

# 79th Avenue & Encanto Boulevard Planned Unit Development



## Z-40-20-7

+/- 27.33 gross acres generally located at the  
northeast corner of 79<sup>th</sup> Avenue and Encanto Boulevard

First Submittal:	July 22, 2020
Second Submittal:	November 17, 2020
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**CITY OF PHOENIX**

MAY 06 2021

**Planning & Development  
Department**

## Planned Unit Development Disclaimer

A Planned Unit Development (“PUD”) is intended to be a stand-alone set of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix Zoning Ordinance. A PUD includes substantial background information to illustrate the intent of the development. However, these purpose and intent statements are not necessarily requirements to be enforced by the City. The PUD only modifies zoning ordinance regulations to fit the unique character of the project, site characteristics, and location. It does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of-way abandonments.

This PUD will provide the set of regulatory zoning provisions designed to guide the implementation of the overall development plan through the City of Phoenix development review and permit process. The provisions provided within this PUD shall apply to all property within the PUD project boundary. The zoning and development standards provided herein shall amend the various noted provisions of the City of Phoenix Zoning Ordinance (as adopted and periodically amended). In the event of a conflict between a use, a development standard, or a described development procedure between the City of Phoenix Zoning Ordinance and the PUD, the PUD shall prevail.

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# Section 1. Purpose & Intent

**Purpose & Intent.** The 79<sup>th</sup> Avenue and Encanto Boulevard PUD (“79<sup>th</sup> Encanto PUD”) rezones the approximate 27.33 gross acres (25.17 net acres) of property generally located at the northeast corner of 79th Avenue and Encanto Boulevard within the Maryvale Village (“Property”) from C-2 Intermediate Commercial and RSC Regional Shopping Center to Planned Unit Development. See below Aerial Map. The 79<sup>th</sup> Encanto PUD has been prepared based on the principles and concepts established in the Maryvale Village Core Urban Design Plan and the Walkable Urban (“WU”) Code Transect T5:3. The purpose of this PUD is to facilitate the development of high-quality, affordable senior living and family-oriented multifamily residential communities on the Property. The development is planned to be rent and income restricted at or below 60% of the area median income. Additionally, vouchers from local housing authority to accommodate varying levels of affordability will be accepted. The communities have been designed with an emphasis on walkability and the pedestrian experience, connectivity to transit, architecture and building scale, and the streetscape. A future Valley Metro Light Rail Transit (“LRT”) station and line are being planned along 79<sup>th</sup> Avenue. The Property is located within the Maryvale Village Core.



The 79<sup>th</sup> Encanto PUD proposes to develop a 576 unit multifamily residential community, comprised of 204 age-restricted, independent senior living units and 372 multifamily residential units, adjacent to a future LRT station and line along 79<sup>th</sup> Avenue. The senior living community will be developed as a single 4-story building wrapping an expansive courtyard, which includes a pool, patio, and other active and passive open spaces and amenities for residents. The family-oriented multifamily residential units are planned as a series of 3-story buildings, in a gated setting, designed around community amenities such as a clubhouse, community pool, open spaces and play areas. The 79<sup>th</sup> Encanto PUD includes specific design guidelines and development standards that take their cue from urban design principles and the City’s WU Code standards, and address the relationship between the buildings’ facades, form, and scale and the public realm.

**Goals & Objectives.** The goals and objectives of the 79<sup>th</sup> Encanto PUD include:

- Activate a vacant, underutilized property with a multifamily residential development at an appropriate density adjacent to a future LRT station and line.
- Provide housing opportunities that support a variety of demographics through all stages of life.
- Provide enhanced pedestrian amenities, including shade, landscape, street furniture, and way finding signage that promote pedestrian activity through a more vibrant, comfortable environment.
- Encourage architecture and design guidelines that create a sense of place unique to the Maryvale Village, as well as strengthen Maryvale’s identity and reinforce its heritage and culture.
- Provide usable active and passive open spaces.
- Promote development standards that allow for transit-oriented development.
- Support the economic vitality of Desert Sky Mall, Ak-Chin Pavilion, and other surrounding commercial and service uses with complementary high density residential development.

## Section 2. Existing Site Conditions

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The Property is an “L” configuration comprised of approximately 27.33 gross acres of land immediately bounded by 79<sup>th</sup> Avenue, a major arterial roadway, to the west, Encanto Boulevard, a minor collector roadway, to the south, and Westridge Mall Circle, a private drive, to the northeast. The Property is located in the Maryvale Village Core. See [Exhibit 1: Land Use Map](#). The Property is comprised of one parcel, Maricopa County Assessor Parcel Number 103-28-011L. The Property, which is generally flat and does not include any significant topographical or natural features, is currently vacant. The Property is approximately 0.7 miles north of Interstate-10.

Existing and planned development in the immediate area includes a diverse land use pattern. An approximately 4.5 acre out-parcel to the immediate northeast that is part of the Desert Sky Mall property is used for detention. To the north is a private event center and bus transit station, both zoned C-2. To the northeast across Westridge Mall Circle is Desert Sky Mall, a regional shopping center, with a variety of large to small-scale retailers, restaurants, and entertainment opportunities, zoned RSC. To the east is vacant property and the Desert Sage Branch Library, both zoned C-2. To the south across Encanto Boulevard is the Vinsanto single-family residential community zoned C-2, PAD-14, and PAD-14 SP. To the southwest across the intersection of 79<sup>th</sup> Avenue and Encanto Boulevard is the Ak-Chin Pavillion, a regional concert and event venue. To the immediate west across 79<sup>th</sup> Avenue is the Manuel “Lito” Peña Jr School zoned PAD-14 and a SRP substation and farm fields zoned C-2 with Height and Density Waivers. To the northwest across 79<sup>th</sup> Avenue is the Cartwright Unified School District zoned C-2. See [Exhibit 2: Surrounding Use Aerial Map](#).

## Section 3. Land Use Plan & Development Plan Concept

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### a. Development Plan Concept

The development plans for the Property call for two separate multifamily residential communities on the Property (the “Project”). These include a 204 unit senior living community and a 372 unit family-oriented multifamily community, both of which are intended to provide affordable and workforce housing. The communities will be cohesively developed through a coordinated development plan. See [Exhibit 3: Conceptual Site Plan](#).

**Senior Living Community.** An affordable, age-restricted independent senior living community is proposed on the east approximately 7.50 net acres of the Property with frontage along Encanto Boulevard and North Center Road. See [Exhibit 4: Senior Conceptual Site Plan](#). The senior living community will include 204 dwelling units in a single 4-story building. The building is located up-against the Encanto Boulevard frontage to define and



reinforce the streetscape form contemplated within the *Encanto Boulevard Bicycle Avenue Cross-Section*.



The 79<sup>th</sup> Encanto PUD gives specific attention to the Encanto Boulevard building façade, which includes the placement of “heavier” materials with larger grain textures at the bottom of the façade, with “lighter” materials at the top. See [Exhibit 5: Senior Conceptual Building Elevations](#). The ground and second floor building materials and finishes include plank lap siding, smooth face CMU, and metal, with an emphasis on fine-grained scale and texture. Additionally, the Encanto Boulevard façade integrates into the existing context of the area by breaking up the volume of the overall building, proportions, and height into a series of small sub-volumes through the “pushing and pulling” of the façade plane and by creating the appearance of a grouping of small structures through the use of textures, materials, details, colors, and other architectural elements. This façade is also expressed in other ways which help to establish an appropriate scale in relation to the context, including a rhythm and pattern of windows and defining the position of each floor through horizontal expression lines, awnings, and balconies. See [Exhibit 6: Senior Conceptual Renderings](#).



Amenities are located in a courtyard setting and are planned to include a clubhouse, pool and spa, ramada, fire table/pit, barbeque area, and turf open space area within the courtyard area. Pedestrian pathways are provided throughout the site with multiple pedestrian corridors established to the public streetscape and adjacent properties. See [Exhibit 7: Senior Conceptual Amenities](#).



Guest parking is provided adjacent to the clubhouse, with gated resident parking significantly set back and screened from Encanto Boulevard or located entirely behind the senior living community building. See Exhibit 8: Senior Conceptual Entry/Clubhouse Rendering.



Access to the senior living facility will occur off Encanto Boulevard, via a shared primary access drive punctuated by a landscaped roundabout and median separated secured entry drive into the senior living facility. A gated emergency access drive is provided along Westridge Mall Circle (southeast of the detention out-parcel).

**Family-Oriented Multifamily Residential Community.**

An affordable, family-oriented multifamily residential community is proposed on the western approximately 17.67 net acres of the Property with primary frontage along both 79<sup>th</sup> Avenue and secondary frontage along Encanto Boulevard. See Exhibit 9: Family Conceptual Site Plan. The family oriented community will include 372 dwelling units within a series of sixteen 3-story buildings. Dwelling units will be comprised of one, two, and three bedroom configurations. Seven buildings are located up-against 79<sup>th</sup> Avenue in accordance with the *79<sup>th</sup> Avenue Transit Avenue Cross-Section* in the Core Plan. Additionally, two buildings are located up-against Encanto Boulevard in accordance with the *Encanto Boulevard Bicycle Avenue Cross-Section* in the Core Plan. Collectively, these buildings define and reinforce the streetscape adjacent to a future LRT station and corridor. The majority of resident parking is setback and screened from view along 79<sup>th</sup> Avenue and Encanto Boulevard, with a limited amount of parking permitted within three autocourts. Parking within the autocourts shall be behind or between buildings.



Similar to the senior living community, the family-oriented residential community will include street façade massing and architecture purposely designed with materials, colors, composition of windows, and architectural detail such as buildings recesses, “rhythms” and “runs” to ensure that the buildings are inviting and visually interesting from the streetscape. See Exhibit 10: Family Conceptual Building Elevations. The family-oriented community will also contain detached buildings consisting of a leasing office/clubhouse, fitness center, and maintenance building. See Exhibit 11: Family Clubhouse/Fitness Conceptual Building Elevation and Rendering.



Amenities are centrally located and planned to include a clubhouse and fitness center, pool and spa, ramada, fire table/pit, two tot lots, bike fix-it station for resident use, and barbeque area. Additionally, on-site landscaping will include a blend of desert and desert-adapted plant materials and canopy trees that will provide shade relief, contrast, color, and scale to the Project. Resident parking is set back from 79<sup>th</sup> Avenue and Encanto Boulevard or located entirely behind the residential buildings. See Exhibit 12: Family Conceptual Amenities.





**Public Plaza.** An approximately 6,500 SF public plaza is proposed at the immediate northeast corner of 79<sup>th</sup> Avenue and Encanto Boulevard—the most visually prominent location within the Project. See Exhibit 13: Conceptual Plaza Perspective Rendering. This civic space is strategically oriented outward and positioned so that it will be visually and physically connected with the future LRT station and corridor and perimeter pedestrian network, as well as inviting to the public and residents. A large hardscape landing is provided at the corner to create opportunities for social interaction, while allowing pedestrians to be comfortably set back from the adjoining streets. Pathways from the landing connect residents with the family-oriented residential community. Additionally, lush landscaping is planned to create an inviting experience for the public and residents. Project signage is proposed within the public plaza.



**Streetscapes.** The streetscapes planned for 79<sup>th</sup> Avenue and Encanto Boulevard are intended to implement the walkable urban-place type envisioned by the Core Plan adjacent to a future LRT station and corridor. Both streetscapes have been specifically designed based on the Core Plan. See [Exhibit 14: 79<sup>th</sup> Avenue Streetscape, Encanto Boulevard Streetscape, and Shade Calculations](#). The planned streetscape promotes a stronger sense of community and a more-pedestrian friendly, comfortable, and safe environment, with opportunities for access to the future LRT station and corridor.

**79<sup>th</sup> Avenue.** The 79<sup>th</sup> Avenue streetscape is planned to include a 6 FT bike lane, a 20 FT landscaped parkway, which will include a detached 8 FT sidewalk.

**Encanto Boulevard.** The Encanto Boulevard streetscape is planned to include an 8 FT on-street parking lane, 8 FT bike lane, and a 15 FT parkway, which will include a detached 8 FT sidewalk.

Both frontages will include shade trees planted on both sides of the sidewalks to achieve 75% shading and increase pedestrian comfort in accordance with the WU Code and the City’s Complete Streets Policy. Additionally, the sidewalks along both frontages will connect to a series of pedestrian nodes that will feature landscaping and seating areas or other similar amenities for public and resident use. See [Exhibit 15: Conceptual Pedestrian Nodes](#).



**Pedestrian Connectivity.** The 79<sup>th</sup> Encanto PUD promotes a walkable environment that is comfortable, convenient, healthy, and sustainable for both the public and residents adjacent to a future LRT station and corridor. The 79<sup>th</sup> Encanto PUD establishes a development that introduces a more urban form and pattern from the ground up as called for in the Core Plan, within an area that has historically been developed around the automobile. As such, on-site and off-site pedestrian connectivity, along with access to the future LRT station and corridor, is paramount. See [Exhibit 16: Conceptual Pedestrian Circulation Plan](#).

A robust pedestrian network is planned that connects each building together where appropriate and to public sidewalks and pedestrian nodes along 79<sup>th</sup> Avenue and Encanto Boulevard, amenities and other common and open space areas, and adjacent sites. The planned pedestrian circulation system has been design from the “inside out”—numerous on-

site resident pathways provide direct and convenient access to the adjoining public pathways along 79<sup>th</sup> Avenue and Encanto Boulevard, which then connect the larger regional circulation system, which include connections to the Manuel “Lito” Peña Jr School, Desert Sky Mall, and Ak-Chin Pavilion.

Primary pedestrian access for residents is planned at the northeast corner of 79<sup>th</sup> Avenue and Encanto Boulevard adjacent to the public plaza and future LRT station and corridor. The plaza will feature landscaping and shade creating a comfortable environment when walking in the area or waiting for the future LRT. The internal pedestrian network provides residents several secondary connections (4 along 79<sup>th</sup> Boulevard; 2 along Encanto Boulevard) to the wide, detached sidewalks and bike lanes along 79<sup>th</sup> Avenue and Encanto Boulevard. The on-site pedestrian network will be shaded and appropriately sized to maximize pedestrian comfort and safety (except where not possible due to utility conflicts or vehicular access drives). Shading will be achieved through use of landscaping, building placement, and/or architecture projections or elements, such as canopies, awning, overhangs, etc. Gates will be provided at all pedestrian nodes. Additionally, buildings, building entrances, crosswalks, and pathways on-site will be located, oriented, and designed to minimize walking distances to adjoining public pedestrian ways.

The 79<sup>th</sup> Encanto PUD is planned to significantly enhance the public pedestrian ways along the Primary Frontage, Secondary Frontage, and North Center Road, in addition to providing the public with direct, convenient, and comfortable routes to/from the planned LRT station and corridor along 79<sup>th</sup> Avenue, Ak-Chin Pavilion, Desert Sky Mall, Desert Sage Branch Library, and other surrounding uses. Currently, there is a narrow, attached sidewalk along 79<sup>th</sup> Avenue and no sidewalk along Encanto Boulevard, neither of which support the walkable urban place-type envisioned in the Core Plan. The 79<sup>th</sup> Encanto PUD significantly improves on the current streetscape with detached 8 FT public pedestrian pathways, which will include trees planted on both sides to maximize pedestrian capacity, comfort, space, and mobility. In addition to improving 79<sup>th</sup> Avenue and Encanto Boulevard, this application proposes to provide a 6 FT attached sidewalk along North Center Road (where one does not currently exist) connecting the public and residents to Desert Sky Mall and Desert Sage Branch Library. This application supports and implements the planned, walkable urban place-type envisioned in the Core Plan.

Additionally, a designated high-intensity activated crosswalk (HAWK crossing) is planned along 79<sup>th</sup> Avenue in coordination with the Manuel “Lito” Peña Jr School.



## b. Maryvale Village Core Plan

In 2011, the City adopted the Maryvale Village Core Urban Design Plan (“Core Plan”) to help guide development for the 830 acres bounded by Thomas Road to the north, 75<sup>th</sup> Avenue to the east, Interstate 10 to the south, and 83<sup>rd</sup> Avenue to the west. The overall concept of the Core Plan is to promote a more urban environment conducive to transit-oriented development. The Core Plan anticipates the western expansion of LRT along the Interstate 10 freeway corridor, then extending north along 79<sup>th</sup> Avenue, with a station near the intersection of 79<sup>th</sup> Avenue and Encanto Boulevard. This development, which represents the first significant development within the Core Plan since its adoption, includes development standards and design guidelines to start the transition from conventional suburban neighborhood and center-type development to a dense urban center envisioned in the Core Plan.

The Core Plan identifies key development opportunities within the Maryvale Village Core, which include mobility and the western expansion of LRT, the integration of usable public space within private development and opportunities for connections to those public spaces, unique architecture that blends with existing architecture to form a cohesive community identity, and the development of vacant, underutilized land.

***Mobility / LRT Western Expansion.*** The 79<sup>th</sup> Encanto PUD responds to the vision of the Core Plan to create a pedestrian-friendly environment that provides high quality transit services and amenities for bicyclists. The Project assigns a higher priority to alternative modes of transportation in order to create a balanced circulation system more aligned with the vision of the Core Plan and community.

The Project, located adjacent to a future LRT station, will enable residents to reduce the number of driving trips and save on transportation expenses without sacrificing convenience, while importantly reducing emissions. The 79<sup>th</sup> Encanto PUD promotes development in a compact pattern that makes day-to-day destinations, such as shopping, employment, recreation, and/or entertainment, within a transit trip or short walk. Consistent with the Core Plan, the 79<sup>th</sup> Encanto PUD encourages a higher density near a future LRT station and corridor to create location efficiency.

The Core Plan designates 79<sup>th</sup> Avenue, between Interstate 10 and Thomas Road, as a Transit Avenue, which is distinguished by its function as a local high-capacity transit corridor. This street type is designed to carry low to moderate traffic volumes, while supporting the corridor’s potential as a future light rail route. The Project, specifically the 79<sup>th</sup> Avenue frontage and streetscape, supports a location-efficient development pattern and mobility planning envisioned in the Transit Avenue street type. To strengthen the connection between the Project and the LRT station and corridor, the Project appropriately orients the buildings and architecture to the street frontages and provides convenient pedestrian linkages between the buildings, pedestrian nodes, and public plaza to the 79<sup>th</sup> Avenue street

frontage. 79<sup>th</sup> Avenue is planned to promote the highest level of walkability to key connections between the Project and the future LRT station and corridor.

The Core Plan designates Encanto Boulevard as a Bicycle Avenue, which is distinguished by its function as a significant bicycle corridor. This street type is designed to carry low to moderate traffic volumes at low to medium speeds. The north-half of Encanto Boulevard adjacent to the Project is designed to include one vehicle travel lane, a parking lane, and an 8 FT bike lane separated by curbing to maximize bicyclist safety, while providing a key link between the Project, surrounding neighborhoods, parks, and schools both within and outside the Maryvale Village Core. Additionally, Encanto Boulevard includes an expansive pedestrian zone, with a wide sidewalk, pedestrian nodes, and landscaping, promoting pedestrian activity within a vibrant, comfortable environment.

**Public Space / Streetscape.** The 79<sup>th</sup> Encanto PUD recognizes that Phoenix’s streets play an important role in the livability, vitality, and character of the community. This application contributes to the Core Plan area through the development and improvement of the 79<sup>th</sup> Avenue and Encanto Boulevard public streetscapes adjacent to the Property, creating more pedestrian-friendly environments in which citizens can live, work, and play. The 79<sup>th</sup> Avenue and Encanto Boulevard streetscapes are designed to be pedestrian-priority areas, with a strong emphasis on interaction, comfort, and safety. The streetscape architecture along each of the frontages is uniquely designed to complement the planned nature and character of the streetscape, which will include bike lanes, parkways, wide sidewalks, an abundance of landscaping and shade, and pedestrian appropriate lighting.

Currently, there is a narrow, attached sidewalk along 79<sup>th</sup> Avenue and no sidewalk along Encanto Boulevard, neither of which support the walkable urban place-type envisioned in the Core Plan. The 79<sup>th</sup> Encanto PUD proposes detached 8 FT sidewalks along both 79<sup>th</sup> Avenue and Encanto Boulevard, providing pedestrian capacity, comfort, space, and mobility, as well as connecting the public and residents with a public plaza at the northeast corner of 79<sup>th</sup> Avenue and Encanto Boulevard. This application supports and implements the planned, walkable urban place-type envisioned in the Core Plan. Additionally, the improved pedestrian access supports transportation alternatives, including walking and biking, and access to a future LRT station. The wide detached sidewalks along 79<sup>th</sup> Avenue and Encanto Boulevard, bounded by landscaping and on-street parking, create a shaded, pedestrian friendly environment and a stronger sense of community. The streetscape improvements in the 79<sup>th</sup> Encanto PUD will be the first constructed under the Core Plan. It is anticipated that as other properties in the Core Plan are improved and/or redeveloped, they too will provide similar streetscape improvements that will eventually create an interconnected street and sidewalk network in the Core Plan area.

**Architecture.** The 79<sup>th</sup> Encanto PUD incorporates high-quality architecture and design, along with the development standards based on the Core Plan and WU Code, that encourage an appropriate mixture of density and activity around a future LRT station and corridor. Architecture is planned to include enhanced 4-sided architecture with primary and

secondary building materials, accents and trim details, expression lines, and the “pushing” and “pulling” of the wall planes, which collectively create a character that is appropriate to the context of the existing area and the future LRT station and corridor. Additionally, the use of façade components, building form, proportions, textures and materials, and colors help to express the position of each floor creating a human scale and visual interest in a walkable environment.

***Vacant Land.*** The 79<sup>th</sup> Encanto PUD encourages growth adjacent to a future LRT station and corridor, as envisioned in the Core Plan. Development of this vacant, underutilized Property will result a diverse community that provides new, affordable, and much needed housing opportunities for both senior and family living, while adding vibrancy to the area. The introduction of 576 new multifamily residential units within the Core Plan area represents a significant investment in the community for an underutilized out-parcel of Desert Sky Mall, while providing direct support for Desert Sky Mall and Ak-Chin Pavilion, as well the existing commercial, retail, and service uses to the southeast along 75<sup>th</sup> Avenue, which are also located within the Core Plan. Additionally, the 79<sup>th</sup> Encanto PUD furthers the goal for economic expansion within the Core Plan area by providing much needed housing and density to support the development, and redevelopment, of commercial and employment destinations, envisioned by the Core Plan.

\* \* \*

The 79th Encanto PUD incorporates the following Core Plan policies and recommendations regarding mobility, sustainability, and design, which are intended to create an active and vibrant urban environment:

- Enhanced bicycle lanes for safer routes to schools and parks.
- Bicycle parking and repair areas.
- On-street parking and landscape buffers between sidewalks and vehicle travel lanes for enhanced pedestrian safety.
- Decorative screening for off-street parking that is visible from the street.
- Crosswalk connections with enhanced visibility, including a High-Intensity Activated Crosswalk (HAWK) system between the Property and Manuel “Lito” Peña Jr School.
- Rideshare designated space(s).
- Electric car charging space(s).
- Pedestrian facilities (seating, lighting, shade, open space, etc.) along 79th Avenue and Encanto Boulevard.

- A public and resident plaza connecting element at the 79th Avenue and Encanto Boulevard intersection that provides a “gateway” into the Project.
- Numerous pedestrian access points and nodes within and along the perimeter the Property to encourage pedestrian activity and social interaction.
- A Primary Frontage design along 79th Avenue in accordance with the *79<sup>th</sup> Avenue Transit Avenue Cross-Section*.
- A Secondary Frontage design along Encanto Boulevard in accordance with the *Encanto Boulevard Bicycle Avenue Cross-Section*.
- On-street parking along Encanto Boulevard.
- Bicycle lanes along both 79<sup>th</sup> Avenue and Encanto Boulevard.
- Limited driveway cuts (one per Primary Frontage and Secondary Frontage).
- Enhanced visibility at crosswalks.
- Enhanced (75%) shading along Primary and Secondary Frontage rights-of-way, including tree shading and architectural features.
- Pedestrian-oriented design—convenient, comfortable, and safe environment.
- Use of additional pedestrian amenities, such as structural shade elements, seating, information kiosks, and wayfinding signage.
- Use of pedestrian scale lighting.
- Sidewalk design including all 4 zones (Frontage, Pedestrian, Amenity, Curb).
- Minimum 5 FT sidewalks.
- Comprehensive landscape design, including 33% foundation landscaping.
- Bicycle parking and storage.
- Architectural design to complement, enhance and contribute to the existing character of the neighborhood and Maryvale Village.

- Incorporate green screens to break up building mass.
- Eliminate large areas of blank wall.
- Provide a pedestrian scale elevation with demarcation of ground level through the use of architecture, materials, finishes, landscaping, hardscape, and lighting.
- Define pedestrian entrances with distinctive materials and architectural elements.
- Create a transit-oriented corner event with a distinctive massing and plaza incorporating individual architectural features, color, and materials, landscaping, hardscape, and lighting.
- Increase density to support the future LRT station and corridor and economic vitality of Desert Sky Mall, Ak-Chin Pavilion, and other commercial, retail, and service uses in the surrounding area.
- Manage storm water environmentally; maximize landscape irrigation efficiency.
- Parking screened behind buildings or landscape elements.
- Provide on-site loading spaces.

The Project will transform this vacant, underutilized property into an active, vibrant use that will enhance the livability of the Maryvale Village Core and further the long-term goals of the Core Plan.

## Section 4. Permitted Uses

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**Permitted Uses, Temporary Uses, and Accessory Uses** shall comply with T5:3 transect land uses in Section 1306 of the Zoning Ordinance.

## Section 5. Development Standards

**Development Standards.** The following development standards serve as the framework for the Project and support the level of intensity and building form that best integrates this development with surrounding area, while facilitating an urban, pedestrian-supported transit oriented project adjacent to a future LRT station and corridor.

### a. Building Height

<b>Maximum Building Height</b>
Max. building height shall comply with T5:3 transect (max 48 FT per Sec. 1302.A.3.).

### b. Lot Standards

<b>Applicability</b>	
Lot Standards shall comply with Table 1303.2—Transect T5 of the Zoning Ordinance, except as follows:	
<b>Max. Density</b>	
<b>Senior Living Community</b>	26 du/ac
<b>Family-Oriented Multifamily</b>	
<b>Primary Building Setbacks</b>	
<b>Primary Frontage (79<sup>th</sup> Avenue)</b>	44 FT max.
<b>Secondary Frontage (Encanto Boulevard)</b>	27 FT max.
<b>North Center Road</b>	20 FT min.
<b>All Other Lot Lines</b>	30 FT min.
<b>Streetscape Landscaping</b>	
<b>Primary Frontage (79<sup>th</sup> Avenue)</b>	40 FT max.
<b>Secondary Frontage (Encanto Boulevard)</b>	25 FT max.
<b>Adjacent to Detention Basin</b>	10 FT
<b>All Other Lot Lines</b>	20 FT

<b><i>Sidewalk Width</i></b>	
<b>Primary Frontage (79<sup>th</sup> Avenue)</b>	8 FT min.; detached
<b>Secondary Frontage (Encanto Boulevard)</b>	8 FT min.; detached
<b>North Center Road</b>	6 FT min.; attached
<b><i>Parking Setbacks</i></b>	
<b>Primary Frontage (79<sup>th</sup> Avenue)</b>	Min. 62 FT from existing right-of-way (35 FT), except that a max. 28 parking spaces shall be permitted within the Parking Setback.
<b>Secondary Frontage (Encanto Boulevard)</b>	Min. 23 FT from existing right-of-way (35 FT), except that a max. 70 parking spaces shall be permitted within the Parking Setback.
<b>North Center Road</b>	15 FT min.
<b>All Other Lot Lines</b>	15 FT min.
<b><i>Lot Requirements</i></b>	
<b>See <u>Exhibit 17: 79<sup>th</sup> Avenue Building Frontage Calculation</u></b>	
<b>Primary Frontage (79<sup>th</sup> Avenue)</b>	Min. 63% Building Frontage required
	Min. 6,500 SF public plaza shall be provided at the northeast corner of 79 <sup>th</sup> Avenue & Encanto Boulevard. Public plaza shall be shaded 50% by trees. Ground cover and shrubs should be provided in areas with no pavement or structures.
	Min. 25 FT wide non-gated pedestrian paseo, improved with a min. 6 FT sidewalk. Public pedestrian paseo shall be shaded 50% by trees. Ground cover and shrubs should be provided in areas with no pavement or structures.
<b>Secondary Frontage (Encanto Boulevard)</b>	No requirement
<b><i>Open Space</i></b>	
<b><i>Open Space</i>—See <u>Exhibit 18: Open Space Calculations</u></b>	
Open Space shall comply with Section 1310, except as follows:	
<b>Public Open Space</b>	Min. 5% required, including the following:

<b>Public Open Space (cont.)</b>	Min. 6,500 SF public plaza shall be provided at the northeast corner of 79 <sup>th</sup> Avenue & Encanto Boulevard. Public plaza shall be shaded 50% by trees. Ground cover and shrubs should be provided in areas with no pavement or structures.
	Min. 3 public pedestrian nodes shall be provided along the Primary Frontage (79 <sup>th</sup> Avenue). Each pedestrian node shall be a min. 500 SF and contain a seating area and trash receptacle. Public pedestrian nodes shall be shaded 50% by trees. Ground cover and shrubs should be provided in areas with no pavement or structures.
	Min. 3 public pedestrian nodes shall be provided along the Secondary Frontage (79 <sup>th</sup> ). Each pedestrian node shall be a min. 500 SF and contain a seating area and trash receptacle. Public pedestrian nodes shall be shaded 50% by trees. Ground cover and shrubs should be provided in areas with no pavement or structures.
<b>Private Open Space</b>	Min. 10% required

**c. General Site Development Standards**

<b><i>Applicability</i></b>
General Site Development Standards shall comply with Section 1304 of the Zoning Ordinance, except as follows:
<b><i>Block Size</i></b>
The maximum continuous block length, measured from the centerline of 79 <sup>th</sup> Avenue to the centerline of the vehicular access drive along Encanto Boulevard, shall not exceed 700 feet. No maximum block length along 79 <sup>th</sup> Avenue.



<b>Large Scale Development Requirements</b>	
Not applicable, except as follows:	
<b>Public Pedestrian Paseo</b>	Min. 25 FT wide non-gated pedestrian paseo, improved with a min. 6 FT sidewalk. Public pedestrian paseo shall be shaded 50% by trees. Ground cover and shrubs should be provided in areas with no pavement or structures.
<b>Primary Frontage (79<sup>th</sup> Avenue)</b>	Min. 4 resident pedestrian gates, including resident pedestrian gate at public plaza.
<b>Secondary Frontage (Encanto Boulevard)</b>	Min. 2 resident pedestrian gates.
<b>Public Plaza</b>	Min. 1 resident pedestrian gate.
<b>North Center Road</b>	Min. 1 resident pedestrian gate.

**d. Frontage Standards**

<b>Applicability</b>	
Frontage Standards shall comply with Section 1305 of the Zoning Ordinance, except as follows:	
<b>Building Entrances</b>	
Primary building entries shall not be required from the Primary Frontage or the Secondary Frontage.	
Section 1305.B.3.c	Not applicable, as the City Street Classification Map designates 79 <sup>th</sup> Avenue as a Minor Collector.
<b>Projections Into Frontage Setbacks</b>	
Porches, patios, balconies, and shading devices, attached or detached to facades, may project into frontage setback up to 6 FT.	
<b>Fence Standards</b>	
Fencing/walls shall comply with <u>Exhibit 19: Walls/Fences and Sign Plan</u> .	
Primary Frontage and Secondary Frontage: 72-inches maximum height, exclusive of column caps; and a maximum of 36-inches of solid fence, unless screening above grade utilities or trash enclosures. Column caps to be no more than 2 FT wide.	

## e. Frontage Types Table

<b>Applicability</b>	
Frontage Types shall comply with Table 1305.1 of the Zoning Ordinance, except as follows:	
<b>Patio:</b>	<b>a.</b> Patios required at the ground floor dwelling units immediately adjacent and oriented to the Primary Frontage and the Secondary Frontage.
	<b>b.</b> Primary entrances to ground floor dwelling units not required along the Primary Frontage or the Secondary Frontage.

## f. Vehicular and Bicycle Parking Standards

<b>Applicability</b>	
Parking and Bicycle Parking Standards shall comply with Section 1307 of the Zoning Ordinance, except as follows:	
<b>Required Vehicular Parking</b>	
<b>Residential, Multifamily</b>	Per Section 702 of the Zoning Ordinance.
	Additional 25% reduction when the off-street parking area is located within 1,320 feet from an existing or future LRT station when measured in a direct line from the building, and 10% reduction of required parking if the development is greater than 1,320 feet from a light rail station. The minimum required on-site vehicular parking is exclusively for the patrons of the subject parcel.
	Parking shall not exceed the minimum number of parking spaces by more than 10%.
<b>Required Loading and Services Bays</b>	
No requirement for Multifamily Residential.	
<b>Off-Street Vehicular Parking Location and Access</b>	
<b>1. See a. Lot Standards—Parking Setbacks</b>	
<b>2. One (1) vehicular access point (curb cut) is permitted along each frontage (79<sup>th</sup> Avenue and Encanto Boulevard), with emergency access along Westridge Mall Circle.</b>	
<b>Off-Street Parking Design</b>	
See <b>a. Lot Standards—Parking Setbacks</b>	

<b><i>Bicycle Parking and Amenity Standards</i></b>	
<b>Senior Living Community</b>	Min. common bicycle parking shall be provided at 0.25 spaces for each residential unit, with a max. of 54 spaces.
<b>Family-Oriented</b>	Min. common bicycle parking shall be provided at 0.25 spaces for each residential unit, with a max. of 54 spaces.
<b>Bike Fix-It Station</b>	Min. 1 bike fix it station.

### g. Landscape Standards

<b><i>Applicability</i></b>			
Landscape Standards shall comply with Section 1309 of the Zoning Ordinance, except as follows:			
<b><i>Tree Species Guidelines</i></b>			
In addition to the Trees permitted in Section 1309.C of the Zoning Ordinance, the following shall be permitted:			
<b><i>Permitted Shade Trees</i></b>			
<b>Botanical Name</b>	<b>Common Name</b>	<b>Height (FT)</b>	<b>Spread (FT)</b>
Parkinsonia 'hybrid'	Hybrid Palo Verde	30	30

### h. Open Space Improvements

<b><i>Applicability</i></b>
Open Space Improvements shall comply with Section 1310 of the Zoning Ordinance.

### i. Design Development Considerations

<b><i>Applicability</i></b>
Design Development Considerations shall comply with Section 1311 of the Zoning Ordinance.

## j. Resident Amenities

<b>Applicability.</b> Resident amenities shall be provided as follows:	
<b>Senior Living Community</b>	Clubhouse; pool and spa; ramada; fire table/pit; turf open space area within courtyard; barbeque area.
<b>Family-Oriented</b>	Public plaza (min. 6,500 SF); clubhouse; fitness center; pool and spa; ramada; fire table/pit; two (2) tot lots; bike fix-it station; and barbeque area.

## Section 6. Signs

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Signage shall comply with the Transect 5 standards in Section 1308 of the Zoning Ordinance.

## Section 7. Sustainability

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The 79<sup>th</sup> Encanto PUD is designed with a focus on a range of sustainability considerations— all reasonable attempts will be made to increase opportunities for residents to reduce water and electricity consumption through shading, window design, and building mechanics. Importantly, the Project’s density and proximity to the Maryvale Village core increase its sustainability profile. This project, as an affordable housing development, will comply with the energy requirements of the Arizona Department of Housing.

