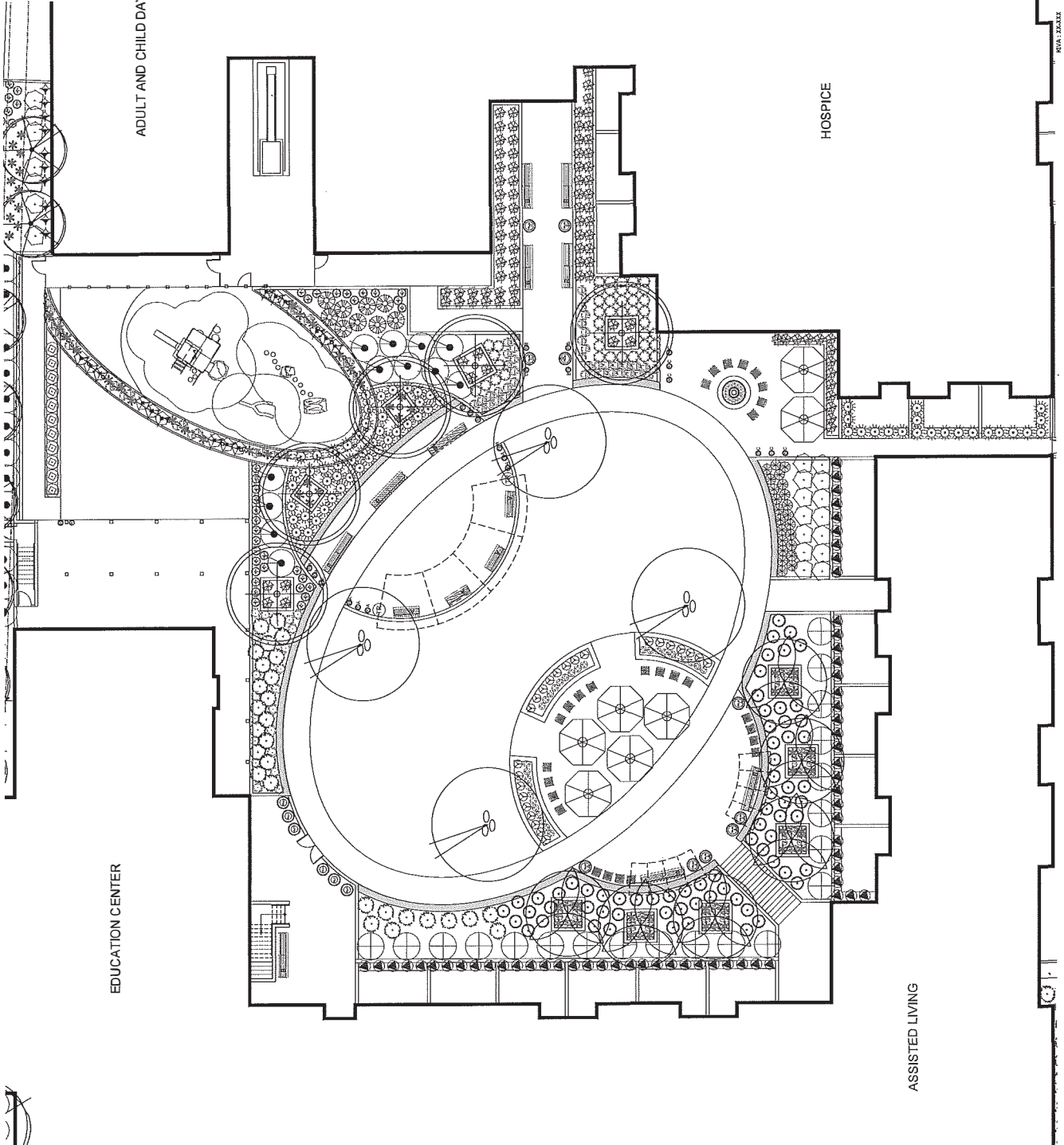
EXISTING
 BUILDING
 SETBACK
 12'-0"

EXISTING
 LANDSCAPE
 SETBACK
 12'-0"

EXISTING
 ZONING
 R1-10

4'-0" MIN.
 BUILDING
 SETBACK
 LANDSCAPE
 SETBACK
 12'-0"

6'-0" P.U.E.
 6'-0" P.U.E.



NORRIS DESIGN
 Planning | Landscape Architecture | Interiors

501 East McDowell Street
 Phoenix, Arizona 85004
 Phone: 602.254.8500
 Fax: 602.254.8500
 www.norrisdesign.com

HOSPICE OF THE VALLEY
 EDUCATION CAMPUS
 44TH STREET AND INDIANOLA AVENUE

REVISION/RELEASE DATE:

PROJECT NO.: 41524
 CLIENT NUMBER: 00000

COURTYARD
 LANDSCAPE
 PLAN

LA 302
 SHEET ___ OF A



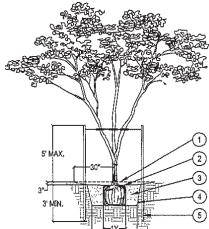
CAD: XXXX

LABOR: XXXXXX

P&P NUMBER: XXXXXX

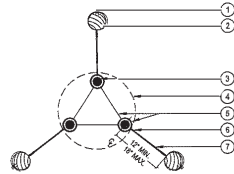
SCHEMATIC: XXXXXX

NOVA: XXXXXX

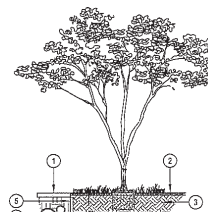


- ① FINISHED GRADE
- ② 3\"/>
- ③ BACKFILL WITH NATIVE SOIL. WATER SETTLE. HOLE SIZE: 2X WIDTH OF ROOTBALL. LOOSEN SOIL 3X WIDTH OF ROOTBALL.
- ④ SIDES OF PLANT FIT SHALL BE SCARIFIED AND SLOPING.
- ⑤ 2\"/>

