

CITY OF PHOENIX

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Planning & Development
Department

SCOTTSDALE TOWNE SQUARE *THUNDERBIRD PHASE*

14036 N. Scottsdale Road

**Planned Unit Development
Development Narrative**

Case No. Z-40-22-2



1st Submittal:	May 11, 2022
2nd Submittal:	October 10, 2022
Hearing Draft Submittal:	November 18, 2022
City Council Adopted:	February 1, 2023

PLANNED UNIT DEVELOPMENT DISCLAIMER

A Planned Unit Development (“PUD”) is intended to be a stand-alone set of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix Zoning Ordinance. A PUD includes substantial background information to illustrate the intent of the development. However, these purpose and intent statements are not necessarily requirements to be enforced by the City. The PUD only modifies zoning ordinance regulations to fit the unique character of the project, site characteristics and location. It does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of-way abandonments.

This PUD will provide the set of regulatory zoning provisions designed to guide the implementation of the overall development plan through the City of Phoenix development review and permit process. The provisions provided within this PUD shall apply to all property within the PUD project boundary. The zoning and development standards provided herein shall amend the various noted provisions of the City of Phoenix Zoning Ordinance (as adopted and periodically amended). In the event of a conflict between a use, a development standard, or a described development procedure between the City of Phoenix Zoning Ordinance and the PUD, the PUD shall prevail.

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A. PURPOSE AND INTENT

The intent of this application is to ensure *Scottsdale Towne Square* remains relevant in the ever-changing retail market and “Age of Amazon” and becomes a high-quality, vibrant, community retail center for years to come. To do so, this application will rezone approximately 8.54-gross acres of the center from Planned Shopping Center (PSC), Intermediate Commercial (C-2) and Intermediate Commercial with a Special Permit (C-2, SP) to Planned Unit Development (PUD) to allow for reinvestment and the redevelopment of the aging center into a thriving, mixed-use development with retail, restaurants, residential and services uses designed around amenity spaces and the overall pedestrian experience. These improvements, termed the “Thunderbird Phase” will create a vibrant, mixed-use center and amenity for the surrounding residents and businesses.

1. THE PROPERTY

The property is located at 14036 N. Scottsdale Road, near the northwest corner of Thunderbird and Scottsdale Roads, Assessor Parcel #215-57-184N, (the “Property”). See area Vicinity Map attached at **TAB A**. The Property is roughly 8.54-gross acres in size and makes up the northern portion of the larger, roughly 16-acre commercial center commonly referred to as *Scottsdale Towne Square*. This application does not apply to the full center – only to the northern portion. See Site Aerial Maps attached at **TAB B**. This PUD application has been specifically tailored for this site to establish development standards and guidelines that will ensure a high-quality project that contributes to and enhances the retail experience and overall area. The Property has a General Plan designation of Commercial. See General Plan Map attached at **TAB C**. No change to the General Plan is required for this application.

2. THE CHANGING RETAIL MARKET (WHY THE STATUS QUO IS NOT SUSTAINABLE)

Markets are constantly changing; however, right now, the Retail market is in the midst a massive correction and contraction. Industry experts refer to this as the great "Retail Apocalypse." This market shift, while exacerbated by the recent COVID pandemic, has been ongoing for over a decade. Consumer spending habits have evolved (i.e., Amazon and other online shopping options) and the retail market has matured with an increased emphasis on local, boutique services and experience-driven retail (i.e., restaurants, splash pads, gathering areas, etc.).

The site in question is no different. Originally developed in 1986, as a grocery anchored retail center, the property has evolved throughout the years as tenant and consumer needs changed. While the center has been immaculately maintained, it has inherent deficiencies which make it vulnerable to vacancy in today's retail market. Specifically, the current layout of the buildings is dated and designed in a more suburban style with "big box" spaces and a large "sea" of asphalt parking out front. In a national trend, big box tenants have been downsizing and, in many cases, disappearing. This is evident in the previous 25,000 square feet of space now being occupied by a church. While a good stopgap by means of backfilling empty retail space, and the best option available at the time of vacancy, places of worship are not ideal in creating a thriving and dynamic retail center. They are typically only active for a few hours a week while the vast majority of the time they provide a large frontage of inactive space. The shopping center also currently lacks quality, marque gathering space(s) where visitors can relax and mingle with neighbors.

The above factors, when combined with the roughly 15,000-20,000 square feet of space which has traditionally been vacant, portray a property which is struggling to stay relevant in today's retail market and, perhaps more importantly, not meeting the full potential this location has to offer. Ownership, through this application, is being proactive in adjusting for the future of retail and making a significant reinvestment in this site.

3. OVERALL DESIGN CONCEPT

The proposed project is in keeping with the revitalization and rejuvenation occurring along Scottsdale Road and to a greater extent, the Kierland area. New retail and commercial uses have sprung up along with new residences, adding to the vitality and prosperity of the area. The Thunderbird Phase will revitalize this center with the addition of over 25,000 square feet of new retail / restaurant space designed with today's tenants and consumers in mind, along with up to 311 new residential units to add to the mix and vitality.

The long-term success and maintenance of this shopping center as a valuable commercial asset to the neighboring community is the committed goal of the project proposal. The existing retail strip center layout of the property and "big box" spaces has proven to be a dated model which lacks vibrancy and has a low probability of success moving into the future. Transitioning into a true mixed-use development has been a proven model for improving the commercial performance and ensuring a lengthy vitality for the property.

The development starts by eliminating large parking fields. Commercial uses are brought closer to Scottsdale Road to improve visibility and provide distance between parking intensive uses and the single-family zoned properties to the west. See Conceptual Site Plan at **TAB D**. Parking is then consolidated within structures and screened from public view. The residential uses on the project are either pushed west and used to transition between commercial and residential zones, or they are elevated vertically above the commercial spaces on the Scottsdale Road frontage. Both of these strategies serve to provide a reduced gradient of intensity as the property steps down towards the residential neighborhood to the west. See Conceptual Elevations at **TAB E**.

The layout of the plan helps to remove undesirable pedestrian conditions and replace them with dynamic experiences. The development now plans for a large public space with outdoor dining and community programming opportunities where an asphalt parking lot previously

occupied. Secured pedestrian connectivity provides better access between surrounding residents and the commercial uses. This access will encourage a more walkable retail experience. New pedestrian walkways are designed with upgraded sidewalks, site furnishings, and street trees to provide environmental comfort.

Existing vehicular connections remain, including restricted access to the single-family neighborhood. The drive on Scottsdale Road is the primary entry which connects to both structured parking and driveway that accesses the remainder of the commercial development to the south.

The perimeter edges of this development provide appropriate responses for integrating the new building into existing context. On the Scottsdale Road frontage, revitalized retail, new landscaping and enhanced pedestrian access improve a dated and unengaging experience currently in place. This includes detaching the sidewalk along Scottsdale Road.

On the western edge of the site, two options are provided which both radically improve the existing conditions. Rather than viewing the back-of-house operations of a retail center (complete with trash collection, loading, delivery trucks, etc.) and a mostly barren landscape setback fronting onto 71st Street, this PUD includes two (2) options for improving this area. The "pocket park" option imagines a new series of attractive, landscaped contemplation areas ("pocket parks") at four (4) locations aligning with the existing east-west neighborhood streets. These spaces would provide an improved aesthetic as well as an amenity for the existing single-family residential community. Preliminary concepts call for seating, upgraded hardscape, and spectacular artwork from renowned local artist within these spaces. Should a "pocket park" concept ultimately not be preferred, this PUD also provides for an alternative concept of vastly enhanced landscaping in a more passive setting without seating or artwork. Both concepts would seek to maintain the existing, mature Euclid trees. Development Standards for both the "pocket park" and the enhanced landscape concept are provided in this PUD and preliminary exhibits are shown in the Architectural Design Guidelines exhibit attached at **TAB H**.

Beyond the western property line improvements, enhanced planting, walking paths, screening and stepped facades will reduce visual impact of the development. These gestures shows the commitment to both respecting and improving the existing community.

Architectural building design for the development will reflect a contemporary use of brick to complement the existing commercial development. See Conceptual Renderings at **TAB G**, and Architectural Design Guidelines **TAB H** for additional information. Brick will be permitted to transition to EIFS or fiber cement cladding on upper levels. Accent materials will consist of a composition of natural material such as steel, metals, and composite façade cladding. Openings will be recessed to create shadow and respond environmentally for shading conditions. Retail improvements will be allowed to incorporate their trade dress and branding elements into the architectural design of the building.

B. LAND USE PLAN

1. LAND USE CATEGORIES

The approximately 8.54-gross acre site is designed to allow retail and commercial uses and multifamily residential uses and associated amenities.

2. CONCEPTUAL SITE PLAN

The site plan is designed to improve the commercial property while maintaining existing access and connectivity. Access points off Scottsdale Road are remaining in place. Parking for retail is shifted to the Scottsdale Road frontage allowing connectivity to remain to the north of the project site. Access restrictions are being left in place along the north driveway that leads to the single-family neighborhood.

Parking for the project will be a combination of surface and structured. Parking for residential is primarily structured and parking for retail is primarily surface. Both surface and structured parking are accessible from the north and south driveways, as well as from the existing commercial development to the south that is remaining in place.

Fire access is being retained on site and complies with City of Phoenix standards. Accessible driveways on the north, south and east provide direct access. Landscape areas and the 71st Street alignment provides access to the west.

Refuse collection and other service and loading functions will occur on the north edge of the development. Conditioned service bays are easily accessible and will provide a location for product deliveries, resident move-in, building services, trash pickup and maintenance.

The layout of the plan helps to remove undesirable pedestrian conditions and replace them with dynamic experiences. The development now plans for a large public space with outdoor dining and community

programming opportunities where asphalt and parking previously occupied. Secured pedestrian connectivity provides better access between surrounding residents and the commercial uses. This access will encourage a more walkable retail experience. New pedestrian walkways are designed with upgraded sidewalks, site furnishings, and street trees to provide environmental comfort. These walkways connect to the neighborhood and to the existing commercial shopping area to the south.

This development functions as a revitalization and beautification for the proposed property, but will also have tangential effects on the entire commercial shopping center. Connectivity has been carefully developed to ensure residents will provide daily use for retailers. The new opening to the neighborhood will also encourage more frequent visits with a better lineup of tenants and restaurant options.