Additionally, the 79<sup>th</sup> Encanto PUD attempts to leverage sustainable building design elements to create a living environment that is healthier for its residents. Dominion is exploring options to improve ‘building health’ in line with state-of-the-art building standards. The Project will seek to positively impact human health and well-being through thoughtful design and engineering upgrades addressing air, water, light, fitness, comfort and mental wellbeing. Taken together, the Project's mutually reinforcing goals of environmental sustainability and resident wellness will result in the construction of a project that fits within the City’s goal for sustainable building practices.

Drought tolerant vegetation will be used in the landscape design and throughout the surface parking areas around the new building. All drought tolerant vegetation will follow the Arizona Department of Water Resources plant list and Arizona Nursery Association standards. The parking areas will be designed to provide a significant amount of shade trees, both interior to the parking and along the street frontage, creating a walkable environment

and inviting street presence. Public walkways within the public right-of-way to be shaded 75% and all on-site pedestrian walkways to be shaded 50%.

The development shall incorporate the following sustainability elements at time of Preliminary Site Plan Review:

- Foundation plantings containing 75% living vegetation ground coverage within 5 feet of building base containing low water use plantings.
- Use of drought tolerant plants.
- Seating along streetscape frontages.
- High efficiency insulated glazing.
- Providing bike parking areas to allow residents an opportunity to have alternative mode of transportation.
- Bicycle “fix-it” station.

The development shall incorporate the following additional sustainability elements:

- Low flow plumbing fixtures.
- LED/CFL interior lighting.
- LED building and landscape accent lighting.
- High efficiency HVAC units.
- Low VOC paints, carpet and flooring.

## Section 8. Vehicular Circulation, Parking & Connectivity

### ***Vehicular Circulation & Parking.***

Primary vehicular access to both communities will be provided along Encanto Boulevard. Upon arrival, residents and guests will be greeted by a landscaped boulevard-type entryway leading to a roundabout that serves as an entry focal point. The entryway and roundabout will be finished with enhanced hardscape, such as colored and/or stamped concrete or pavers, along with



community and wayfinding signage. A second point of vehicular access is provided to the multifamily residential community along 79<sup>th</sup> Avenue. A gated emergency drive to the senior living community is provided along Westridge Mall Circle. The primary and secondary vehicular access drives connect guests to visitor parking planned adjacent to the family-oriented residential community clubhouse (northwest of the roundabout) and the senior living community lobby/leasing office (east of the roundabout). They also connect residents to gated resident-only parking, which is located behind the buildings and/or setback and screened from the 79<sup>th</sup> Avenue and Encanto Boulevard frontages. Parking, which includes a total of 997 spaces, will be surface or covered surface parking spaces.

## Section 9. Water, Wastewater and Drainage

***Water.*** The Project will connect to existing 8-inch water lines in both 79<sup>th</sup> Avenue and Encanto Boulevard. Additionally, there is also a 16-inch transmission main in Encanto Boulevard. Water taps and meters will be provided off of the Encanto Boulevard frontage for both domestic and irrigation water to the Project. A private looped fire line will be provided through the Property. A fire hydrant flow test will be performed on the main in Encanto Boulevard.

**Wastewater.** 8-inch sewer lines exist in both 79th Avenue and Encanto Boulevard. The Project is planned to upsize the 8-inch line in Encanto Boulevard to a 10-inch line, extending from the easternmost connection to Manhole #102 in the intersection of 79<sup>th</sup> Avenue and Encanto Boulevard. If the Project connects to the existing 8-inch sewer line in 79th Avenue, that line may also need to be upsized to 10-inch from the point of connection to Manhole #102. The Project will provide an on-site private network of sanitary sewer lines that will serve all buildings. If possible, this system will be designed to provide all gravity flow.

**Drainage.** An approximately 4.5 acre out-parcel used for detention is located to the immediate northeast, which collects runoff from a majority of Desert Sky Mall. This detention basin has two outlet pipes: The first is 24-inches wide and runs to the west; the second is 18-inches wide and runs to the south. The detention basin is designed to accept flows from the Desert Sky Mall and release them gradually, cutting the peak flow. From the detention basin outfalls, open channels cross the Property generally running west to 79th Avenue and then south along the 79<sup>th</sup> Avenue frontage, and south to Encanto Boulevard and then west along the Encanto Boulevard, with both channels reaching the southeast corner of the Property. From here, the channels are intercepted by a pipe and headwall, and runoff is accepted into an existing public storm drain system at the intersection of 79<sup>th</sup> Avenue and Encanto Boulevard. The public storm drain system continues west in Encanto Boulevard.

The Project will not impact the existing detention basin. The open channels downstream from the detention basin will be modified as necessary to accommodate the Project, while maintaining the same flow capacity. A majority of the channels will be converted to underground piping. To accommodate the increased runoff from the Project, a network of underground retention tanks will be constructed on the Property. These retention tanks will be sized to accommodate the 100 year, 2 hour storm event, as required by the city of Phoenix. This underground retention system will discharge by drywell, and will be designed to drain within 36 hours pursuant to applicable city of Phoenix and Maricopa County requirements.

## Section 10. Phasing

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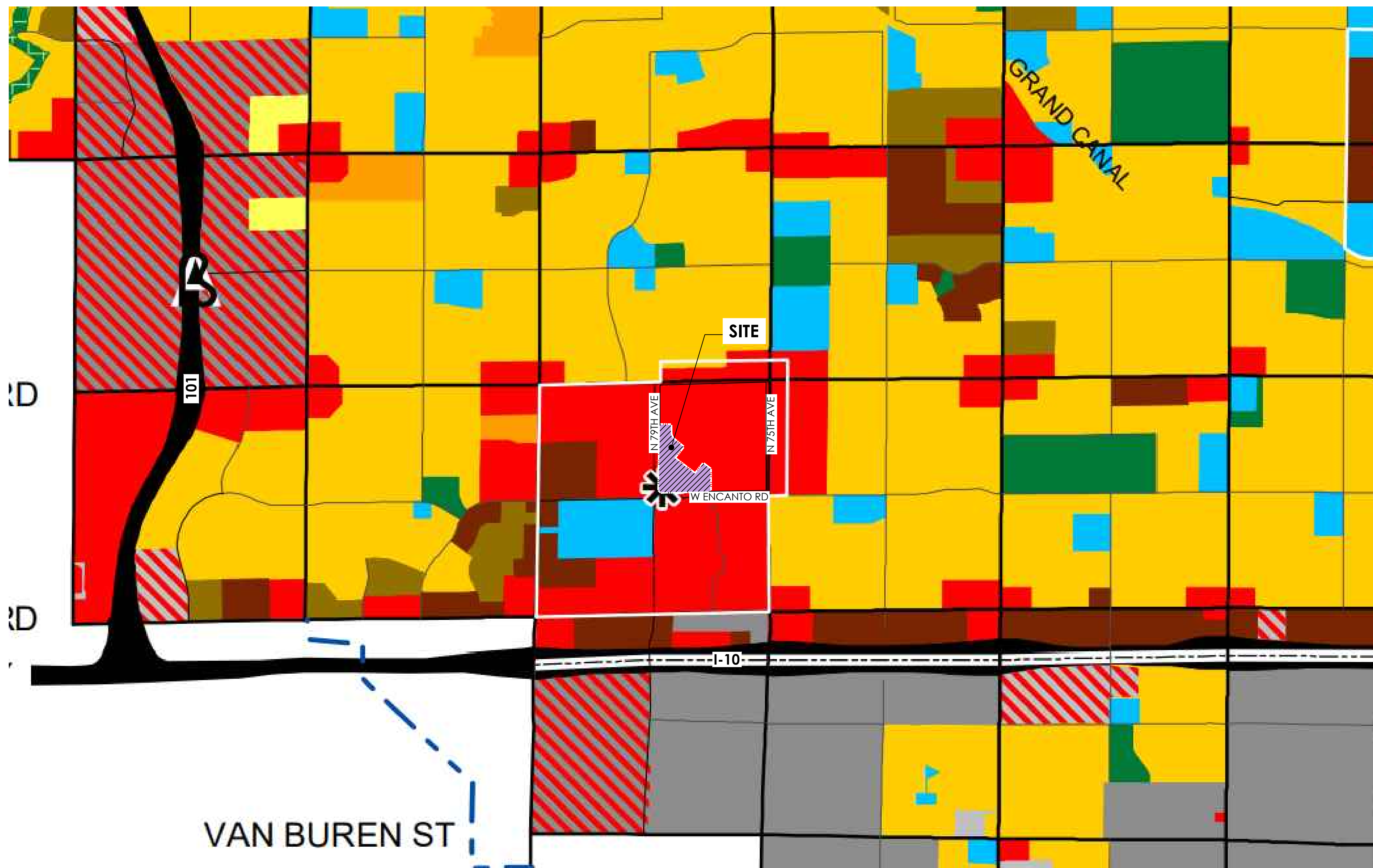
The development may be constructed in one or more phases, depending on market conditions. Plans for each phase will be submitted to the City for review to ensure proper and orderly development.

# Exhibits

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# **Exhibit 1. Land Use Map**



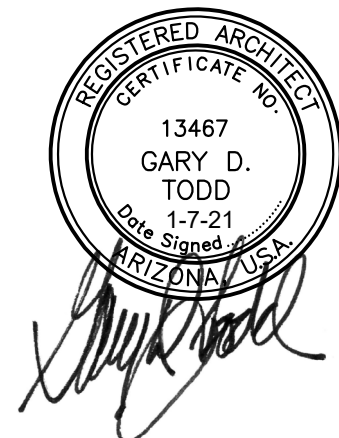
### LEGEND

#### LAND USE

- 0 to 1 du/acre - Large Lot
  - 1 to 2 du/acre - Large Lot
  - 2 to 3.5 du/acre - Traditional Lot
  - 3.5 to 5 du/acre - Traditional Lot
  - 5 to 10 du/acre - Traditional Lot
  - 10 to 15 du/acre - Higher density attached townhouses, condos, or apartments
  - 15+ du/acre - Higher density attached townhouses, condos, or apartments
  - Parks/Open Space - Publicly Owned
  - Parks/Open Space - Privately Owned
  - Future Parks/Open Space or 1 du/acre
  - Mixed Use Agricultural
  - Nurseries/Flower Gardens with alternative 3.5 to 5 du/acre
  - Commercial
  - Mixed Use (MU)
  - Mixed Use (Areas C, D and Northwest Area only)
  - Industrial
  - Commerce / Business Park
  - Public/Quasi-Public
  - Floodplain
  - Undesignated Area
  - SITE
- NOTE:**  
Movement within large lot, traditional lot and higher density residential categories does not require a General Plan amendment.
- Proposed Park in Area
  - Proposed School in Area
  - R Resort (See NOTES: below)
  - 10 Density Cap
  - Density Cap Limit
  - Primary Core
  - Secondary Core
  - Canal, Watercourse, Wash
  - Existing Railroad
  - Arterial and Collector Streets
  - Future Transportation
  - Light Rail
  - Laveen Conveyance Channel
  - Infrastructure Limit Line (North Black Canyon)

#### NOTES:

1 Striped areas designate optional uses corresponding to colors shown. Crosshatched areas designate areas in transition. Color in crosshatch is the color to, color between the crosshatch is the color from.



SHEET  
2

## LAND USE MAP

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.

**TODD & ASSOCIATES, INC.**

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
602.952.8280p www.toddassoc.com

Phoenix, Arizona  
SCHEMATIC DESIGN  
Project No. 19-2039-01 Date 1-08-2021

3rd P.U.D. SUBMITTAL  
REZONING CASE Z-40-20-7

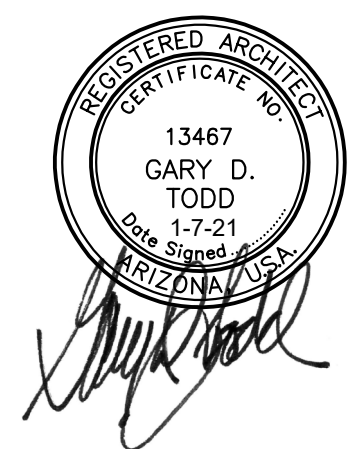


## **Exhibit 2. Surrounding Use Aerial Map**



**AERIAL MAP**

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**



SHEET  
**1**

## **Exhibit 3. Conceptual Site Plan**



**CONCEPTUAL SITE PLAN - OVERALL**

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SCALE: 1" = 80'-0"

0 40' 80' 160'



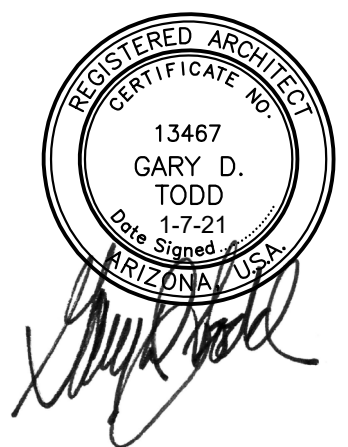
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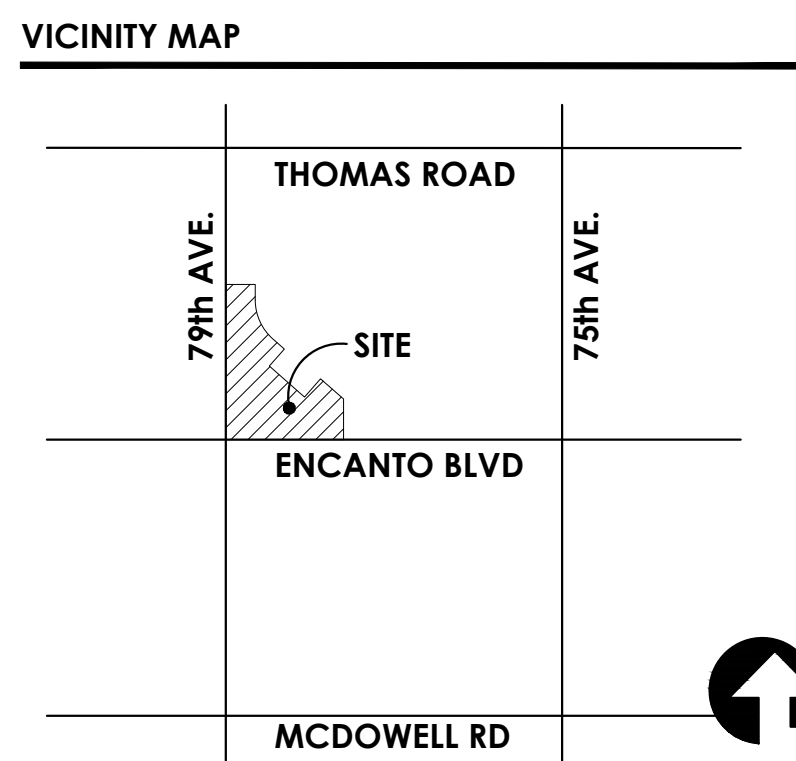
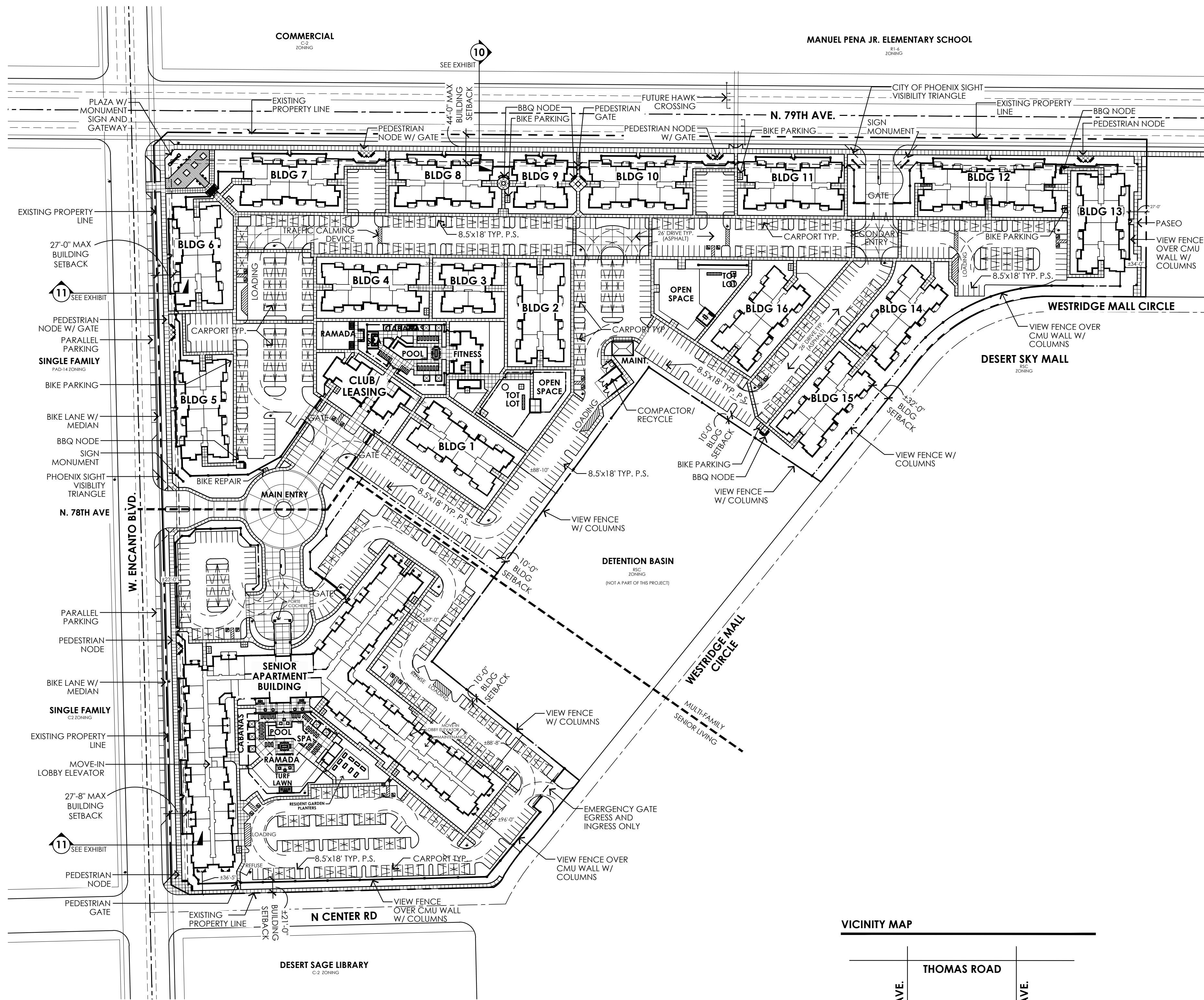
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SCHEMATIC DESIGN  
Project No. 19-2039-01 Date 1-08-2021

3rd P.U.D. SUBMITTAL  
REZONING CASE Z-40-20-7





**SITE DATA**

ASSESSOR'S PARCEL NO. 102-38-011L

**OWNER:**  
DOMINIUM INC.  
2905 NORTHWEST BLVD #150  
PLYMOUTH, MN 55441  
CONTACT-JEFF HUGGETT  
(763) 354-5605

**DESIGN PROFESSIONAL:**  
TODD & ASSOCIATES, INC.  
4019 NORTH 44TH STREET  
PHOENIX, AZ 85018  
CONTACT-DOUG SEXTON  
(602) 952-8220

**SITE AREA:**

PARCEL	NET	GROSS
FAMILY APARTMENT	± 17.67 ACRES*	± 18.87 ACRES*
SENIOR LIVING	± 7.50 ACRES*	± 8.46 ACRES*
<b>TOTAL</b>	<b>± 25.17 ACRES*</b>	<b>± 27.33 ACRES*</b>

**ZONING:**  
EXISTING ZONING: C-2 & RSC  
PROPOSED ZONING: PUD

**HEIGHT:**  
ALLOWED: 2 STORIES  
(OR 30' FOR FIRST 150'; 5' INCREASE TO 48'; 4 STORY MAX.)

**PROPOSED:**  
FAMILY APARTMENT 3 STORIES  
SENIOR LIVING 4 STORIES

**SETBACKS:**  
79TH AVE BUILDINGS: 44 FEET MAXIMUM  
PARKING: 62' FROM EXISTING R.O.W. BETWEEN BUILDINGS (+/- 28 P.S.)

**ENCANTO BLVD BUILDINGS:** 27 FEET MAXIMUM FROM EXISTING R.O.W.  
**PARKING:** 23' FROM EXISTING R.O.W. BETWEEN BUILDINGS (+/- 70 P.S.)

**DENSITY:**  
ALLOWED: 15.23 D.U./GROSS ACRE  
PROPOSED:  
FAMILY APARTMENT ±19.71 D.U./GROSS ACRE  
SENIOR LIVING ±24.11 D.U./GROSS ACRE

**OPEN SPACE:**  
REQUIRED:  
FAMILY APARTMENT 18.87 GROSS ACRE x 5% = 41,099 S.F.  
SENIOR LIVING 8.46 GROSS ACRE x 5% = 18,426 S.F.

**PROVIDED:**  
FAMILY APARTMENT - PRIVATE 107,650 S.F. = 13.1%  
FAMILY APARTMENT - PUBLIC 65,700 S.F. = 7.9%  
SENIOR LIVING - PRIVATE 38,160 S.F. = 10.4%  
SENIOR LIVING - PUBLIC 12,500 S.F. = 3.4%

**UNIT MIX:**

FAMILY APARTMENT:		
UNIT TYPE	NO.	%
A-1 BEDROOM/1 BATH	12 D.U.	3%
B-2 BEDROOM/2 BATH	164 D.U.	44%
C-3 BEDROOM/2 BATH	196 D.U.	53%
<b>TOTAL</b>	<b>372 D.U.</b>	<b>100%</b>

SENIOR LIVING:		
UNIT TYPE	NO.	%
A-1 BEDROOM/1 BATH	57 D.U.	28%
B-2 BEDROOM/2 BATH	127 D.U.	62%
C-3 BEDROOM/2 BATH	20 D.U.	10%
<b>TOTAL</b>	<b>204 D.U.</b>	<b>100%</b>

**PARKING:**

**REQUIRED FAMILY APARTMENT PARKING:**  
1 BEDROOM/1 BATH (12 D.U. x 1.5 P.S./D.U.) = 18 P.S.  
2 BEDROOM/2 BATH (164 D.U. x 1.5 P.S./D.U.) = 246 P.S.  
3 BEDROOM/2 BATH (196 D.U. x 2.0 P.S./D.U.) = 392 P.S.  
**REQUIRED PARKING: 656 P.S.**

**REQD. UNRESERVED FAMILY APARTMENT PARKING:**  
1 BEDROOM/1 BATH (12 D.U. x 0.5 P.S./D.U.) = 6 P.S.  
2 BEDROOM/2 BATH (164 D.U. x 0.5 P.S./D.U.) = 82 P.S.  
3 BEDROOM/2 BATH (196 D.U. x 1.0 P.S./D.U.) = 196 P.S.  
**TOTAL UNRESERVED REQUIRED PARKING: 284 P.S.**  
\*LIGHT RAILING REDUCTION (25%)  
656 P.S. x .25 = 164 P.S.  
**TOTAL PARKING REQUIRED: 422 P.S.**  
(1.32 P.S./D.U.)  
(\* LIGHT RAILING LOCATED WITHIN 1,320 FEET)

**PROVIDED FAMILY APARTMENT PARKING:**  
SURFACE PARKING: 680 P.S.  
**TOTAL PROVIDED: 680 P.S.**  
(1.82 P.S./D.U.)

**REQUIRED SENIOR LIVING PARKING:**  
1 BEDROOM/1 BATH (57 D.U. x 1.5 P.S./D.U.) = 86 P.S.  
2 BEDROOM/2 BATH (127 D.U. x 1.5 P.S./D.U.) = 191 P.S.  
3 BEDROOM/2 BATH (20 D.U. x 2.0 P.S./D.U.) = 40 P.S.  
**TOTAL REQUIRED: 317 P.S.**

**REQD. UNRESERVED SENIOR LIVING PARKING:**  
1 BEDROOM/1 BATH (57 D.U. x 0.5 P.S./D.U.) = 29 P.S.  
2 BEDROOM/2 BATH (127 D.U. x 0.5 P.S./D.U.) = 64 P.S.  
3 BEDROOM/2 BATH (20 D.U. x 1.0 P.S./D.U.) = 20 P.S.  
**TOTAL UNRESERVED REQUIRED PARKING: 113 P.S.**  
\*LIGHT RAILING REDUCTION (25%)  
317 P.S. x .25 = 79 P.S.  
**TOTAL PARKING REQUIRED: 238 P.S.**  
(1.16 P.S./D.U.)  
(\* LIGHT RAILING LOCATED WITHIN 1,320 FEET)

**PROVIDED SENIOR LIVING PARKING:**  
SURFACE PARKING: 314 P.S.  
**TOTAL PROVIDED: 314 P.S.**  
(1.54 P.S./D.U.)

**SITE DATA CONT.**

**BIKE PARKING:**

**REQUIRED FAMILY APARTMENT BIKE PARKING:**  
.25 P.S. PER D.U. / 50 P.S. MAX.  
372 D.U. x .25 = 93 P.S.  
(MAXIMUM 50 P.S.)

**PROVIDED FAMILY APARTMENT BIKE PARKING:**  
54 P.S. (9 LOCATIONS)  
9 LOCATIONS (9x6 = 54 P.S.)

**REQUIRED SENIOR LIVING BIKE PARKING:**  
.25 P.S. PER D.U. / 50 P.S. MAX.  
204 D.U. x .25 = 51 P.S.  
(MAXIMUM 50 P.S.)

**PROVIDED SENIOR LIVING BIKE PARKING:**  
54 P.S. (9 LOCATIONS)  
9 LOCATIONS (9x6 = 54 P.S.)

**GENERAL PARKING DIMENSIONS:**  
PARKING SPACE 8.5' x 18'  
AISLE WIDTH 26'

**FIRE TRUCK RADII:** 35'-0" INSIDE- 55'-0" OUTSIDE

**SITE DESIGNED BASED ON NFPA 13 SPRINKLER DESIGN STANDARDS**

SOME PROPERTY DIMENSIONS BASED ON INFORMATION FROM MARICOPA COUNTY ASSESSOR'S MAP

**LOT COVERAGE:**

**SENIOR PORTION:**  
BUILDING FOOTPRINT: 72,789 SQUARE FEET  
NET LOT ACREAGE: 324,777 SQUARE FEET

**PROVIDED LOT COVERAGE=** 22.41%

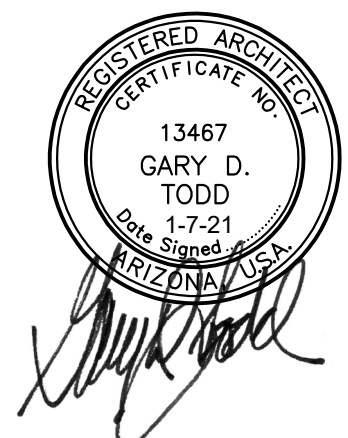
**FAMILY PORTION:**  
BUILDING FOOTPRINT: 174,877 SQUARE FEET  
NET LOT ACREAGE: 745,990 SQUARE FEET

**PROVIDED LOT COVERAGE=** 23.44%

**BUILDING AREA (GROSS):**

SENIOR BUILDING: +/- 274,936 SQUARE FEET  
APARTMENT BUILDINGS: +/- 488,391 SQUARE FEET  
CLUBHOUSE/FITNESS: +/- 10,130 SQUARE FEET

**TOTAL BUILDING AREA +/- 773,457 SQUARE FEET**

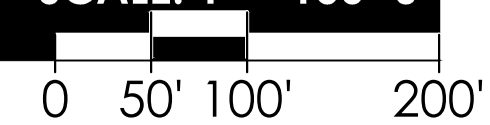


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DSD KIVA NO. / PAPP NO.	20-2134 / 2011549
VARIANCE NO.	---
ZONING MAP	G-4
QUARTER SECTION NO.	Q14-10
PRE-APPLICATION MEETING	07-07-2020

**CONCEPTUAL SITE PLAN - OVERALL**

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

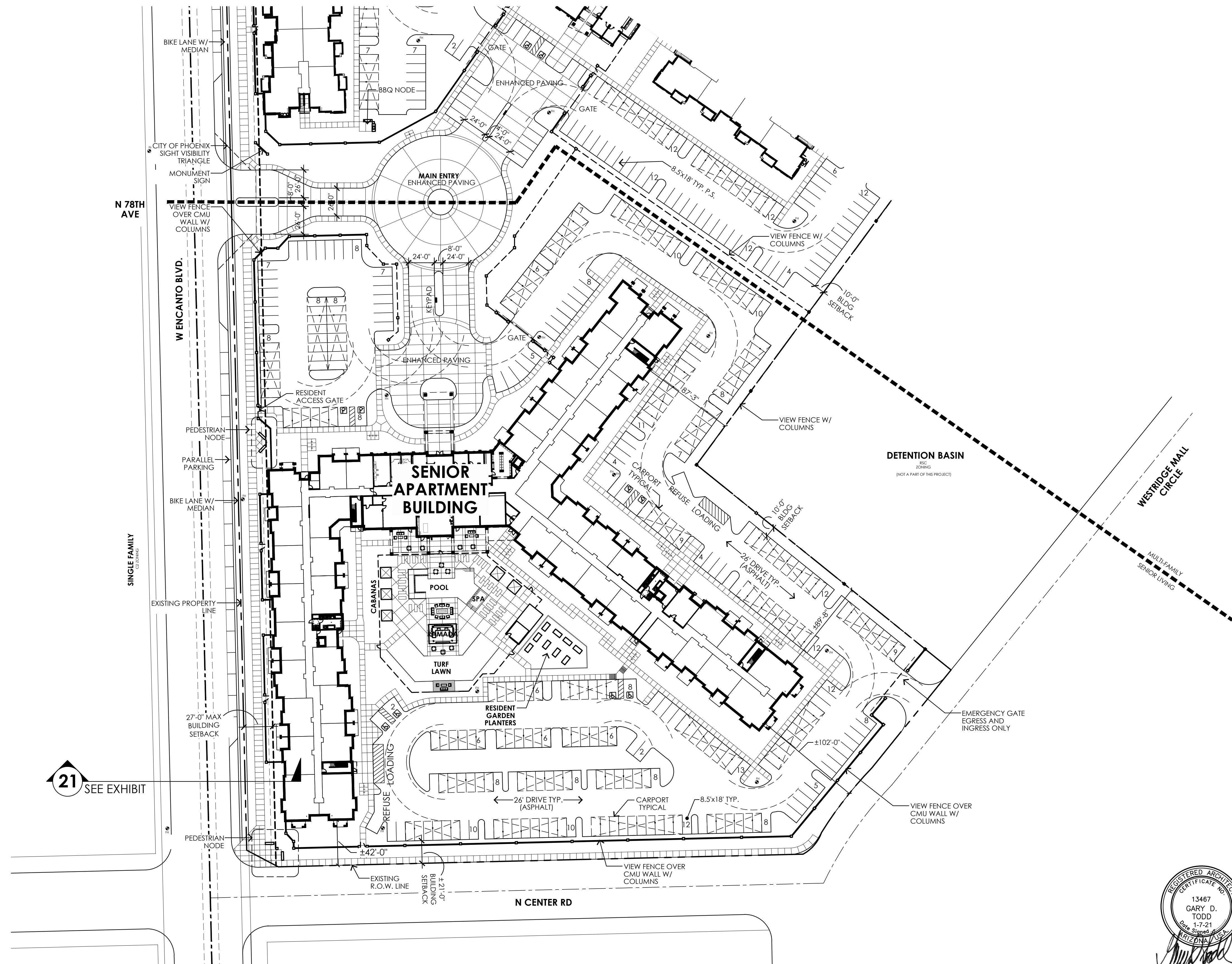
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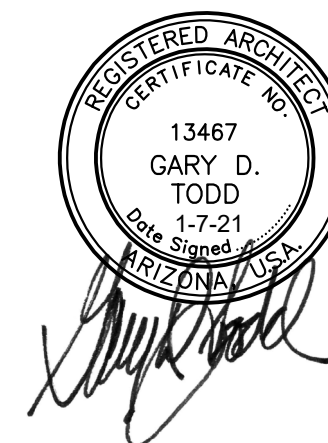
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## **Exhibit 4. Senior Conceptual Site Plan**





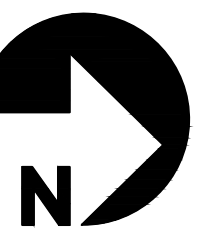
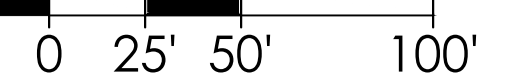
21 SEE EXHIBIT



SDEV NO.	2007757
DSD KIVA NO. / PAPP NO.	20-2134 / 2011549
VARIANCE NO.	----
ZONING MAP	G4
QUARTER SECTION NO.	Q14-10
PRE-APPLICATION MEETING	07-07-2020

**SENIOR LIVING SITE PLAN**

SCALE: 1" = 50'-0"



**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**14**

**Exhibit 5. Senior Conceptual Building Elevations**



**WEST ELEVATION ( ENTRY )**

SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION ( ENCANTO BLVD. )**

SCALE: 1/16" = 1'-0"

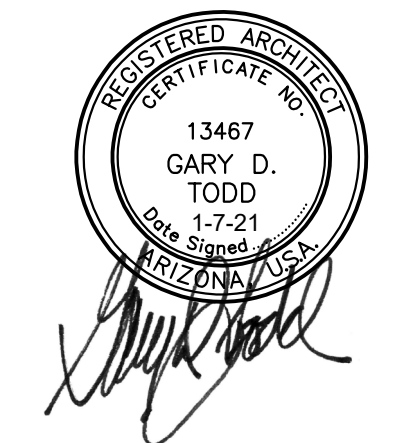
**EXTERIOR MATERIALS**

A	PAIN T COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAIN T COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAIN T COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAIN T COLOR 4	SHERWIN WILLIAMS - SW 7718 - OAK CREEK
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAIN T COLOR 4)
F	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL
H	METAL RAILING	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"



**EAST ELEVATION ( CENTER RD. )**

SCALE: 1/16" = 1'-0"



**SENIOR BUILDING ELEVATIONS**

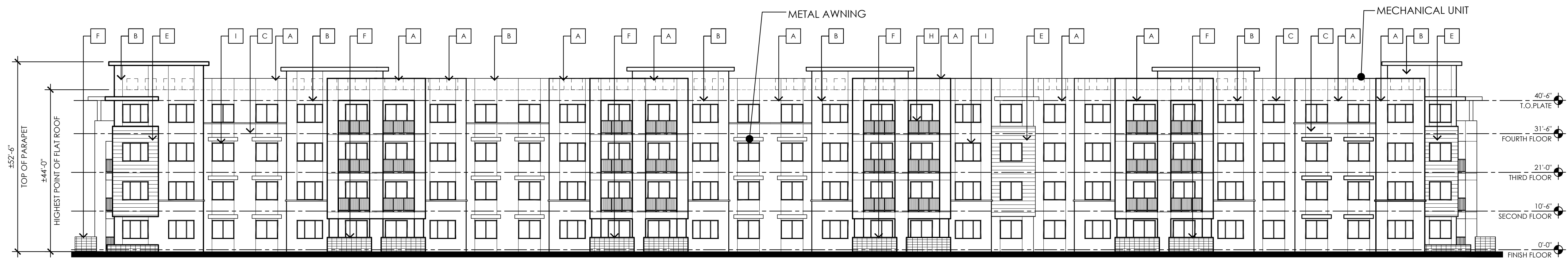
**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**38A**



**WEST ELEVATION ( ENTRY )**

SCALE: 1/16" = 1'-0"