NOTES:
 1. SET TOP OF ROOTBALL 4\"/>



- ① BEND TWISTED WIRE DOWN AND STAPLE TO STAKE
- ② PRESSURE TREATED 2\"/>
- ③ TREE STEM
- ④ ROOTBALL
- ⑤ TWO STRAND 12 GA. GALV. WIRE IN 3/4\"/>
- ⑥ TWIST WIRE MIN. 4 TIMES AT ALL LOCATIONS SHOWN
- ⑦ ONE CONTINUOUS PIECE #12 GALVANIZED ANNEALED NEW STEEL WIRE EACH SIDE



- ① SIDEWALK - SEE HARDSCAPE PLAN
- ② FINISHED GRADE
- ③ AMENDED PLANTING SOIL
- ④ UNDISTURBED SUBGRADE
- ⑤ ROOT BARRIER - MODEL LB 18-2 MANUFACTURED BY DEEPROOF OR APPROVED EQUAL. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.
- ⑥ ADJACENT UTILITIES - SEE CIVIL PLAN

NOTES:
 1. CONTRACTOR RESPONSIBLE FOR COMPACTING TRENCH AFTER INSTALLING BARRIER.
 2. BARRIER TO BE LOCATED ALONG ALL CURBS AND WALKS WHERE SUCH CONDITION EXIST.
 3. SEE LANDSCAPE PLAN FOR LOCATION.

lrd
 ARCHITECTS
 1000 W. GARDNER STREET
 SUITE 200, ALHAMBRA
 CA 91803-4000
 P: 626.442.0000
 F: 626.442.0000

PERMITTING
 STAMP

NORRIS DESIGN
 PLANNING ARCHITECTURE INTERIOR DESIGN

571 East Hudson Street
 Pasadena, CA 91105
 P: 626.251.8800
 www.norrisdesign.com

4 MULTI-TRUNK TREE PLANTING

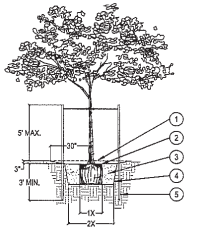
SCALE: 3/16" = 1'-0"

5 MULTI-TRUNK TREE STAKING

SCALE: 1/4" = 1'-0"

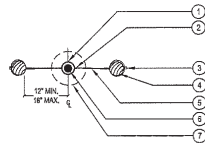
6 ROOT BARRIER

SCALE: NTS



- ① FINISHED GRADE
- ② 3\"/>
- ③ BACKFILL WITH NATIVE SOIL. WATER SETTLE. HOLE SIZE: 2X WIDTH OF ROOTBALL. LOOSEN SOIL 3X WIDTH OF ROOTBALL.
- ④ SIDES OF PLANT FIT SHALL BE SCARIFIED AND SLOPING.
- ⑤ 2\"/>

NOTES:
 1. SET TOP OF ROOTBALL 4\"/>



- ① 3/4\"/>
- ② TWIST WIRE MIN. 4 TIMES AT ALL LOCATIONS SHOWN
- ③ BEND TWISTED WIRE DOWN AND STAPLE TO STAKE
- ④ PRESSURE TREATED 2\"/>
- ⑤ ONE CONTINUOUS PIECE #12 GALVANIZED ANNEALED NEW STEEL WIRE EACH SIDE
- ⑥ TREE TRUNK
- ⑦ ROOTBALL



- ① 12\"/>
- ② FINAL APPLICATION OF PRE-EMERGENT HERBICIDE
- ③ DECOMPOSED GRANITE / DECORATIVE ROCK PER TOPDRESS SCHEDULE - MIN. 2\"/>
- ④ APPLY PRE-EMERGENT HERBICIDE TO SUBGRADE

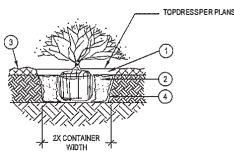
NOTES:
 1. APPLY PRE-EMERGENT HERBICIDE PER LABEL DIRECTIONS AND RATE.

4 SINGLE-TRUNK TREE PLANTING

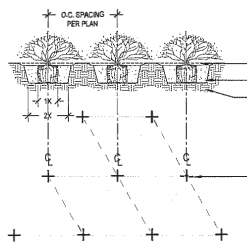
SCALE: 3/16" = 1'-0"

5 SINGLE-TRUNK TREE STAKING

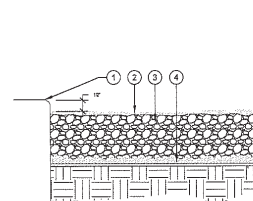
SCALE: 1/4" = 1'-0"



- ① 3\"/>
 - ② BACKFILL WITH NATIVE SOIL. HOLE SIZE: 2X WIDTH OF ROOTBALL. LOOSEN SOIL 3X WIDTH OF ROOTBALL. WATER SETTLE.
 - ③ FINISH GRADE (TOP OF MULCH)
 - ④ SIDES OF PLANT FIT SHALL BE SCARIFIED AND SLOPING
- NOTES:
 1. BROWN OR CRUMBING ROOTBALLS WILL BE REJECTED
 2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOTBALL WHEN REMOVING IT FROM ITS CONTAINER
 3. DIG PLANT FITTINGS WIDE AND HIGH AS THE CONTAINER
 4. PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING



- ① MULCH TO A DEPTH OF 2-4\"/>
 - ② BACKFILL WITH NATIVE SOIL. APPLY SLOW-RELEASE FERTILIZER TO SURFACE AWAY FROM TRUNK PER MANUFACTURERS SPECIFICATIONS.
 - ③ PREPARE SOIL PER SPECIFICATIONS AND ROTATE TO A DEPTH OF 8\"/>
- NOTES:
 1. ALL GROUND COVERS TO BE PLANTED ON CENTER (SEE PLANT LEGEND) IN TRIANGULAR PATTERN.