The plans, renderings, and elevations provided with this submittal are conceptual in nature and meant to depict the envisioned scale, materials, and design for this site. The development standards and design guidelines in this PUD are formulated to allow this conceptual vision to be realized.

C. LIST OF USES

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in this section, as authorized by Zoning Ordinance Section 307.A.3.

1. PERMITTED USES

- All permitted uses permitted by Section 623 (C-2) of the City of Phoenix Zoning Ordinance unless otherwise modified by this section.
- Multi-Family Residential Dwelling Units as Governed Herein.

2. TEMPORARY USES

- All temporary uses shall comply with Section 708 of the City of Phoenix Zoning Ordinance.

3. PROHIBITED USES

- Adult uses
- Auto Repairs
- Auto Title Loan Establishments
- Boats, Retail Sales
- Compressed Natural Gas Retail Sales
- Gas Stations
- Hospice
- Hospital
- Pawn Shop
- Special Permit uses otherwise permitted in the C-2 subject to provisions in Section 647 of the Zoning Ordinance.

D. DEVELOPMENT STANDARDS

It is the purpose and intent of the provisions defined within this PUD to promote a quality multifamily development and improved pedestrian experience along the Property frontages. The provisions of this PUD will ensure compatibility with surrounding properties and the framework for eventual development. The development standards shall comply with those of the City of Phoenix C-2 district, Section 623 of the Zoning Ordinance, except as modified below.

1. DEVELOPMENT STANDARDS TABLE

	PUD STANDARDS
General Requirements	
a) Density	36.5 du/acre maximum
b) Minimum Lot Width / Depth	No Minimum
c) Building Setbacks North South East (Scottsdale) West	10' Minimum 0' 12' Minimum 25'
d) Landscape Setbacks North South East (Scottsdale) West	10' 0' 10' 25'
e) Building Separation	Determined by Development Plan
f) Building Height	68' maximum 30' maximum within 90' of a residential zoning district (west property line) 56' maximum within 200' of a

	residential zoning district (west property line)
g) Lot Coverage	Maximum 65%
h) Open Space	<ul style="list-style-type: none"> • Minimum 20% overall site dispersed per approved site plan • Minimum 5,000 sq.ft. as Public Plaza (Public Plaza included in overall open space) • Minimum 5% of overall open space dedicated to residential amenity space • No portion of any qualifying amenity space is to be less than 400 sq.ft. or less than 40' in width.
i) Division of Uses	25,000 sq.ft. minimum of commercial
j) Sidewalk Standards Scottsdale Road: Internal walkways:	<p>8' minimum width* Sidewalk shall be detached and provide a minimum 7' landscape width between the sidewalk and back of curb**</p> <p>5' minimum width***</p>
k) Noise Reduction	<p>The average noise level, measured at the west property line, shall not exceed 55DB (one LDN) when measured on a "weighted" sound level meter and according to the procedures of the Environmental Protection Agency.</p> <p>The indoor noise levels shall not exceed a decibel day night-level (DNL) of 45 decibels and that along with the building plans submitted for Phoenix Building Construction Code compliance review to the Planning and Development Department there shall be a sealed and signed analysis by an engineer licensed in Arizona with a proficiency in residential sound mitigation or noise control.</p>

	<p>The engineer shall note in the analysis that the building design is capable of achieving the required Noise Level Reduction.</p> <p>Prior to issuance of a final certificate of occupancy, the developer must install a sign (approximately 8" by 11" in size) within the development's sales/leasing office that is visible to prospective renters or purchasers which discloses the proximity of the Scottsdale Airport and increased frequency of overflight and related aircraft noise, as approved by the Aviation Department.</p>
<p>* The minimum sidewalk width shall be clear of obstacles except for tree grates and public Amenities</p> <p>** This standard applies on Scottsdale Road only along the boundary of this PUD application; not along the full length of the larger commercial center</p> <p>*** 5' minimum width internal walkways shall be clear of all obstacles.</p>	

2. LANDSCAPE STANDARDS TABLE

The landscape standards shall comply with Section 703, except as modified below.

LANDSCAPE STANDARDS TABLE	
	PUD STANDARDS
General Requirements	
General Landscape Requirements	<p>a. Preserve all viable, healthy large mature trees (over 6-inch caliper) in place. Includes trees in the right-of-way along the frontage of the development.</p> <p>b. All landscaping shall be drought-tolerant species, per the Arizona Department of</p>

	<p>Water Resources Phoenix Active Management Area Low-Water-Use/Drought-Tolerant Plant List.</p> <p>c. All landscaping shall be irrigated with a permanent automatic irrigation system with weather sensor.</p>
Streetscape – Landscape Areas Within Public Right-of-Way Adjacent to Scottsdale Road, Including Detached Sidewalk Landscape Strip	<p>a. Minimum 3-inch caliper single-trunk large canopy shade trees planted 20’ on-center spacing average, along Scottsdale Road public right-of-way between back of curb and sidewalk. *</p> <p>b. Minimum 75% living vegetation ground coverage at maturity.</p>
Streetscape – Landscape Setback Adjacent to 71st Street Where Pocket Park Option is not utilized	<p>a. 50% minimum 3-inch caliper single-trunk large canopy shade trees and 50% minimum 4-inch caliper single-trunk large canopy shade trees planted 20’ on-center spacing average. This average spacing may include existing trees to remain in place. Selected trees shall have a dense foliage to provide adequate visual buffer for adjacent residences.</p> <p>b. Minimum 75% living vegetation ground coverage at maturity.</p>
Streetscape – Landscape Setback Adjacent to 71st Street – Pocket Park Option	<p>a. 50% minimum 3-inch caliper single-trunk large canopy shade trees and 50% minimum 4-inch caliper single-trunk large canopy shade trees planted 20’ on-center spacing average. This average spacing may include existing trees to remain in place. Selected trees shall have a dense foliage to provide adequate visual buffer for adjacent residences.</p> <p>b. Minimum 75% living vegetation ground coverage at maturity.</p>

North Property Line	<ul style="list-style-type: none"> a. Minimum 3-inch caliper large canopy shade trees planted 20' on-center spacing average. * b. Minimum 75% living vegetation ground coverage at maturity.
Adjacent to Buildings	<ul style="list-style-type: none"> a. Minimum 25% of the exterior wall length shall be treated with either a landscaped planter a minimum five (5) feet in width or an arcade or equivalent feature. b. Minimum 2-inch caliper large canopy shade trees. c. Minimum 20% of all trees shall be 3-inch caliper large canopy shade trees. d. Minimum 75% living vegetation ground coverage at maturity.
Bus Stop Pad Landscaping	<ul style="list-style-type: none"> a. Minimum 3-inch caliper large canopy shade trees to provide minimum shade per Section D.6 at maturity. b. Minimum 75% living vegetation ground coverage at maturity.
Parking Lot Areas – Interior Surface Area (exclusive of perimeter landscaping and all required setbacks)	<ul style="list-style-type: none"> a. Minimum 20% Landscape Area evenly distributed throughout the entire parking lot. b. Landscape Planters <ul style="list-style-type: none"> i. No more than ten (10) parking stalls in a row without a landscape planter ii. Minimum interior dimension 5' (length and width) measured from inside face of curb to inside face of curb iii. Single row parking minimum 120 sq.ft. iv. Double row parking minimum 240 sq.ft. c. Trees <ul style="list-style-type: none"> i. Minimum 2-inch caliper large canopy shade trees (80% of required trees) ii. Minimum 3-inch caliper large canopy shade trees (20% of required trees)

	d. Minimum 75% living vegetation ground coverage at maturity.
Common and Retention Areas	<ul style="list-style-type: none"> a. Minimum 2-inch caliper large canopy shade trees (80% of required trees) b. Minimum 3-inch caliper large canopy shade trees(20% of required trees) c. Minimum 75% living vegetation ground coverage at maturity.
* Where utility conflicts exist, the developer shall work with the Planning and Development Department on an alternative design solution consistent with a pedestrian environment. Existing mature trees may count toward the street tree requirements.	

3. PARKING STANDARDS TABLE

The parking standards shall comply with Section 702 (Off-Street Parking and Loading), except as modified below.

PARKING STANDARDS TABLE	
	PUD STANDARDS
General Requirements	
Retail Parking	4 cars/1,000 sf
Residential Parking	1.3/efficiency 1.5/one or two bedroom 2.0/three or more bedroom 1.0/unit less than 600sf.
Loading Spaces	Per Section 702.B of the Zoning Ordinance.
Bicycle Parking	Per Section 1307.H of the Zoning Ordinance

4. FENCES / WALLS

All site fences and walls will be consistent with Section 703.A of the Phoenix Zoning Ordinance, in addition to the following:

1. All refuse locations shall be screened by a 6'-0" minimum height decorative screen wall that complements the design and character of the primary building.
2. A minimum 6-foot-high full view fence shall be constructed along 71st Street at or behind the building setback line.

5. AMENITIES

The proposed amenities for the Project are divided into three (3) categories: (1) Indoor Residential Amenities, (2) Outdoor Residential Amenities, and (3) Commercial Amenities. The amenities provided will help to foster a social atmosphere and encourage social interaction for residents, customers and visitors. The market of desired amenities for mixed-use projects are continuously growing and changing. As such, alternative amenities not specifically listed below but which contribute to the overall goals of this PUD may be substituted.

- 1) Indoor Residential Amenities. To be provided and maintained in central locations for use by residents of the multi-family development. A minimum of six (6) shall be provided:
 - Community clubhouse
 - Flexible Shared Office Space
 - Dog Wash
 - Dog Run
 - Bicycle Storage and Repair Station
 - Lounge
 - Clubhouse/Meeting Rooms
 - Fitness
 - Refrigerated Delivery Area
 - Game Room
 - Ride-share provisions
 - Automated package storage and delivery
 - Preferred E.V. Charging
 - Resident Storage
 - Other Indoor Amenities as approved by the Planning Department

- 2) Outdoor Residential Amenities. A minimum of six (6) shall be provided:
- Public Benches
 - Resident Benches in common areas
 - Community Garden with drip irrigation
 - Fire Table
 - Lawn Games
 - Dog park/run
 - Dog Rinse/Bath area
 - Resident Pool
 - Resident Spa
 - Barbeque Grill
 - Shade Ramada
 - Benches – distributed throughout the development
 - Lawn and Turf – distributed throughout the development
 - Outdoor kitchen facilities
 - Other Outdoor Amenities as approved by the Planning Department
- 3) Commercial Amenities. A minimum of three (3) shall be provided:
- Plaza space intended for general public.
 - Enclosed service and delivery area
 - Structural Shade
 - Water feature
 - Outdoor game area
 - Splash pad
 - Performance stage
 - Seating for public use
 - Fire pit
 - Artwork
 - Festoon lighting
 - Other Commercial Amenities as approved by the Planning Department
- 4) In addition to the above, a minimum of two (2) art installations shall be installed either along Scottsdale Road or in the open space area between the two restaurant buildings. The art shall be a minimum of five feet in length in any one direction (height, width or depth).