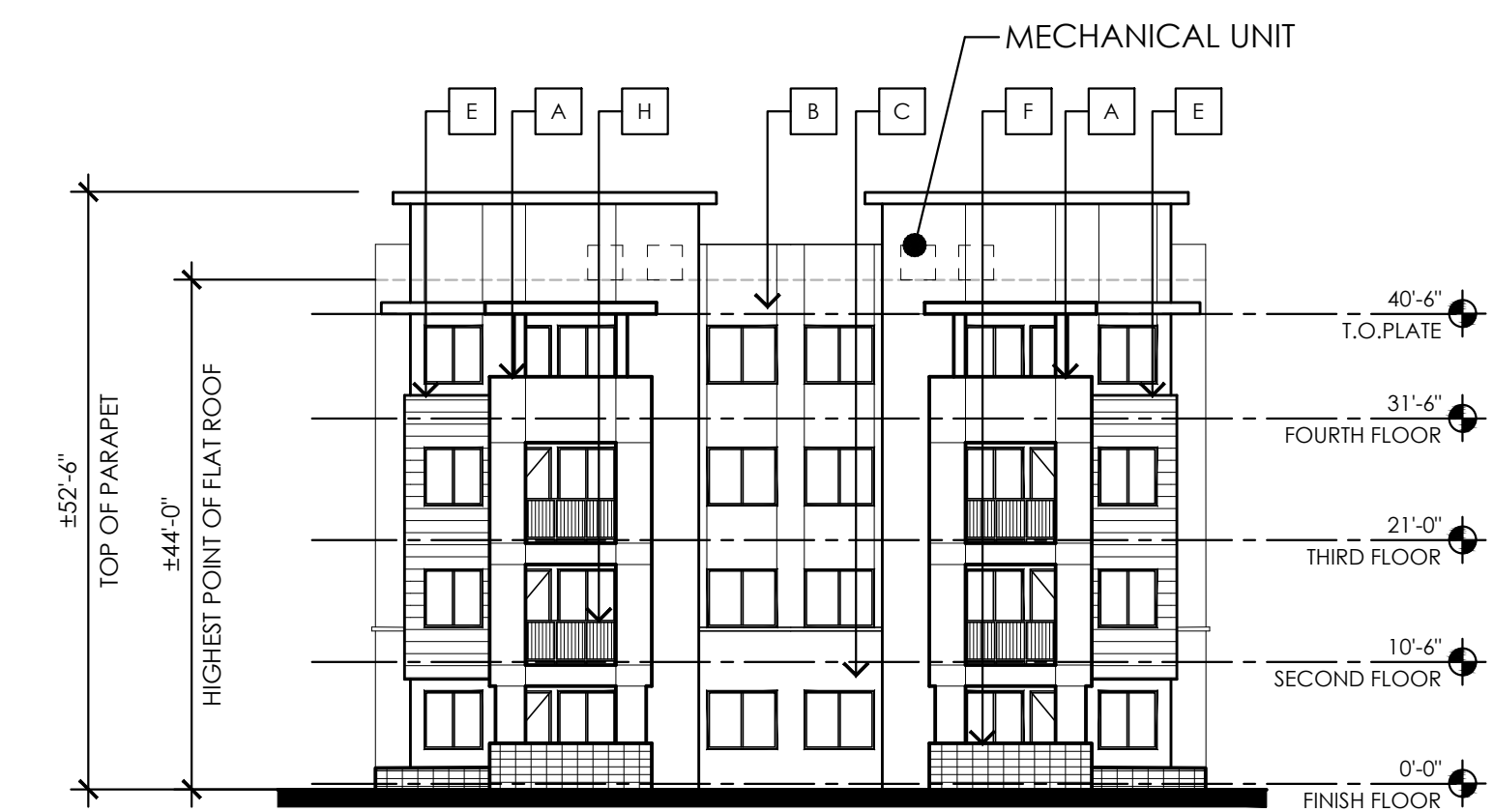


**SOUTH ELEVATION ( ENCANTO BLVD. )**

SCALE: 1/16" = 1'-0"

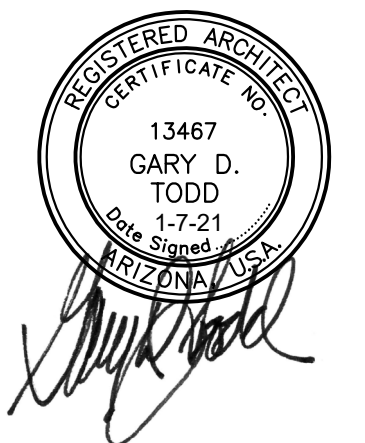
**EXTERIOR MATERIALS**

A	PAINT COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAINT COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAINT COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAINT COLOR 4	SHERWIN WILLIAMS - SW 7718 - OAK CREEK
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAINT COLOR 4)
F	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL
H	METAL RAILING	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"



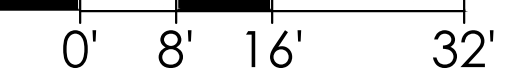
**EAST ELEVATION ( CENTER RD. )**

SCALE: 1/16" = 1'-0"



**SENIOR BUILDING ELEVATIONS**

SCALE: 1/16" = 1'-0"



**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

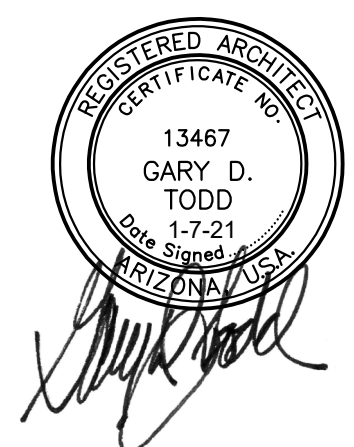
SHEET  
**38**

## **Exhibit 6. Senior Conceptual Renderings**



SENIOR SOUTHWEST CORNER RENDERING

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET  
44

**TODD & ASSOCIATES, INC.**

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
602.952.8280p www.toddassoc.com

Phoenix, Arizona  
SCHEMATIC DESIGN  
Project No. 19-2039-01 Date 1-08-2021

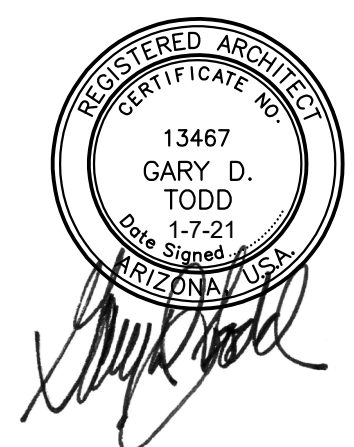
3rd P.U.D. SUBMITTAL  
REZONING CASE Z-40-20-7





**SENIOR SOUTHEAST CORNER RENDERING**

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET  
**45**

**TODD & ASSOCIATES, INC.**

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
602.952.8280p www.toddassoc.com

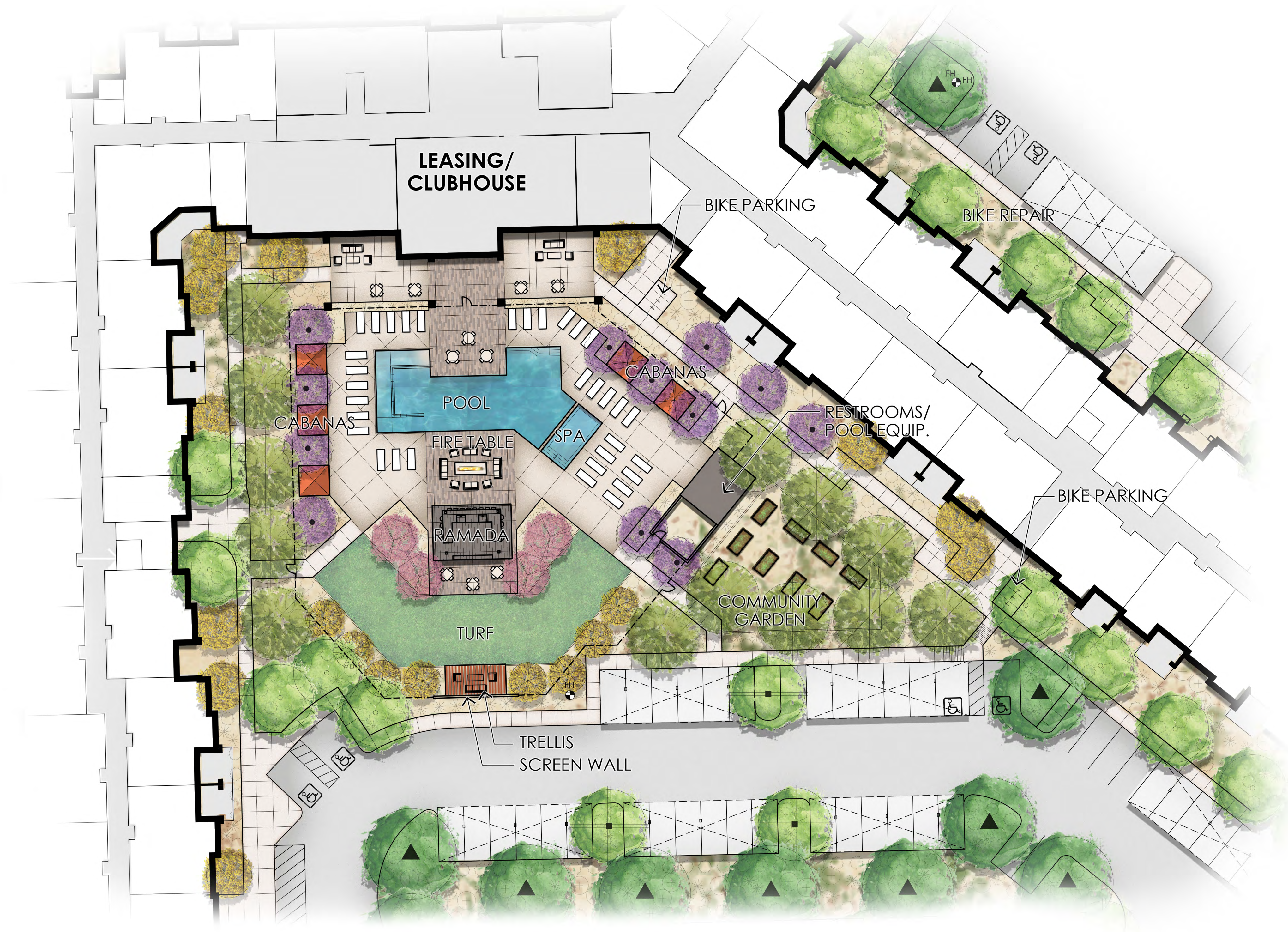
Phoenix, Arizona  
SCHEMATIC DESIGN  
Project No. 19-2039-01 Date 1-08-2021

3rd P.U.D. SUBMITTAL  
REZONING CASE Z-40-20-7



**Exhibit 7. Senior Conceptual Amenities**





Bradley A. Winkler

**SENIOR LIVING - POOL COURT ENLARGEMENT**

SCALE: 1" = 20'-0"



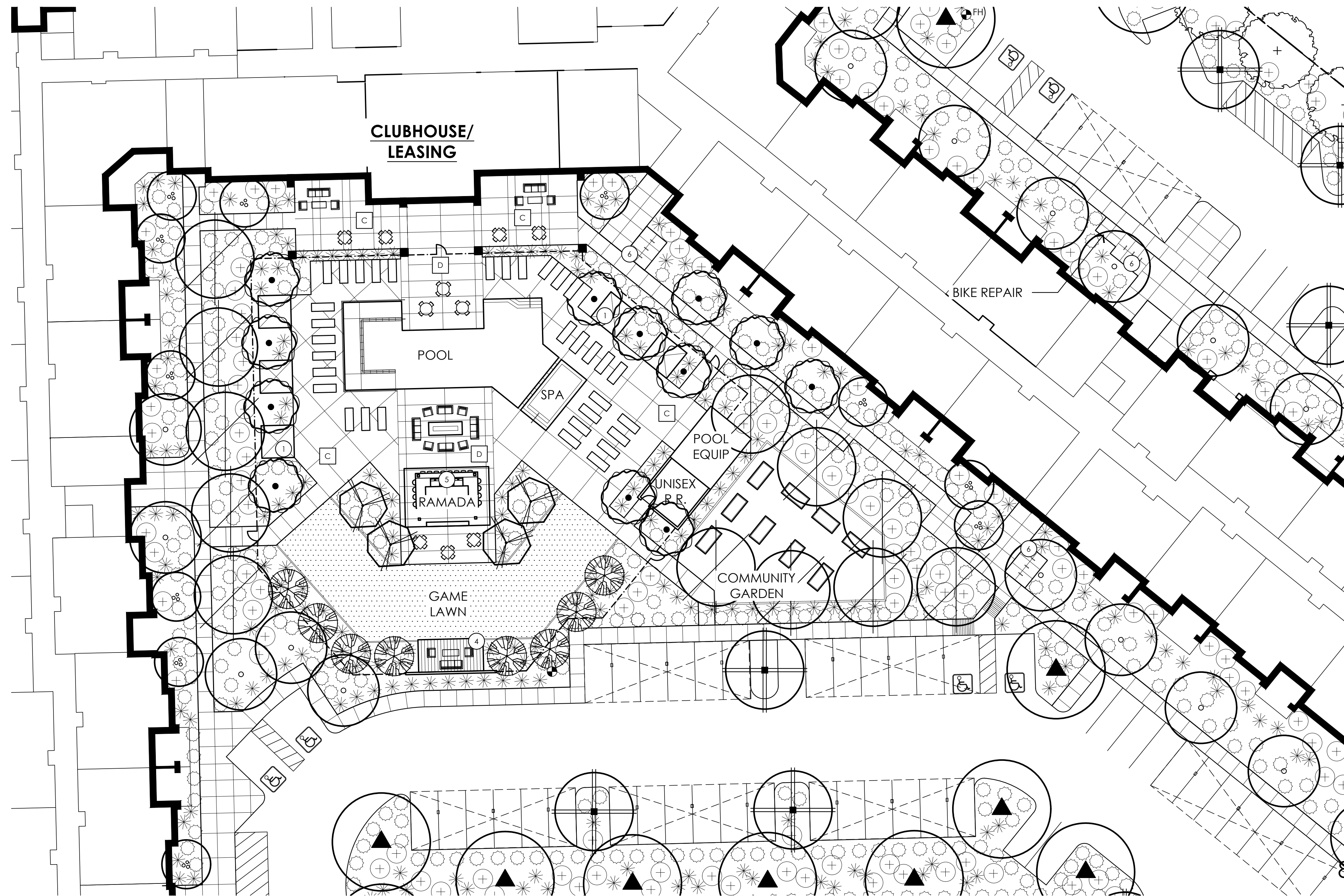
**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**L8A**

**TODD & ASSOCIATES, INC.**  
 ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
 602.952.8280p www.toddassoc.com

Phoenix, Arizona  
 SCHEMATIC DESIGN  
 Project No. 19-2039-01 Date 1-08-2021  
 3rd P.U.D. SUBMITTAL  
 REZONING CASE Z-40-20-7





**MASTER PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	CAL./ QTY	SIZE (h x w)
<b>TREES (LARGE)</b>				
	FRAXINUS VELUTINA 'BONITA'	BONITA ASH	1.5' / 8	9'x4'
	CITRUS SPECIES	24" BOX	2" B&B	6'x3'
	PISTACIA X 'RED PUSH'	RED PUSH PISTACHE	4" / 30'x40'	6' 14'x8'
	QUERCUS VIRGIANA	LIVE OAK	1.5' / 40'x60'	45' 9'x4'
	ULMUS PARVIFLORA	EVERGREEN ELM	2.5' / 40'x40'	88' 9'x4'
<b>TREES (SMALL)</b>				
	BAUHINIA BLAKEANA	HONG KONG ORCHID	1.25" / 20' x 25"	27' 8'x5' Std.
	CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	1.5" / 10'x10"	36' 5'x3' Multi
	PISTACIA LENTISCUS	MASTIC TREE	1.5" / 20'x20"	6' 8'x5' Std.
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	1.5" / 15'x15"	25' 5'x3' Multi
<b>PALMS</b>				
	PHOENIX DACTYLIFERA	DATE PALM	24 TF (DIAMOND CUT)	12'
	PHOENIX ROEBELINII	PYGMY DATE PALM	15 GAL.	-
<b>SHRUBS</b>				
	BOUGAINVILLEA 'TORCH GLOW'	BOUGAINVILLEA	5 GAL.	5h x 5'w
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL.	8h x 10'w
	DODONAEA VISCOSA	GREEN HOPSEED	5 GAL.	8h x 8'w
	EREMOPHILA HYGROPHANA	BLUEBELLS	5 GAL.	3h x 3'w
	EREMOPHILA x SUMMERTIME BLUE	SUMMERTIME BLUE	5 GAL.	6h x 10'w
	EUPHORBIA TIRUCALLI	FIRE STICKS	5 GAL.	4h x 4'w
	GOSSYPIUM HARKNESSII	SAN MARCOS HIBISCUS	5 GAL.	3h x 5'w
	JUSTICIA SPICIGERA	MEXICAN HONEYSUCKLE	5 GAL.	3h x 3'w
	LEUCOPHYLLUM 'LYNN'S LEGACY'	HYBRID TEXAS SAGE	5 GAL.	5h x 5'w
	OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	5 GAL.	3h x 3'w
	ROSA SPP. 'ICEBERG'	WHITE ICEBERG SHRUB ROSE	5 GAL.	3h x 4'w
	RUELLIA PENINSULARIS	BAJA RUELLIA	5 GAL.	4h x 6'w
	RUESSELIA EUISETIFORMIS	CORAL FOUNTAIN	5 GAL.	3h x 4'w
	SIMMONDSIA CHINENSIS	JOJOBA	5 GAL.	4h x 4'w
	TECOMA STANS 'SIERRA APRICOT'	YELLOW BELLS	5 GAL.	3h x 4'w
749				
<b>ACCENTS</b>				
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL.	2h x 3'w
	AGAVE DESMETIANA	SMOOTH AGAVE	5 GAL.	3h x 3'w
	ALOE BARBADENSIS	MEDICINAL ALOE	5 GAL.	2h x 3'w
	DASYLIRON WHEELERI	DESERT SPOON	5 GAL.	5h x 5'w
	HESPERALOE FUNIFERA	GIANT YUCCA	5 GAL.	6h x 6'w
	HESPERALOE PARVILORA	RED YUCCA	5 GAL.	3h x 4'w
	PEDILANTHUS MACROCARPUS	LADY'S SLIPPER	5 GAL.	3h x 3'w
	SANSEVIERIA TRIFASCIATA	MOTHER-IN-LAW TONGUE	5 GAL.	1h x 4'w
<b>GROUNDCOVERS</b>				
	LANTANA 'DALLAS RED'	RED LANTANA	5 GAL.	4h x 4'w
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	1h x 4'w
	LANTANA MONTEVIDENSIS	PURPLE LANTANA	5 GAL.	1h x 3'w
	PORTULACARIA AFRA	ELEPHANT'S FOOD	5 GAL.	18" x 18" w
	SETCREASEA PALLIDA	PURPLE HEART	5 GAL.	2h x 2'w
	SPHAGNETICOLA TRILOBATA	YELLOW DOT	5 GAL.	1h x 6'w
	TRACHELOSPERMUM ASIATICUM	-	5 GAL.	1h x 6'w
<b>VINES</b>				
	BIGNONIA CAPREOLATA	CROSSVINE	5 GAL.	8h x 8'w
	BOUGAINVILLEA 'BARBARA KARST'	BOUGAINVILLEA VINE	5 GAL.	10h x 10'w
<b>GROUND PLANE</b>				
	SYNTHETIC TURF: 'KID PLAY' BY ARTIFICIAL GRASS SUPERSTORE			
	ALTERNATE: NATURAL 'MIDIRON' BERMUDA SOD TURF			
	DECOMPOSED GRANITE: 2" DEPTH OF 1/2" SCREENED 'APACHE GOLD'			
	COBBLE: 3"-8" COBBLESTONE / RIP RAP - LOCATION PER PLANS			

- SITE FURNISHINGS MATERIALS LIST**
- 1 POOL CABANA
  - 2 BENCH
  - 3 TRASH RECEPTACLE
  - 4 SHADE TRELLIS
  - 5 BBQ GRILL GAS
  - 6 BIKE PARKING

- PAVEMENT MATERIALS/ FINISH SCHEDULE**
- A ASPHALT
  - B ENHANCED PAVING
  - C POOL DECK
  - D DECORATIVE PAVERS



**LANDSCAPE - SENIOR LIVING POOL COURT** SCALE: 1" = 20'-0"

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.

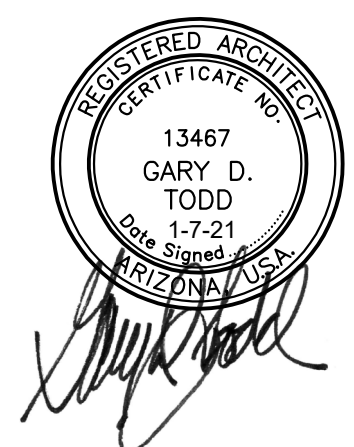
SHEET L8

# **Exhibit 8. Senior Conceptual Entry/Clubhouse Rendering**

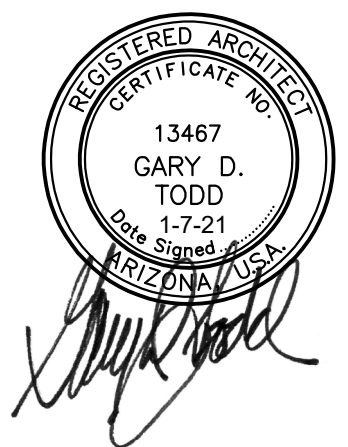


**SENIOR PORTE COCHERE RENDERING**

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET  
**43**



**CONCEPTUAL SITE PLAN - ENTRY ENLARGEMENT**

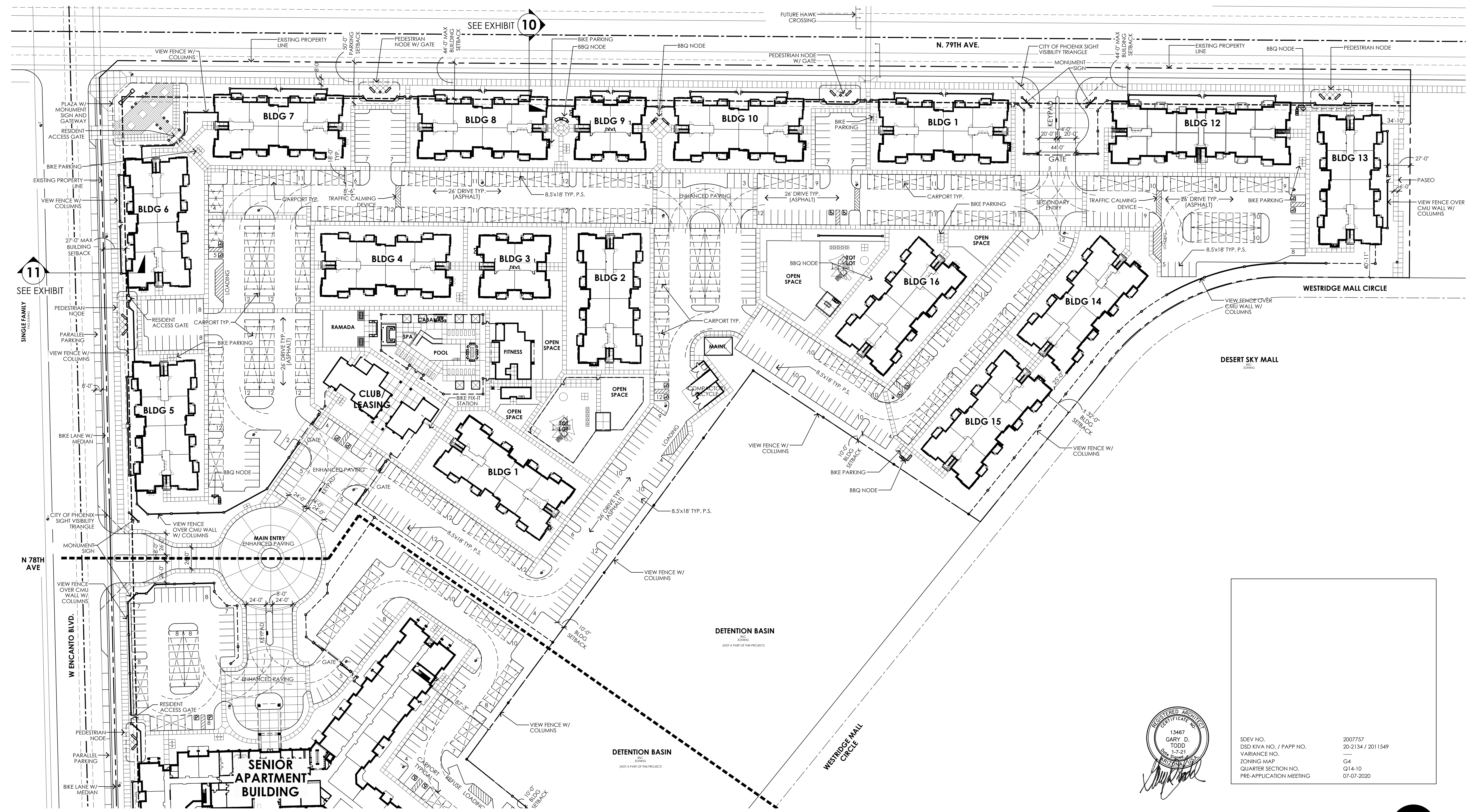
SCALE: 1" = 30'-0"



**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**18A**

## **Exhibit 9. Family Conceptual Site Plan**



SEE EXHIBIT 10

SEE EXHIBIT 11

REGISTERED ARCHITECT  
 CERTIFICATE NO. 13467  
 GARY D. TODD  
 1-7-21  
 One Signed  
 PRELIMINARY

SDEV NO. 2007757  
 DSD KVA NO. / PAPP NO. 20-2134 / 2011549  
 VARIANCE NO. 1-7-21  
 ZONING MAP G4  
 QUARTER SECTION NO. Q14-10  
 PRE-APPLICATION MEETING 07-07-2020

**MULTI-FAMILY SITE PLAN**

SCALE: 1" = 50'-0"

0 25' 50' 100'

N

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

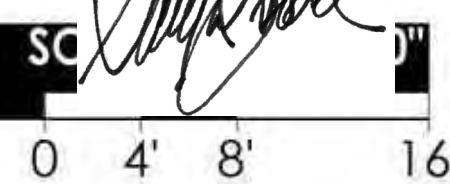
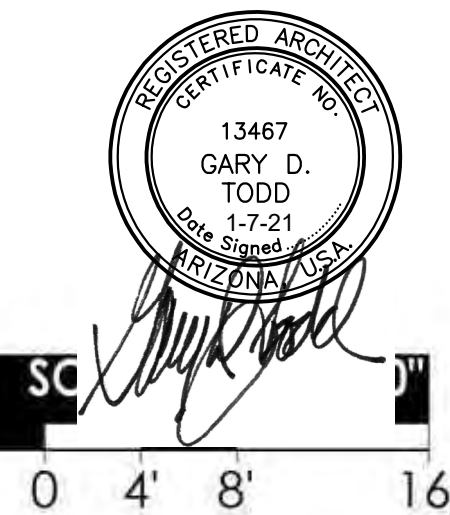
SHEET 13

**Exhibit 10. Family Conceptual Building Elevations**





**MULTIFAMILY 12-UNIT BUILDING ELEVATIONS**



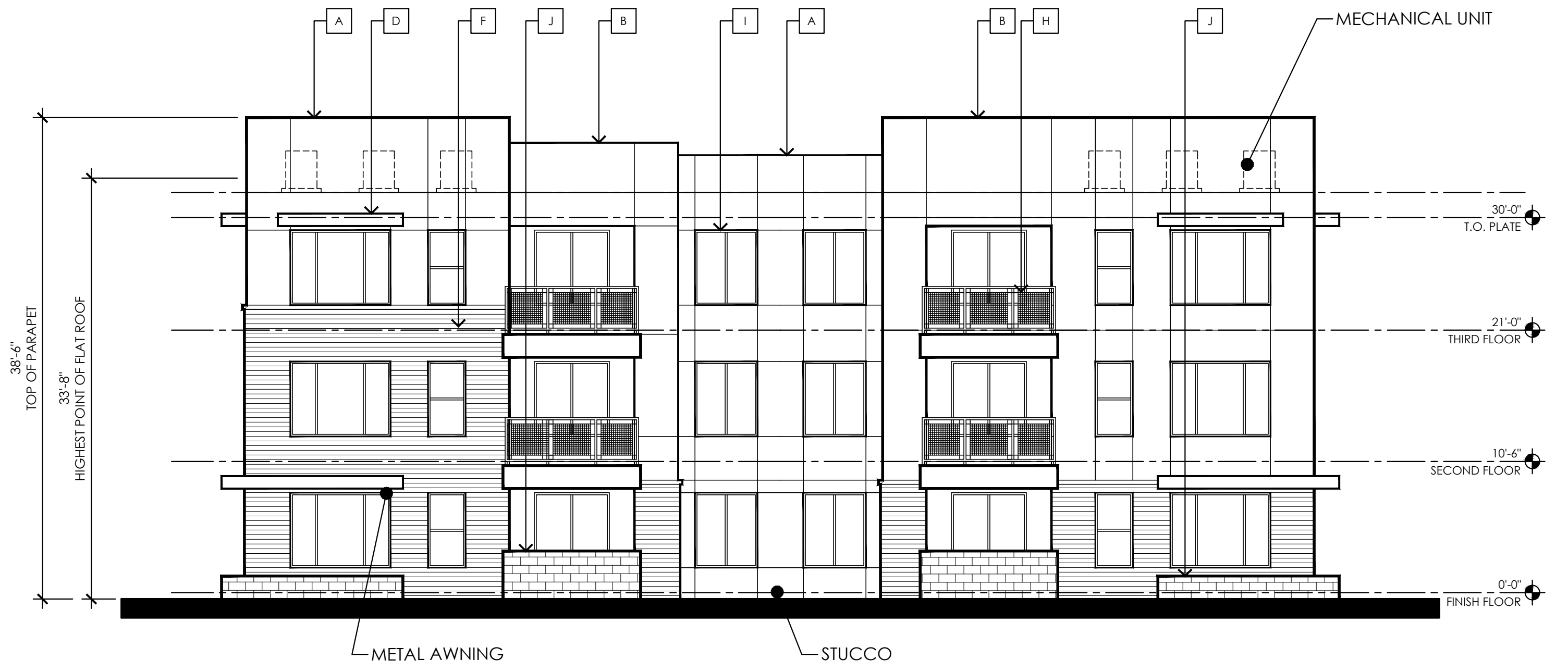
**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

**33A**



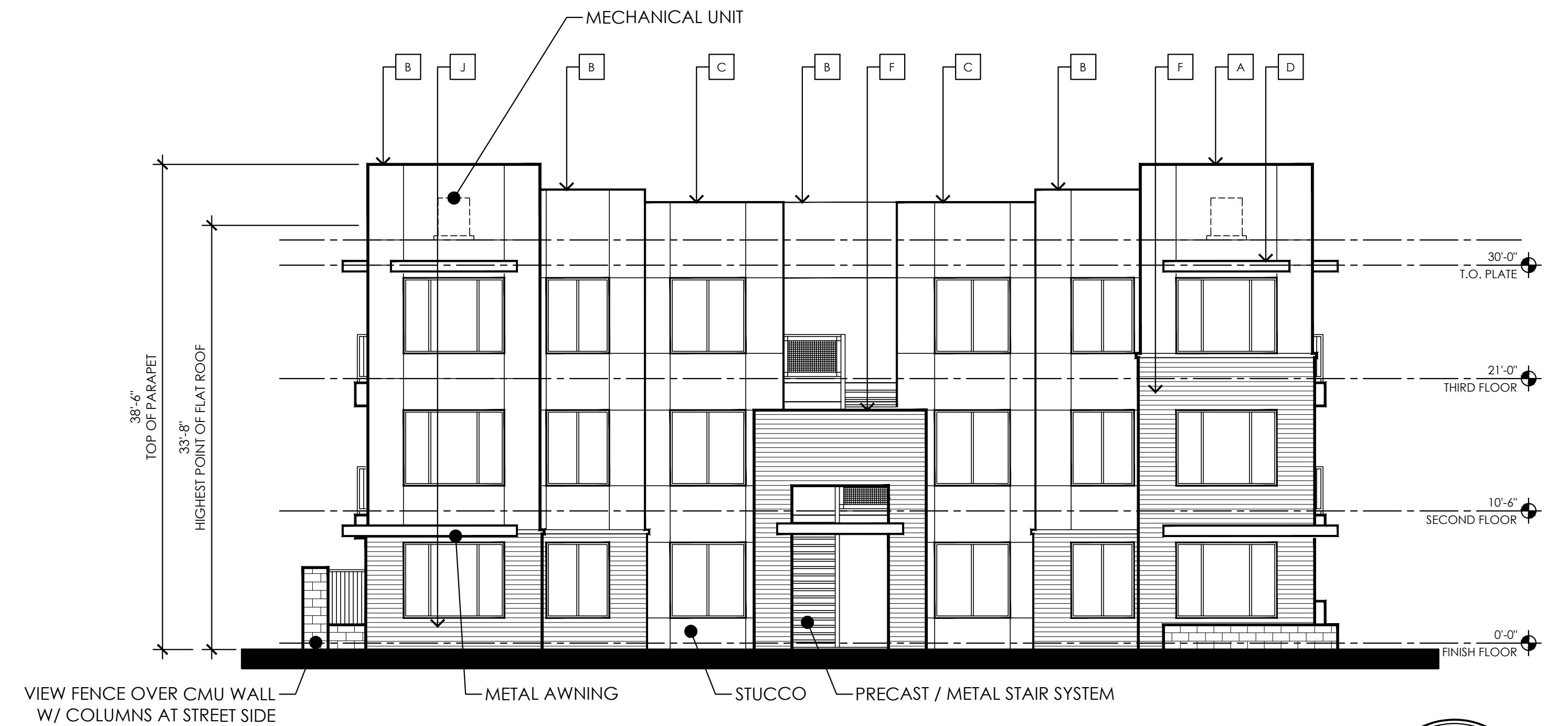
**STREET SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



**FRONT & REAR ELEVATION**

SCALE: 1/8" = 1'-0"

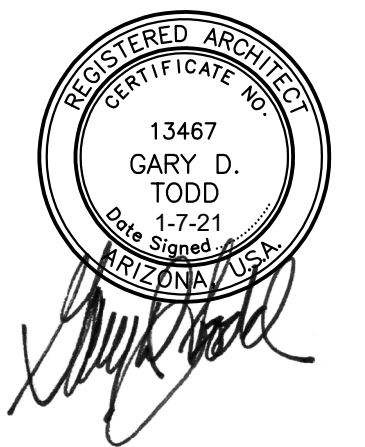


**LEFT & RIGHT ELEVATION**

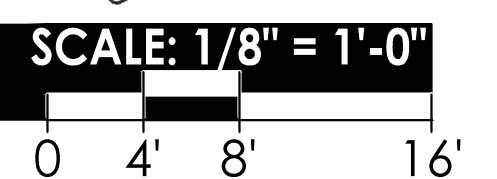
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

A	PAINT COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAINT COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAINT COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAINT COLOR 4	SHERWIN WILLIAMS - SW 7599 - BRICK PAVER
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAINT COLOR 4)
F	FACE BRICK	SUMMIT BRICK COMPANY (OR EQUAL) - 751LL - THISTLEDOWN
H	METAL PERFORATED RAILING	MCNICHOLS (OR EQUAL) - PERFORATED METAL, 1/4" ROUND ON 3/8" STAGGERED CENTERS
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"
J	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL



**MULTIFAMILY 12-UNIT BUILDING ELEVATIONS**



**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**33**



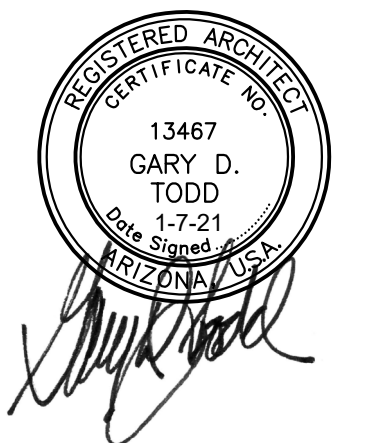
**24 UNIT BUILDING**

**FRONT & REAR ELEVATION**

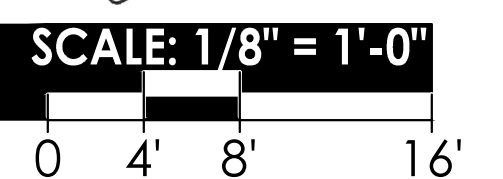


**24 UNIT BUILDING**

**LEFT & RIGHT ELEVATION**

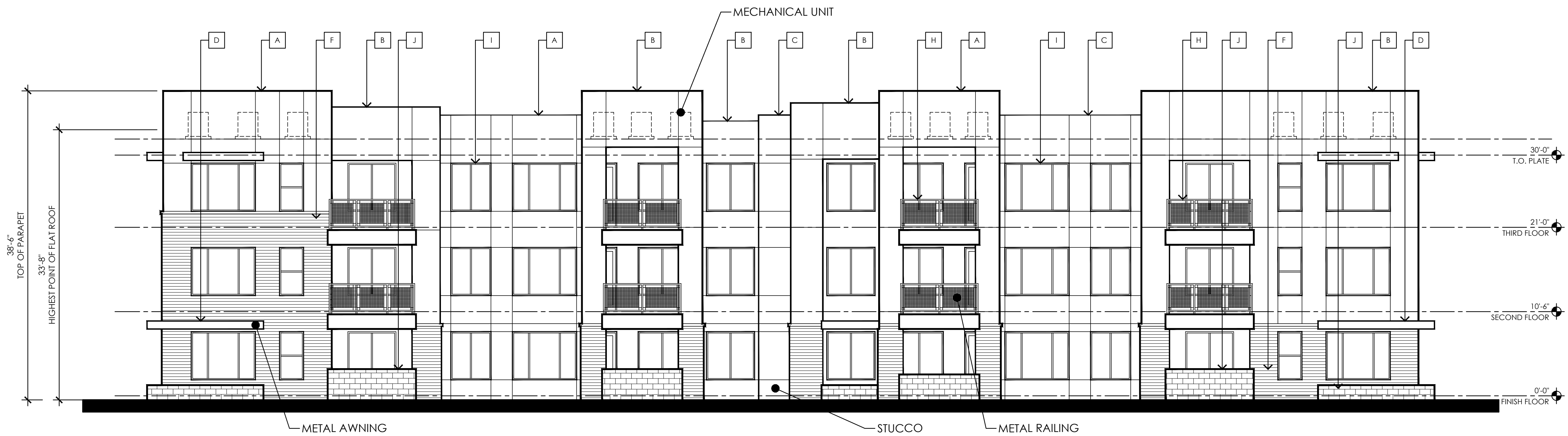


**FAMILY 24-UNIT BUILDING - ELEVATIONS**



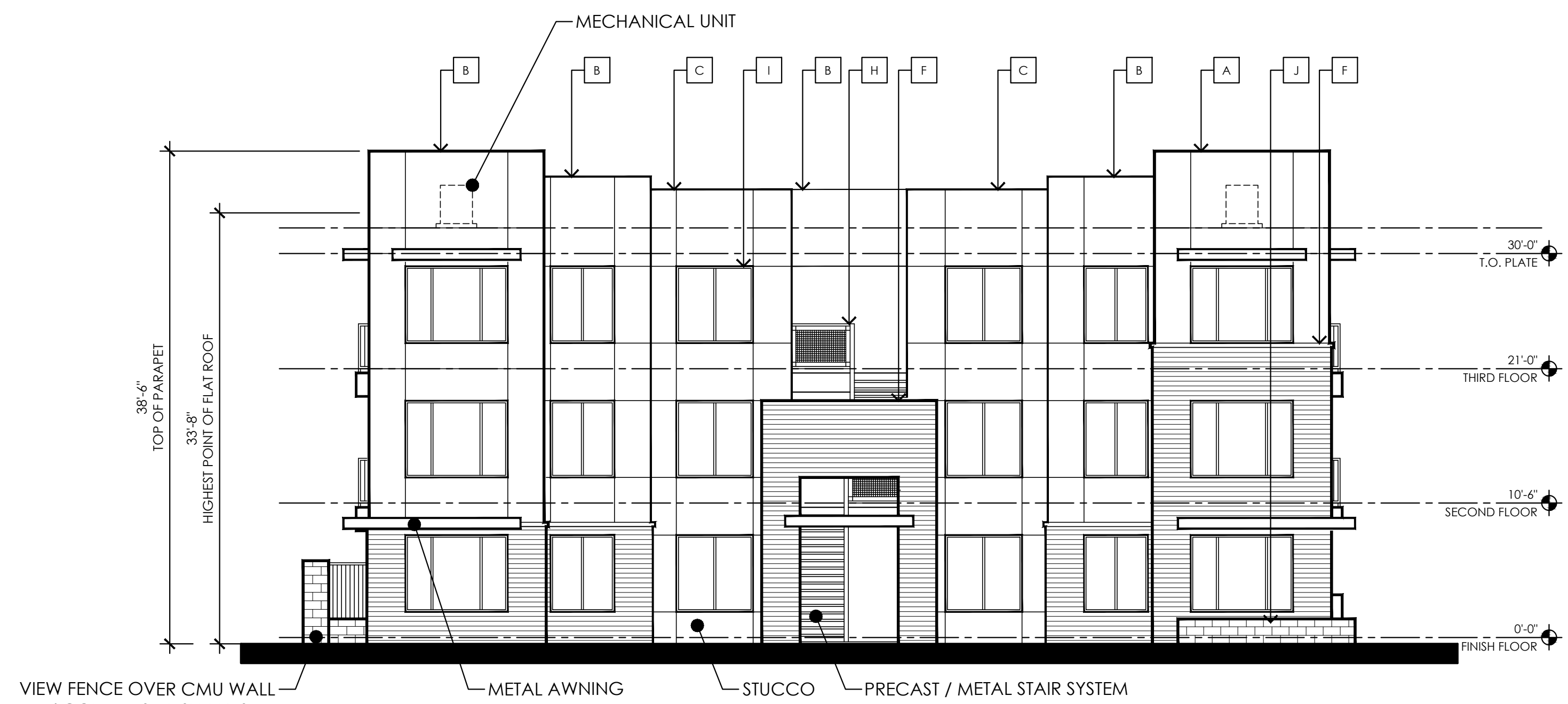
**SENIOR/FAMILY HOUSING @ NEC 79TH AVE. & ENCANTO BLVD.**

**34A**



**FRONT & REAR ELEVATION**

\* SEE SHEET 33 FOR SIMILAR VIEW FENCE OVER CMU WALL W/ COLUMNS AT STREET SIDE  
SCALE: 1/8" = 1'-0"

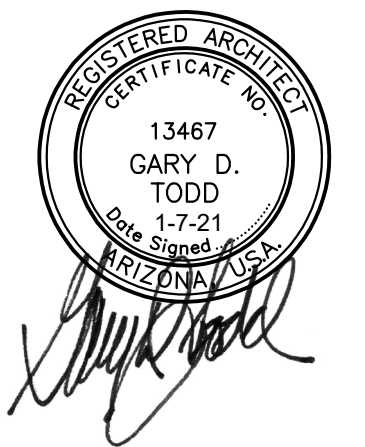


**LEFT & RIGHT ELEVATION**

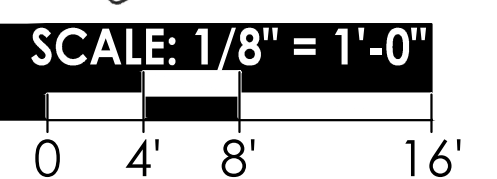
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

A	PAINT COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAINT COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAINT COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAINT COLOR 4	SHERWIN WILLIAMS - SW 7599 - BRICK PAVER
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAINT COLOR 4)
F	FACE BRICK	SUMMIT BRICK COMPANY (OR EQUAL) - 751LL - THISTLEDOWN
H	METAL PERFORATED RAILING	MCNICHOLS (OR EQUAL) - PERFORATED METAL, 1/4" ROUND ON 3/8" STAGGERED CENTERS
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"
J	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL



**MULTIFAMILY 24-UNIT BUILDING ELEVATIONS**



**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**34**



**36 UNIT BUILDING**

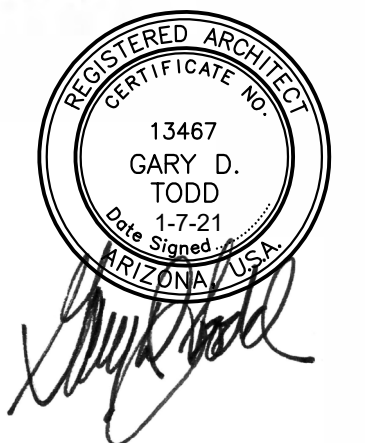
**REAR ELEVATION**



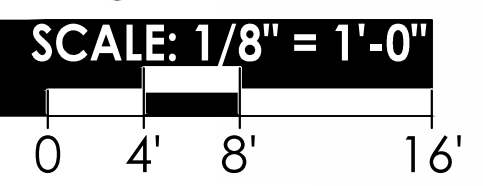
**36 UNIT BUILDING**

**FRONT ELEVATION**

**(LEFT & RIGHT ELEVATIONS - SEE 12-UNIT BUILDING)**



**FAMILY 36-UNIT BUILDING - ELEVATIONS**



**SENIOR/FAMILY HOUSING @ NEC 79TH AVE. & ENCANTO BLVD.**

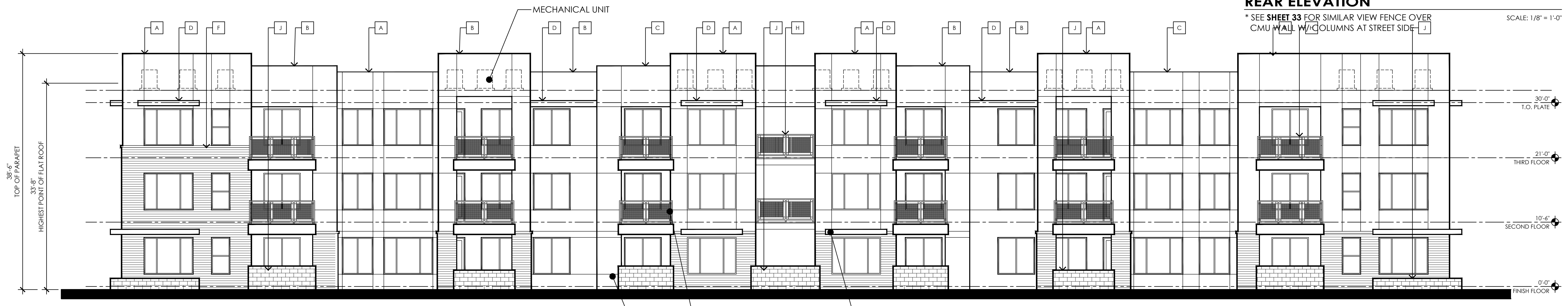
**35A**



**REAR ELEVATION**

\* SEE SHEET 33 FOR SIMILAR VIEW FENCE OVER CMU WALL W/ COLUMNS AT STREET SIDE

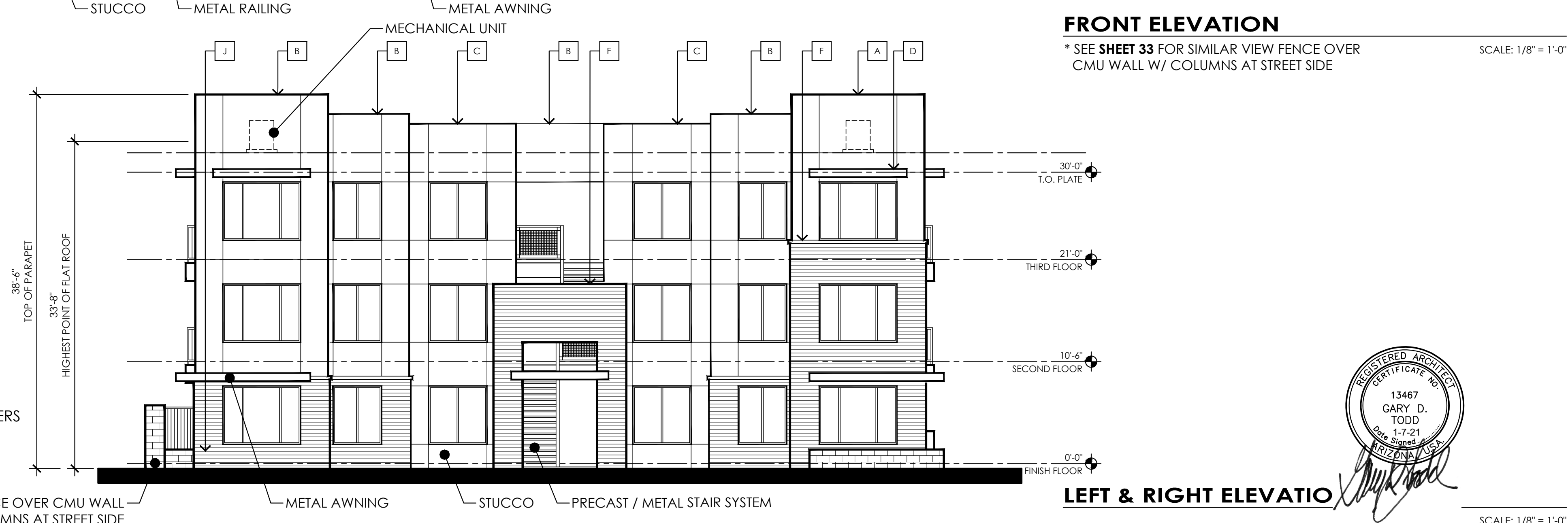
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**

\* SEE SHEET 33 FOR SIMILAR VIEW FENCE OVER CMU WALL W/ COLUMNS AT STREET SIDE

SCALE: 1/8" = 1'-0"

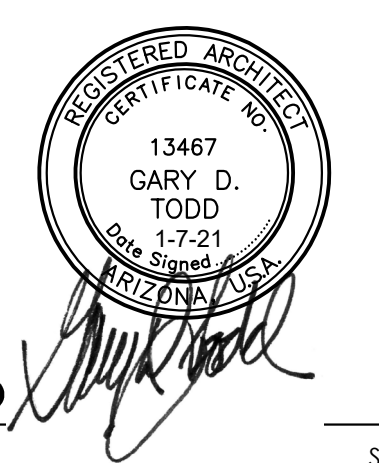


**LEFT & RIGHT ELEVATION**

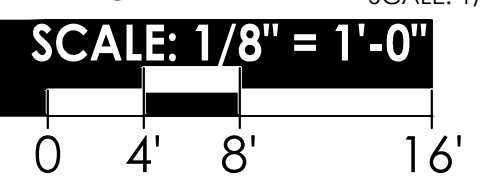
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

A	PAINT COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAINT COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAINT COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAINT COLOR 4	SHERWIN WILLIAMS - SW 7599 - BRICK PAVER
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAINT COLOR 4)
F	FACE BRICK	SUMMIT BRICK COMPANY (OR EQUAL) - 751LL - THISTLEDOWN
H	METAL PERFORATED RAILING	MCNICHOLS (OR EQUAL) - PERFORATED METAL, 1/4" ROUND ON 3/8" STAGGERED CENTERS
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"
J	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL



**MULTI FAMILY 36-UNIT BUILDING ELEVATIONS**



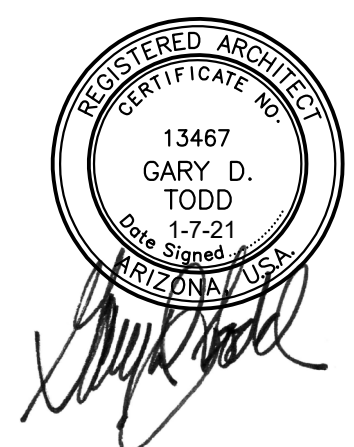
**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**35**

# **Exhibit 11. Family Clubhouse/Fitness Conceptual Building Elevation and Rendering**



# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET  
40





**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



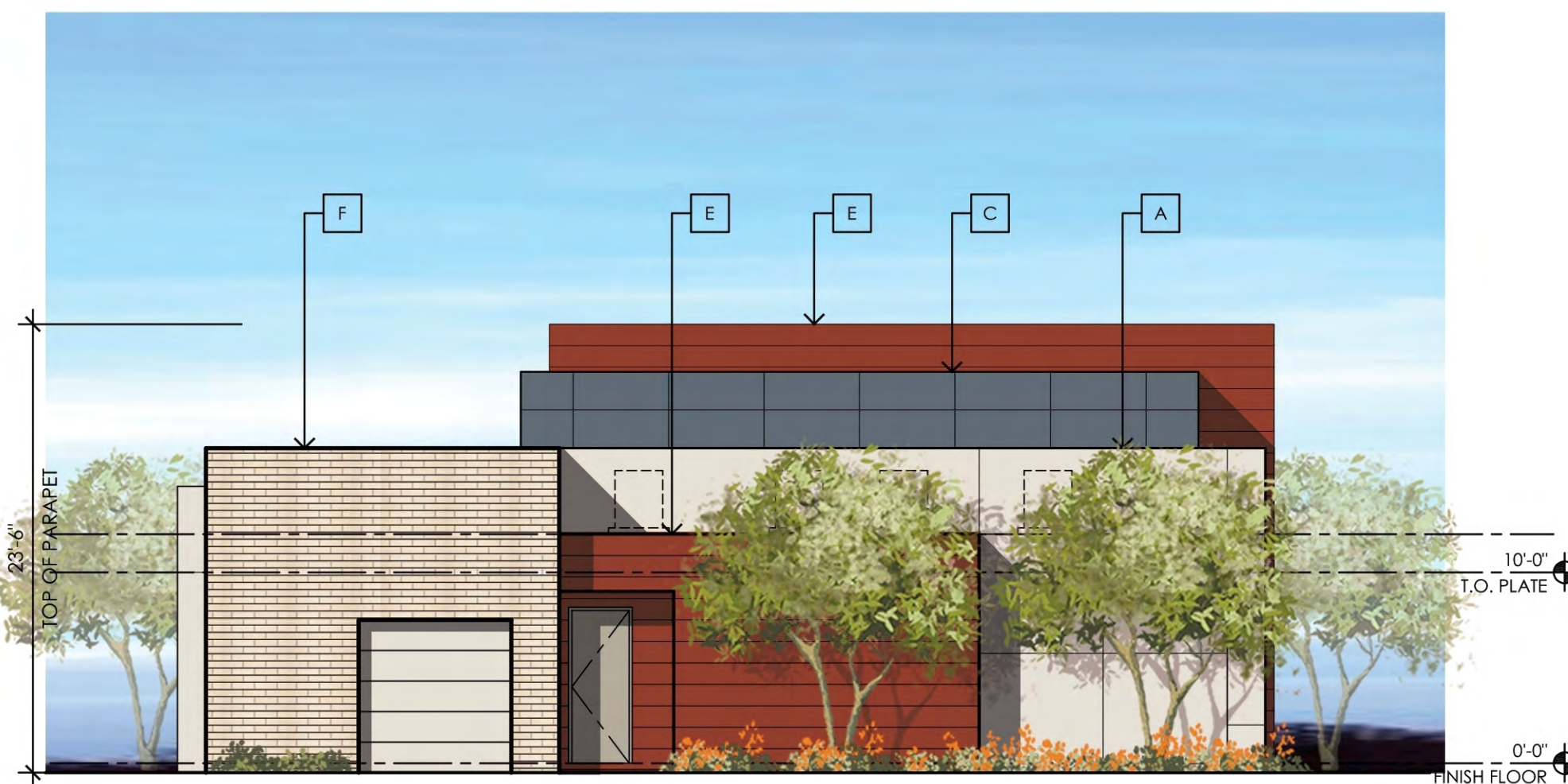
**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

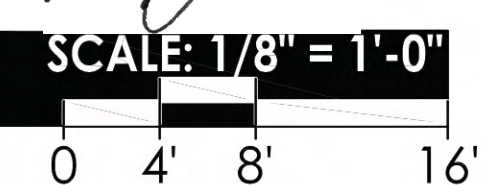
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

A	PAIN T COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAIN T COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAIN T COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAIN T COLOR 4	SHERWIN WILLIAMS - SW 7599 - BRICK PAVER
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAIN T COLOR 4)
F	FACE BRICK	SUMMIT BRICK COMPANY (OR EQUAL) - 751LL - THISTLEDOWN
H	METAL PERFORATED RAILING	MCNICHOLS (OR EQUAL) - PERFORATED METAL, 1/4" ROUND ON 3/8" STAGGERED CENTERS
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"
J	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL

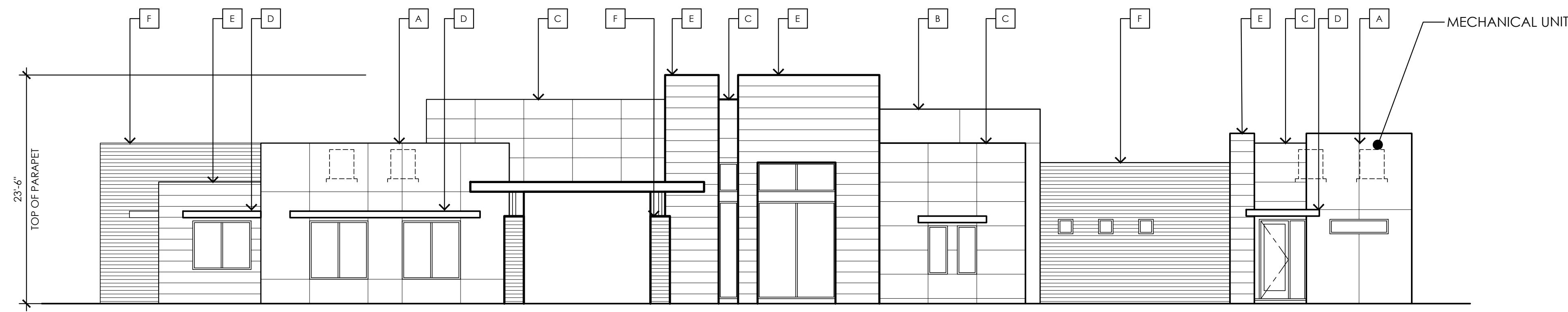


**FAMILY CLUBHOUSE - ELEVATIONS**



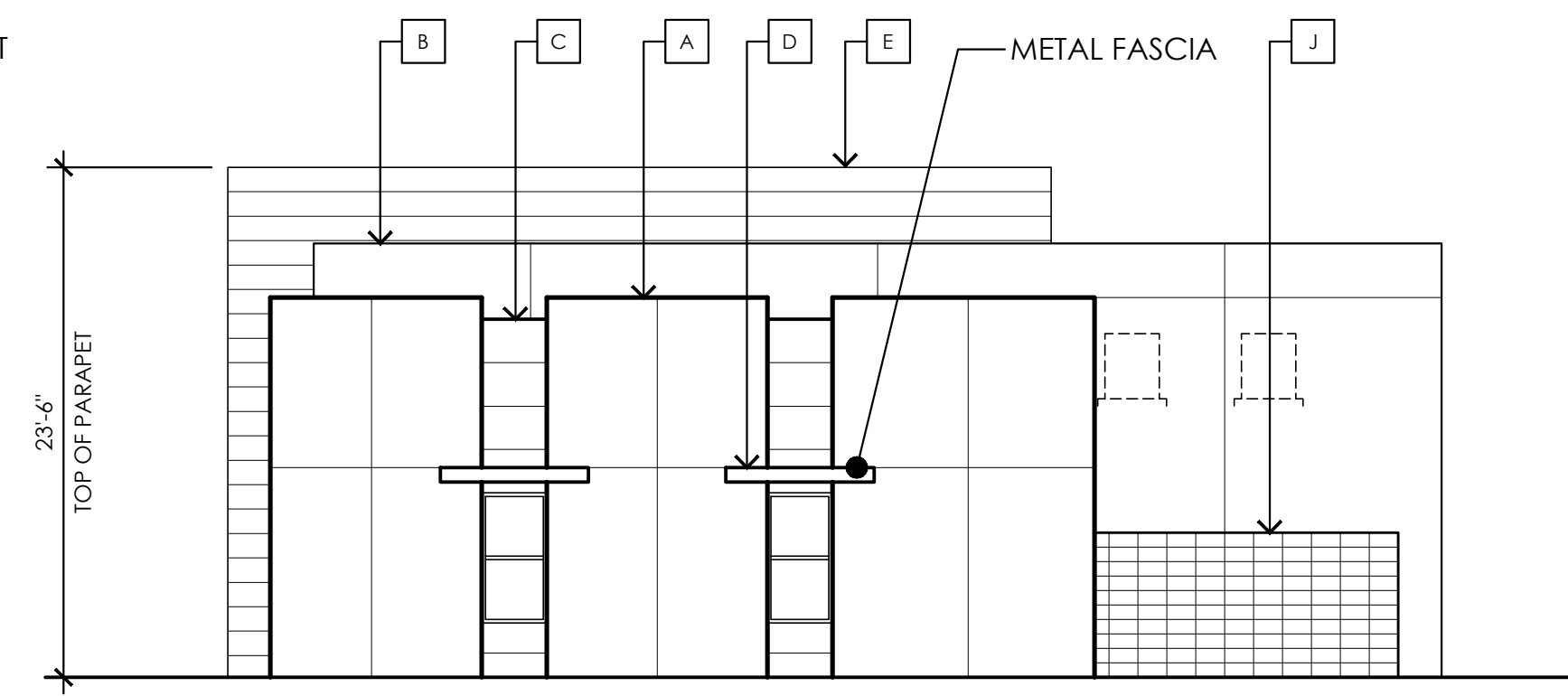
**SENIOR/FAMILY HOUSING @ NEC 79TH AVE. & ENCANTO BLVD.**

**36A**



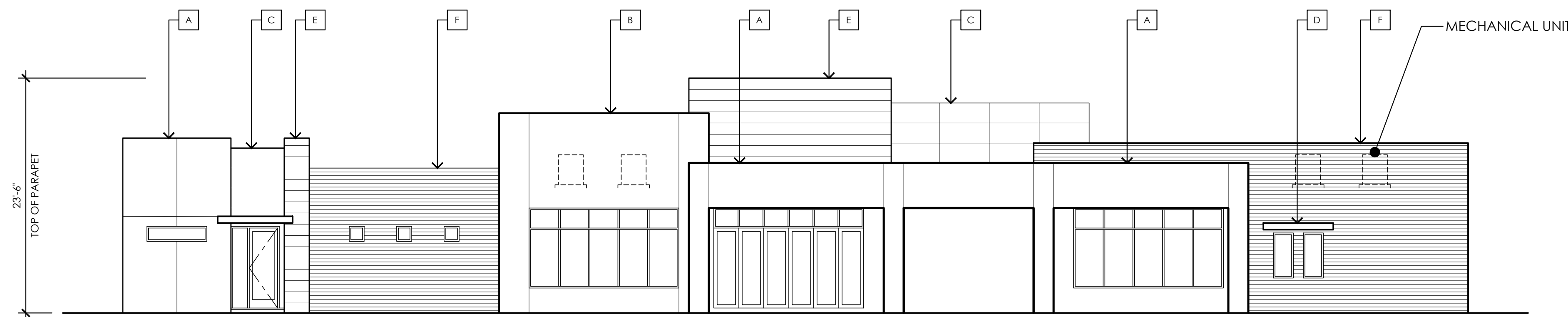
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



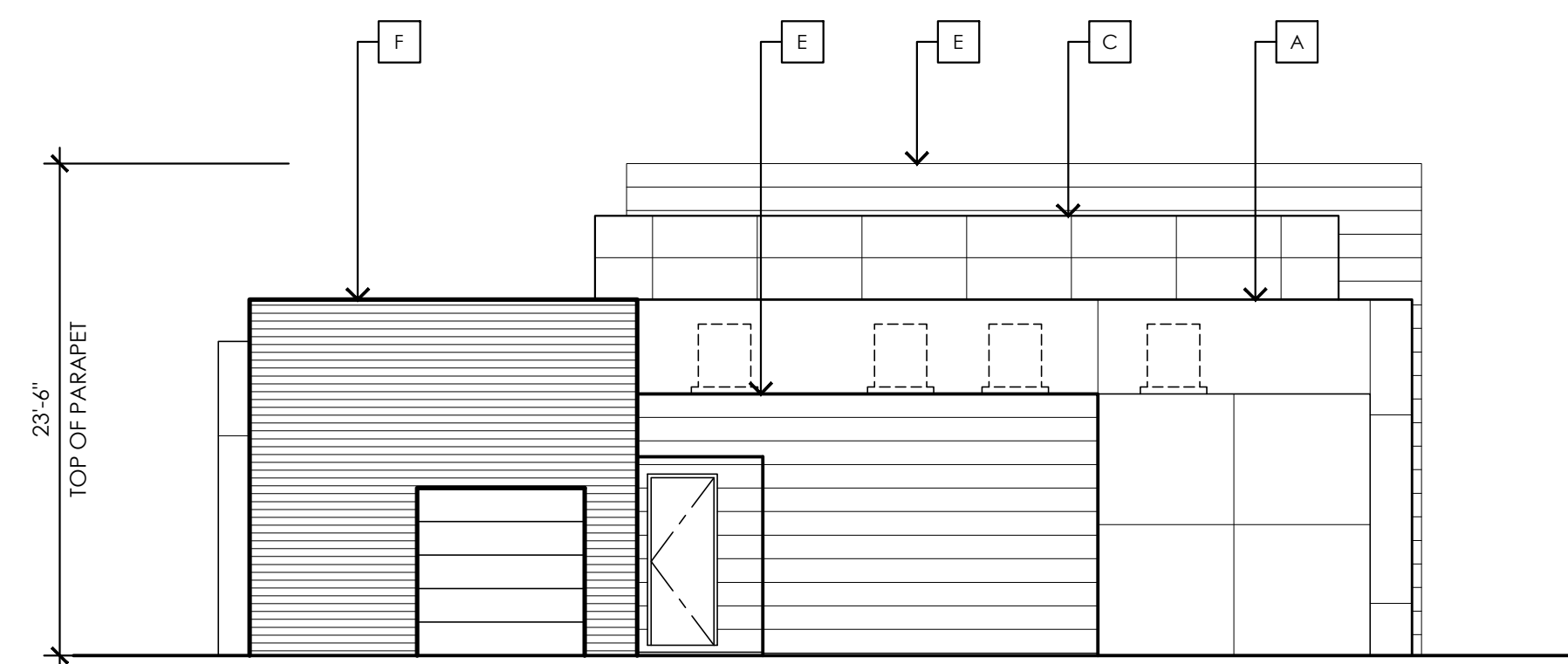
**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

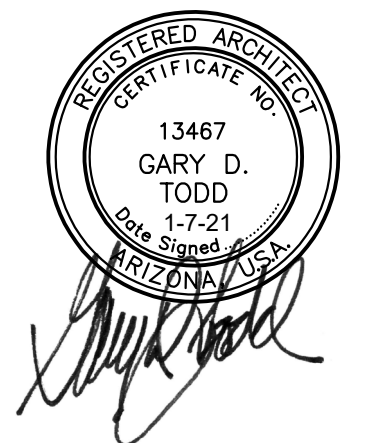


**LEFT ELEVATION**

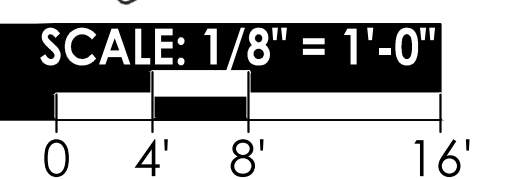
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

<b>A</b>	PAIN T COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
<b>B</b>	PAIN T COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
<b>C</b>	PAIN T COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
<b>D</b>	PAIN T COLOR 4	SHERWIN WILLIAMS - SW 7599 - BRICK PAVER
<b>E</b>	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAIN T COLOR 4)
<b>F</b>	FACE BRICK	SUMMIT BRICK COMPANY (OR EQUAL) - 751LL - THISTLEDOWN
<b>H</b>	METAL PERFORATED RAILING	MCNICHOLS (OR EQUAL) - PERFORATED METAL, 1/4" ROUND ON 3/8" STAGGERED CENTERS
<b>I</b>	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"
<b>J</b>	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL



**FAMILY CLUBHOUSE - ELEVATIONS**



**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**36**



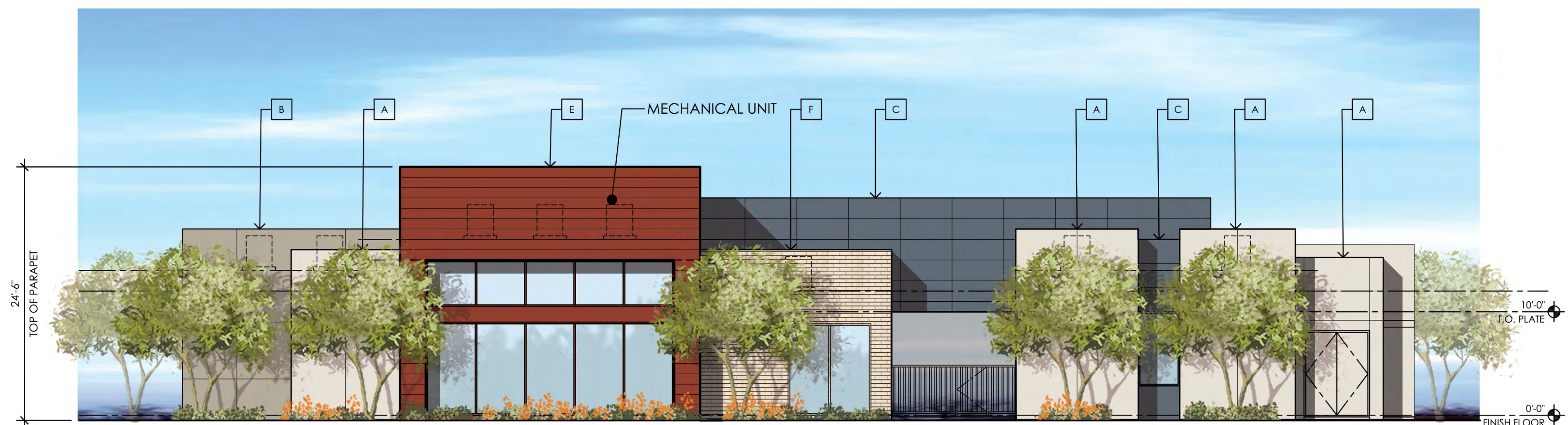
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

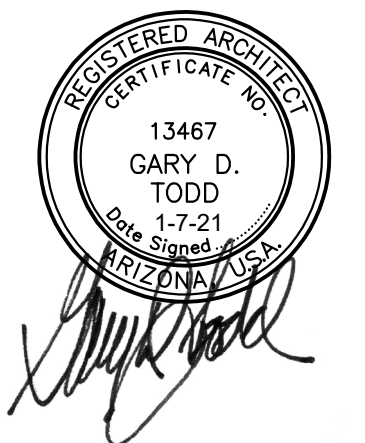


**LEFT ELEVATION**

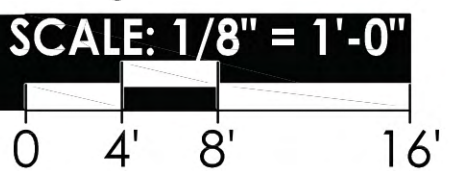
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