REVISION/RELEASE DATE:

4 SHRUB + GROUND COVER PLANTING

SCALE: 1/4" = 1'-0"

7 GROUND COVER PLANTING

SCALE: 1/4" = 1'-0"

8 TOPDRESS

SCALE: NTS

1873 JOB NO. 415.24
 CLIENT NUMBER 000.00

LANDSCAPE DETAILS

LA 401

K-8

Comparative Zoning Standards Table

Development Standard	PUD Requirement	R1-10 (Subdivision Development Option)	C-1 (Commercial Zoning District)
Density	N/A	3.50	R-3 (PRD); 15.23, 17.40 with bonus
Building Height	33-feet Maximum; <ul style="list-style-type: none"> ➤ within 125-foot maximum of the north property line and within 200-foot maximum from the west property line (Northwest corner of the site) 24-feet Maximum; <ul style="list-style-type: none"> ➤ remainder of the site 	2 stories and 30 feet	2 stories and 30 feet
Building Setbacks	North: 49-foot Minimum South: 40-foot Minimum East: 50-foot Minimum West: 60-foot Minimum	North: 3-foot or 10-foot Minimum South: 3-foot or 10-foot Minimum East: 25-foot Minimum West: 25-foot Minimum	North: 20-foot Minimum; 25-foot Average for structures exceeding two stories or 30 feet 30-foot Average for structures exceeding two stories or 30 feet South: 50-foot Minimum East: 50-foot Minimum West: 20-foot Minimum; 25-foot Average for structures exceeding two stories or 30 feet 30-foot Average for structures exceeding two stories or 30 feet
Landscape Setbacks	North: 2-foot Minimum; 5-foot Average South (1): 14-foot Minimum	North: None	North: 10-foot Minimum

	<p>(Within 121 feet Minimum of the West Property line)</p> <p>South (2): 6-feet Minimum (beginning 121 Feet Minimum of the west property line and measured from the back of alley/PUE easement line)</p> <p>East: 0-feet</p> <p>West: 14-feet Minimum; 28-feet Average</p>	<p>South: None</p> <p>East: None</p> <p>West: None</p>	<p>South: 10-feet Minimum</p> <p>East: 10-feet Minimum</p> <p>West: 25-feet average for structures not exceeding two stories or 30 feet, 20-foot Minimum for up to 50% of the frontage.</p> <p>30-feet Average for structures exceeding two stories or 30 feet, 20-foot Minimum for up to 50% of the frontage.</p>
Planting Standards	<p>North: 60% 3-inch and 40% 4-inch</p> <p>South: 60% 3-inch and 40% 4-inch</p> <p>East: N/A</p> <p>West: 50% 2-inch, 25% 3-inch and 25% 4-inch</p>	<p>North: None</p> <p>South: None</p> <p>East: None</p> <p>West: None</p>	<p>North: 60% 2-inch and 40% 1-inch</p> <p>South: 60% 2-inch and 40% 1-inch</p> <p>East: 60% 2-inch and 40% 1-inch</p> <p>West: 50% 2-inch, 25% 3-inch and 25% 4-inch</p>

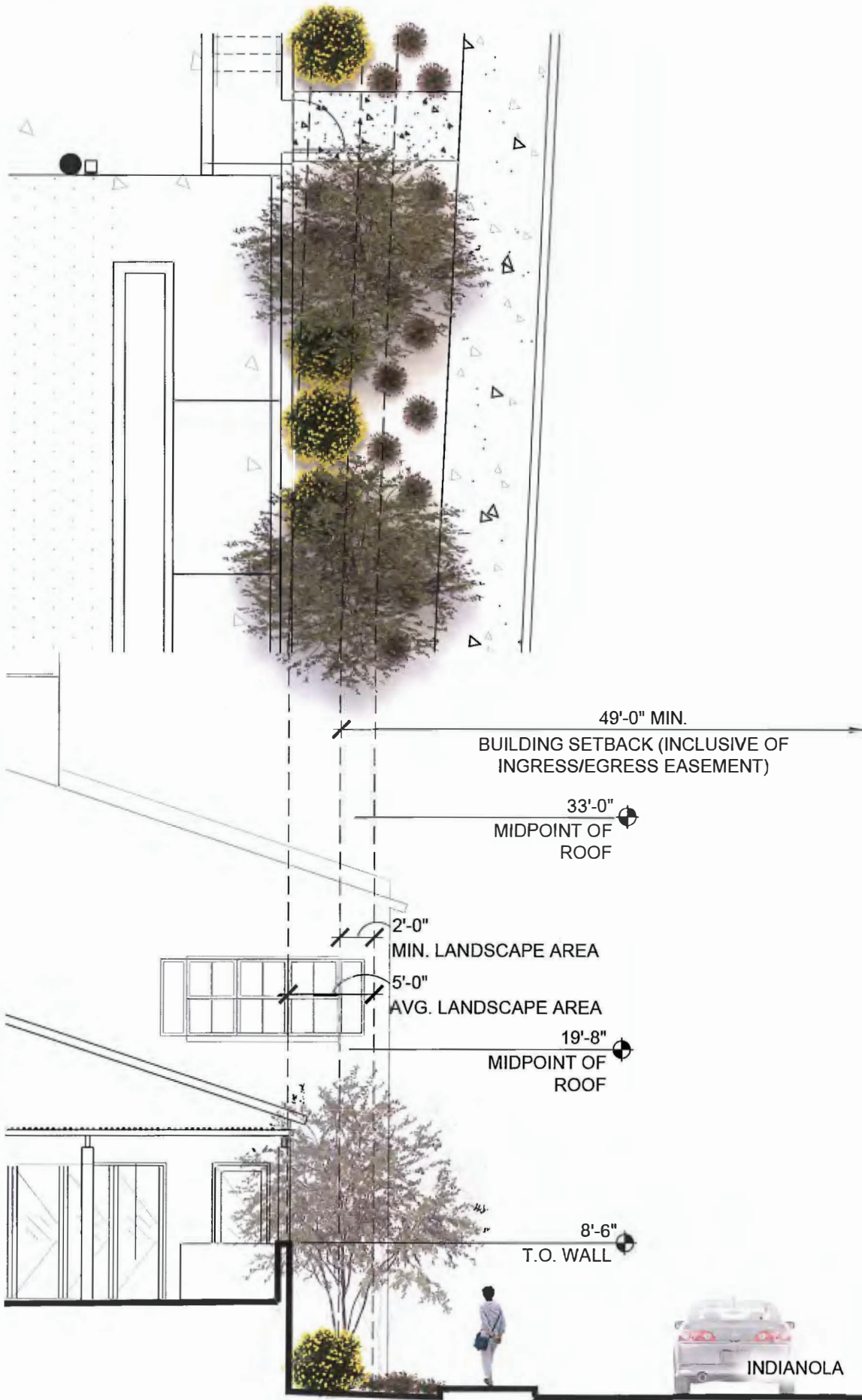
Lot Coverage	<p>40% Maximum</p> <p>3% - Maximum (accessory structures, including parking canopies)</p> <p>47% - Maximum (underground parking garage)</p>	40% Maximum	50% Maximum
Open Space	7% Minimum	None	None
Parking	The PUD will comply with Section 702 of the Phoenix Zoning Ordinance	The PUD will comply with Section 702 of the Phoenix Zoning Ordinance	The PUD will comply with Section 702 of the Phoenix Zoning Ordinance