6. SHADE

1. A minimum of 75% of public sidewalks and internal pedestrian walkways shall be shaded at tree maturity.
2. A minimum of 50% of all accessible public and private open space areas shall be shaded.
3. A minimum of 25% of parking areas shall be shaded.
4. A minimum 50% of the bus stop pad on southbound Scottsdale Road shall be shaded at tree maturity.
5. Shade calculations shall be based on the summer solstice at 12:00 p.m.
6. Shade cast from a building shall count towards shade calculations.
7. Provide shade for a minimum of 50% of occupiable roof areas.

7. LIGHTING PLAN

All lighting will be consistent with the standards of Section 704 and Section 507.Tab A.II.A.8 of the Phoenix Zoning Ordinance and Section 23-100 of the Phoenix Code, in addition to the following:

1. Lighting fixtures shall be consistent with and complement the design and character of the primary building.
2. Uniform pedestrian scale lighting shall be used for all on-site lighting at building entrance and exits, and in public assembly and parking areas.
3. Large "flood" type lights shall be avoided.
4. Sidewalk lighting shall be limited to a maximum height of 20 feet.

E. DESIGN GUIDELINES

Development within this PUD shall be subject to the design review guidelines of Section 507 Tab A.II of the Zoning Ordinance, except as modified below. This PUD meets and exceeds many of these standards. The project provides innovative, compatible, and sustainable developments that create a sense of place. The project is also in keeping with the Design Expectation noted for PUD Developments.

1. ARCHITECTURAL DESIGN

See Architectural Design Guidelines included at **TAB H**.

2. OPEN SPACE DESIGN

Open space within the development shall be designed to enhance and elevate the experience of the development. Open space shall be dispersed throughout the development within private residential open spaces and public open spaces. See Open Space requirements in Section D.1 above for minimum sizes. Additionally:

Residential Open Space

- Residential open spaces shall provide a variety of scale and design to allow for differentiation in amenity and experience.
- Each residential open space shall include a minimum of three (3) community amenities. (Refer to Section D.5. for a list of acceptable Outdoor Residential Amenities)

Public Open Space

- Open spaces for public use shall be designed to attract patrons to gather and stay. Enhanced paving, landscape, environmental control and community programming are typical ways to promote gathering at public plazas.

- Each public open space shall include a minimum of four (4) commercial amenities. (Refer to chapter D.5. for a list of acceptable Commercial Amenities).

3. SITE DESIGN / DEVELOPMENT

a) Pedestrian Walkways:

- i. Pedestrian walkways shall be provided to connect building entrances, public sidewalks, bus stops, and community amenities, using the most direct route for pedestrians.
- ii. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrasts parking and drive aisle surfaces.

b) Complete Streets:

The stated goal of the Complete Streets Program is to create a more sustainable transportation system that is safe and accessible for everyone. Complete streets provide infrastructure that encourages active transportation such as walking, bicycling, transportation choices and increased connectivity. This redevelopment proposal and the standards proposed by this PUD help to achieve that Goal. Some specific items include:

- Standards for detaching the sidewalk along Scottsdale Road
- Standards for enhanced landscaping along Scottsdale Road to further buffer pedestrians from the street
- Standards for enhanced landscaping along 71st Street
- Standards for minimum sidewalk widths both internally and along the perimeter
- Standards for shading of sidewalks
- Standards for open space requirements, including minimum of 5,000 square feet towards a publicly accessible plaza
- Standards for shading of publicly accessible open space areas

- Standards for the provision of amenities for the commercial areas, which may include seating, shade elements, etc. that help enhance the pedestrian experience

The overall project layout will also help to further the goals of the Complete Street Program. The existing site has large areas of asphalt parking and loading areas. These areas are being replaced with tree lined streetscapes with head in parking, open space and plazas. The majority of parking is consolidated into a new parking structure.

The existing shopping center lacks connectivity in the middle of the property from the adjacent neighborhood. Pedestrians are forced to walk to the extreme north or south edges of the site to connect to the retail uses. The development proposed in the PUD provides a new pedestrian and bicycle connection at the mid-point of the west property line that connects the neighborhood to the mixed-use property, the new public plaza, and the Scottsdale Road alignment. The same lack of connection is true for pedestrians along Scottsdale Road. Pedestrians are forced to walk across an asphalt parking lot with zero separation or protection from vehicles. The proposal changes this condition with new sidewalk connections to Scottsdale Road.

Trees and pedestrian scale amenities, such as benches and courtyards, will be provided throughout the development along existing and new connections. The proposed project will also address the Complete Streets initiative as outlined below:

- i. Design for Safety – The introduction of streetscapes to replace large asphalt parking fields will improve pedestrian and bicycle safety. The streetscapes will provide head in parking as a barrier to traffic for pedestrians and formal tree plantings and building canopies for thermal comfort. Detached sidewalks along Scottsdale Road will enhance safety as well.
- ii. Design for Comfort and Convenience – Shade and comfort will be provided by adjacent buildings and landscaping or canopy

structures to promote cooler temperatures for patrons. Retail stores that were previously parked with large surface lots are replaced with stores that are closer to Scottsdale Road and served by directly adjacent parking and neighboring street parking. Site furnishings and amenities to be placed at intervals and at public plazas to promote convenience and walkability.

- iii. Design for Sustainability – Streets will minimize impermeable surfaces outside of travel lanes and reduce heat absorption by maximizing tree canopy cover, expanding turf and open areas, and removing large areas of surface parking covered in asphalt.
- iv. Design for Cost-Effectiveness – Street designs will consider options that may cost more up front but have lower maintenance and life cycle costs. This includes hardscape materials, furnishings, light fixtures and pedestrian amenities.
- v. Design for Connectivity – The project will remove a portion of a linear strip center with no intermittent connectivity and a massive parking field. The new development will retain all existing connections and provide a new pedestrian connection to the neighborhood west of the project. The pedestrian connection will link the neighborhood to both the internal network of walkways, streetscapes, and a new public plaza, as well as to Scottsdale and Thunderbird Road alignments.

4. LANDSCAPE DESIGN

Refer to the Landscape Standards provided in Section D.2 above.

F. SIGNS

The Sign Standards for the Thunderbird Phase shall comply with Section 705 (Signs) of the City of Phoenix Zoning Ordinance. Additionally, any signs along the west property line shall be non-lighted signs. A future Comprehensive Sign Plan may be submitted for under separate application.

G. SUSTAINABILITY

1. Identify practices or techniques that are measurable and enforceable by the City during the site plan review and inspection process.
 - Reduce heat island effect with minimum shade requirement for sidewalks.
 - Development shall include recycling bin within garbage enclosures.
 - Developer shall conserve water through the selection of drought tolerant landscaping.
 - Developer shall conserve water through drip irrigation system.
 - Developer shall implement a recycling collection program.

2. Identify practices or techniques for which the applicant / Developer will be responsible.

Energy Efficiency

- The building and interiors within Thunderbird residential are being designed and constructed with the goal of energy efficiency in mind.
- Development shall use modern energy saving appliances (Energy Star or other) and HVAC systems to minimize energy inefficiencies within the buildings.
- Low-e windows shall be installed and appropriately sealed within the units and common areas.

Recycled/ Renewable Materials

- The buildings shall be constructed with sustainable wood framing materials, which are renewable products that promote healthier buildings.
 - Other recycled materials shall be used, when practical and available, in building products such as drywall, carpet and floor tile.
- Construction practices on the site shall involve methods designed to preserve resources, such as excess wood and other unused products, and the limiting of waste.
- Once occupied, residents shall be provided with a dedicated recycling area for the discarding of their recyclable products.
 - Property management shall schedule regular collection pickups for the recyclable products to be taken off-site to be processed.

- The property management team shall ensure that all nonrecyclable products are separated and removed from the recycling receptacle prior to processing.

Indoor Environmental Air Quality

- Developer shall construct and maintain an indoor air quality level within the residences and common areas that are healthy and safe. This can be accomplished through the use of low VOC paints and flooring materials, efficient plumbing fixtures and HVAC equipment that provides proper filtration and circulation of fresh air into the system. Where economically feasible, such products and materials will be incorporated into the development.
- Development shall install carpet tiles rather than sheet rolls, where practical, to allow for easier replacement in high traffic areas.
- The insulation for the building shall be specified to be “formaldehyde free.”

H. INFRASTRUCTURE

1. GRADING AND DRAINAGE

The property has been designated as a Redevelopment and/or is located within the Infill Development area. Consequently, this project is permitted to provide retention for the greater volume determined by two methods: “pre-vs-post” or “first flush”. A Cross Retention and Drainage Agreement with adjacent property owners within the commercial center will be provided for the purposes of storm water retention and drainage.

2. CIRCULATION SYSTEMS

The circulation system and patterns are well established in this mature part of the City and will not be affected by this project. Scottsdale Road is a recognized major arterial and is a major conveyor of north-south traffic. The project has been designed to maintain traditional ingress and egress from this major arterial. No additional access points are proposed along Scottsdale Road. The project also maintains the Hearn Road alignment to the north and will maintain the existing closure which restricts traffic from using Hearn to enter the neighborhood. The existing cross access connection with the remainder of the center to the south will also be maintained.