A	PAIN T COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAIN T COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAIN T COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAIN T COLOR 4	SHERWIN WILLIAMS - SW 7599 - BRICK PAVER
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAIN T COLOR 4)
F	FACE BRICK	SUMMIT BRICK COMPANY (OR EQUAL) - 751LL - THISTLEDOWN
H	METAL PERFORATED RAILING	MCNICHOLS (OR EQUAL) - PERFORATED METAL, 1/4" ROUND ON 3/8" STAGGERED CENTERS
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"
J	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL

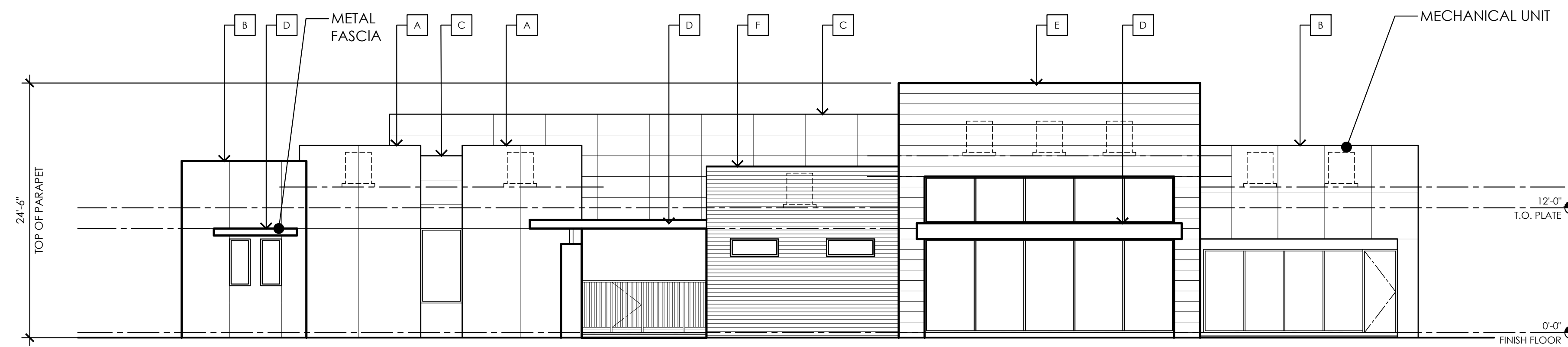


**FAMILY FITNESS - ELEVATIONS**



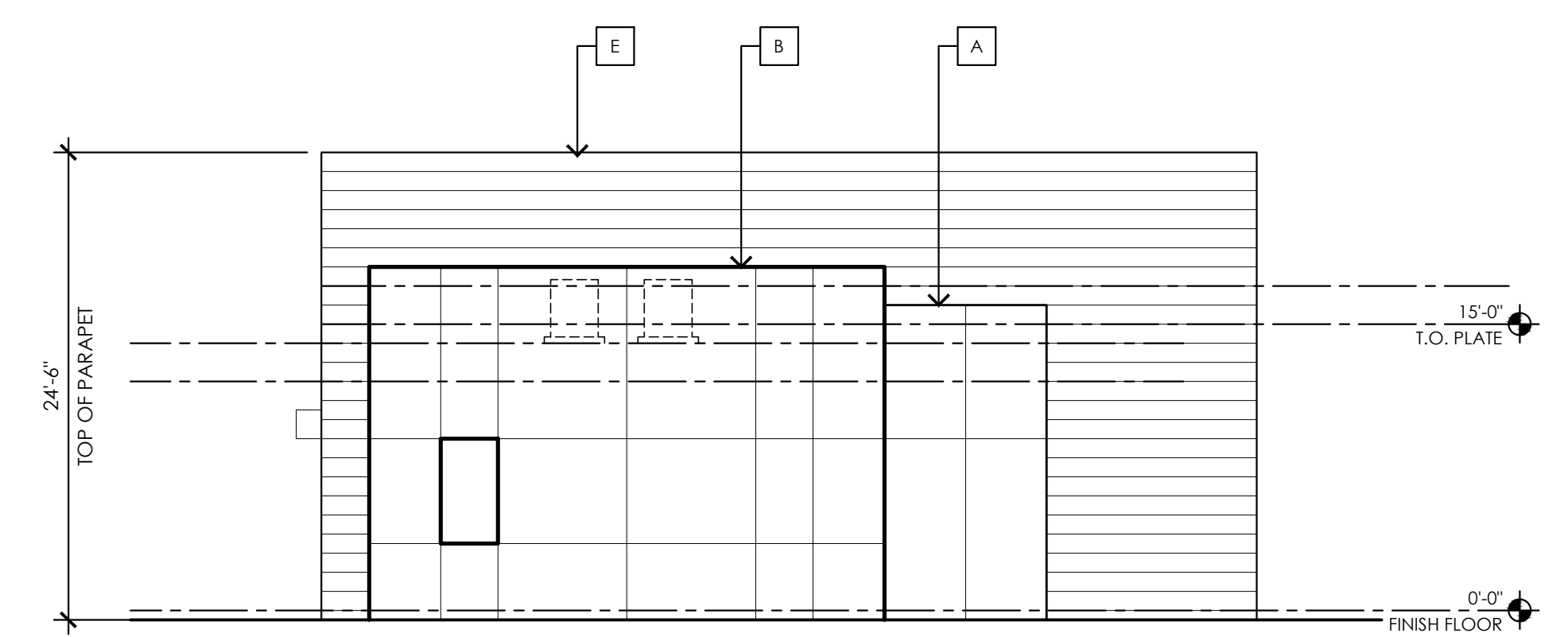
**SENIOR/FAMILY HOUSING @ NEC 79TH AVE. & ENCANTO BLVD.**

**37A**



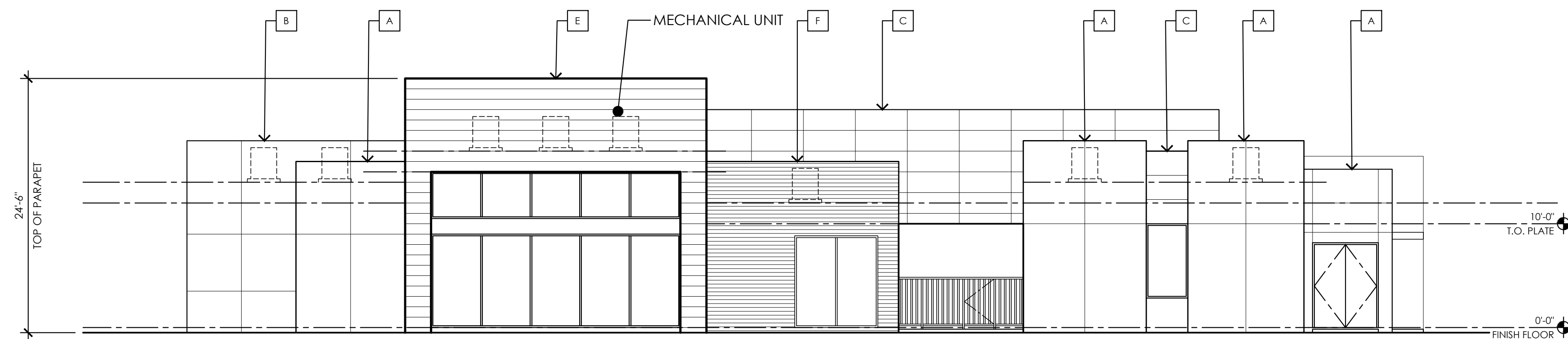
**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



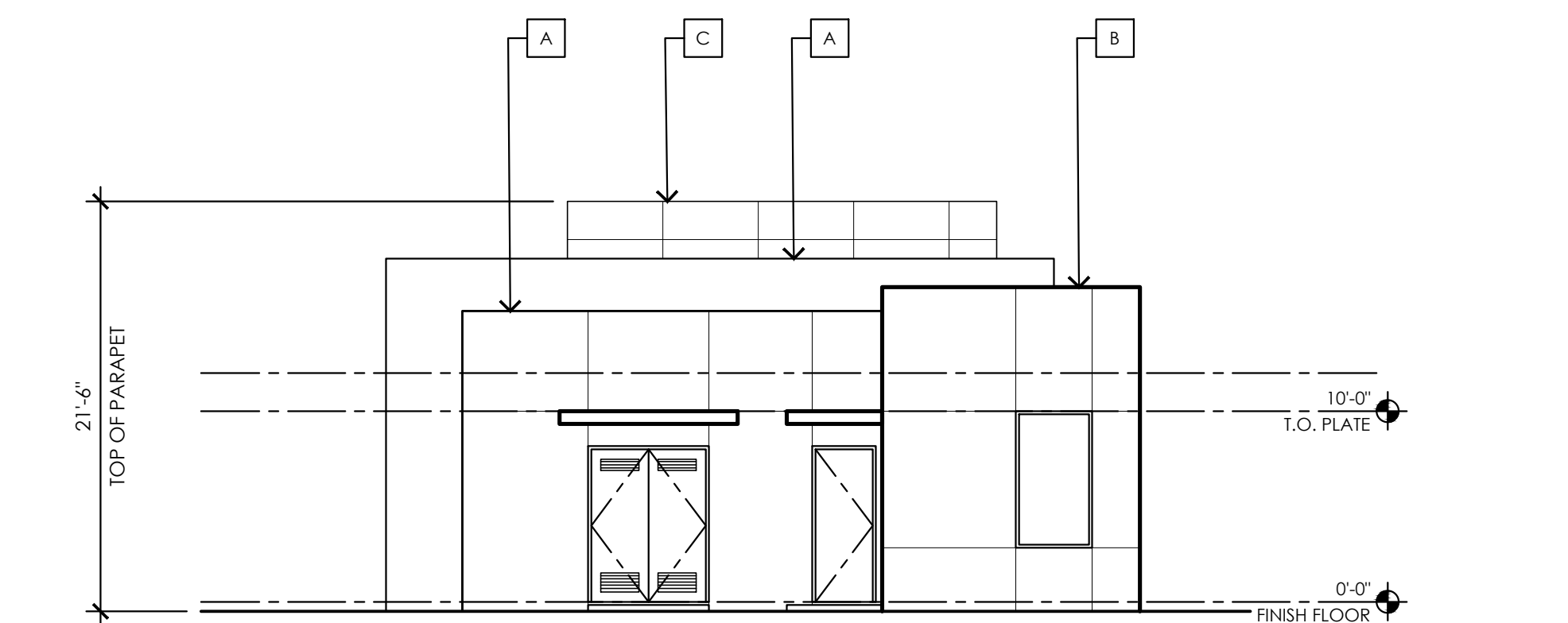
**RIGHT ELEVATION**

SCALE: 1/8" = 1'-0"



**REAR ELEVATION**

SCALE: 1/8" = 1'-0"

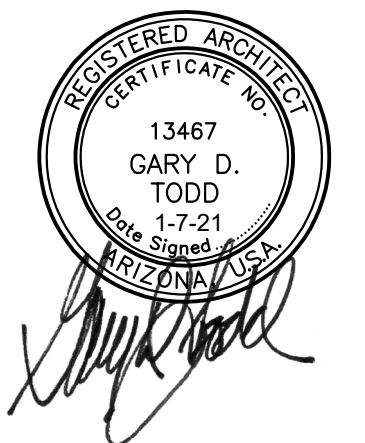


**LEFT ELEVATION**

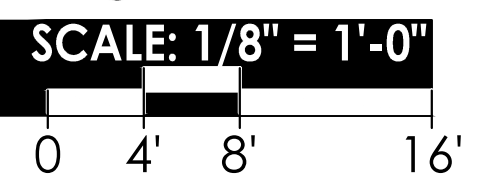
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIALS**

A	PAIN T COLOR 1	SHERWIN WILLIAMS - SW 7627 - WHITE HERON
B	PAIN T COLOR 2	SHERWIN WILLIAMS - SW 7644 - GATEWAY GRAY
C	PAIN T COLOR 3	SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK
D	PAIN T COLOR 4	SHERWIN WILLIAMS - SW 7599 - BRICK PAVER
E	HARDIE PLANK LAP SIDING	HARDIE PLANK LAP SIDING - SMOOTH (PAIN T COLOR 4)
F	FACE BRICK	SUMMIT BRICK COMPANY (OR EQUAL) - 751LL - THISTLEDOWN
H	METAL PERFORATED RAILING	MCNICHOLS (OR EQUAL) - PERFORATED METAL, 1/4" ROUND ON 3/8" STAGGERED CENTERS
I	RESIDENTIAL WINDOW FRAME	THERMO-TECH (OR EQUAL) - CLASSIC SERIES "TAN"
J	SMOOTH FACE CMU	SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL



**MULTIFAMILY FITNESS BUILDING ELEVATIONS**



**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

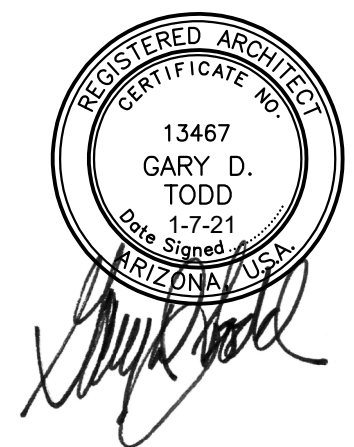
SHEET  
**37**

## **Exhibit 12. Family Conceptual Amenities**

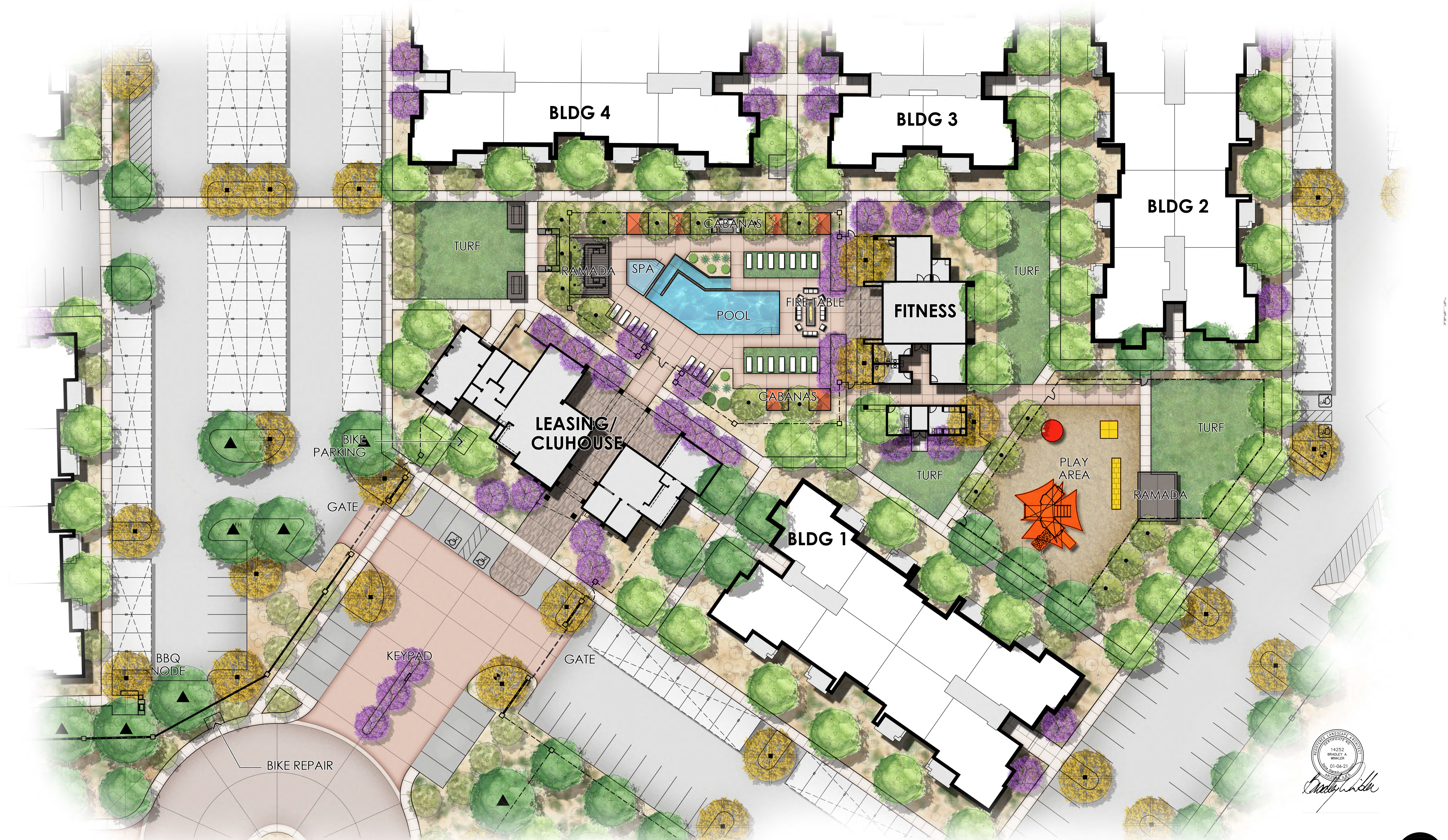


**MULTIFAMILY POOL AREA RENDERING**

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET  
**42**



14252  
BRADLEY A.  
WINKLER  
01-06-21  
Professional Seal and Signature

**MULTI-FAMILY - POOL COURT & OPEN SPACE ENLARGEMENTS**

SCALE: 1" = 20'-0"  
0 10' 20' 40' N

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**L5A**



REGISTERED LANDSCAPE ARCHITECT  
 14252  
 BRADLEY A. WINKLER  
 01-06-21  
 State of Arizona  
 BRADLEY A. WINKLER

**MULTI-FAMILY - OPEN SPACE ENLARGEMENT**

SCALE: 1" = 20'-0"  
 0 10' 20' 40' N

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**L6A**

**TODD & ASSOCIATES, INC.**  
 ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
 602.952.8280p www.toddassoc.com

Phoenix, Arizona  
 SCHEMATIC DESIGN  
 Project No. 19-2039-01 Date 1-08-2021  
 3rd P.U.D. SUBMITTAL  
 REZONING CASE Z-40-20-7



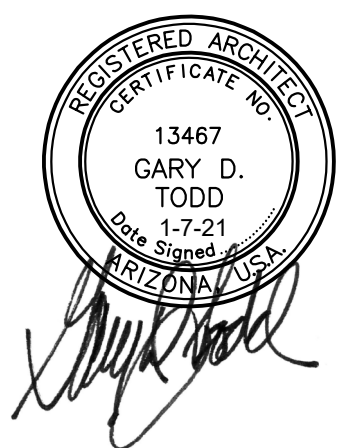


**Exhibit 13. Conceptual Plaza Perspective**



**PLAZA RENDERING**

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET  
**39**

**TODD & ASSOCIATES, INC.**

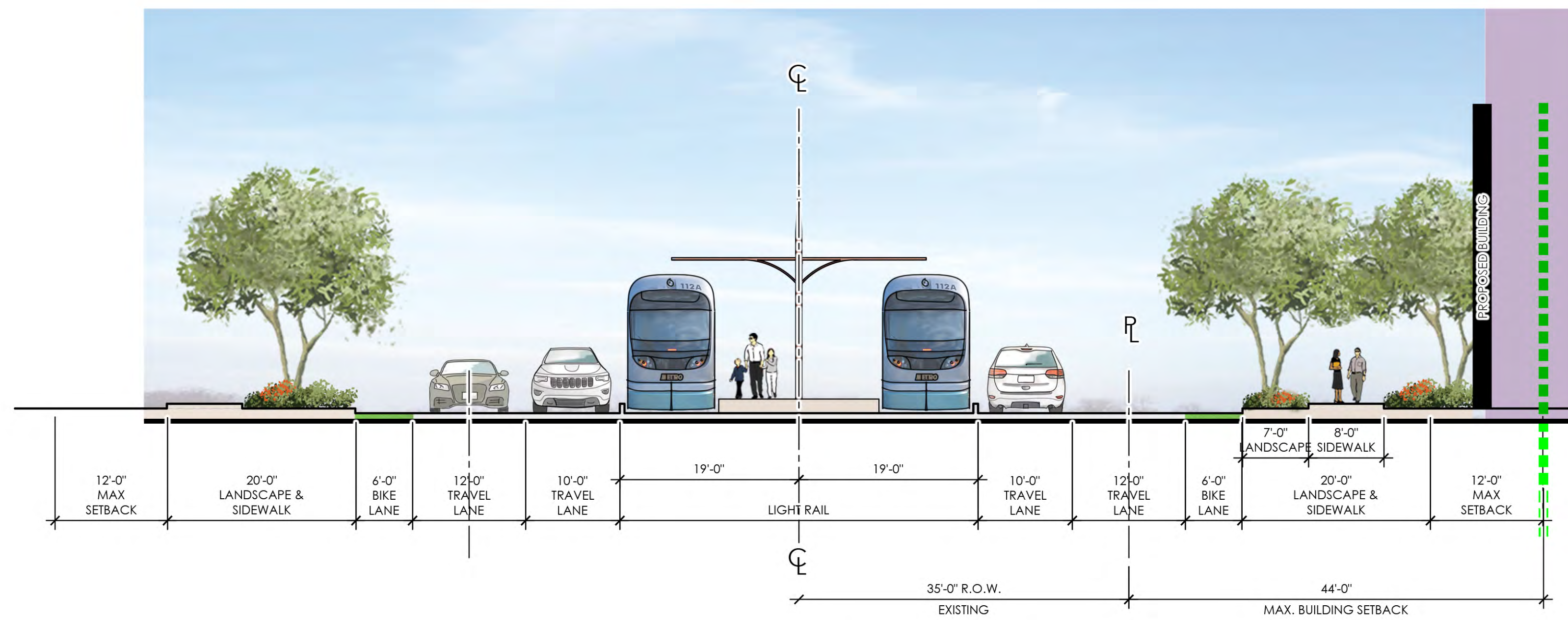
ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
602.952.8280p www.toddassoc.com

Phoenix, Arizona  
SCHEMATIC DESIGN  
Project No. 19-2039-01 Date 1-08-2021

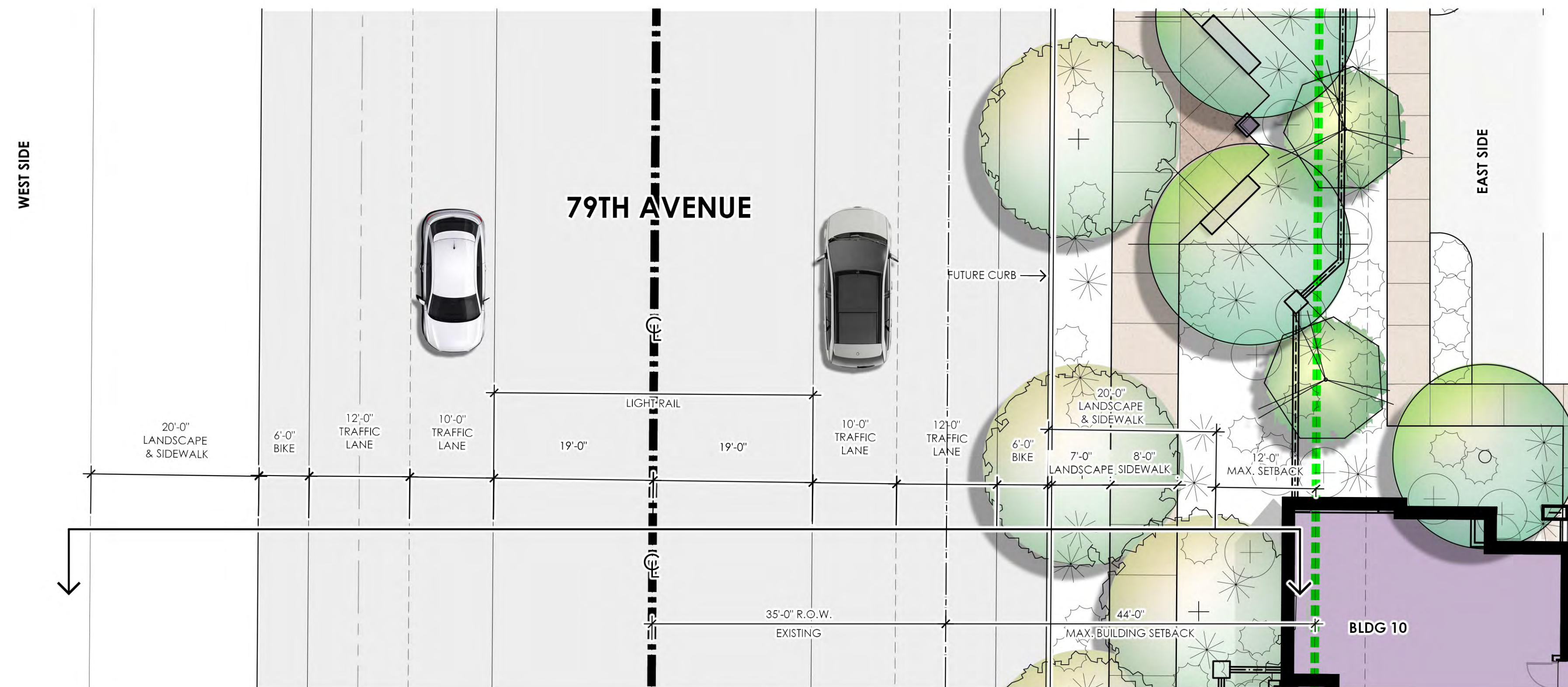
3rd P.U.D. SUBMITTAL  
REZONING CASE Z-40-20-7



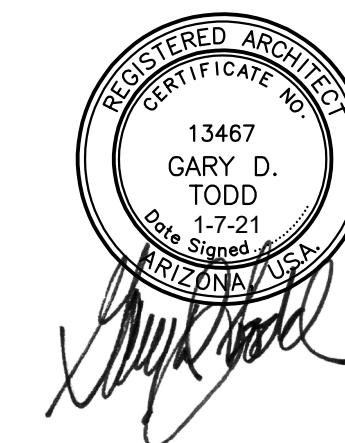
**Exhibit 14. 79th Avenue Streetscape, Encanto  
Boulevard Streetscape, and Shade Calculations**



**STREET SECTION**



**STREET PLAN**



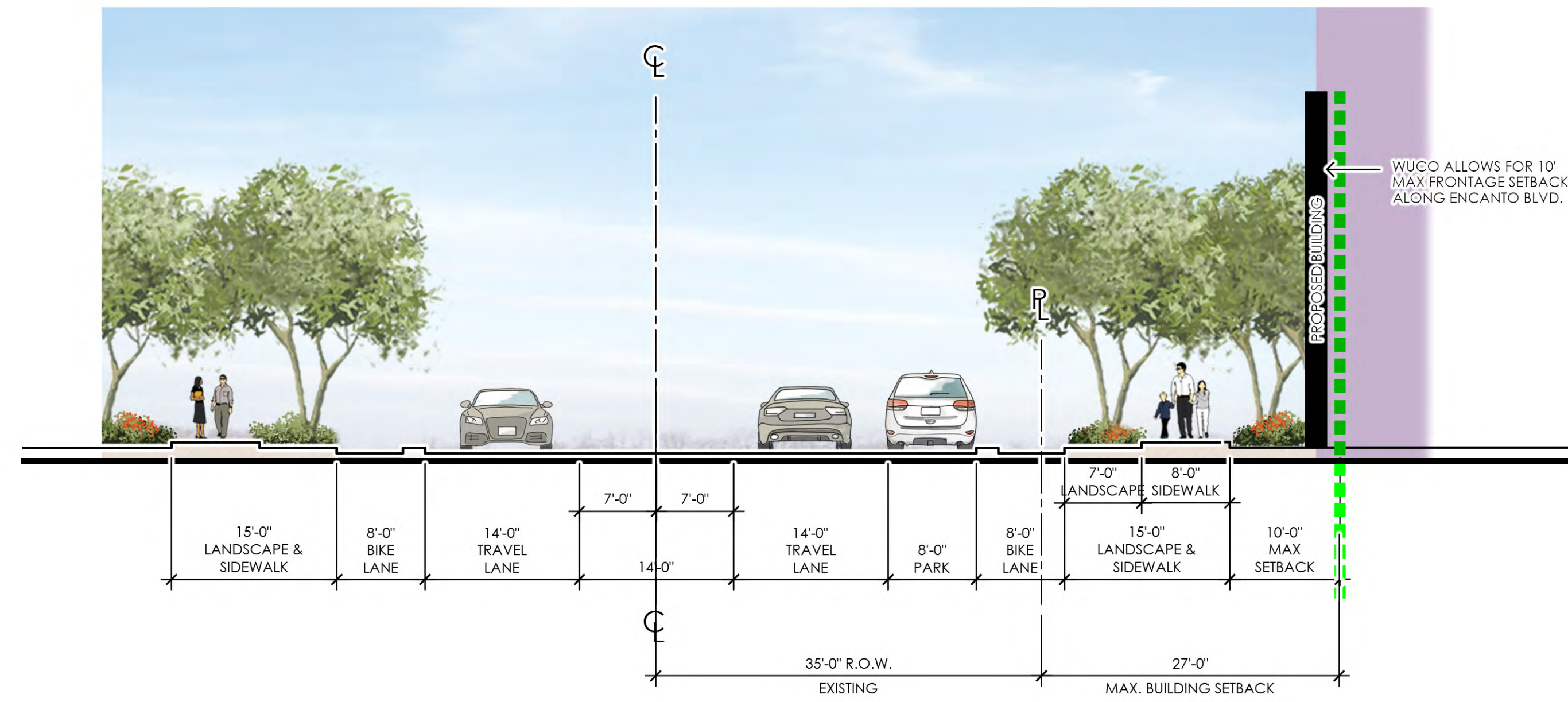
**WUCO - 79TH AVE STREET SECTION**

SCALE: 1" = 10'-0"  
0 5' 10' 20'

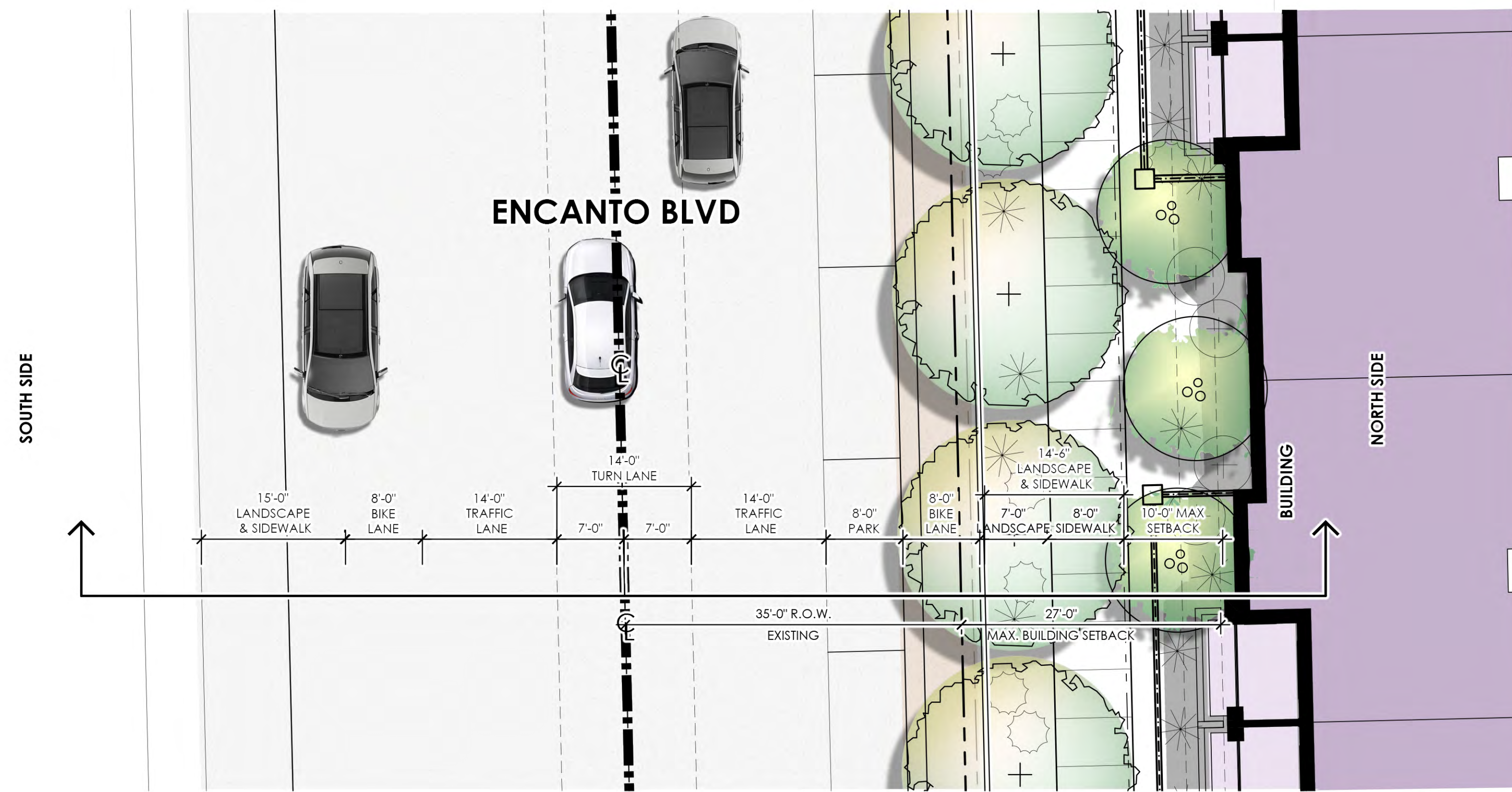


**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

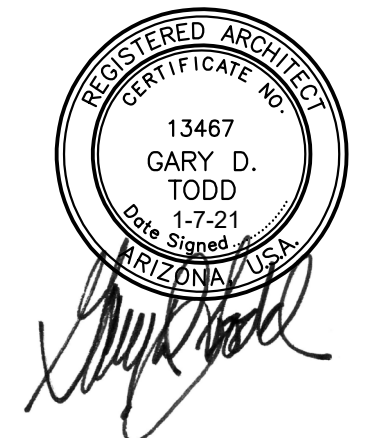
SHEET  
**10**



**STREET SECTION**

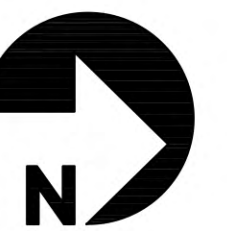


**STREET PLAN**



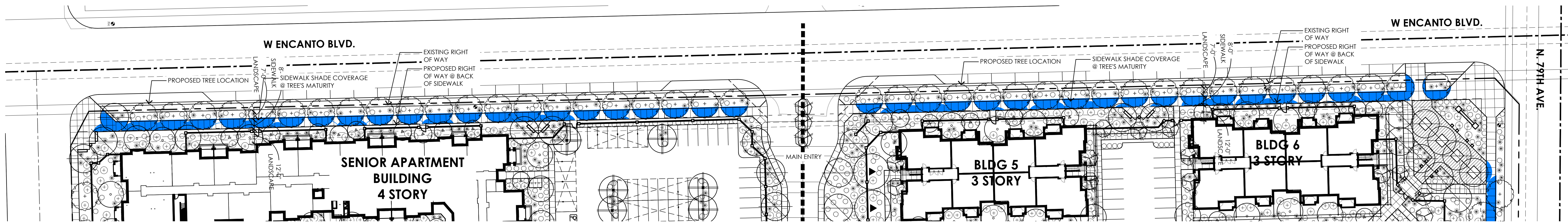
**WUCO - ENCANTO STREET SECTION**

SCALE: 1" = 10'-0"  
0 5' 10' 20'