K-9

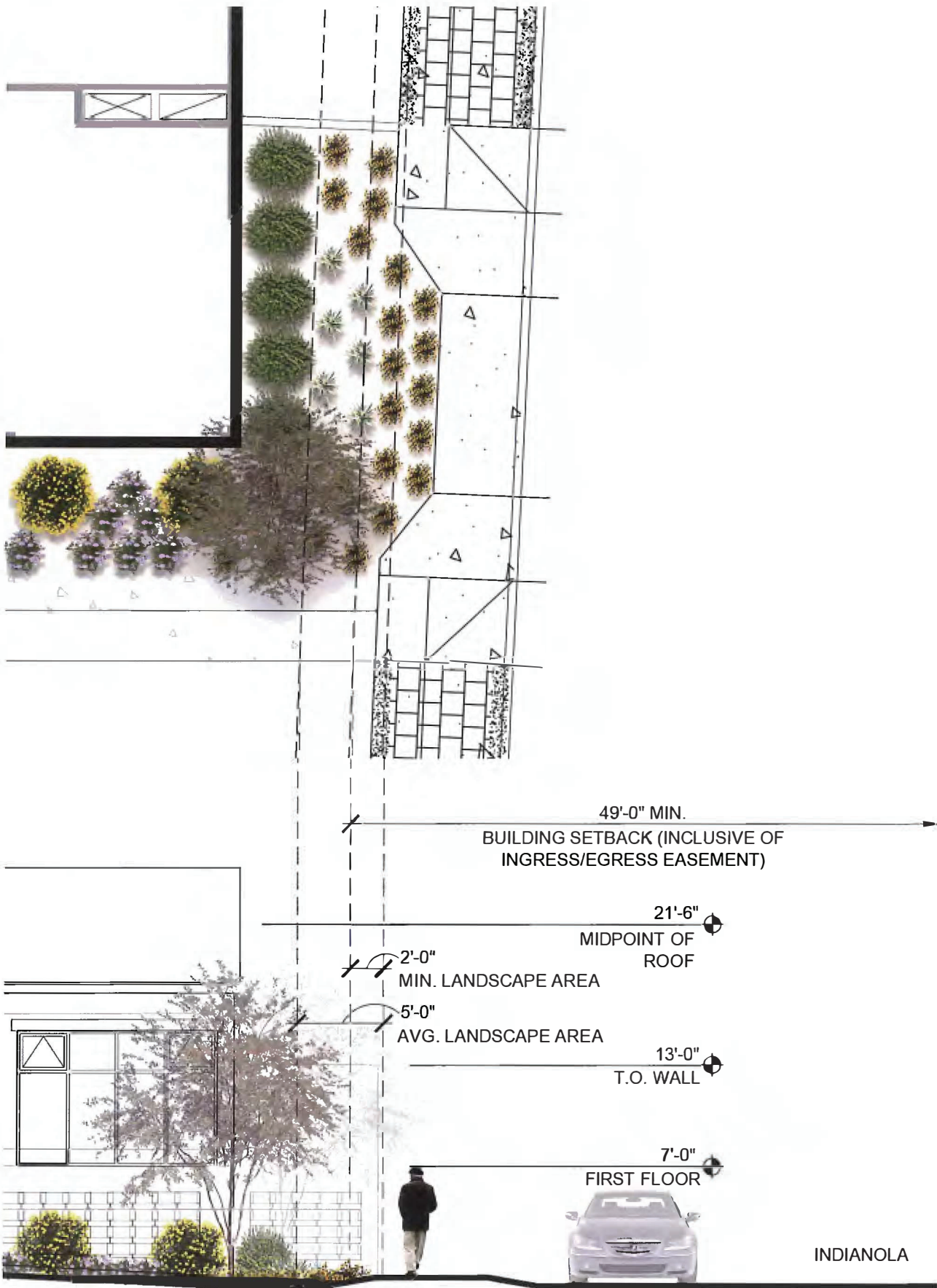
**Traffic Impact Analysis
Submitted Under Separate Cover
to the city of Phoenix Street Transportation
Department.**

By David Duffy, P.E. with CivTech.