I. COMPARATIVE ZONING TABLE

	C-2 Commercial Uses	R-5 Residential Uses	PUD Standards
General Requirements			
a) Density	14.5 du/acre up to 43.5 du/acre with Density Waiver	45.68	36.5 du/acre maximum
b) Building Setbacks North South East (Scottsdale) West	10' 10' 25' 15'	10' 10' 20' 10'	10' Minimum 0' 12' Minimum 25'
c) Landscape Setbacks North South East (Scottsdale) West	10' 10' 25' 15'	10' 10' 20' 10'	10' 0' 10' 25'
d) Building Height	2 stories or 30' up to 4 stories or 56'	4 stories or 48'	68' maximum 30' maximum within 90' of a residential zoning district (west property line) 56' maximum within 200' of a residential zoning district (west property line)
e) Lot Coverage	Maximum 50% of net lot area exclusive of first 6' of roof overhang, carports, covered patios or covered walkways.	50%	65%
f) Division of Uses	No standard	No standard	25,000 sq.ft. minimum of commercial

J. LEGAL DESCRIPTION

A portion of Tract "A", of Raskin Estates No. 1, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 86 of Maps, Page 36 and a portion of the south half of Hearn Road, as abandoned by Resolution No. 19618 in Document No. 2001-373063, records of Maricopa County, Arizona, lying within the southeast quarter of Section 10, Township 3 North, Range 4 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the southeast corner of Section 10, a City of Scottsdale Brass Cap in Handhole, from which the east quarter corner of said Section 10, a City of Scottsdale Brass Cap in handhole, bears North 00°57'30" West, a distance of 2642.53 feet;

Thence along the east line of the southeast quarter of said Section 10, North 00°57'30" West, a distance of 818.52 feet;

Thence leaving said east line, South 89°02'30" West, a distance of 65.00 feet, to the Point of Beginning;

Thence South 89°02'30" West, a distance of 204.94 feet;

Thence South 00°56'35" East, a distance of 156.67 feet;

Thence South 89°16'50" West, a distance of 364.81 feet, to the easterly right-of-way line of 71st Street;

Thence along said easterly right-of-way line, North 00°50'20" West, a distance of 330.78 feet;

Thence North 89°18'30" East, a distance of 8.00 feet;

Thence North 00°50'20" West, a distance of 277.00 feet;

Thence North 00°17'40" West, a distance of 53.00 feet, to the centerline of abandoned portion of Hearn Road;

Thence along said centerline, North 89°18'15" East, a distance of 559.92 feet, to the westerly right-of-way line of Scottsdale Road;

Thence leaving said centerline, along said westerly right-of-way line, South 00°57'30" East, a distance of 503.02 feet; to the **Point of Beginning**.

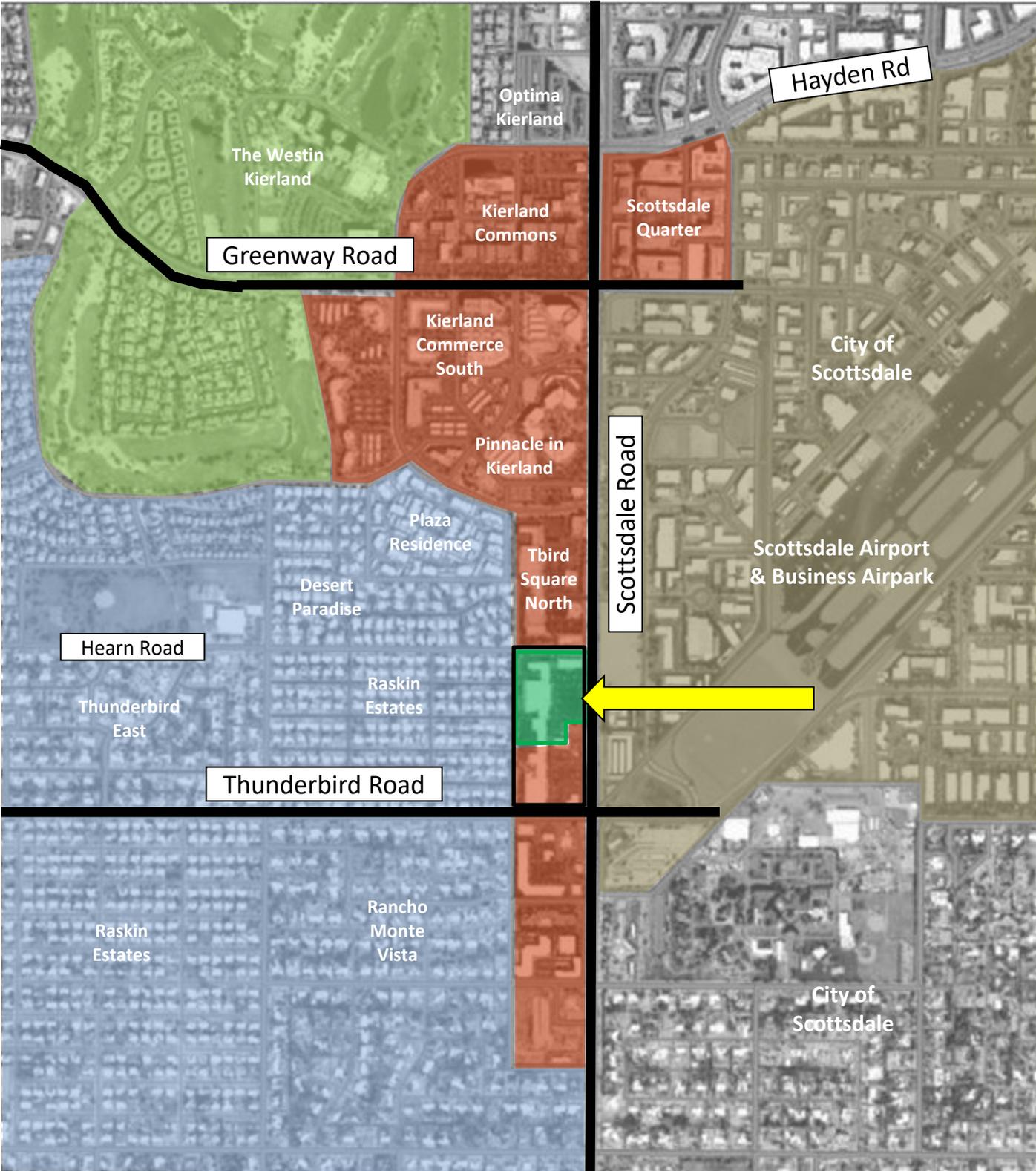
Containing 341,138 Square Feet or 7.83 Acres more or less.

K. EXHIBITS

<i>AREA VICINITY MAP</i>	<i>A</i>
<i>SITE AERIALS</i>	<i>B</i>
<i>GENERAL PLAN MAP</i>	<i>C</i>
<i>CONCEPTUAL SITE PLAN</i>	<i>D</i>
<i>CONCEPTUAL ELEVATIONS</i>	<i>E</i>
<i>CONCEPTUAL COURTYARD PARK</i>	<i>F</i>
<i>CONCEPTUAL RENDERINGS</i>	<i>G</i>
<i>ARCHITECTURAL DESIGN GUIDELINES</i>	<i>H</i>