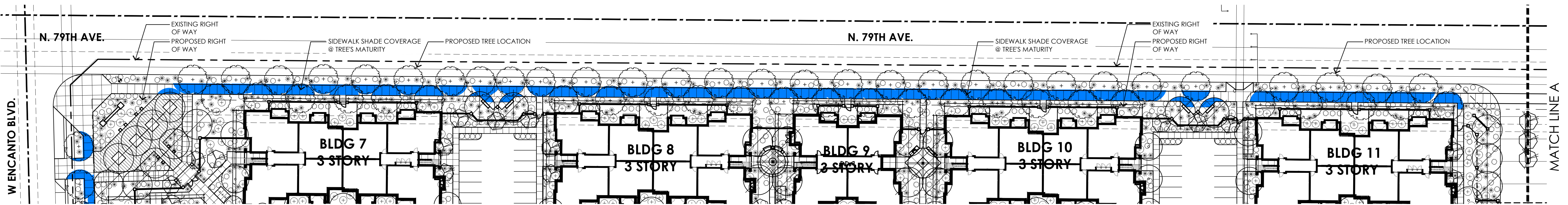
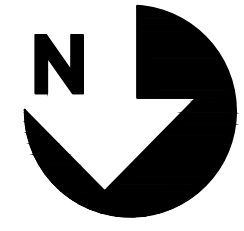
**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**11**



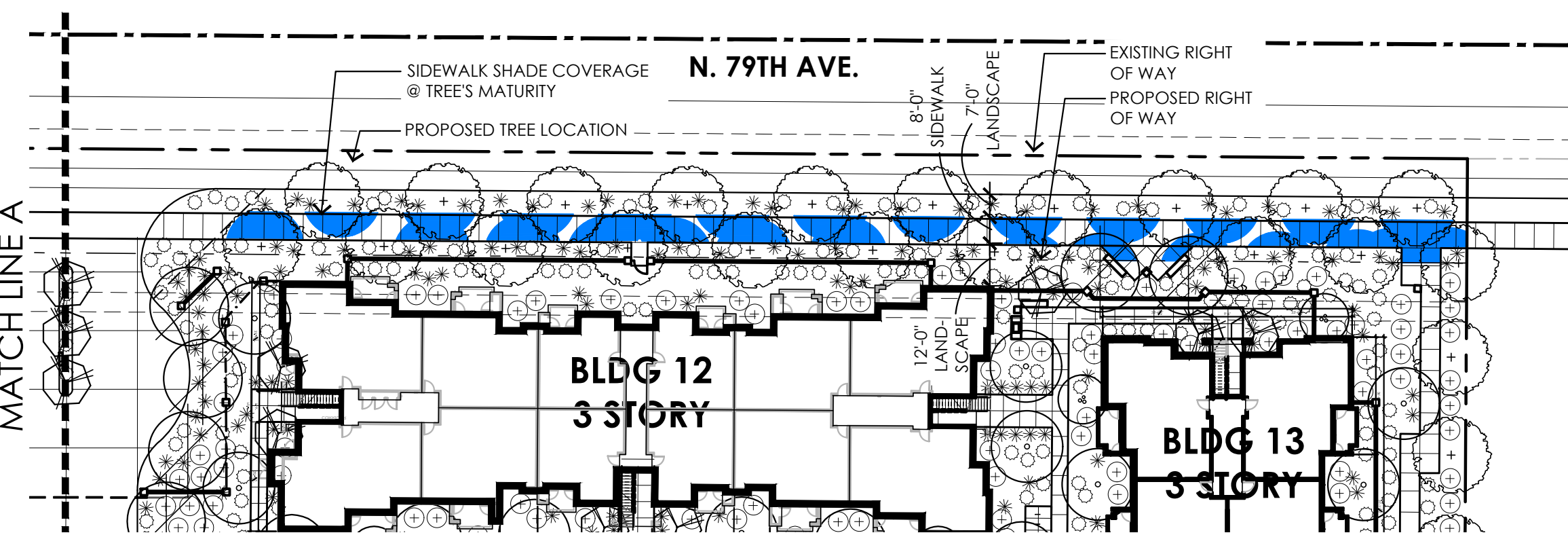
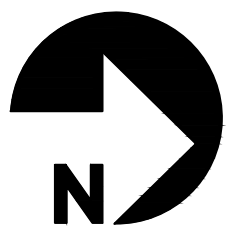
1 ENCANTO BLVD. SHADE EXHIBIT

SCALE: 1" = 40'-0"



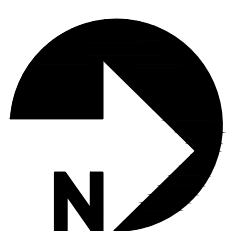
2 79TH AVENUE SHADE EXHIBIT

SCALE: 1" = 40'-0"



3 79TH AVENUE SHADE EXHIBIT

SCALE: 1" = 40'-0"



**STREESCAPE STANDARDS TABLE**

ENCANTO BOULEVARD	
LANDSCAPE AREA BETWEEN BACK OF CURB AND SIDEWALK:	7'
MINIMUM SIDEWALK WIDTH:	8'
LANDSCAPE AREA BETWEEN BACK OF SIDEWALK AND BUILDING FACE:	10'
*CONTINGENT UPON BACK OF CURB AT PROPOSED BIKE LANE IS 2' FROM THE PROPERTY LINE	
79TH AVENUE	
LANDSCAPE AREA BETWEEN BACK OF CURB AND SIDEWALK:	7'
MINIMUM SIDEWALK WIDTH:	8'
LANDSCAPE AREA BETWEEN BACK OF SIDEWALK AND BUILDING FACE:	12'

**LEGEND**

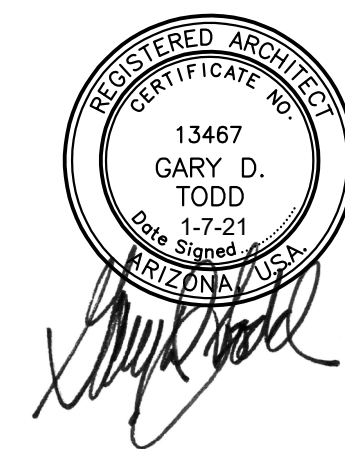
SHADE CANOPY AT MATURE GROWTH

**SHADE CALCULATIONS**

ENCANTO BOULEVARD	
TOTAL PROPOSED SIDEWALK AREA:	10,428 SQ FT
TOTAL PROPOSED TREE SHADE AREA @ MATURITY	7,821 SQ FT
TOTAL SHADE PERCENTAGE:	75%
79TH AVENUE	
TOTAL PROPOSED SIDEWALK AREA:	13,478 SQ FT
TOTAL PROPOSED TREE SHADE AREA @ MATURITY	10,108 SQ FT
TOTAL SHADE PERCENTAGE:	75%

**SHADE EXHIBIT**

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**



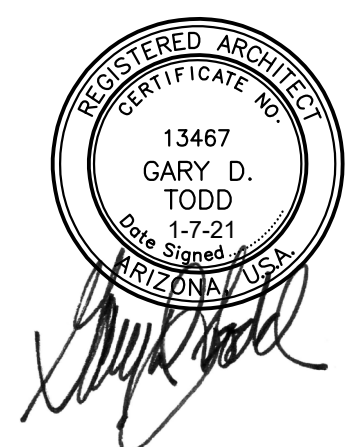
SHEET 17

# **Exhibit 15. Conceptual Pedestrian Nodes**



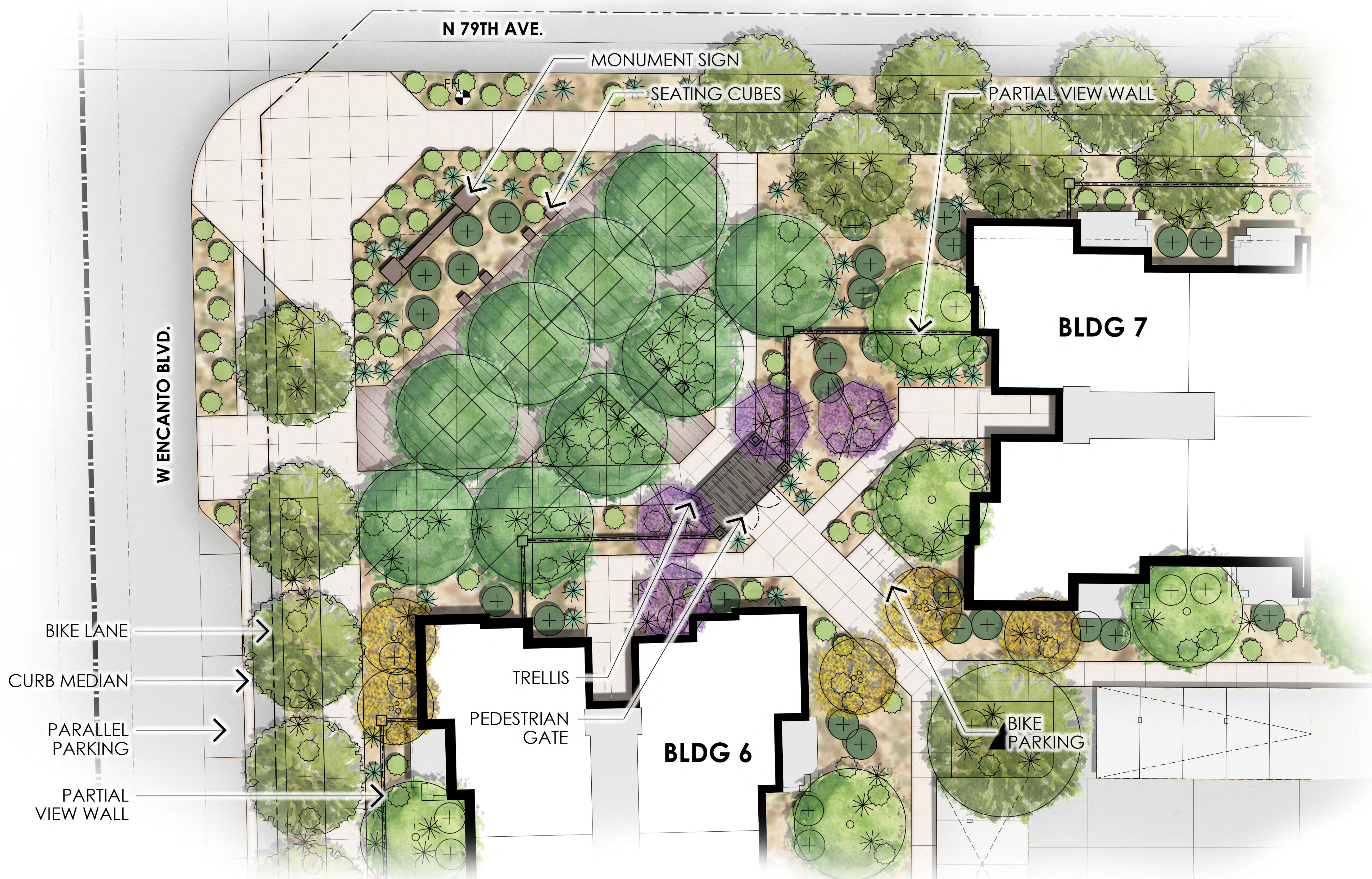
PEDESTRIAN NODE RENDERING

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET  
41





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 14252  
 BRADLEY A.  
 WINKLER  
 01-06-21  
 State of Arizona  
 BRADLEY A. WINKLER

**PEDESTRIAN ENTRY PLAZA - ENLARGEMENT** SCALE: 1" = 10'-0"

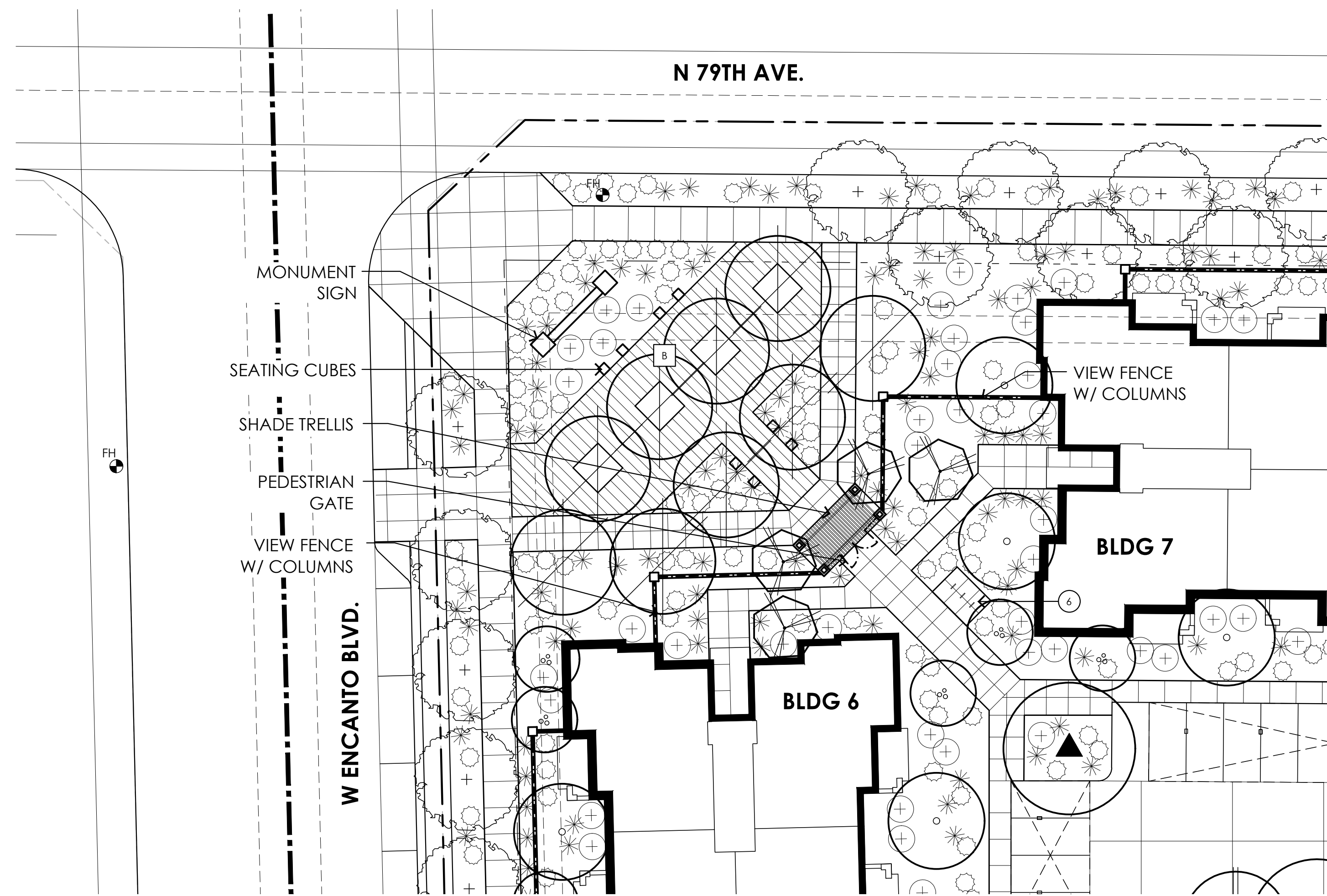
# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.

SHEET  
**L3A**

**TODD & ASSOCIATES, INC.**  
 ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
 602.952.8280p www.toddassoc.com

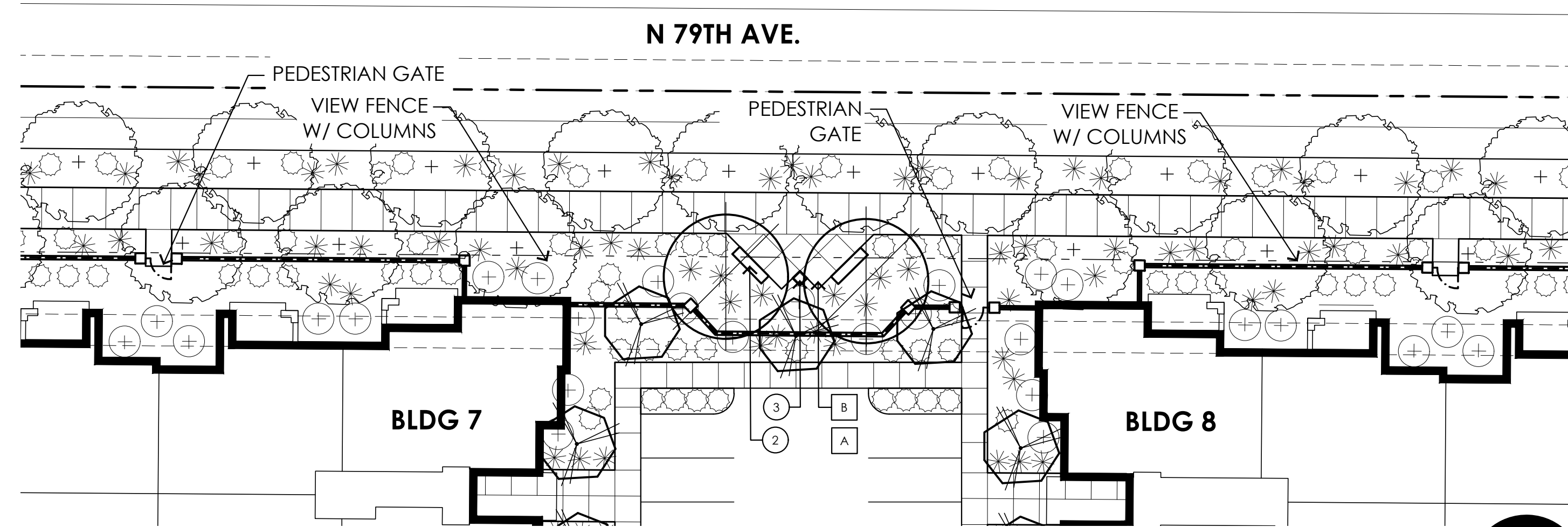
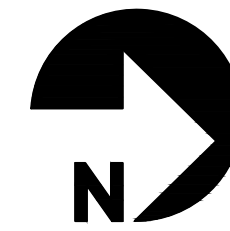
Phoenix, Arizona  
 SCHEMATIC DESIGN  
 Project No. 19-2039-01 Date 1-08-2021  
 3rd P.U.D. SUBMITTAL  
 REZONING CASE Z-40-20-7





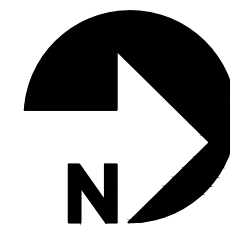
1 PEDESTRIAN ENTRY PLAZA ENLARGEMENT

SCALE: 1" = 20'-0"



2 PEDESTRIAN NODE ENLARGEMENT

SCALE: 1" = 20'-0"



SYMBOL	BOTANICAL NAME	COMMON NAME	CAL./	QTY	SIZE (h x w)
<b>TREES (LARGE)</b>					
	FRAXINUS VELUTINA 'BONITA'	BONITA ASH	1.5' / 25x25'	8	9'x4'
	CITRUS SPECIES	CITRUS SPECIES	2' B&B	6	6'x3'
	PISTACIA X 'RED PUSH'	RED PUSH PISTACHE	4' / 30x40'	6	14'x8'
	QUERCUS VIRGINIANA	LIVE OAK	1.5' / 40x60'	45	9'x4'
	ULMUS PARVIFLORA	EVERGREEN ELM	2.5' / 40x40'	88	9'x4'
<b>TREES (SMALL)</b>					
	BAUHINIA BLAKEANA	HONG KONG ORCHID	20' x 25'	27	8'x5' Std.
	CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	10'x10'	36	5'x3' Multi
	PISTACIA LENTISCUS	MASTIC TREE	20'x20'	6	8'x5' Std.
	SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	15x15'	25	5'x3' Multi
<b>PALMS</b>					
	PHOENIX DACTYLIFERA	DATE PALM	24 TF (DIAMOND CUT)	12	-
	PHOENIX ROEBELINII	PYGMY DATE PALM	15 GAL.	-	-
<b>SHRUBS</b>					
	BOUGAINVILLEA 'TORCH GLOW'	BOUGAINVILLEA	5 GAL.	-	5'h x 5'w
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL.	-	8'h x 10'w
	DODONAEA VISCOSA	GREEN HOPSEED	5 GAL.	-	8'h x 8'w
	EREMOPHILA HYGROPHANA	BLUEBELLS	5 GAL.	-	3'h x 3'w
	EREMOPHILA x SUMMERTIME BLUE	SUMMERTIME BLUE	5 GAL.	-	6'h x 10'w
	EUPHORBIA TIRUCALLI	FIRE STICKS	5 GAL.	-	4'h x 4'w
	GOSSYPIMUM HARKNESSII	SAN MARCOS HIBISCUS	5 GAL.	-	3'h x 5'w
	JUSTICIA SPICIGERA	MEXICAN HONEYSUCKLE	5 GAL.	-	3'h x 3'w
	LEUCOPHYLLUM 'LYNNS LEGACY'	HYBRID TEXAS SAGE	5 GAL.	-	5'h x 5'w
	OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	5 GAL.	-	3'h x 3'w
	ROSA SPP. 'ICEBERG'	WHITE 'ICEBERG' SHRUB ROSE	5 GAL.	-	3'h x 4'w
	RUELLIA PENINSULARIS	BAJA RUELLIA	5 GAL.	-	4'h x 6'w
	RUSSELIA EQUISETIFORMIS	CORAL FOUNTAIN	5 GAL.	-	3'h x 4'w
	SIMMONDSIA CHINENSIS	JOJOBA	5 GAL.	-	4'h x 4'w
	TECOMA STANS 'SIERRA APRICOT'	YELLOW BELLS	5 GAL.	-	3'h x 4'w
749					
<b>ACCENTS</b>					
	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	5 GAL.	-	2'h x 3'w
	AGAVE DESMETIANA	SMOOTH AGAVE	5 GAL.	-	3'h x 3'w
	ALOE BARBADENSIS	MEDICINAL ALOE	5 GAL.	-	2'h x 3'w
	DASYLIRION WHEELERI	DESERT SPOON	5 GAL.	-	5'h x 5'w
	HESPERALOE FUNIFERA	GIANT YUCCA	5 GAL.	-	6'h x 6'w
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	-	3'h x 4'w
	PEDILANTHUS MACROCARPUS	LADY'S SLIPPER	5 GAL.	-	3'h x 3'w
	SANSEVIERIA TRIFASCIATA	MOTHER-IN-LAW TONGUE	5 GAL.	-	1'h x 4'w
<b>GROUNDCOVERS</b>					
	LANTANA 'DALLAS RED'	RED LANTANA	5 GAL.	-	4'h x 4'w
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	5 GAL.	-	1'h x 4'w
	LANTANA MONTEVIDENSIS	PURPLE LANTANA	5 GAL.	-	1'h x 3'w
	PORTULACARIA AFRA	ELEPHANT'S FOOD	5 GAL.	-	18'h x 18'w
	SETCREASEA PALLIDA	PURPLE HEART	5 GAL.	-	2'h x 2'w
	SPHAGNETICOLA TRILOBATA	YELLOW DOT	5 GAL.	-	1'h x 6'w
	TRACHELOSPERMUM ASIATICUM	YELLOW DOT	5 GAL.	-	1'h x 6'w
<b>VINES</b>					
	BIGNONIA CAPREOLATA	CROSSVINE	5 GAL.	-	8'h x 8'w
	BOUGAINVILLEA 'BARBARA KARST'	BOUGAINVILLEA VINE	5 GAL.	-	10'h x 10'w
<b>GROUND PLANE</b>					
	SYNTHETIC TURF: 'KID PLAY' BY ARTIFICIAL GRASS SUPERSTORE				
	ALTERNATE: NATURAL 'MIDIRON' BERMUDA SOD TURF				
	DECOMPOSED GRANITE: 2" DEPTH OF 1/2" SCREENED 'APACHE GOLD'				
	COBBLE: 3'-8" COBBLESTONE / RIP RAP -				

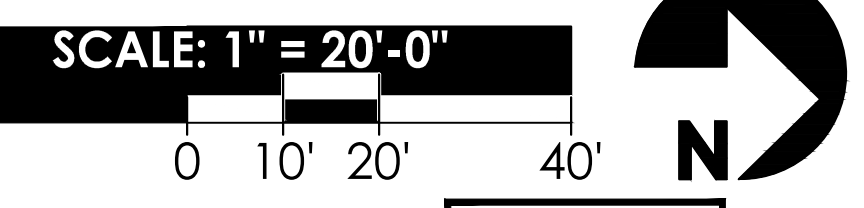
- SITE FURNISHINGS MATERIALS LIST**
- KEY-DESC. NOTE
  - 1 POOL CABANA
  - 2 BENCH
  - 3 TRASH RECEPTACLE
  - 4 SHADE TRELLIS
  - 5 BBQ GRILL GAS
  - 6 BIKE PARKING

- PAVEMENT MATERIALS/ FINISH SCHEDULE**
- KEY- LOCATION NOTE
  - A ASPHALT
  - B ENHANCED PAVING
  - C POOL DECK
  - D DECORATIVE PAVERS

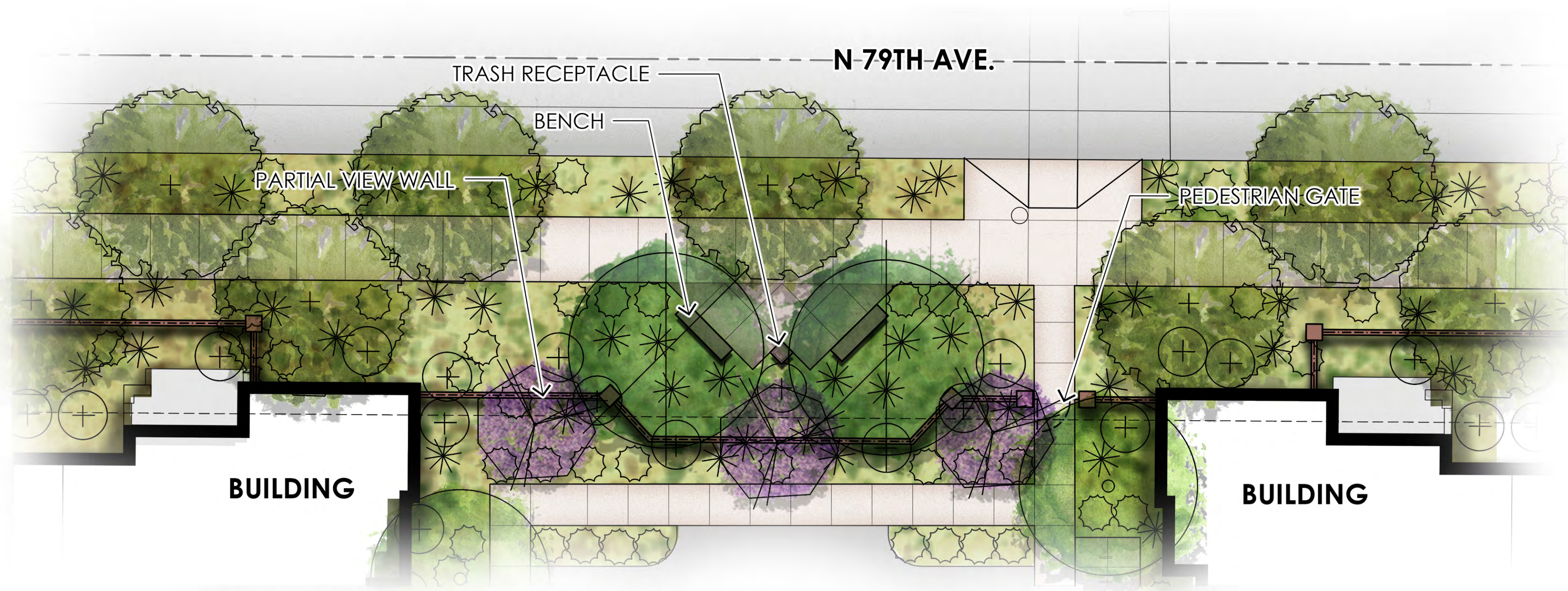


LANDSCAPE - MULTIFAMILY PLAZA & PEDESTRIAN NODES

SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.



SHEET L3



1 PEDESTRIAN NODE ENLARGEMENT (TYP.)



2 EXTERNAL BUILDING FACE PATIOS (TYP.)



*Bradley A. Winkler*

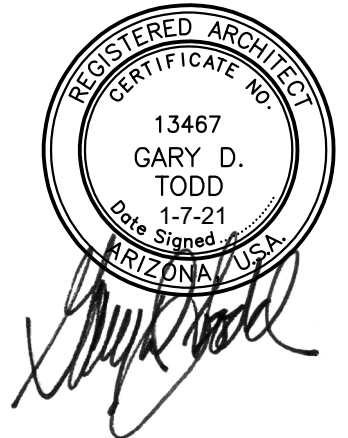
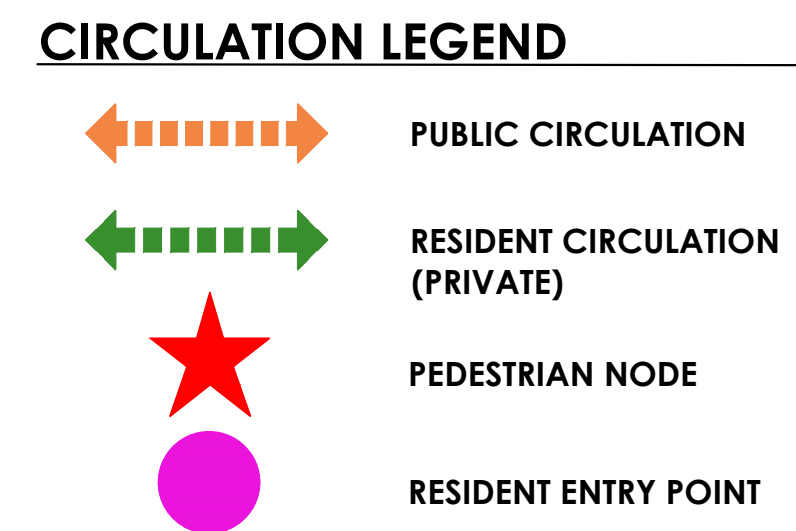
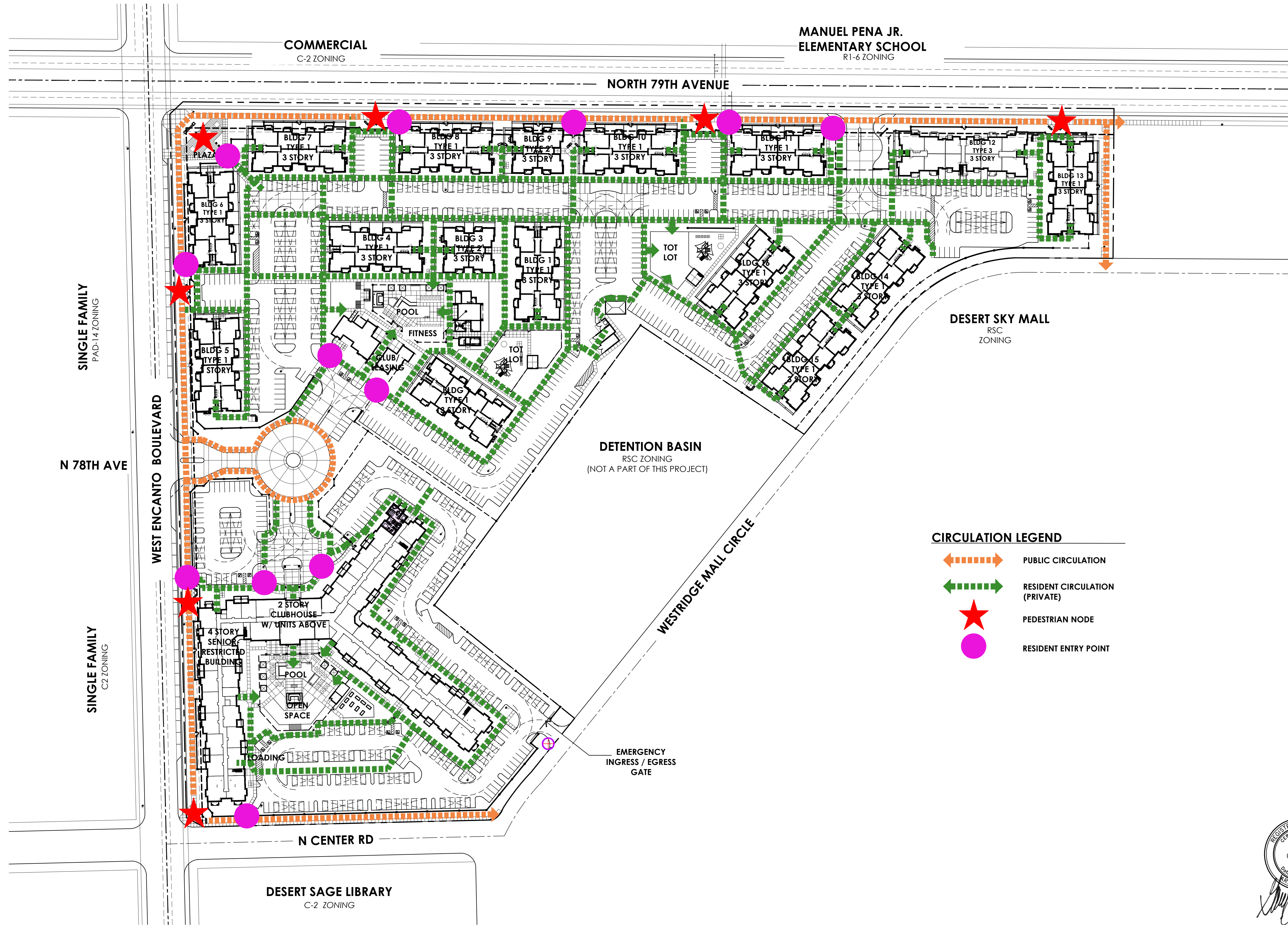
**MULTI-FAMILY - PLAZA & PEDESTRIAN NODE ENLARGEMENTS**

SCALE: 1" = 10'-0"  
0 5' 10' 20' N

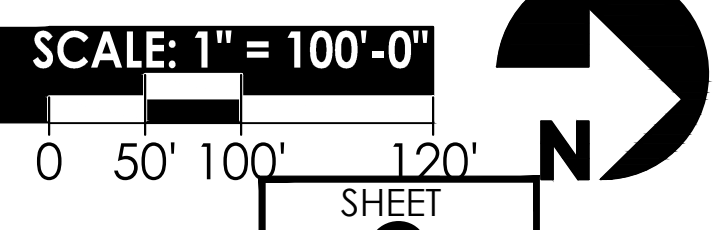
**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**L3B**

# **Exhibit 16. Conceptual Pedestrian Circulation Plan**



**WUCO - CIRCULATION PLAN**

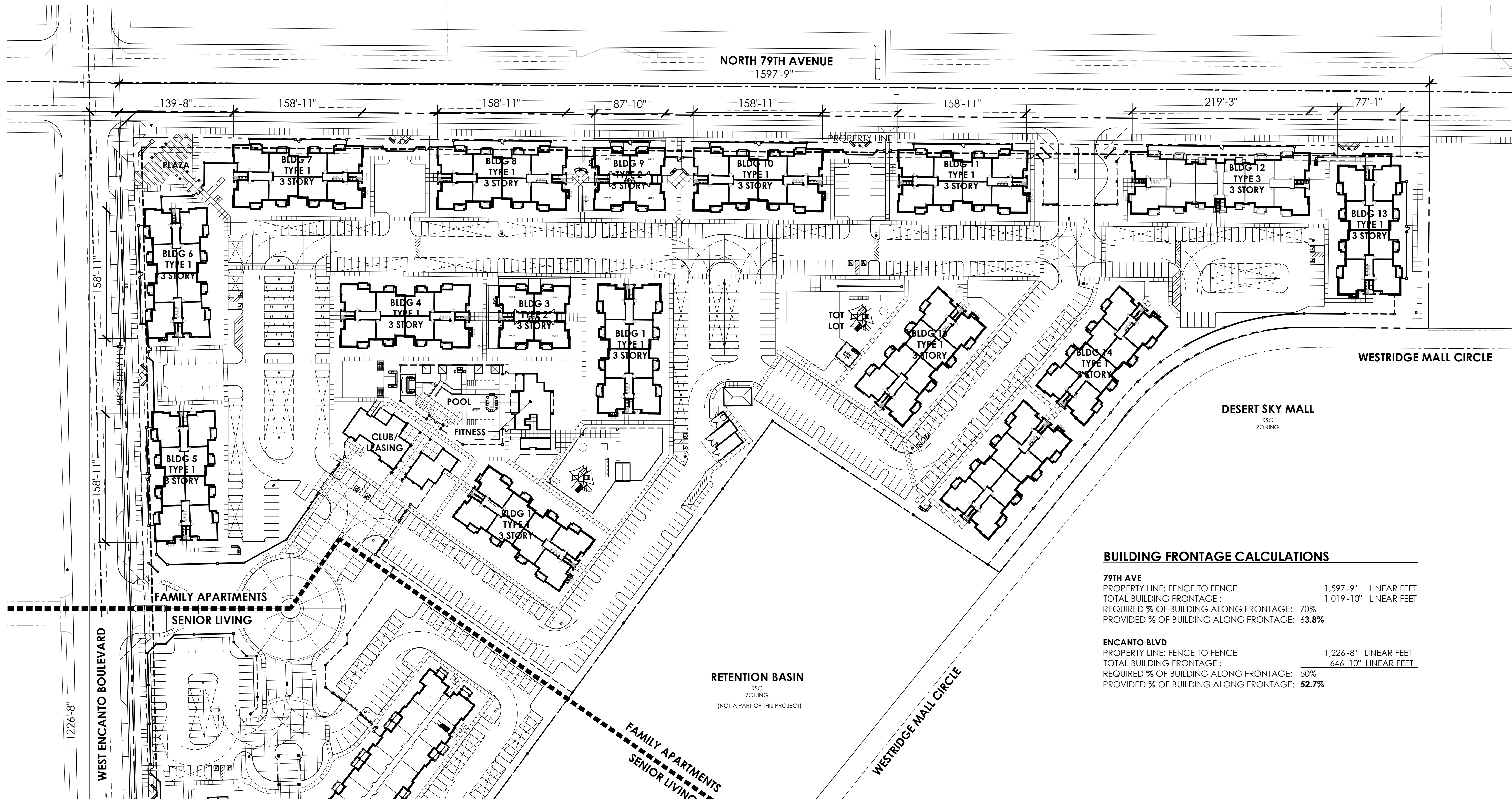


# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.