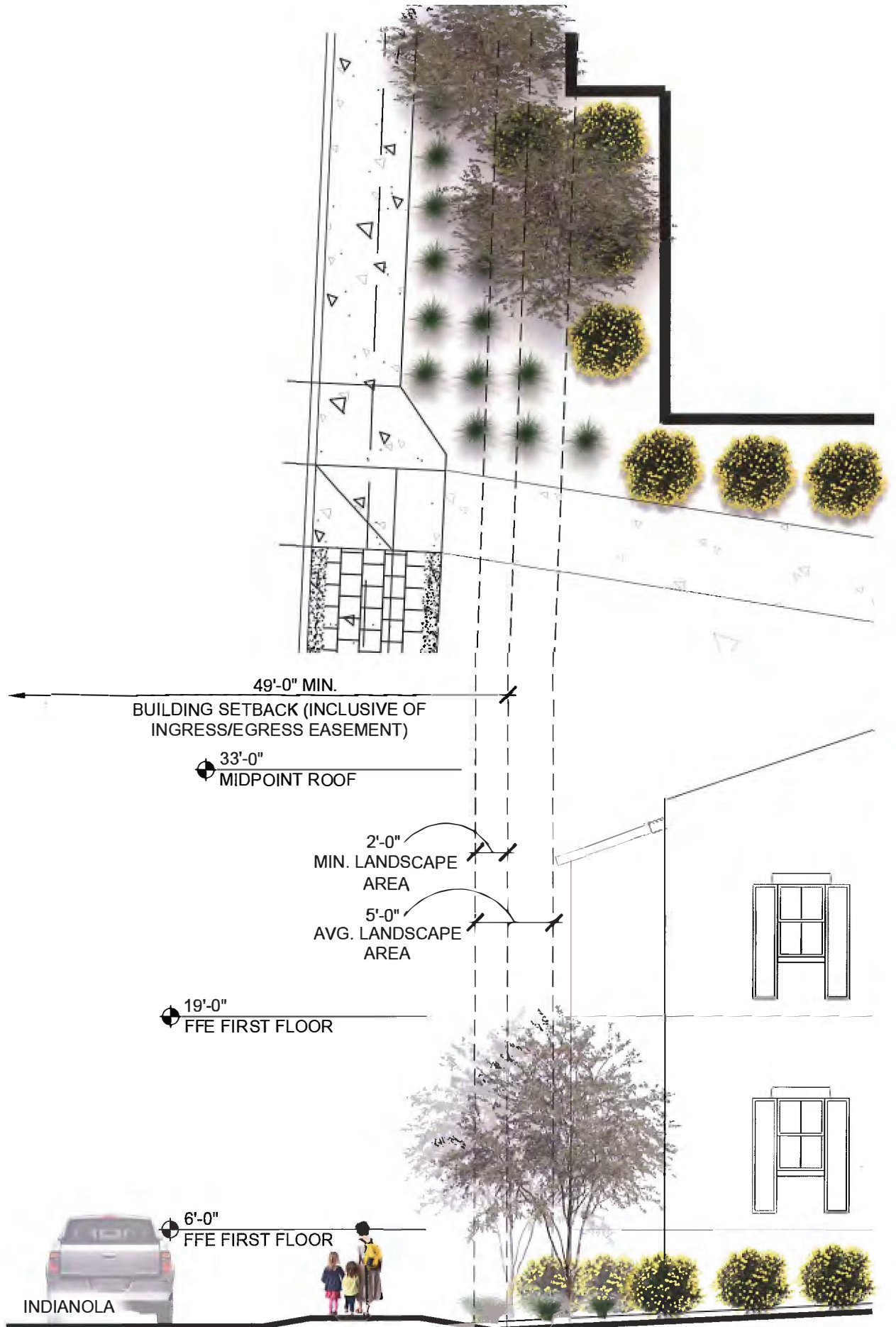
K-10



**HOSPICE OF THE VALLEY DEMENTIA CARE AND EDUCATION CAMPUS
SETBACKS ALONG INDIANOLA - SECTION THROUGH COURTYARD**

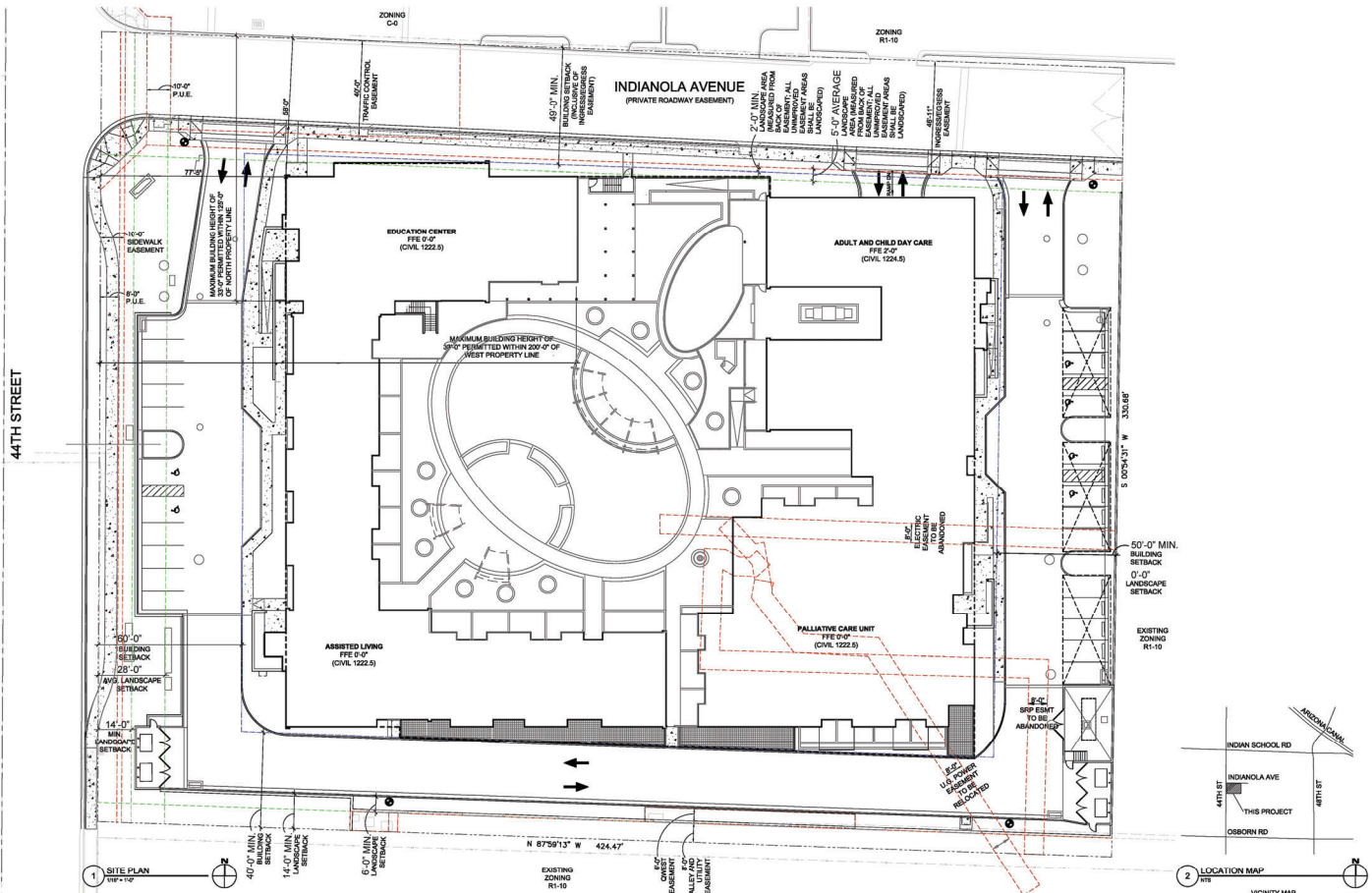


**HOSPICE OF THE VALLEY DEMENTIA CARE AND EDUCATION CAMPUS
SETBACKS ALONG INDIANOLA - NE CORNER**



**HOSPICE OF THE VALLEY DEMENTIA CARE AND EDUCATION CAMPUS
SETBACKS ALONG INDIANOLA - NW CORNER**

K-11



HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
EDUCATION CAMPUS**
38111 N. 44TH STREET