Tab A

Area Vicinity Map



Scottsdale Town Square – Thunderbird Phase



Tab B

Aerial Map

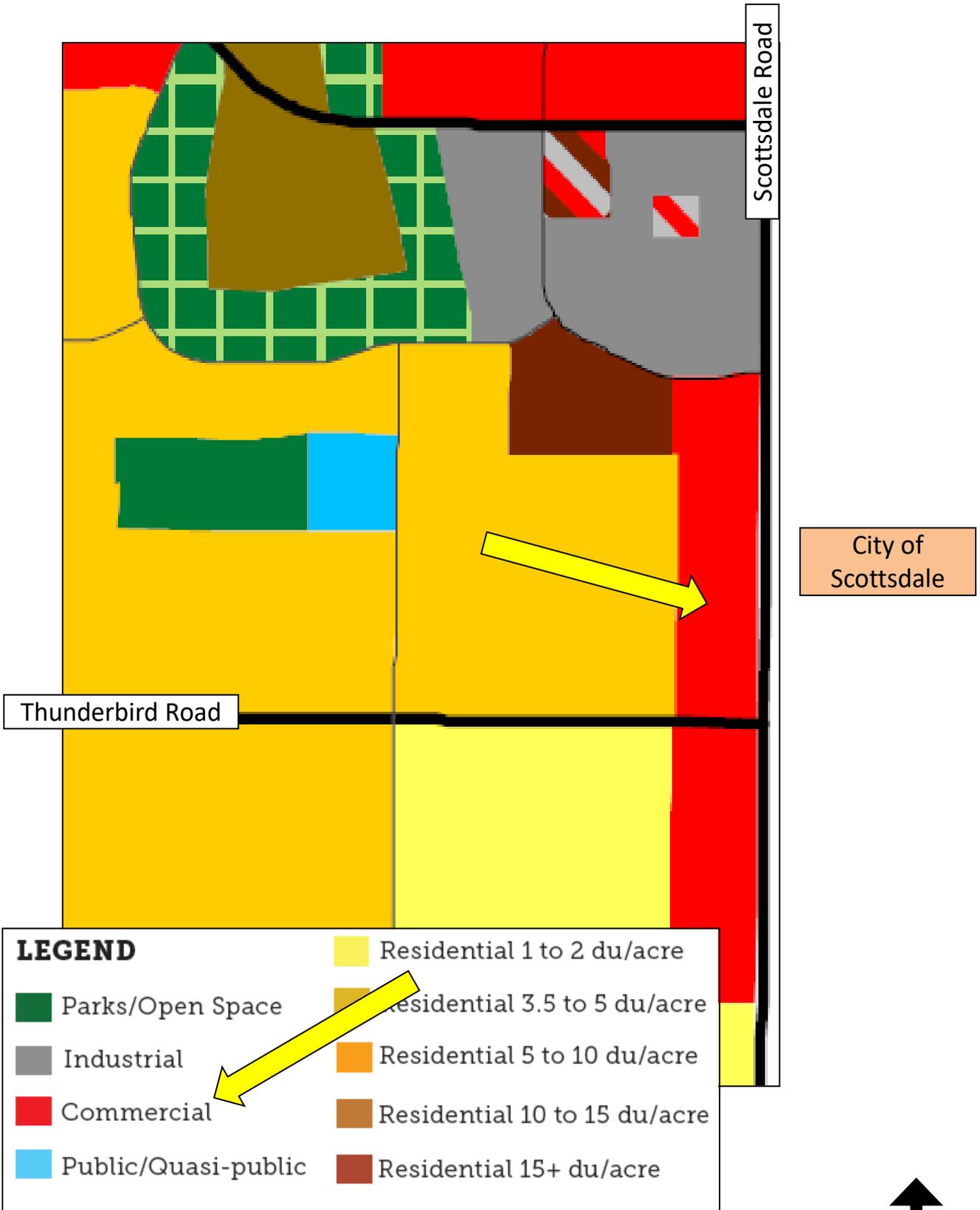


Scottsdale Town Square – Thunderbird Phase



Tab C

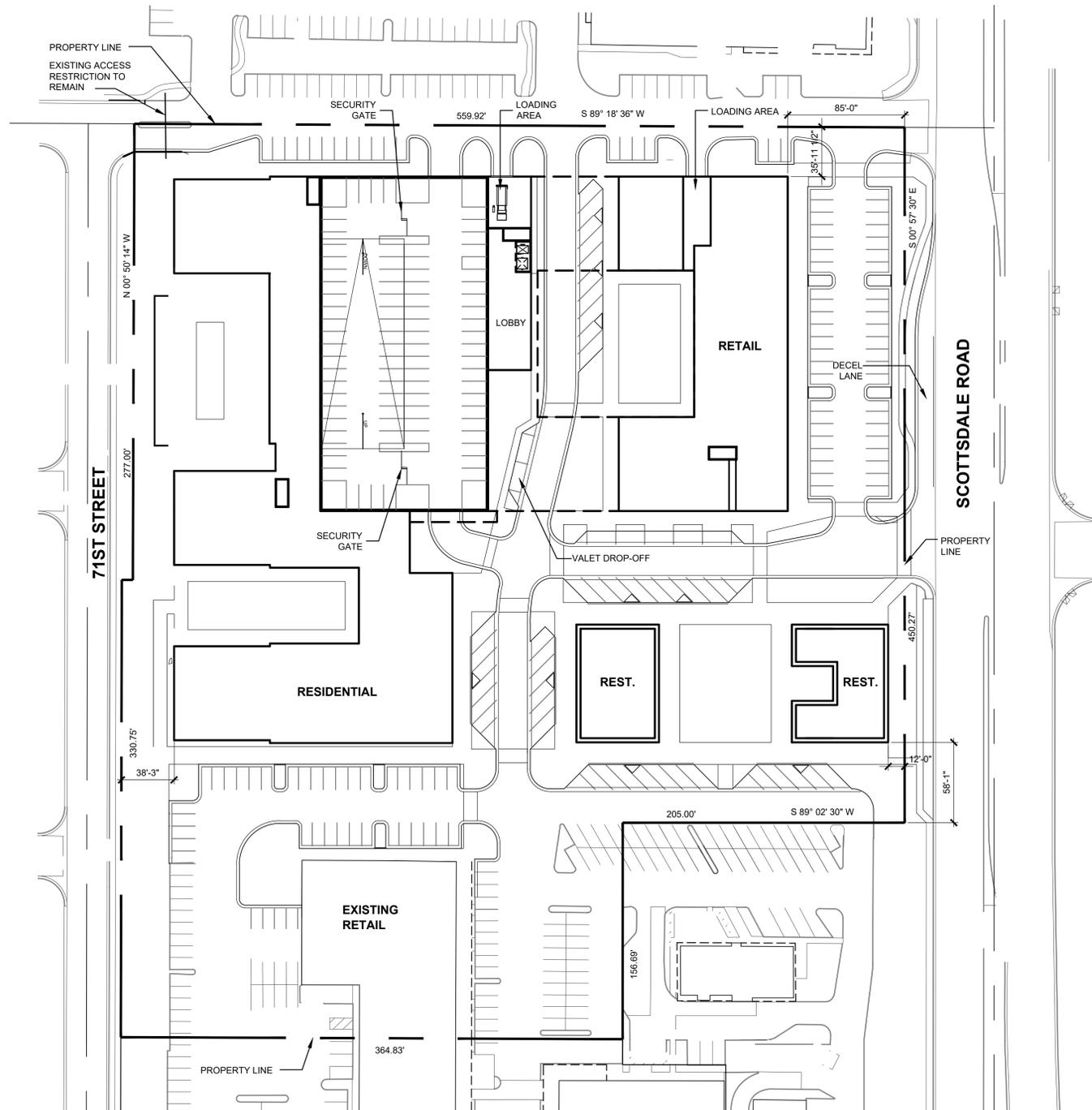
General Plan Map



Scottsdale Town Square – Thunderbird Phase



Tab D



01 SITE PLAN - LEVEL 1
 SCALE: 1"=50' 0 25' 50' 100'
 REF: NORTH

PROJECT TEAM

DEVELOPER: WOODBURY CORPORATION
 2733 E PARLEYS WAY, SUITE 300
 SALT LAKE CITY, UT 84109
 801.485.7770
 Contact: Joshua Woodbury
 Email: josh_woodbury@woodburycorp.com

ARCHITECT: NELSEN PARTNERS, INC.
 15210 N SCOTTSDALE RD, SUITE 300
 SCOTTSDALE, AZ 85254
 480.949.6800
 Contact: Jeff Brand
 Email: jbrand@nelsonpartners.com

PROJECT INFORMATION

PROPERTY ADDRESS: 14036 N SCOTTSDALE ROAD
 PHOENIX, AZ 85254

PARCEL NUMBERS: 215-57-184N

CURRENT ZONING: PSC

PROPOSED ZONING: PUD

GROSS SITE AREA: 8.54 ACRES

NET LOT AREA: 7.83 ACRES
 (341,068 SF)

DENSITY 311 DU / 8.54 ACRES or 36.5 DU/AC max.

EXISTING BUILDING HEIGHT: 20 FT

PROPOSED BUILDING HEIGHT: 68 FT

RESIDENTIAL UNITS: 311 UNITS

RETAIL: 15,000 SF

RESTAURANT: 15,000 SF

EXISTING RETAIL: 12,750 SF

PARKING CALCULATIONS

PARKING REQUIRED:

RESIDENTIAL: 405 SPACES (311 UNITS @ 1.3 / D.U.)
 RESTAURANT: 75 SPACES (5,1000 SF)
 RETAIL: 139 SPACES (5,1000 SF)
 TOTAL: 619 SPACES

PARKING PROVIDED:

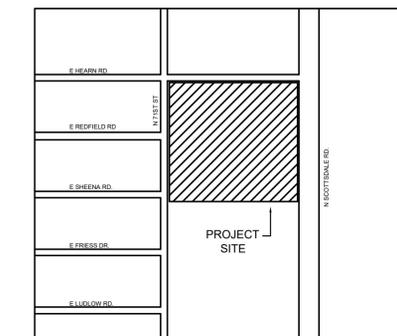
SURFACE PARKING 217 SPACES

STRUCTURED

LEVEL 1	85 SPACES
LEVEL 2	95 SPACES
LEVEL 3	95 SPACES
LEVEL 4	95 SPACES
LEVEL 5	55 SPACES
TOTAL:	425 SPACES

TOTAL PARKING PROVIDED 642 SPACES

VICINITY MAP N.T.S



KIVA: 99-37600
 SDEV: 0101647
 PAPPP: 2109608
 QS:

Nelson Partners, Inc.
 Austin | Scottsdale

15210 North Scottsdale Road
 Suite #300
 Scottsdale, Arizona 85254
 t 480.949.6800
 nelsonpartners.com

SCOTTSDALE TOWNE SQUARE
 14036 N SCOTTSDALE RD
 PHOENIX, AZ

Date
 08/31/2022

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Project No.
 20067

A110
 SITE PLAN

Tab E

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A301
BUILDING
ELEVATIONS



1 NORTH BUILDING ELEVATION
SCALE 1" = 20'-0"



2 EAST BUILDING ELEVATION
SCALE 1" = 20'-0"

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OR
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PHOENIX, AZ

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8/31/2022

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A302
BUILDING
ELEVATIONS



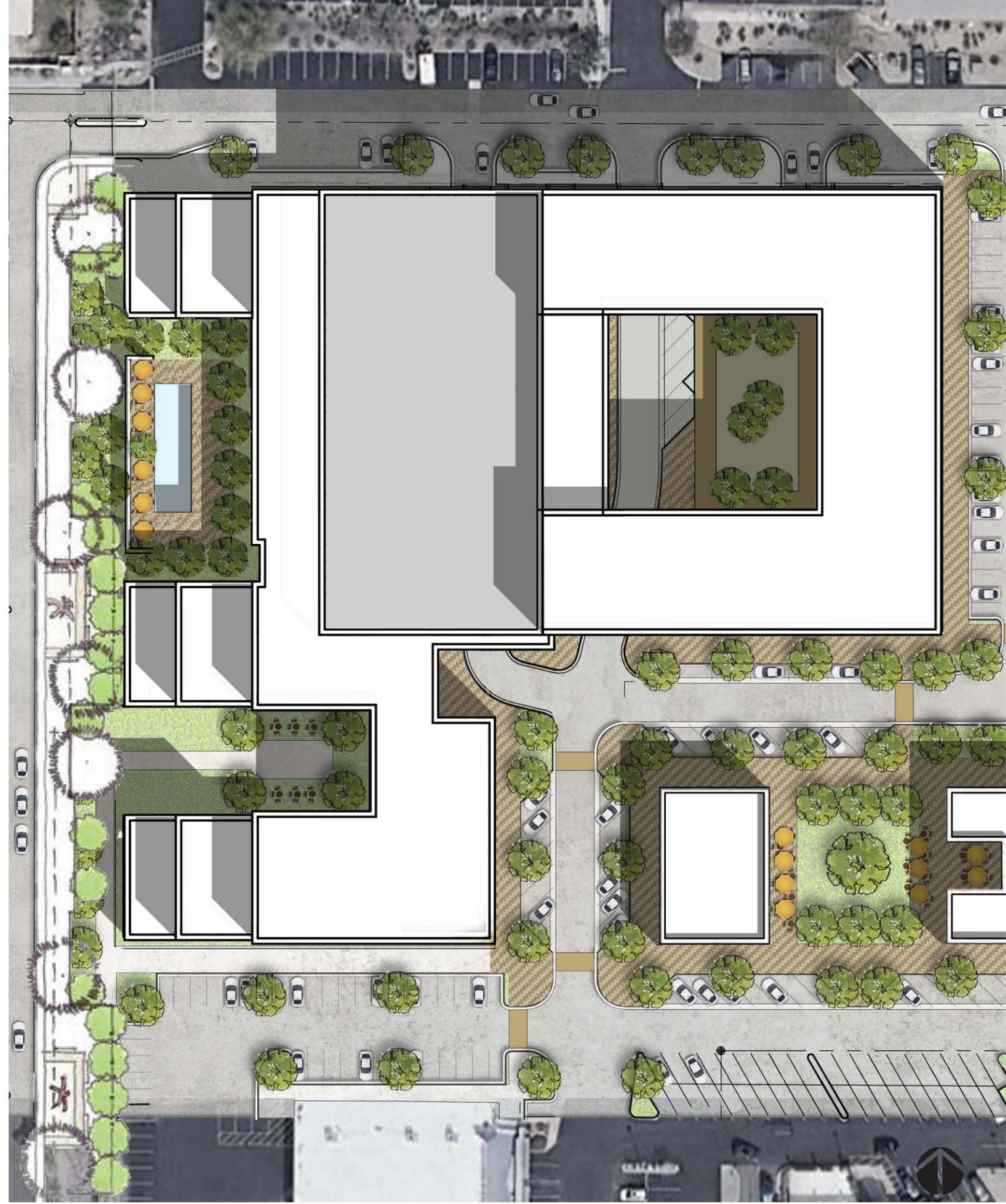
3 SOUTH BUILDING ELEVATION
SCALE 1" = 20'-0"