SHEET  
**9**



# **Exhibit 17. 79th Avenue Building Frontage Calculations**



**BUILDING FRONTAGE CALCULATIONS**

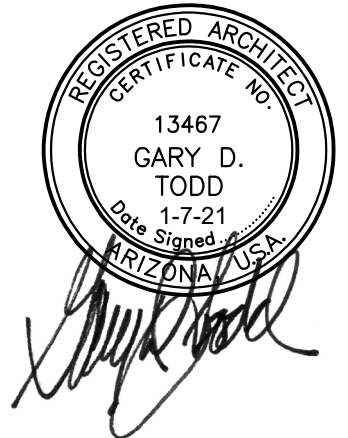
<b>79TH AVE</b>	
PROPERTY LINE: FENCE TO FENCE	1,597'-9" LINEAR FEET
TOTAL BUILDING FRONTAGE:	1,019'-10" LINEAR FEET
REQUIRED % OF BUILDING ALONG FRONTAGE:	70%
PROVIDED % OF BUILDING ALONG FRONTAGE:	63.8%
<b>ENCANTO BLVD</b>	
PROPERTY LINE: FENCE TO FENCE	1,226'-8" LINEAR FEET
TOTAL BUILDING FRONTAGE:	646'-10" LINEAR FEET
REQUIRED % OF BUILDING ALONG FRONTAGE:	50%
PROVIDED % OF BUILDING ALONG FRONTAGE:	52.7%

**WUCO - 79TH AVENUE FRONTAGE CALCULATIONS**

SCALE: 1" = 60'-0"  
0 30' 60' 120' N

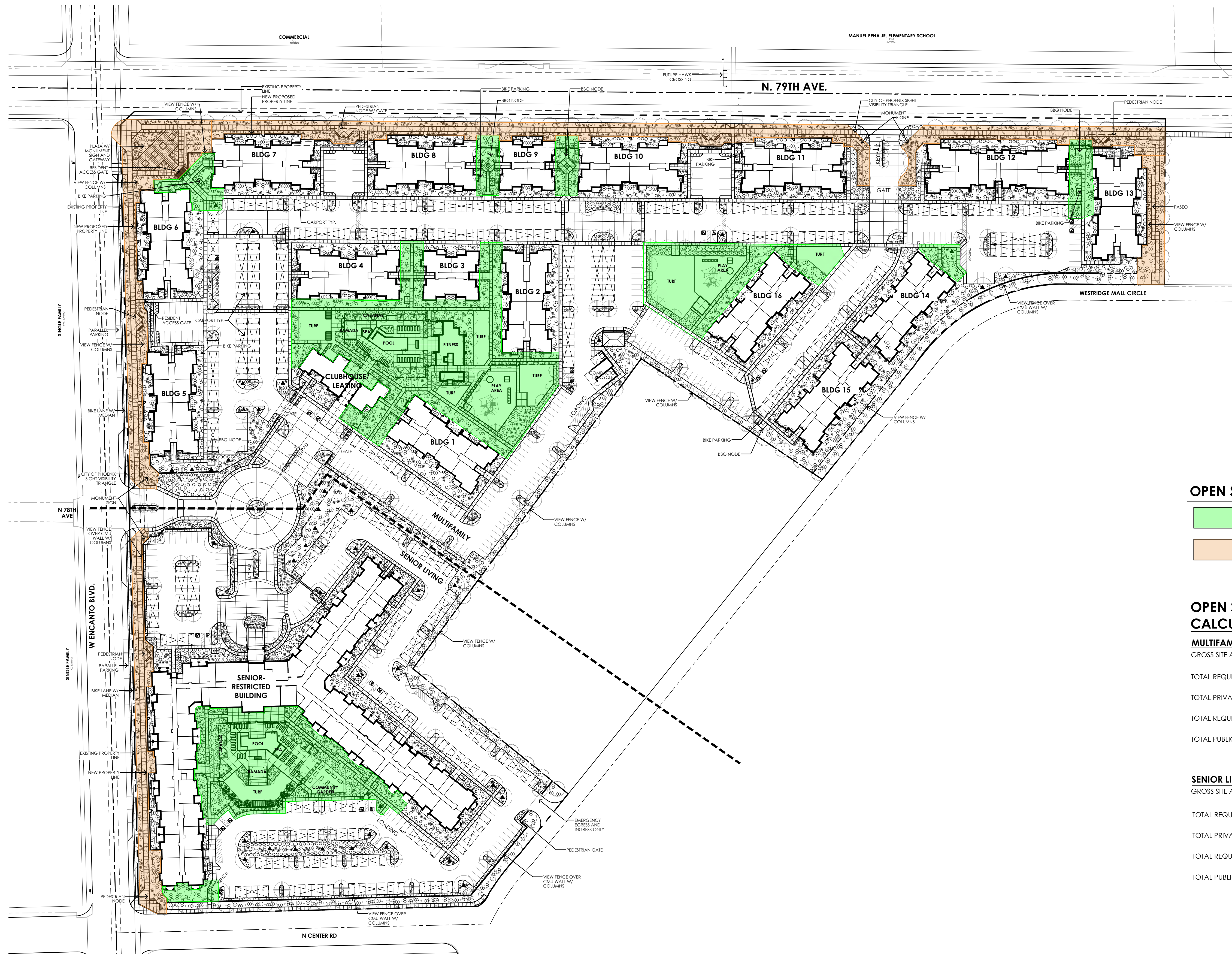
**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**15**



## **Exhibit 18. Open Space Calculations**





**OPEN SPACE LEGEND**

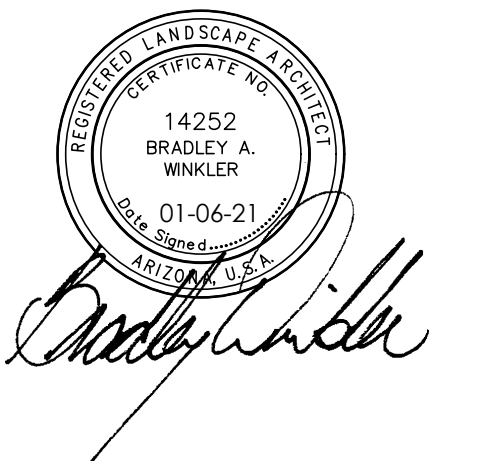
- PRIVATE OPEN SPACE
- PUBLIC OPEN SPACE

**OPEN SPACE CALCULATIONS**

MULTIFAMILY SITE	
GROSS SITE AREA	18.87 GR. AC. 821,977 SQ FT
TOTAL REQUIRED PRIVATE OPEN SPACE:	821,977 SQ FT x 5% = 41,099 SF
TOTAL PRIVATE OPEN SPACE PROVIDED:	107,650 SF (13.1%)
TOTAL REQUIRED PUBLIC OPEN SPACE:	870,328 SQ FT x 5% = 41,099 SF
TOTAL PUBLIC OPEN SPACE PROVIDED:	65,700 SF (8.0%)

SENIOR LIVING SITE	
GROSS SITE AREA	8.46 GR. AC. 368,518 SQ FT
TOTAL REQUIRED PRIVATE OPEN SPACE:	368,518 SQ FT x 5% = 18,426 SF
TOTAL PRIVATE OPEN SPACE PROVIDED:	38,160 SF (10.4%)
TOTAL REQUIRED PUBLIC OPEN SPACE:	368,518 SQ FT x 5% = 18,426 SF
TOTAL PUBLIC OPEN SPACE PROVIDED:	12,500 SF (4.4%)



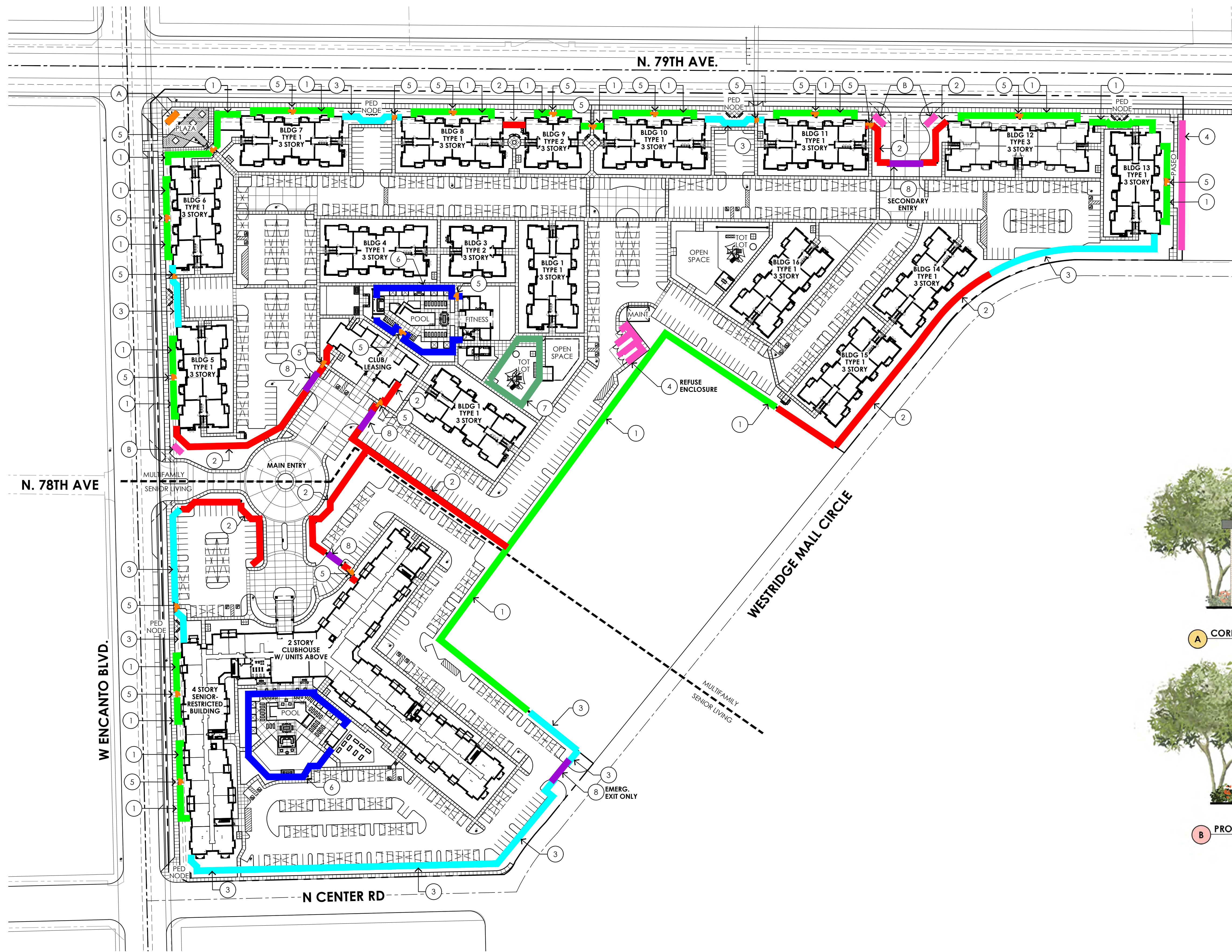
**COMBINED SITE OPEN SPACE PLAN**

SCALE: 1" = 20'-0"  
0 10' 20' 40' N

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET  
**L9**

## **Exhibit 19. Walls/Fences and Sign Plan**



WALLS		PERCENTAGE
1	6'-0" METAL VIEW FENCE WITH CMU COLUMNS. SEE DETAIL #1 ON WALL DETAILS SHEET	+/- 34%
2	4'-0" METAL FENCE OVER 2'-0" CMU WALL WITH COLUMNS. SEE DETAIL #2 ON WALL DETAILS SHEET	+/- 23%
3	3'-0" METAL FENCE OVER 3'-0" CMU SCREENWALL WITH COLUMNS. SEE DETAIL #3 ON WALL DETAILS SHEET	+/- 20%
4	6'-0" CMU WALL. SEE DETAIL #4 ON WALL DETAILS SHEET	+/- 5%
5	PEDESTRIAN GATES. SEE DETAIL #5 ON WALL DETAILS SHEET	+/- 1%
6	5'-0" METAL POOL FENCE. SEE DETAIL #6 ON WALL DETAILS SHEET	+/- 10%
7	4'-0" METAL TOT LOT FENCE. SEE DETAIL #7 ON WALL DETAILS SHEET	+/- 4%
8	SLIDING VEHICULAR GATE. SEE DETAIL #8 ON WALL DETAILS SHEET	+/- 3%

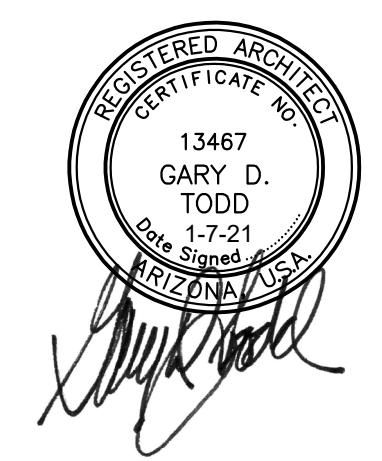
SIGNS	
A	CORNER PLAZA MONUMENT SIGN AT NEC OF 79TH AVENUE AND ENCANTO BOULEVARD
B	PROJECT ENTRY MONUMENT SIGN



**A CORNER PLAZA MONUMENT SIGN** SCALE: 1/4"=1'-0"



**B PROJECT ENTRY MONUMENT SIGN** SCALE: 1/4"=1'-0"

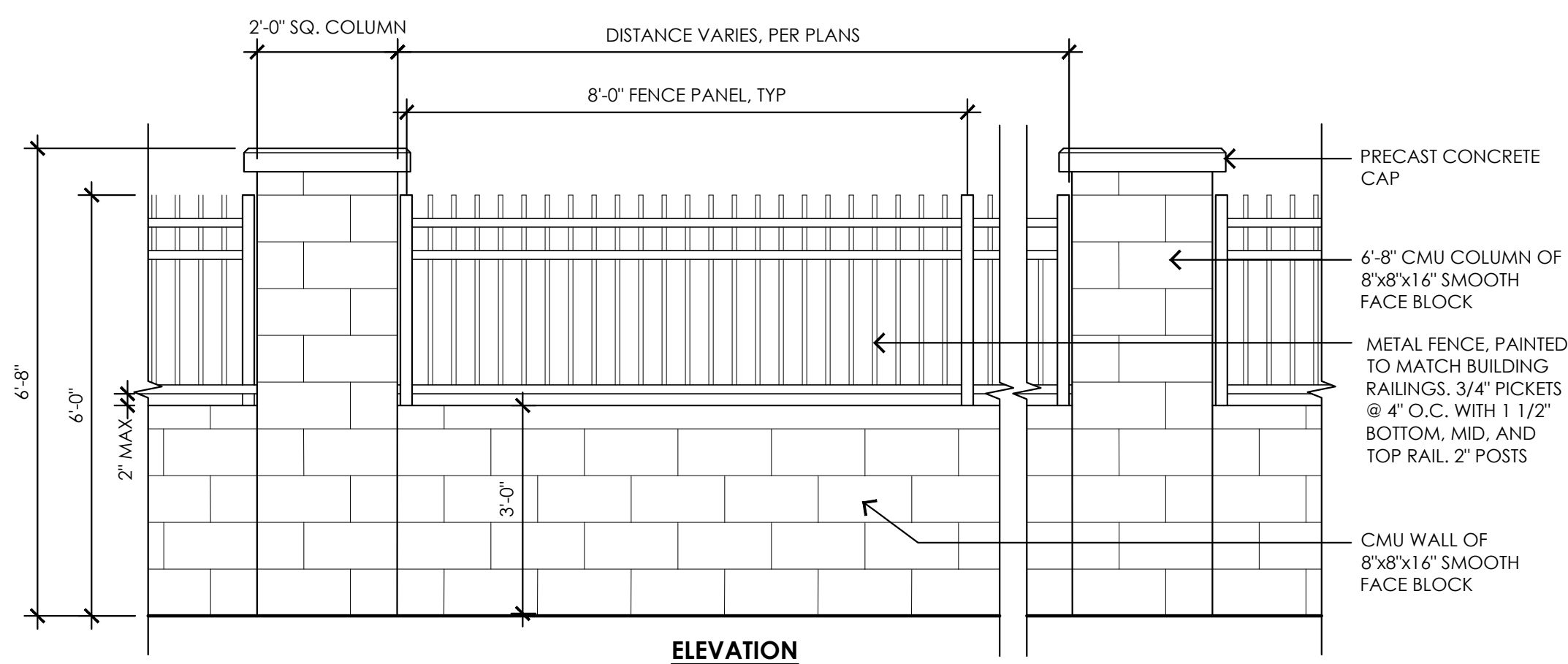


**WALL & SIGNAGE PLAN**

SCALE: 1" = 80'-0"  
0 40' 80' 160' N

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

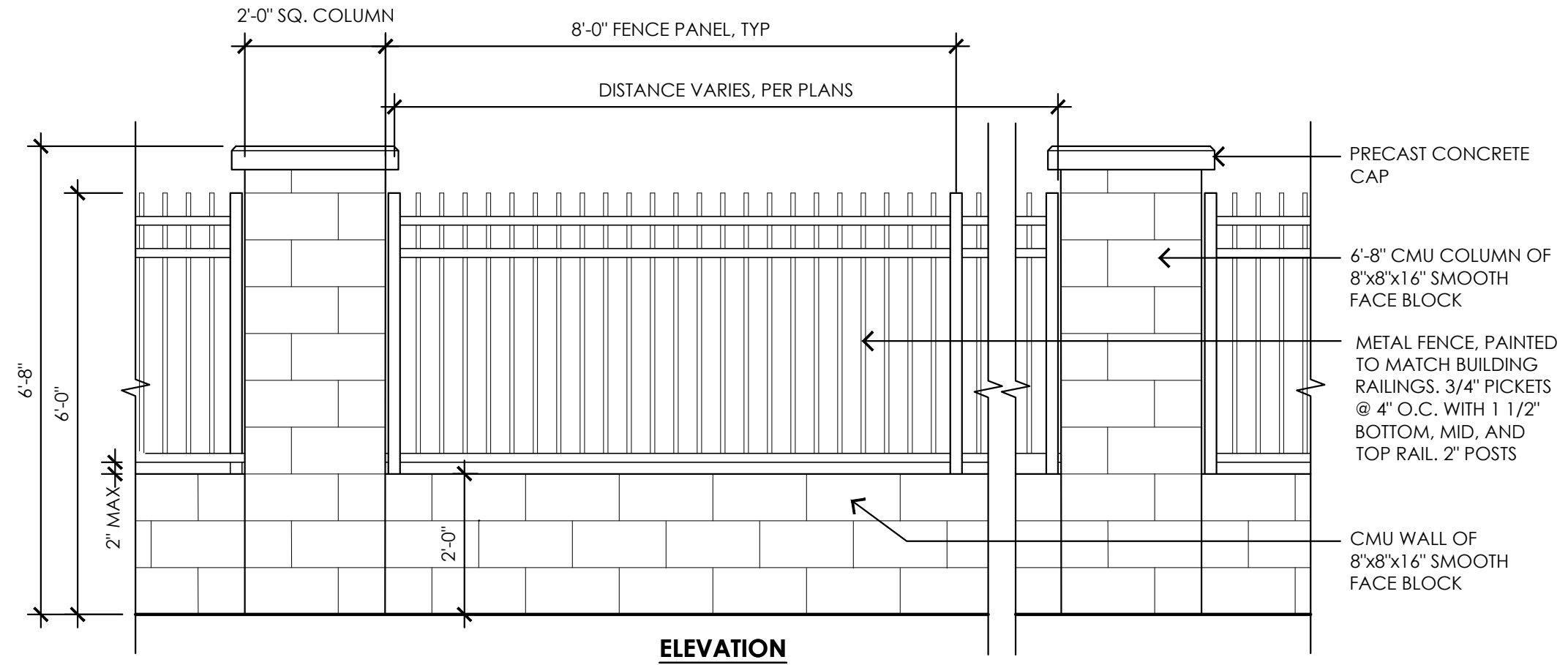
SHEET 19



**3' METAL FENCE OVER 3' CMU WALL**

3

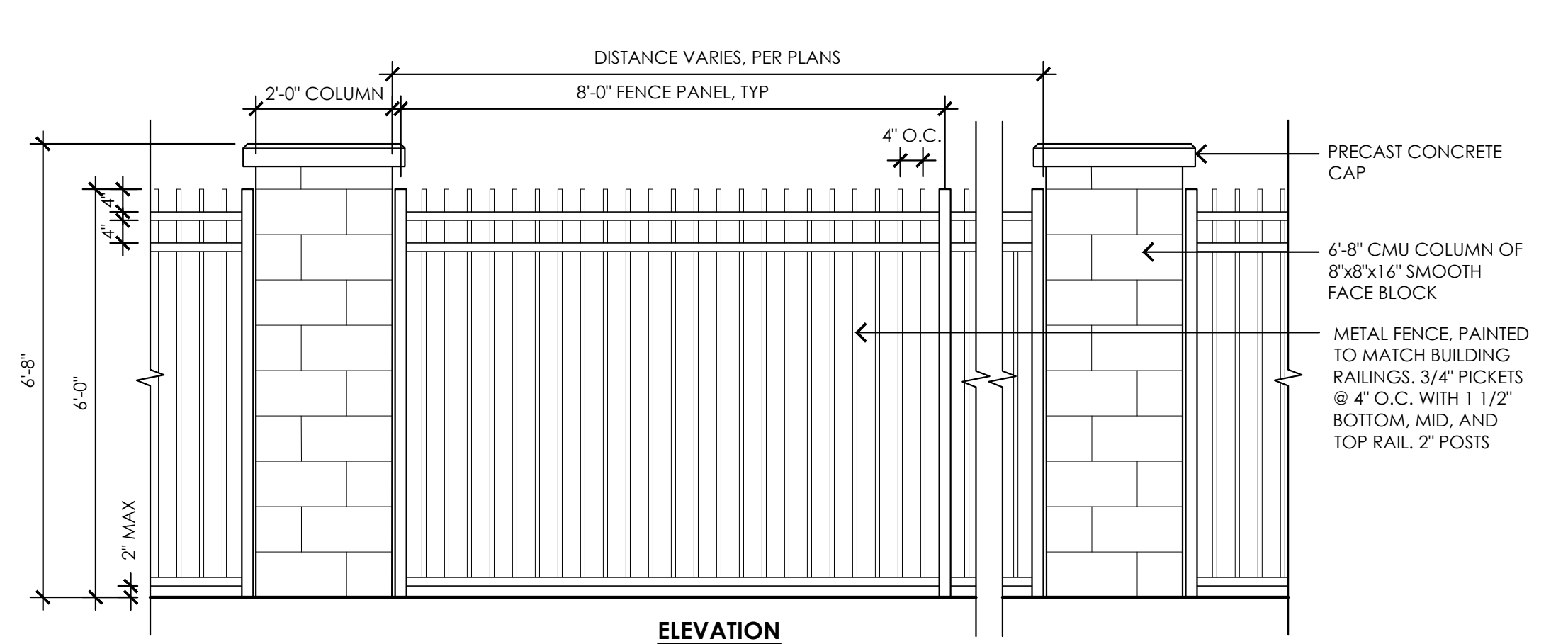
SCALE: 1/2" = 1'-0"



**4' METAL FENCE OVER 2' CMU SCREENWALL**

2

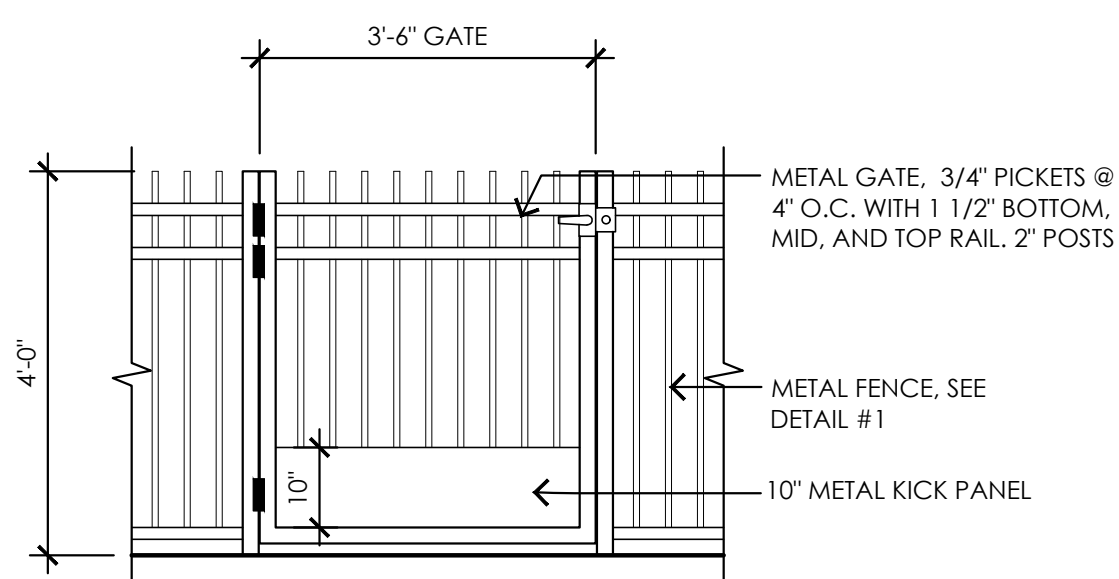
SCALE: 1/2" = 1'-0"



**METAL PICKET FENCE WITH COLUMNS**

1

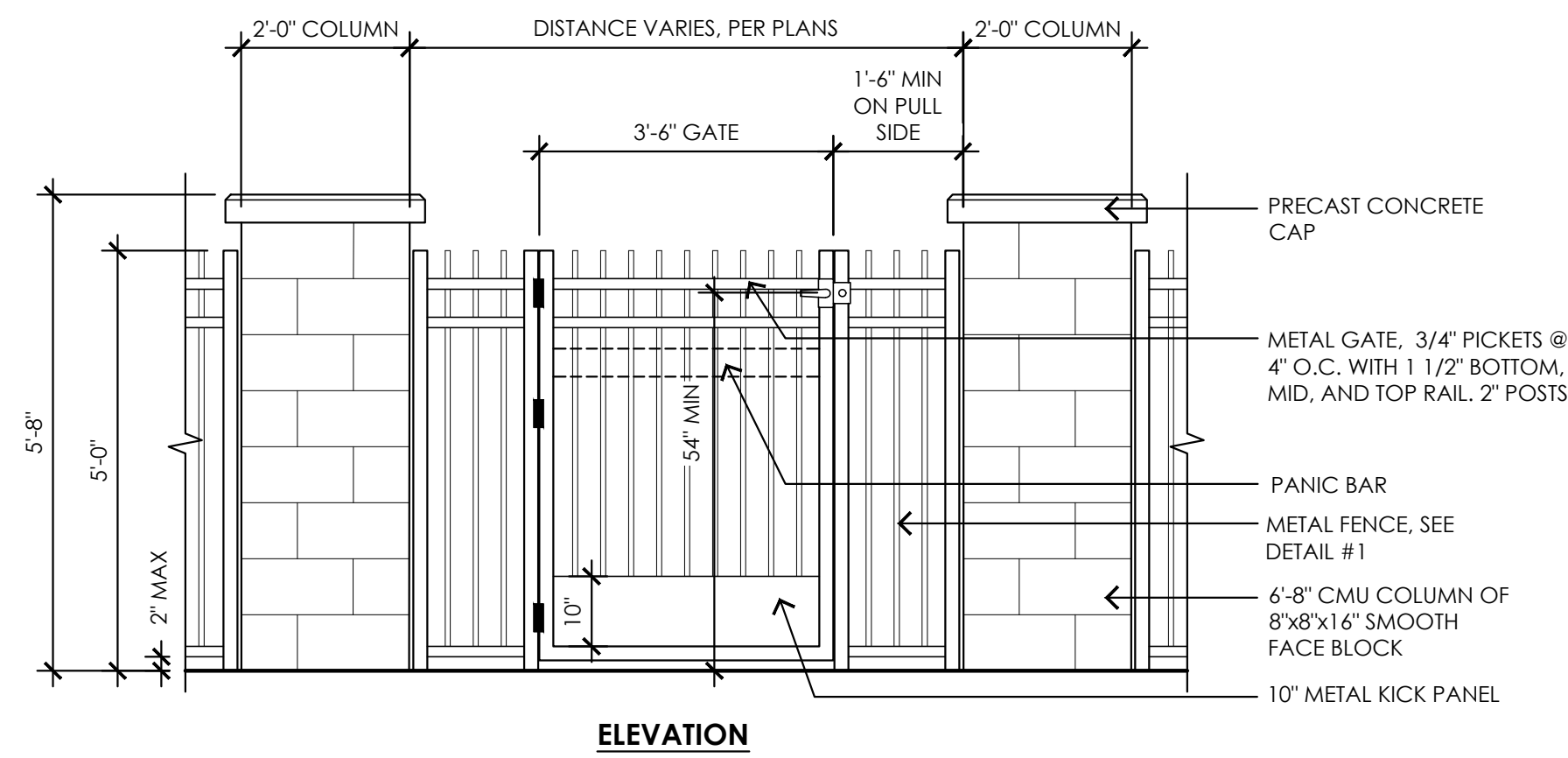
SCALE: 1/2" = 1'-0"



**TOT LOT FENCE AND GATE**

7

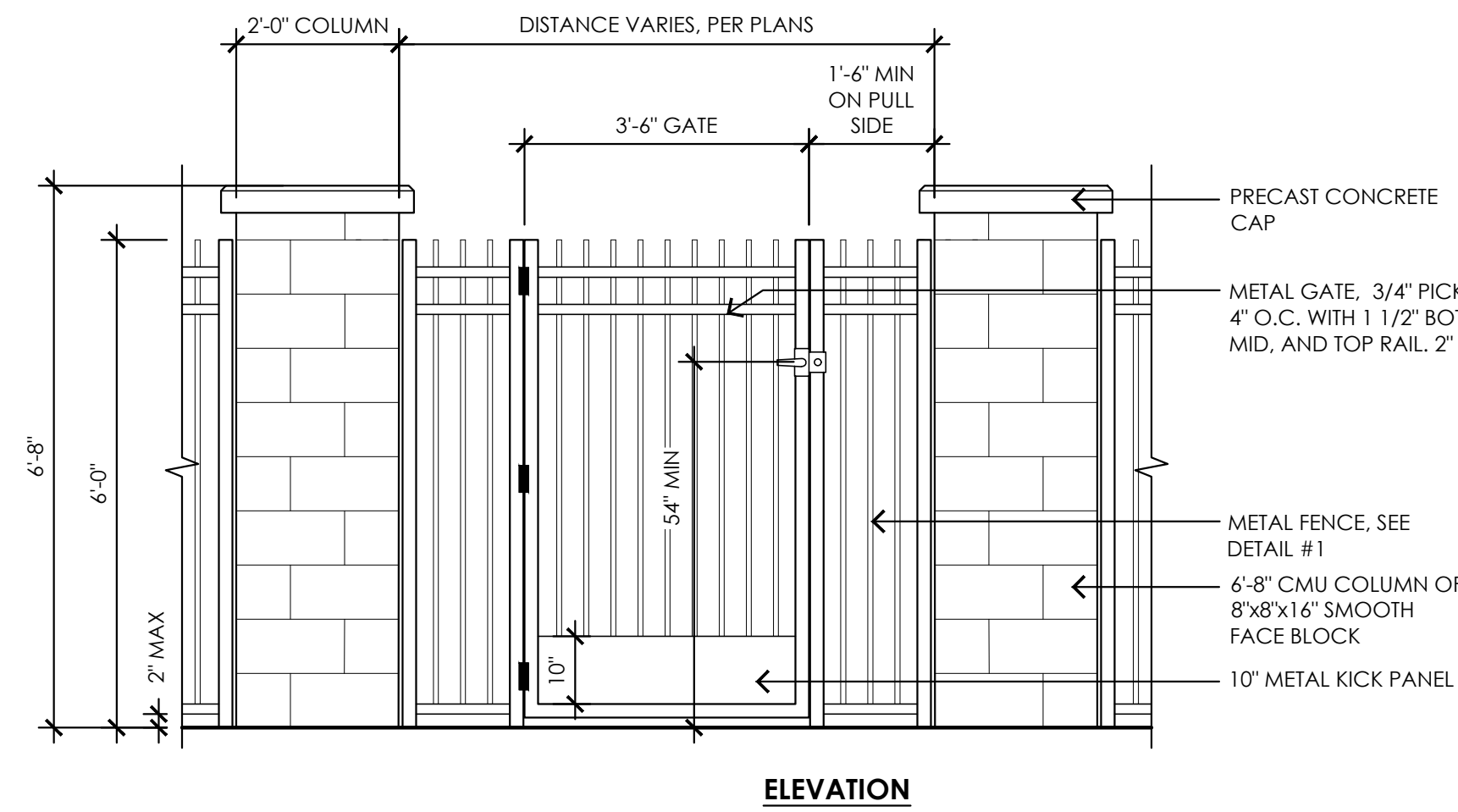
SCALE: 1/2" = 1'-0"