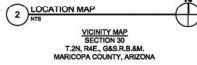
REVISION/RELEASE DATE:
02.22.2019 100% SUBMITTAL

LRD JOB NO: 41526
CLIENT NUMBER: 000100

**PROPOSED BLDG
HEIGHT AND
SETBACK EXHIBIT**

PROPOSED BUILDING HEIGHT AND BUILDING AND LANDSCAPE SETBACK EXHIBIT

- LEGEND**
- EASEMENTS
 - BUILDING SETBACK
 - LANDSCAPE SETBACK
 - OUTLINE OF PARKING GARAGE BELOW

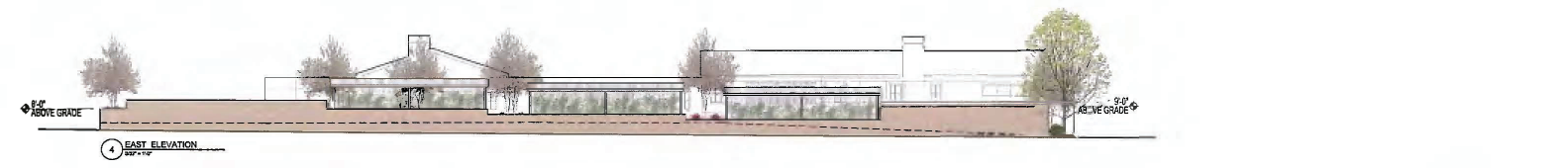
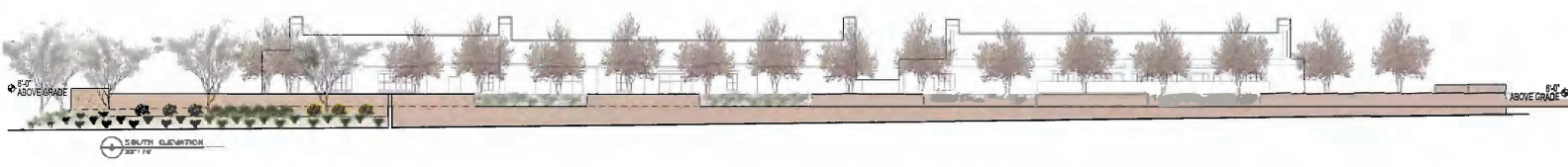