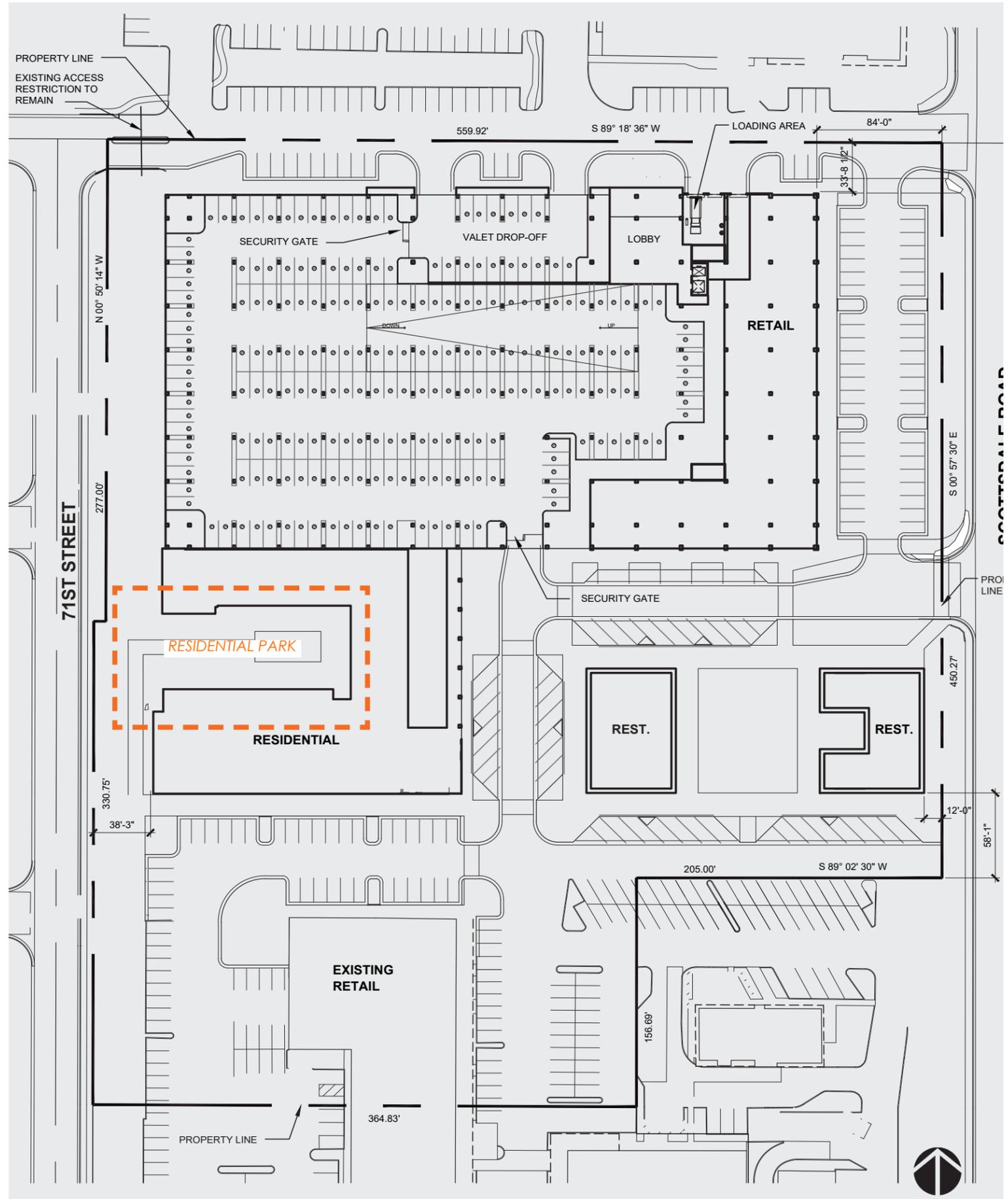


4 WEST BUILDING ELEVATION
SCALE 1" = 20'-0"

Tab F

NOVEMBER 7, 2022



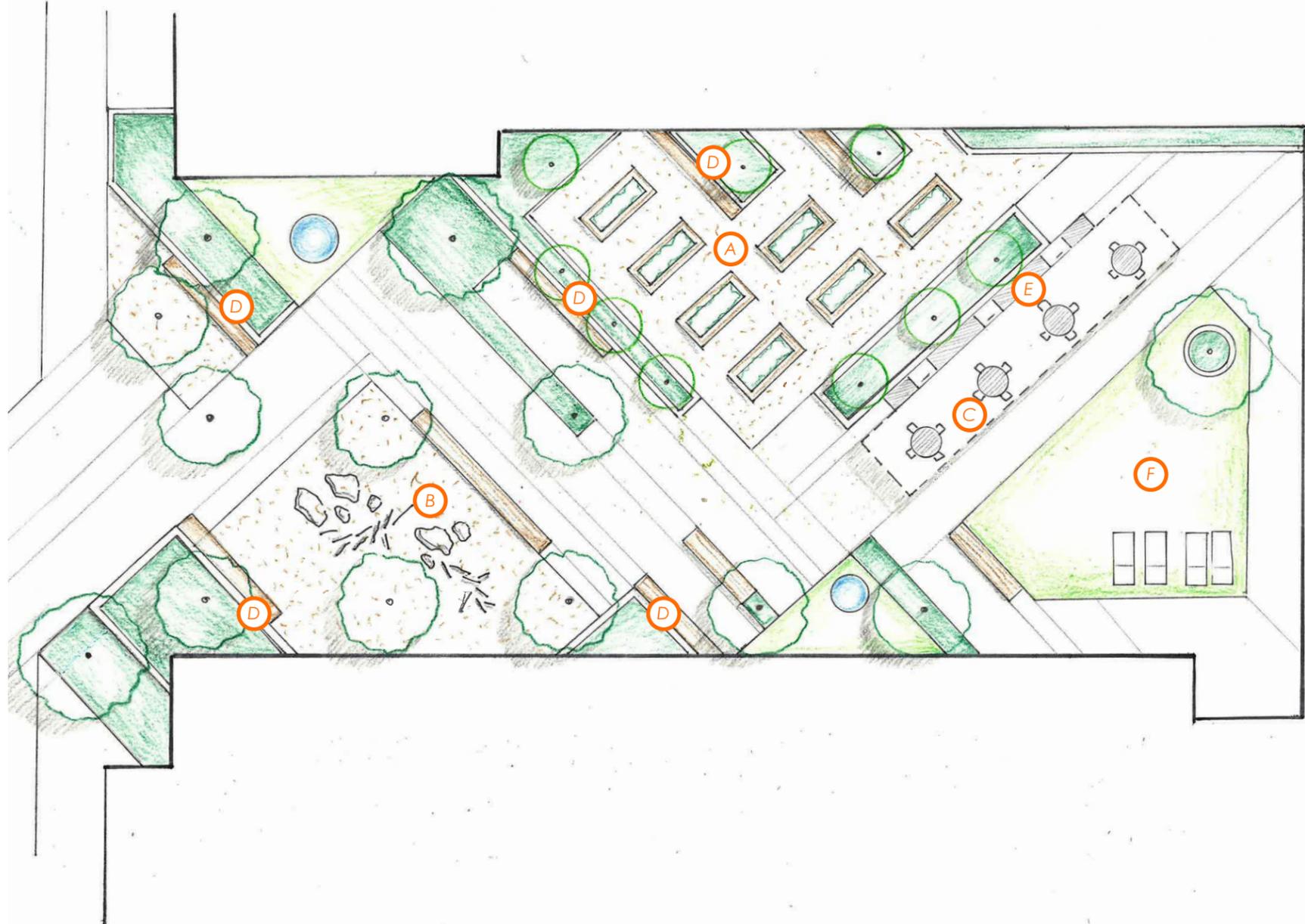


SCOTTSDALE TOWNE SQUARE

CONCEPT | SITE PLAN

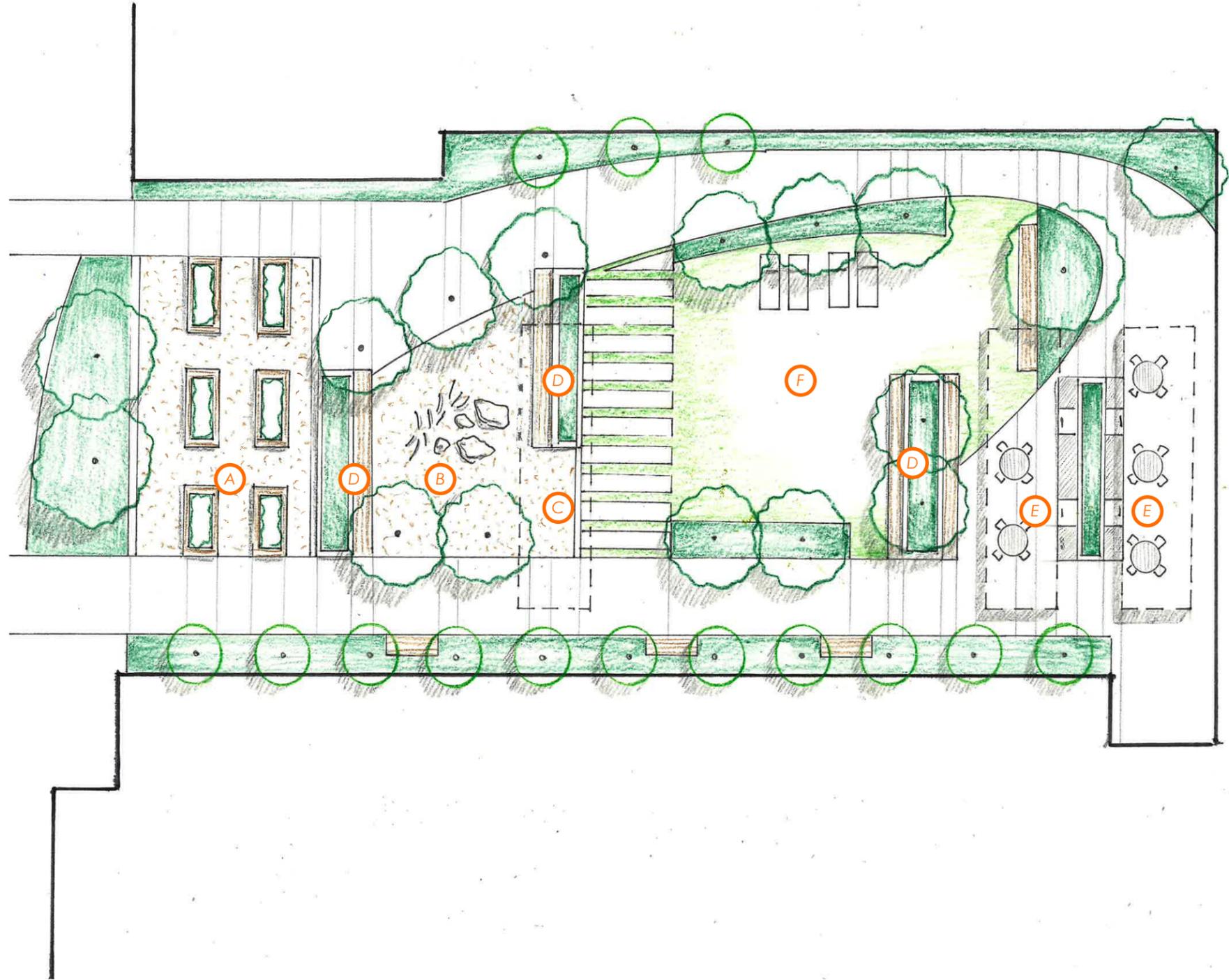
LEGEND

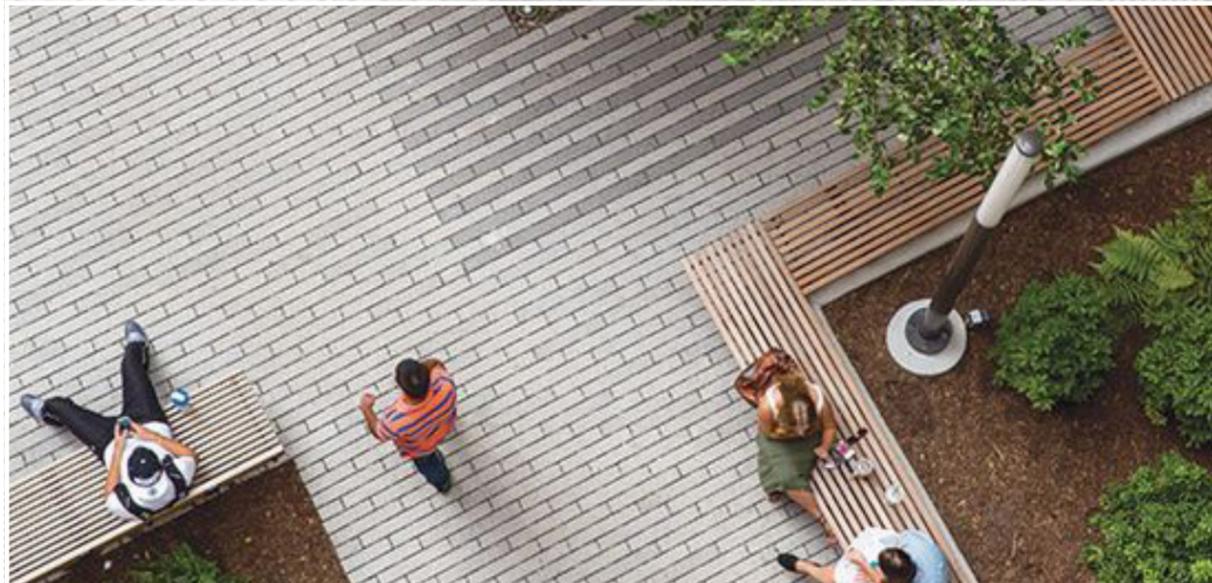
- A Community garden
- B Playground
- C Shade structure
- D Seating/ raised planter
- E Grill area
- F Lawn



LEGEND

- A Community garden
- B Playground
- C Shade structure
- D Seating/ raised planter
- E Grill area/ shade structure
- F Lawn





SCOTTSDALE TOWNE SQUARE
CONCEPT | PRECEDENT IMAGES

Tab G



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SCOTTSDALE TOWNE SQUARE

14036 N SCOTTSDALE RD
PHOENIX, AZ

Date
08/31/2022

1 71ST PERSPECTIVE

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A111
PRESERVATIVES



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Project No.
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A113
PERSPECTIVES



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Project No.
20067

A112
PERSPECTIVES

Tab H

SCOTTSDALE TOWNE SQUARE

ARCHITECTURAL DESIGN GUIDELINES

REZONING CASE NO. Z-40-22-2

FEBRUARY 01, 2023

NELSENPARTNERS.COM

NELSEN
PARTNERS
ARCHITECTS & PLANNERS

ARCHITECTURAL DESIGN GUIDELINES

OVERALL ARCHITECTURE CHARACTER

1.0

SCOTTSDALE TOWNIE SQUARE

NELSENPARTNERS.COM



FORM AND SCALE

Building Massing

- Properly address the context of the project site as a basic and crucial start to the building design by understanding the surrounding building design, scale, and material.
- Regarding programmatic delineation, ground level commercial functions will visually separate the base in conjunction with appropriate material and other anchoring elements. Residential programming lends to a different and unique architectural expression of elements that can generate shade and shadowing patterns on the facade of the building.
- Building massing on the site will be utilized to balance maximizing scenic view corridors while also mitigating heat gain and western solar exposure. If western exposure is necessary, proper mitigation through horizontal or louvered architectural elements may be necessary.
- Massing strategies will be used to design architecture that properly serve as iconic and visually engaging buildings while also improving the urban fabric of Scottsdale Towne Square.