**POOL FENCE AND GATE**

6

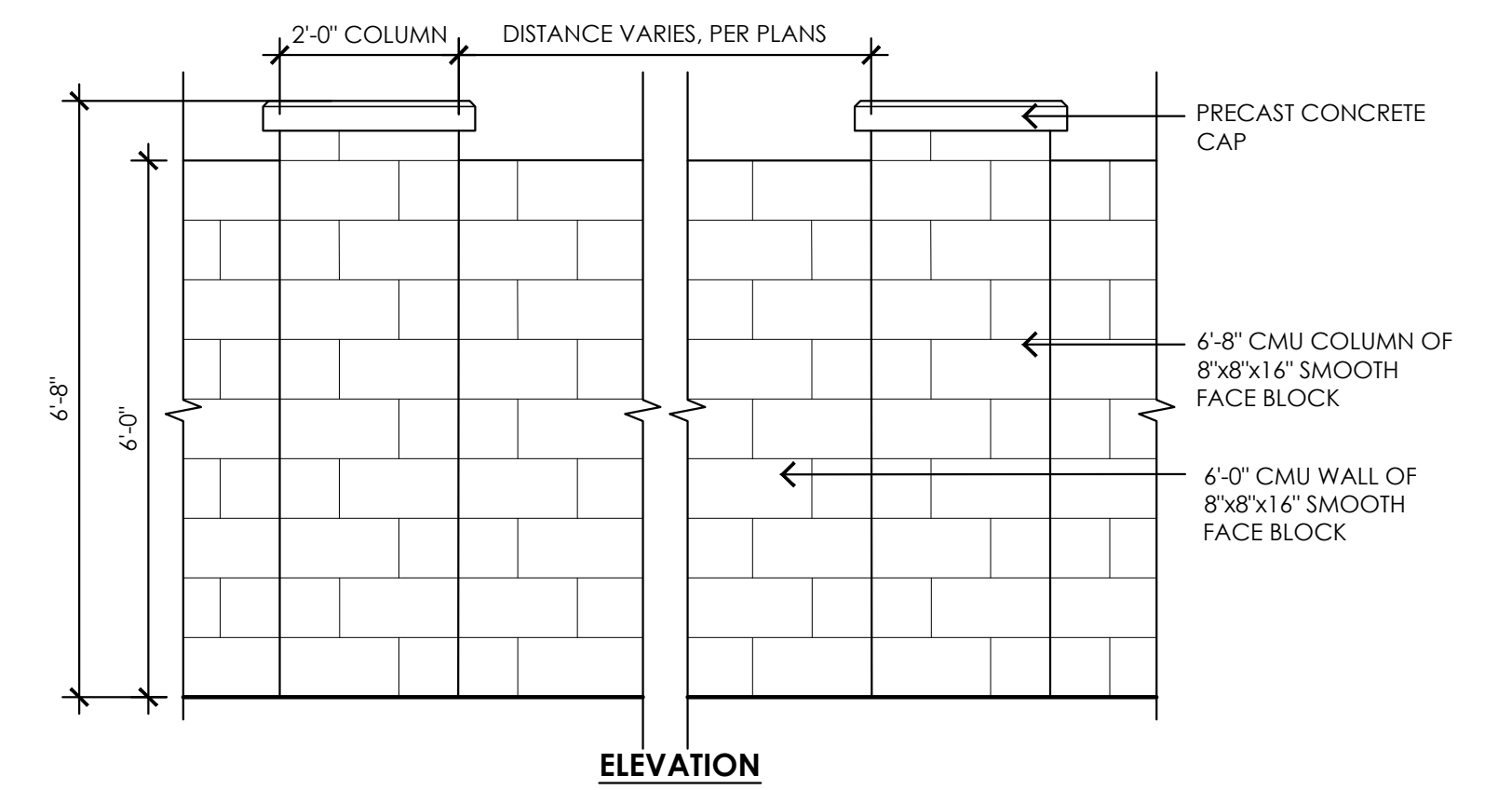
SCALE: 1/2" = 1'-0"



**PEDESTRIAN GATE**

5

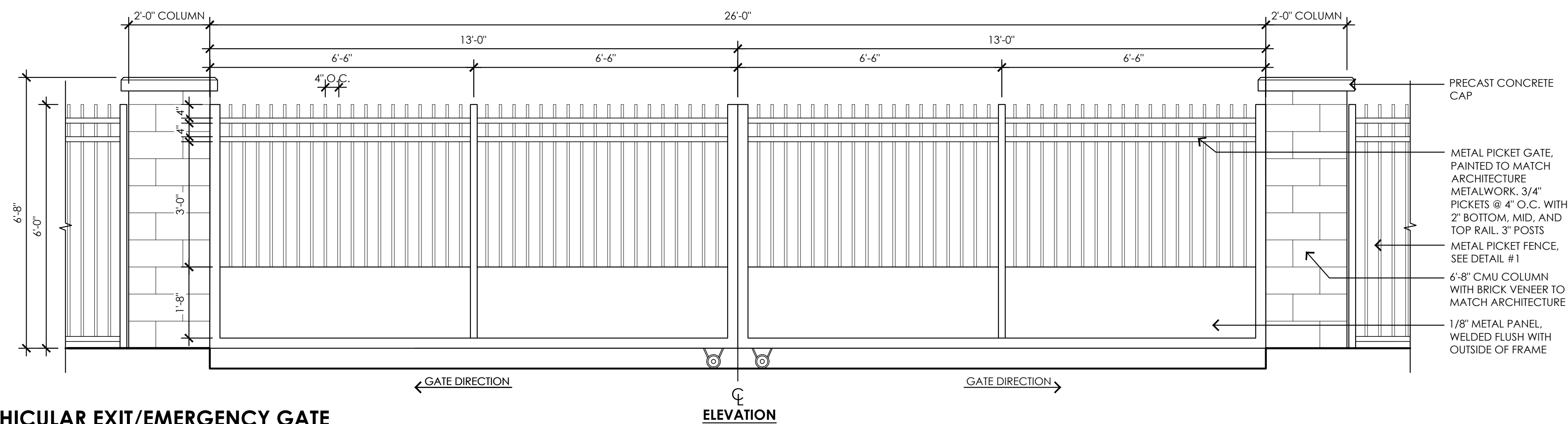
SCALE: 1/2" = 1'-0"



**CMU WALL**

4

SCALE: 3/4" = 1'-0"



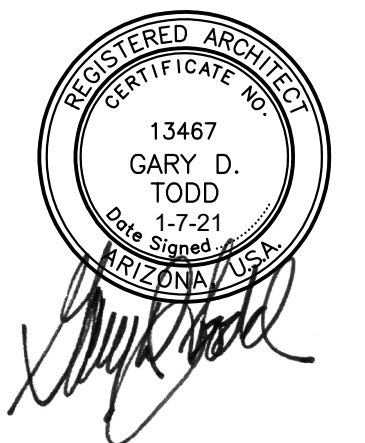
**SLIDING VEHICULAR EXIT/EMERGENCY GATE**

8

SCALE: 1/2" = 1'-0"

**NOTES:**

1. CMU WALLS OF SMOOTH FACE CMU: SUPERLITE BLOCK (OR EQUAL) - GRAY, CHARCOAL
2. METAL FENCING AND GATES PAINT COLOR: SHERWIN WILLIAMS - SW 6250 - GRANITE PEAK



**WALL DETAILS**

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**

SHEET 20

# Appendix

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**APPENDIX A**  
**LEGAL DESCRIPTION**

THAT PORTION OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 1 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING FOR A TIE AT THE NORTH QUARTER CORNER OF SAID SECTION 35, THE NORTHEAST CORNER BEARS NORTH 89 DEGREES 56 MINUTES 36 SECONDS EAST, A DISTANCE OF 2598.21 FEET;

THENCE SOUTH 01 DEGREES 48 MINUTES 08 SECONDS WEST ALONG THE WEST LINE OF SAID NORTHEAST QUARTER, 1007.93 FEET;

THENCE SOUTH 88 DEGREES 11 MINUTES 52 SECONDS EAST, A DISTANCE OF 35.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88 DEGREES 11 MINUTES 52 SECONDS EAST, 255.00 FEET;

THENCE SOUTH 01 DEGREES 48 MINUTES 08 SECONDS WEST, A DISTANCE OF 147.99 FEET TO A POINT OF CURVATURE LEFT;

THENCE ALONG SAID CURVE LEFT HAVING A RADIUS OF 274.50 FEET, A CENTRAL ANGLE OF 51 DEGREES 30 MINUTES 56 SECONDS, AN ARC DISTANCE OF 246.81 FEET TO A POINT OF TANGENCY;

THENCE SOUTH 49 DEGREES 42 MINUTES 47 SECONDS EAST, 254.71 FEET;

THENCE SOUTH 35 DEGREES 13 MINUTES 22 SECONDS WEST, 331.94 FEET;

THENCE SOUTH 52 DEGREES 18 MINUTES 46 SECONDS EAST, 588.03 FEET;

THENCE NORTH 40 DEGREES 17 MINUTES 13 SECONDS EAST, 303.97 FEET;

THENCE SOUTH 49 DEGREES 42 MINUTES 47 SECONDS EAST, A DISTANCE OF 157.08 FEET TO A POINT OF CURVATURE LEFT;

THENCE ALONG SAID CURVE LEFT HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 09 DEGREES 26 MINUTES 53 SECONDS, AN ARC DISTANCE OF 49.47 FEET TO A POINT OF REVERSE CURVATURE;

THENCE ALONG SAID CURVE RIGHT HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 59 DEGREES 09 MINUTES 18 SECONDS, AN ARC DISTANCE OF 20.65 FEET TO A POINT OF TANGENCY;

THENCE SOUTH 00 DEGREES 00 MINUTES 22 SECONDS EAST, A DISTANCE OF 482.51 FEET TO A POINT OF CURVATURE RIGHT, SAID POINT BEING ON THE NORTH RIGHT OF WAY LINE OF ENCANTO BLVD AS RECORDED IN INSTRUMENT NO. 87-023218, M.C.R.;

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, ON SAID CURVE RIGHT, HAVING A RADIUS OF 34.42 FEET, A CENTRAL ANGLE OF 54 DEGREES 26 MINUTES 15 SECONDS, AN ARC DISTANCE OF 32.70 FEET;

THENCE SOUTH 89 DEGREES 59 MINUTES 38 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, 577.30 FEET TO A POINT ON A CURVE TO THE RIGHT HAVING A RADIAL BEARING OF NORTH 42 DEGREES 30 MINUTES 32 SECONDS EAST, LYING ON THE NORTH RIGHT OF WAY LINE AS RECORDED IN INSTRUMENT NO, 87 023218 M.C.R.;

THENCE ALONG SAID NORTH RIGHT OF WAY ON SAID CURVE RIGHT HAVING A RADIUS OF 24.42 FEET, A CENTRAL ANGLE OF 47 DEGREES 29 MINUTES 06 SECONDS, AN ARC DISTANCE OF 20.24 FEET;

THENCE SOUTH 89 DEGREES 59 MINUTES 38 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 41.16 FEET TO A POINT ON A CURVE RIGHT HAVING A RADIAL BEARING OF SOUTH 89 DEGREES 59 MINUTES 38 SECONDS WEST;

THENCE ALONG SAID NORTH RIGHT OF WAY LINE ON SAID CURVE RIGHT HAVING A RADIUS OF 24.42 FEET, A CENTRAL ANGLE OF 47 DEGREES 29 MINUTES 06 SECONDS AN ARC DISTANCE OF 20.24 FEET TO A POINT OF TANGENCY;

THENCE SOUTH 89 DEGREES 59 MINUTES 38 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, 562.16 FEET;

THENCE NORTH 44 DEGREES 06 MINUTES 07 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 29.23 FEET TO A POINT ON THE EAST LINE OF THE WEST 35.00 FEET OF SAID NORTHEAST QUARTER OF SECTION 35;

THENCE NORTH 01 DEGREES 48 MINUTES 08 SECONDS EAST ALONG SAID EAST LINE, 1,575.35 FEET TO THE TRUE POINT OF BEGINNING.

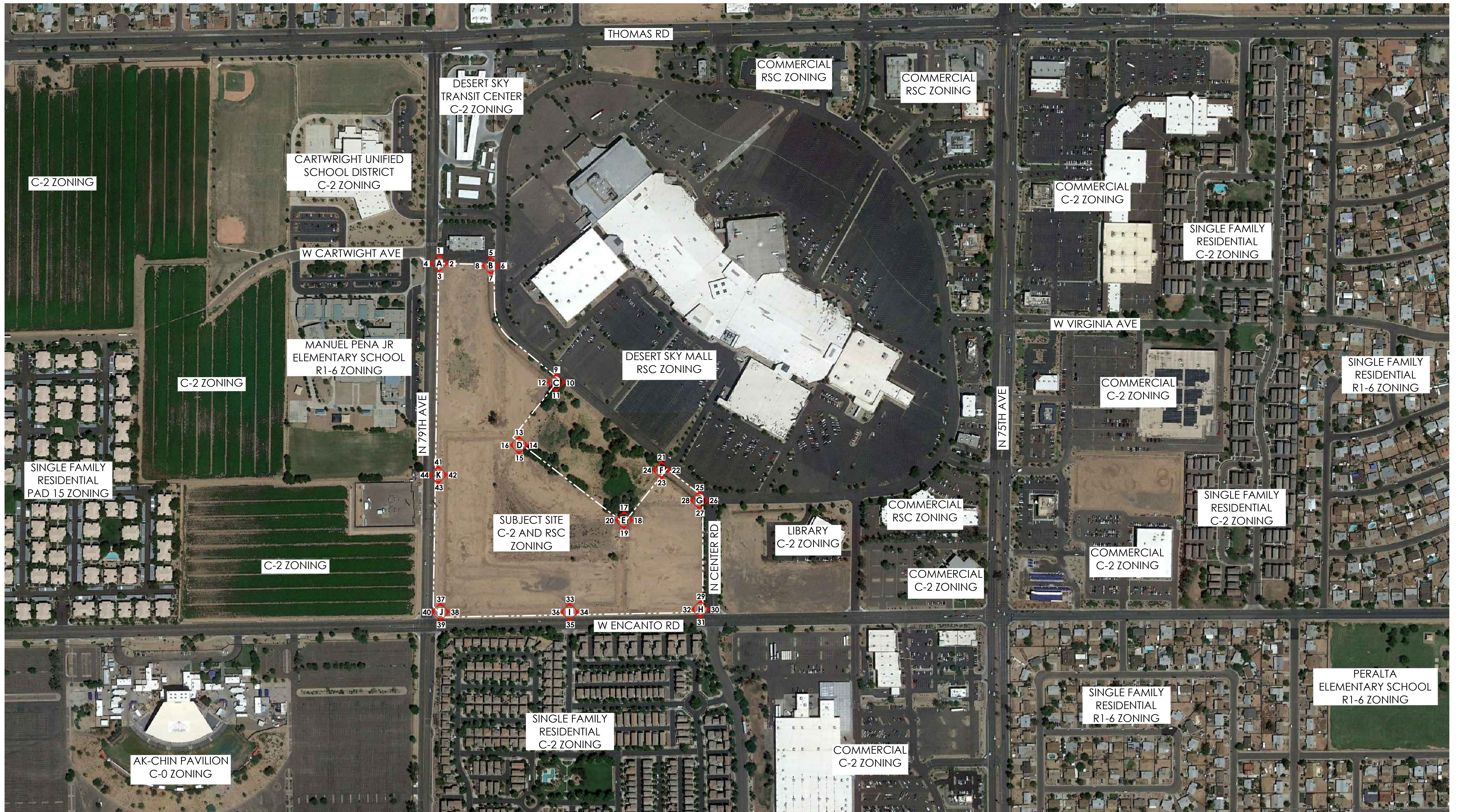


**APPENDIX B**

**COMPARATIVE DEVELOPMENT STANDARDS TABLE**

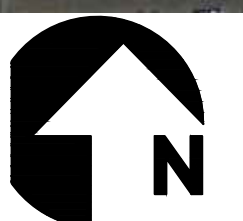
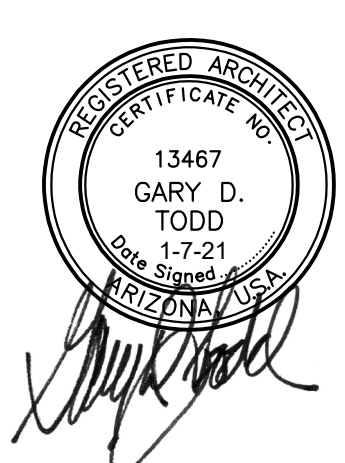
<i>Development Standard</i>	<i>Existing C-2 (R-3 PRD)</i>	<i>Existing RSC</i>	<i>WUCODE T5:3</i>	<i>PUD</i>
<b><i>Building Height</i></b>				
Max. Building Height	2 stories or 30 FT for first 150 FT	56 FT	48 FT max.	48 FT max.
Building Stepback	1 FT in 5 FT increase to 48 FT high, 4-story max.	N/A	No requirement	No requirement
<b><i>Lot Coverage</i></b>				
Max. Lot Coverage	45%	40%	80%	Family: +/- 23.44% Senior: +/- 22.41%
<b><i>Density</i></b>				
Max. Density	15.23 du/ac; 17.40 with bonus	N/A	No requirement	Family: +/- 20 du/ac Senior: +/- 26 du/ac
<b><i>Building Setbacks</i></b>				
Primary Frontage (79 <sup>th</sup> Avenue)	10 FT	50 FT	12 FT max.	44 FT max.
Secondary Frontage (Encanto Boulevard)	10 FT	50 FT	10 FT max.	27 FT max.
North Center Road	No requirement	50 FT	10 FT max.	20 FT min.
All Other Lot Lines	No requirement	50 FT	0 FT	30 FT min.
<b><i>Parking Setbacks</i></b>				
Primary Frontage (79 <sup>th</sup> Avenue)	N/A	N/A	30 FT min. or behind building	62 FT parking setback (measured from existing ROW as of Jan. 8, 2021), except that max. 28 parking spaces shall be permitted within the parking setback
Secondary Frontage (Encanto Boulevard)	N/A	N/A	20 FT min., 10 FT landscape setback from street ROW	23 FT parking setback (measured from existing ROW as of Jan. 8, 2021), except that a max. 70 parking spaces shall be permitted within the parking setback
North Center Road	N/A	N/A	0 FT	15 FT min.
All Other Lot Lines	N/A	N/A	0 FT	15 FT min.

**APPENDIX C**  
**CONTEXT PHOTOGRAPHS**

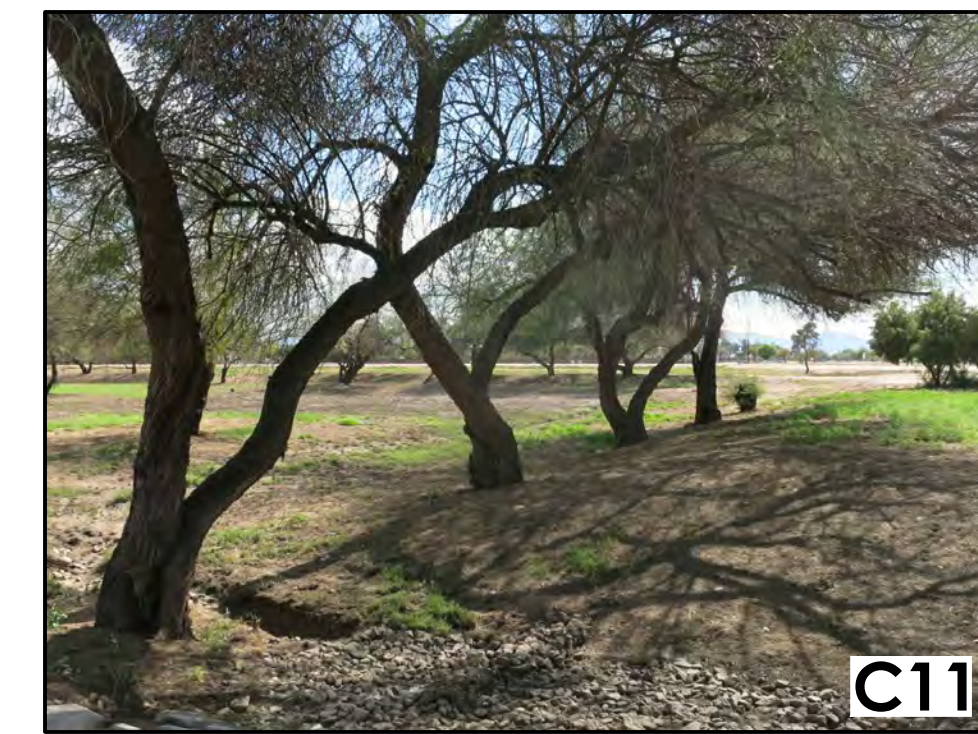


**AERIAL SITE CONTEXT PLAN**

**SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.**



SHEET  
**5**



# CONTEXT PHOTOGRAPHS

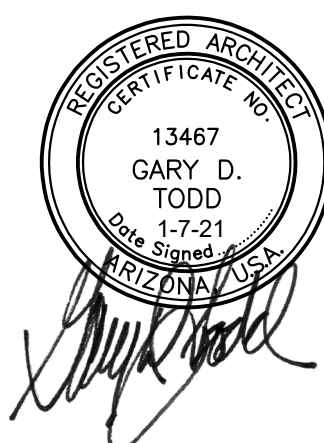
# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.

**TODD & ASSOCIATES, INC.**

ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
602.952.8280p www.toddassoc.com

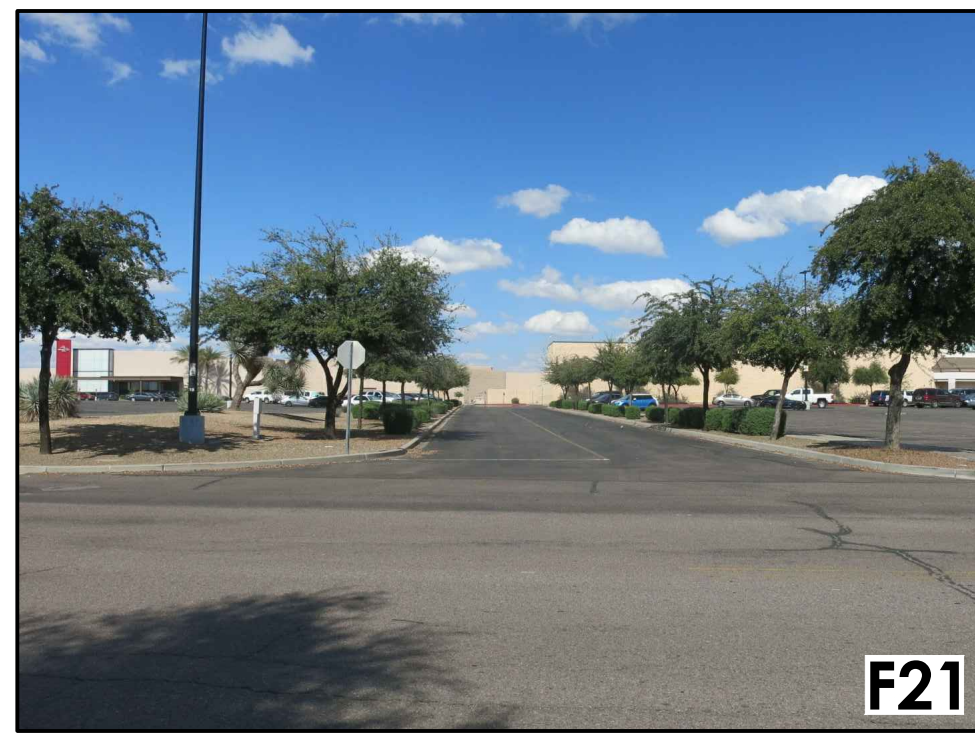
Phoenix, Arizona  
SCHEMATIC DESIGN  
Project No. 19-2039-01 Date 1-08-2021

3rd P.U.D. SUBMITTAL  
REZONING CASE Z-40-20-7



SHEET  
**6**





F21



F22



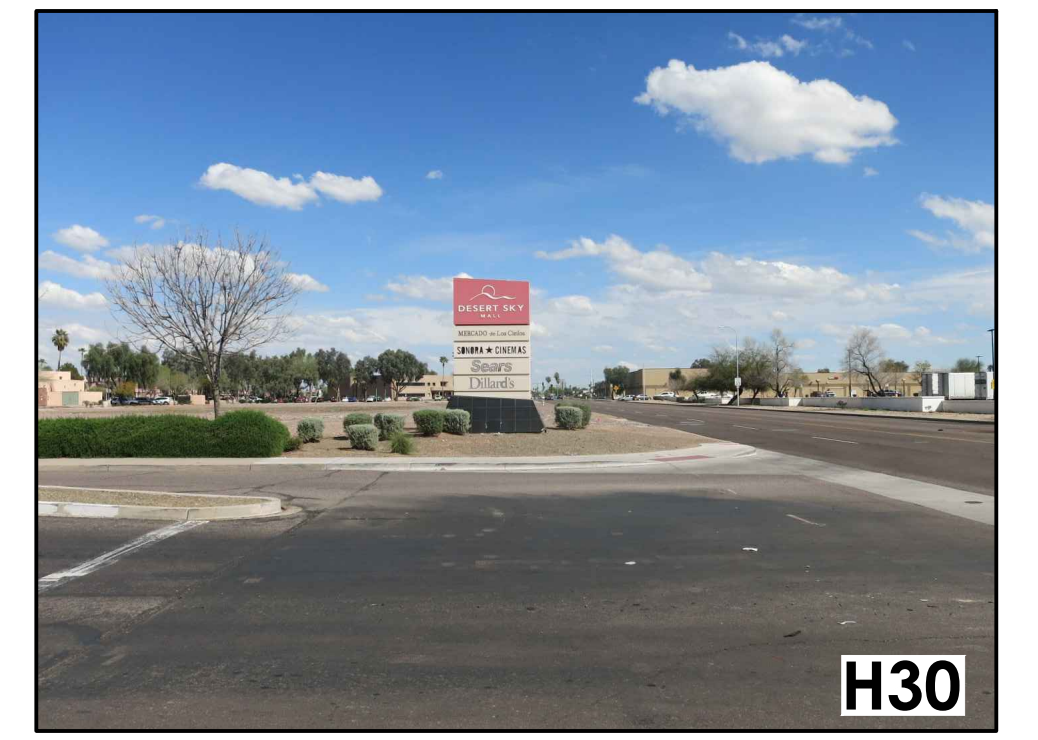
G25



G26



H29



H30



F23



F24



G27



G28



H31



H32



J37



J38



J39



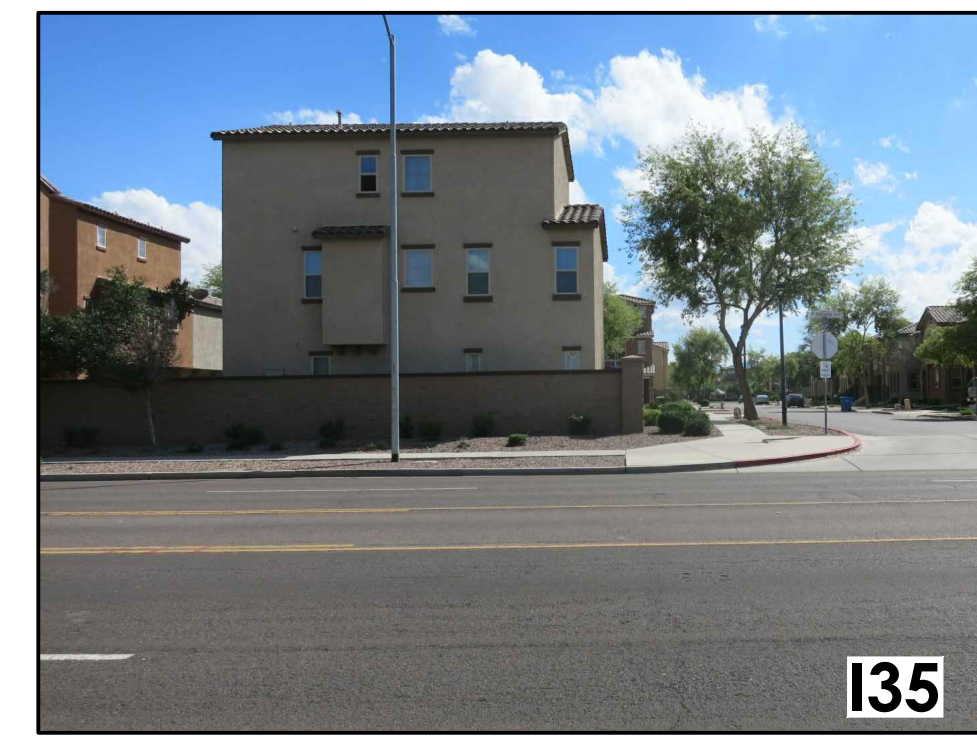
J40



I33



I34



I35



I36

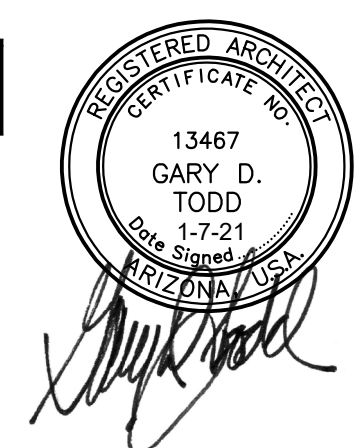
# CONTEXT PHOTOGRAPHS

## SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.

**TODD & ASSOCIATES, INC.**  
 ARCHITECTURE PLANNING LANDSCAPE ARCHITECTURE  
 602.952.8280p www.toddassoc.com

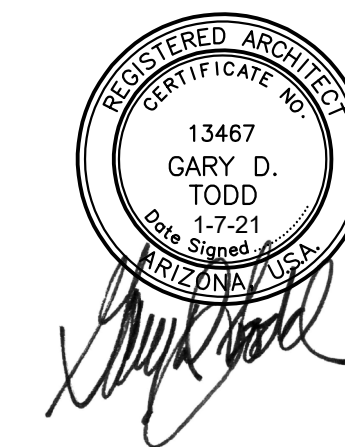
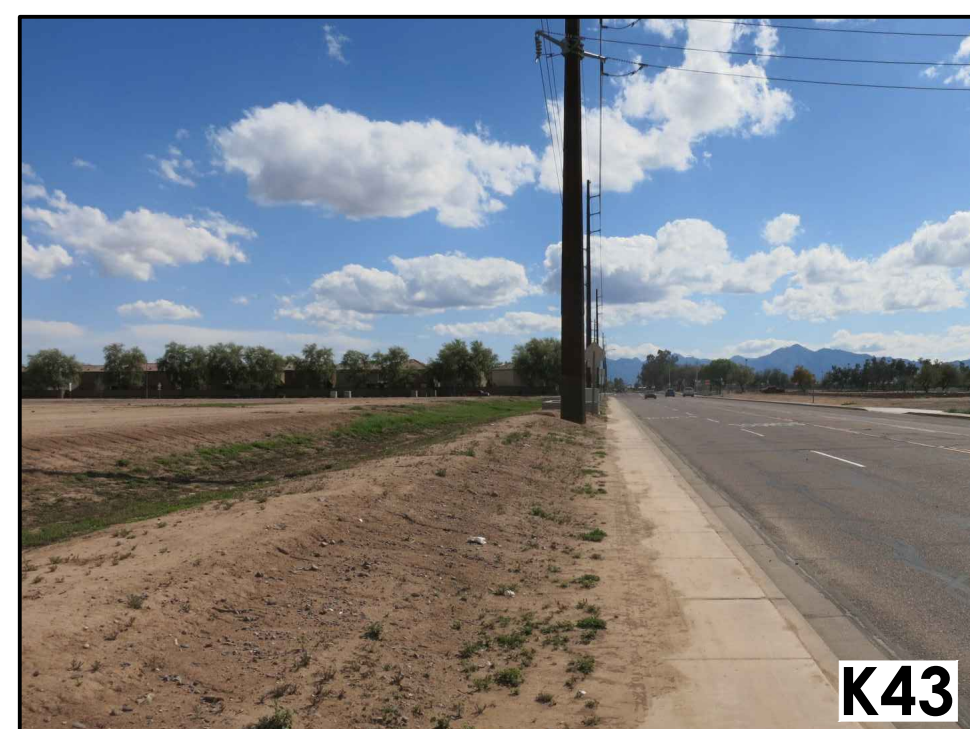
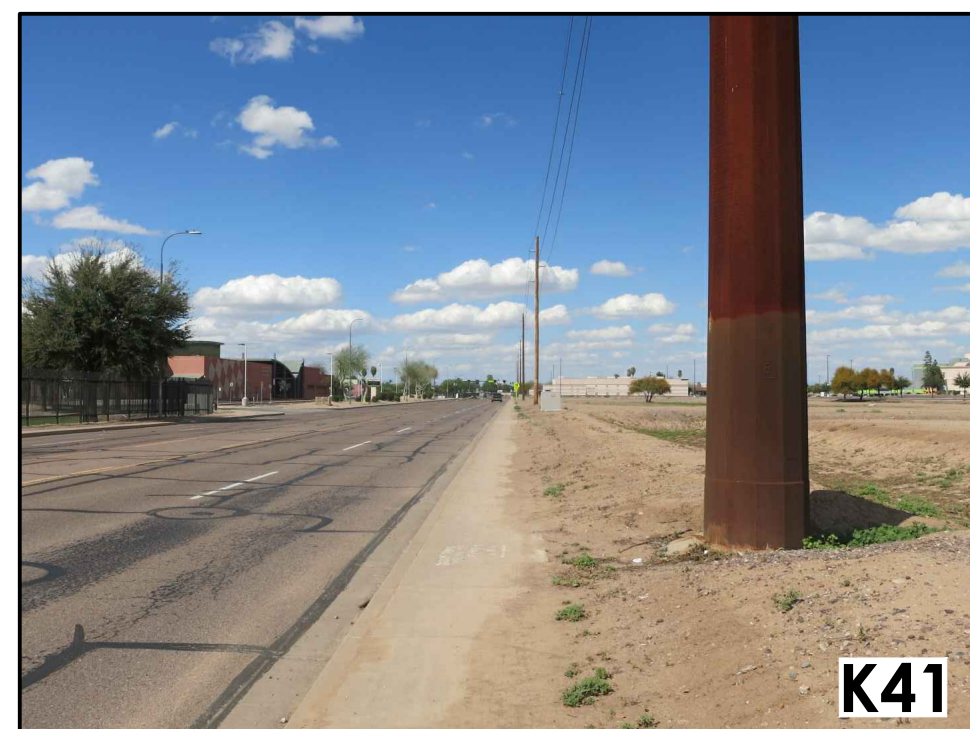
Phoenix, Arizona  
 SCHEMATIC DESIGN  
 Project No. 19-2039-01 Date 1-08-2021

3rd P.U.D. SUBMITTAL  
 REZONING CASE Z-40-20-7



SHEET  
**7**





**CONTEXT PHOTOGRAPHS**

# SENIOR/FAMILY HOUSING @ NEC 79TH & ENCANTO BLVD.

SHEET  
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