1 SITE PLAN

2 LOCATION MAP

VICINITY MAP
SECTION 30
T.2N. R.1E. Q4S.8.34M.
MARICOPA COUNTY, ARIZONA

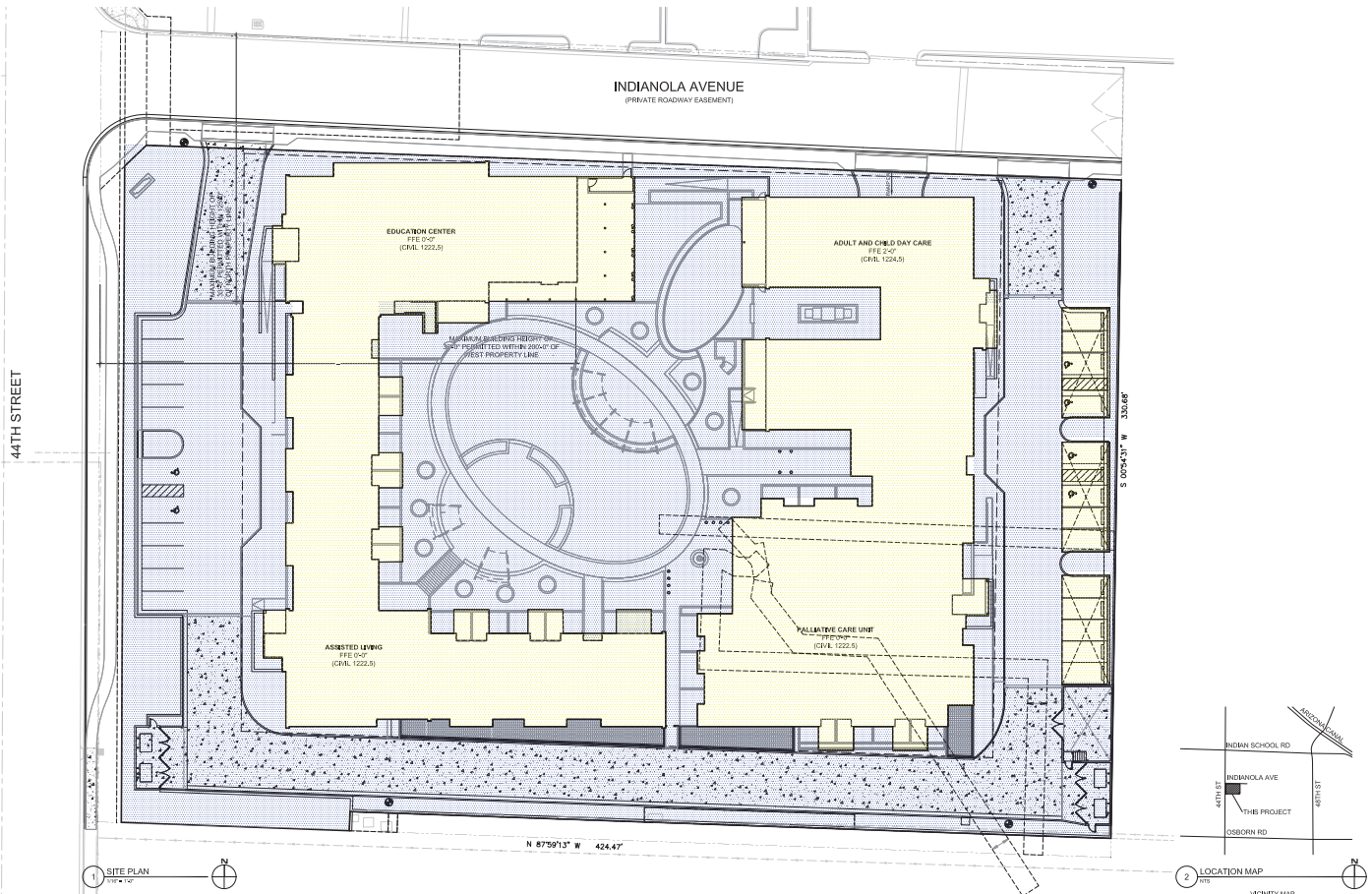
K-12



HOSPICE OF THE VALLEY - DEMENTIA CARE AND EDUCATION CAMPUS
3811 N. 44TH STREET



K-13



HOSPICE OF THE VALLEY
**DEMENTIA CARE AND
EDUCATION CAMPUS**
3811 N. 44TH STREET



REVISION/RELEASE DATE: _____

LRD JOB NO: 415.56
CLIENT NUMBER: 003.00

LOT COVERAGE CALCULATIONS

LOT COVERAGE CALCULATIONS

LOT COVERAGE = .370 OR 37%
NET LOT AREA = 115,462 SF
STRUCTURAL COVERAGE = 36,205 BUILDINGS + 6,612 SHADE CANOPIES = 42,817 SF
PORTIONS OF PARKING GARAGE 4'-6" ABOVE ADJACENT GRADE = 2,529 SF/115,462 SF = .022 OR 2.2%
NORTH ELEVATION = 1,250 SF
EAST ELEVATION = 564 SF
WEST ELEVATION = 715 SF
TOTAL PORTIONS OF PARKING GARAGE 4'-6" ABOVE ADJACENT GRADE = 2,529 SF

LEGEND

- SETBACK
- EASEMENTS
- PROPERTY LINE
- [Blue Hatched Box] NET LOT AREA
- [Yellow Box] BUILDING AND ACCESSORY STRUCTURES COVERAGE

1 SITE PLAN

2 LOCATION MAP

SECURITY MAP
SECTION 36
T.2N. R.1E. S.12E. S.4M.
MARICOPA COUNTY, ARIZONA

Appendix A



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

March 25, 2019

Paul E. Gilbert
Beus Gilbert, PLLC
701 North 44th Street
Phoenix, Arizona 85008

Dear Applicant:

RE: Z-44-18-6 – Southeast corner of 44th Street and Indianola Avenue alignment

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 601 of the Zoning Ordinance, as amended, has on March 6, 2019, approved Zoning Ordinance # G-6564.

Development and use of the site is subject to compliance with all applicable codes and ordinances.

Sincerely,

Joshua Bednarek
Planning and Development Deputy Director

Attachment: Signed Ordinance

c: Hospice of Valley, 1510 E. Flower St., Phoenix, AZ 85014
File
Tricia Gomes, PDD–Planning–Special Projects Administrator (Electronically)
Racelle Escolar, PDD–Planning–Planner III (Electronically)
Maja Brkovic, PDD–Planning–Village Planner (Electronically)
Ben Kim, PDD–GIS (Electronically)
Randy Weaver, PDD–Development (Electronically)
Penny Parrella, City Council (Electronically)

ORDINANCE G-6564

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-44-18-6) FROM R1-10 (SINGLE-FAMILY RESIDENCE DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT).

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as follows:

SECTION 1. The zoning of a 3.56 acre property located at the southeast corner of 44th Street and Indianola Avenue in a portion of Section 30, Township 2 North, Range 4 East, as described more specifically in Exhibit "A," is hereby changed from "R1-10" (Single-Family Residence District) to "PUD" (Planned Unit Development).

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit "B."

SECTION 3. Due to the site's specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

1. An updated Development Narrative for the Hospice of the Valley Campus PUD reflecting the changes approved through this request shall be submitted to the Planning and Development Department within 30 days of City Council approval of this request. The updated Development Narrative shall be consistent with the Development Narrative date stamped December 18, 2018, as modified by the following stipulations:
 - a. Front Cover: Revise the submittal date information on the bottom to add the following: City Council adopted: [Add adoption date].
 - b. Page 4, Table of Contents: Update page numbers to match the PUD sections.
 - c. Page 4, Exhibits: Modify Exhibit 10 to “Cross-Section along Indianola Avenue” and Exhibit 11 to “Proposed Building Height and Building and Landscape Setback Exhibit.”
 - d. Page 11, First Sentence, Revise as follows: “Clearly, even the proposed height is consistent and compatible with the single-family residential zoning districts....”
 - e. Page 16, Building Height, Second Paragraph, Second Sentence, Revise as follows: “The result of this compatible lot coverage is the creation of greater openness...”
 - f. Page 16, Building Height, Second Paragraph, Fourth Sentence: Delete.
 - g. Page 17, The Landscape Design, Fourth Paragraph, First Sentence: Modify as follows: “An average 28-foot landscape setback...”
 - h. Page 18, List of Uses: Add the following below 1.a): b) No residential dwelling units, as defined by Section 202 of the City of Phoenix Zoning Ordinance shall be permitted.
 - i. Page 21, Development Standards, Building Setbacks: Modify to Exhibit K-11.
 - j. Page 22, Add: Development Standards header at the top of the table.
 - k. Page 22, Landscape Setbacks/Area and Building Height: Modify to Exhibit K-11.