- Massing strategies for portions of buildings directly adjacent to single family zoned property shall minimize visual impact by breaking up and stepping down facade massing.
- Upper-level balconies facing west into adjacent single-family yards shall be restricted where there is no visual buffer blocking a line of sight into the yards. Balconies of all types (recessed, protruding and Juliette) may be allowed where there is no line of sight into the single-family yards. Protruding balconies may also be allowed where there is a visual buffer blocking the line of sight into the single-family yards.



Facade Treatment

- Architectural design shall take into account the solar consequences of building height, bulk and area.
- Building exposures subject to solar intensity, shall minimize the use of glass and provide landscaping and architectural surface relief to reduce heat gain on the building itself.
- Buildings will be composed to form dynamic building expressions and used to break up buildings into clear and distinct architectural elements.
- Quality design and detailing is required on all sides of every building.
- Variation in building volume and plane and material are required to create dynamic textures and variations with shade and shadow that are animated by the sun throughout the course of the day.
- Buildings shall incorporate sun shading elements, projecting canopies, and awnings that provide cover and shade along the length of the streets, pathways, and building facades.
- The level of detail shall be enhanced at pedestrian level and street frontage with refined materials and strong entry elements.
- Transparency of building facades is required at the ground floor when abutting pedestrian areas.
- Vertical Fenestration area will not exceed 40% of the gross wall area.

Openings

- Doorways will address human scale and comfort and therefore head height for such openings may fall into the range of 8' to 12'.

Roof Treatments

- Roof expressions in Scottsdale Towne Square are required to be dynamic in a way that supports and improves the skyline. Variation in expression, texture, and height is encouraged.

PETER DEISE

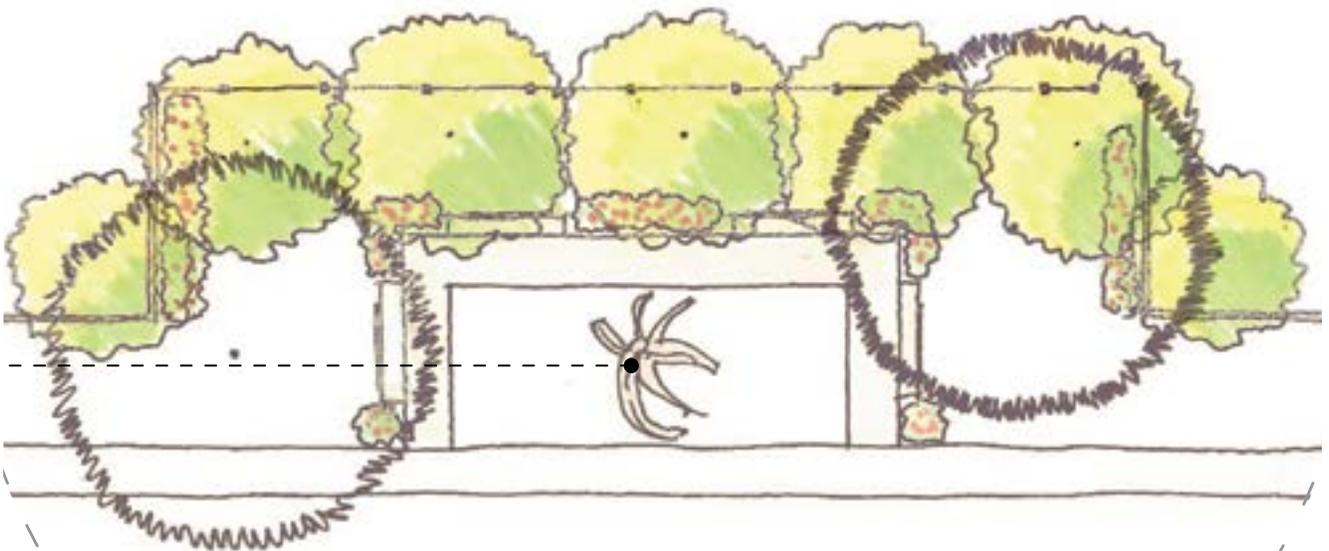
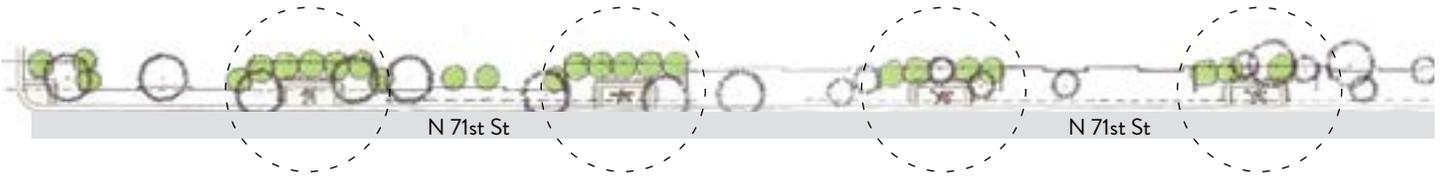
"I like to convey the idea of energy unfolding. It flows and undulates like flags, like seaweed, like life itself."
—PETER DEISE, SCULPTOR