- l. Page 22, Second Building Height Standard, Add "Maximum" in front of Building Height and change the maximum building height to 25-feet.
- m. Page 22, Lot Coverage, Delete: "Note: Calculations assume gross site area including Indianola Avenue."
- n. Page 26, Design Guidelines, 2.c, Modify as follows: "Building facades shall not exceed 40 linear feet without architectural embellishments..."
- o. Page 26, Design Guidelines, Façade articulation standards, Add the following: "g. Second story windows shall be prohibited along the southern property line."
- p. Page 29, Sustainability, Add the following requirement: "6. Recycling collection areas shall be identified on the site plan at the time of the site plan review process. A minimum of two recycle containers to service the development shall be provided, as approved by the Planning and Development Department."
- q. Exhibit 8: Modify the North and South Building Setbacks for the R1-10 Subdivision column to the following: "3 or 10 feet."
- r. Exhibit 11: Add "Proposed Building Height and Building and Landscape Setback Exhibit" above the legend and increase the legend font size.
- s. Add a lot coverage exhibit exhibiting the following:
 - 1. The primary building and the accessory structures square footage divided by the net lot area; provide calculation at the bottom of exhibit.
 - 2. Portions of the parking garage that are above 4 feet 6 inches from the natural grade square footage divided by the net lot area; provide calculations at the bottom of exhibit.Make a reference to the exhibit in the development standards table for lot coverage in the following manner: "** See Exhibit K-13 for lot coverage calculation standards."

2. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
3. The property owner shall record documents that disclose the existence, and operational characteristics of Sky Harbor International Airport (PHX) to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided.
4. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
5. Provide a left-turn arrow light off of 44th Street and Indianola to the existing light, as approved by the Planning and Development Department.
6. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 Waiver of Claims form. The Waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 6th day of March,

2019.

Thelda Williams
MAYOR

ATTEST:

Janice Archuleta City Clerk



APPROVED AS TO FORM:

[Signature] Acting City Attorney pml

REVIEWED BY:

[Signature] City Manager

PL:tml:LF19-0425-03/06/19:2095924v1

Exhibits:

A – Legal Description (1 Page)

B – Ordinance Location Map (1 Page)

EXHIBIT A

LEGAL DESCRIPTION FOR Z-44-18-6

LEGAL DESCRIPTION:

LOT 2 (PER TITLE REPORT):

THE LAND REFERRED TO HEREIN BELOW IS SITUATED PHOENIX, IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS: LOT 2, OF ARCADIA HIGH SCHOOL, ACCORDING TO BOOK 1248 OF MAPS, PAGE 49, RECORDS OF MARICOPA COUNTY, ARIZONA.

LOT 2 (METES AND BOUNDS, SEE BK 1259, PG 08, MCR):

THAT PART OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY ARIZONA, BEING PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 30, FROM WHICH THE NORTHEAST CORNER OF SAID SECTION 30 BEARS SOUTH 87°51'48" EAST, A DISTANCE OF 2684.68 FEET;

THENCE SOUTH 0°17'18" WEST, ALONG THE MID-SECTION LINE OF SAID SECTION 30, A DISTANCE OF 993.73 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 30;

THENCE, DEPARTING FROM SAID MID-SECTION LINE, SOUTH 87°57'36" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 40.02 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF 44TH STREET, ALSO BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PART;

THENCE CONTINUING SOUTH 87°57'36" EAST, ALONG SAID NORTH LINE, A DISTANCE OF 428.06 FEET;

THENCE, DEPARTING FROM SAID NORTH LINE, SOUTH 0°54'31" WEST, A DISTANCE OF 330.68 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 30;

THENCE NORTH 87°59'13" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 424.47 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID 44TH STREET;

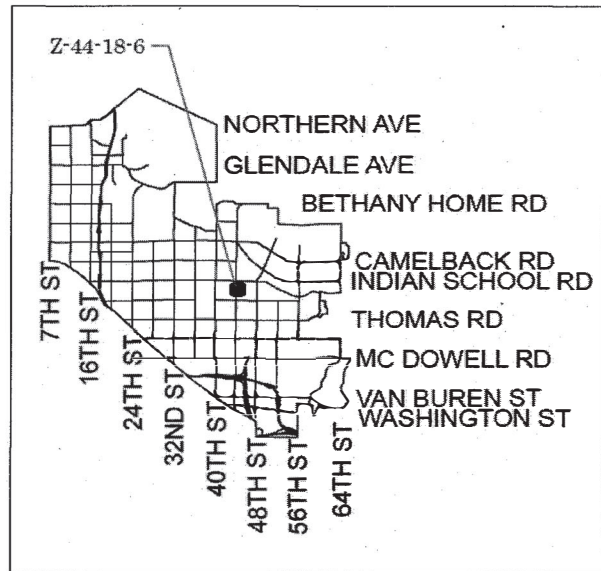
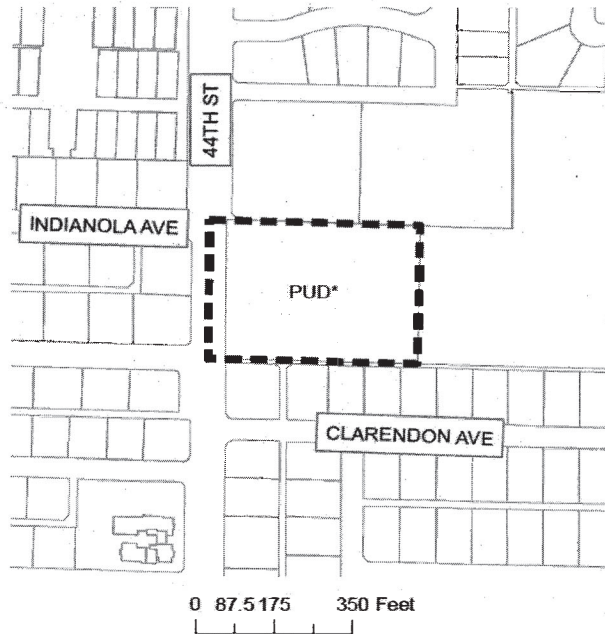
THENCE NORTH 0°17'18" EAST, ALONG SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 330.98 FEET TO THE POINT OF BEGINNING.

ORDINANCE LOCATION MAP

EXHIBIT B

ZONING SUBJECT TO STIPULATIONS: *
SUBJECT AREA: ■■■■■■

Zoning Case Number: Z-44-18-6
Zoning Overlay: N/A
Planning Village: Camelback East



NOT TO SCALE



Drawn Date: 2/6/2019