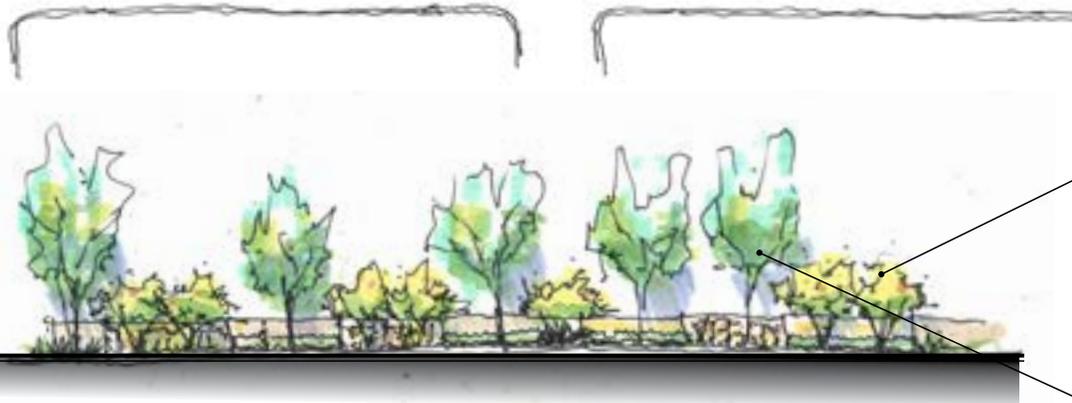
Western Property Edge

- Improvements along the west property line shall extend the entire north-south length of the western project boundary.
- Open space design along the west property line will include a mixture of security walls, groundcover, new trees and the preservation of existing mature trees.
- Security walls will be designed with a mixture vertical metal screening and masonry materials consistent with the new design of the residential building.
- Design options for the property edge are either a pocket park with site furnishings and art or enhanced landscaping with upgraded tree caliper and tree counts.

Pocket Park Option



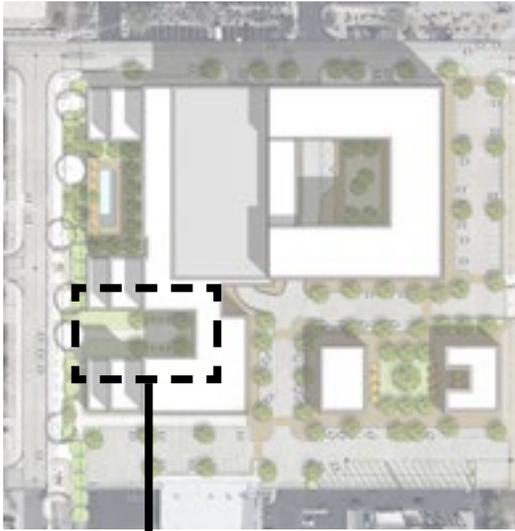
Enhanced Landscape Option



add smaller street tree understory



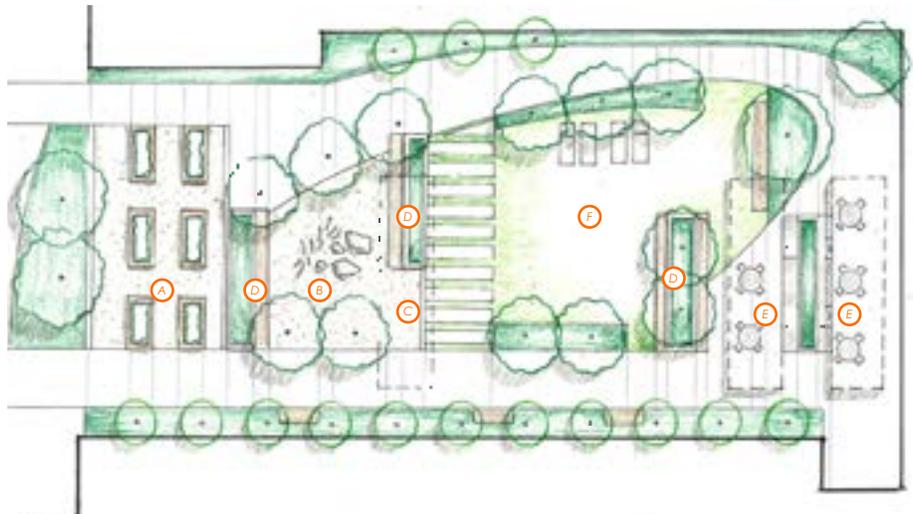
maintain existing eucalyptus overstory



Location Key Map

Courtyard Parks

- Portions of buildings directly adjacent to single family zoned property shall minimize visual impact with the creation of open space designed as “courtyard parks”.
- The “courtyard parks” shall include fixed seating/benches and possible installation of local art sculptures.
- The “courtyard parks” shall create an improved break area along sidewalks directly adjacent to single family zoned property.



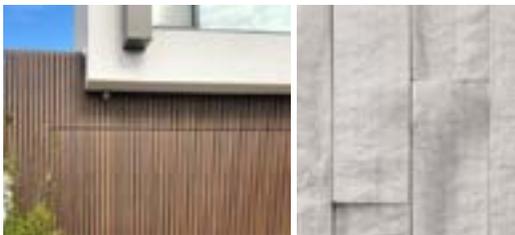
Design Option



Design Option

LEGEND

- A Community garden
- B Playground
- C Shade structure
- D Seating/ raised planter
- E Grill area
- F Lawn



MATERIALS

All building materials in Scottsdale Towne Square will reflect a high quality of craftsmanship, through the careful design and detail of how materials are used, selected, and featured in architecture. Building materials will be used to create architecture that is both timeless, and contemporary.

Masonry

Careful attention to detail is required at all connections and transitions to other materials. Edge details will prevent visible unfinished edges. Natural stone must be protected against staining and discoloration by means of sealants appropriate to the material.

Limestone

- Regionally sourced
- Varied colors, sizes and textures

Brick

- Natural tones are encouraged
- Blends with limited variation and similar hues

CMU

- Burnished
- Integral color

Other Natural Stone

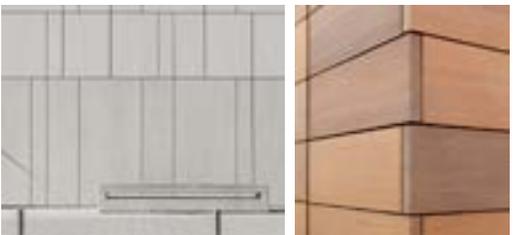
Finishes for stone may include, but are not limited to:

- Polished
- Sandblasted
- Flamed
- Honed
- Split-face
- Carved

Concrete

Many precast stone and concrete products are currently available may be appropriate.

- Cast-in-Place
- Precast
- Board or linear formed concrete



Wood

Wood is best used in locations with minimal weather exposure, and the wood used must be kiln dried, mill quality, and specified clear with no knots and minimal imperfections. Care will be used with wood in exterior applications due to the environmental wear on the material. Acceptable wood species may include:

- IPE
- Cedar
- Cypress
- Mahogany
- Oak

Finishes for wood may include, but are not limited to:

- Painted wood (enamel finish)
- Clear, preservative sealant
- Stained and sealed

Glass

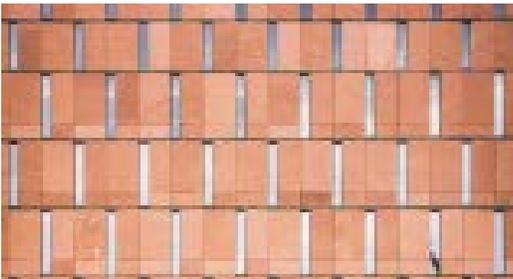
Glass is vital for interior–exterior dialogue, and therefore will be carefully considered to optimize uses. All window glazing shall be a minimum of 85% non-reflective glass. Ground level glazing shall have a visible transmittance (VT) of 0.6 or greater.

Glass may include, but are not limited to:

- Clear
- Tinted (Greys, Blues)
- Frosted
- Channel Glass
- Stained and sealed

Cladding

Exterior cladding in Scottsdale Towne Square will be highly detailed at all connections and transitions to other materials. Exterior edge details must prevent visible unfinished edges. Exterior cladding in Scottsdale Towne Square can also have a variety of different styles and finishes, but all cladding will be complementary to the design of Scottsdale Towne Square Systems for cladding may include, but are not limited to:



- Curtain Walls
- Rainscreens
- Metal Panel
- Tile handing

Stucco

Stucco in Scottsdale Towne Square will be treated with a high level of finish and quality. Areas with stucco applications will consider the long term viability of the product. Stucco will also be used to enhance the area’s design, reflecting the craftsmanship and sophistication of other materials in Scottsdale Towne Square.

Finishes for stucco may include, but are not limited to:

- Santa Barbara Finish
- Smooth Finish
- Fine Sand Finish

Limited Finishes

- Painted CMU (inside of service yards only)
- EIFS and all stucco finishes
- Polished Metal (will be solid not plated, and will be limited to accent trim)
- Unique treatments of metal (painted, rusted, imprinted, and etched metals)
- Engineered synthetic or composite wood-like materials may be used

Facade Application Restrictions

- Glazing shall comprise minimum 15% of facade (two and three story west facades facing single family residential are excluded due to neighborhood desire to restrict view windows)
- Stucco finishes shall comprise maximum 60% of facade

**SCOTTSDALE
TOWNE SQUARE**