

GRAND CANYON UNIVERSITY



PUD ZONING CASE No. Z-3-C-10-5

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PLANNED UNIT DEVELOPMENT DISCLAIMER

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the City of Phoenix Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary such as, but not limited, to right-of-way abandonments.

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A. PURPOSE AND INTENT

1. Project Overview and Goals

On behalf of Grand Canyon University (“GCU”) we are proposing to rezone approximately 255.06 gross and 239 net acres from PUD (Planned Unit Development), R1-6 (Single Family Residence District), PAD-12, (Planned Area Development), R-3 (Multi-family Residence District), R-3A (Multifamily Residence District) R-4 (Multifamily Residence District), R-4A (Multifamily Residence-General), R-5 (Multifamily Residence District), C-O (Commercial Office District-Restricted Commercial), CP/GCP (Commerce Park/General Commerce Park) and C-2 (General Commercial) to PUD to enlarge the existing PUD for GCU by approximately 47.14 gross and 42.83 net additional acres. This PUD is generally located on the north side of Camelback Road and south of Missouri between 35th Avenue and the I-17 Freeway. The existing PUD is the campus of GCU and the purpose of this request is to include both adjacent property and detached acreage within the immediate area and adjacent to the I-17 Freeway frontage that is now owned or controlled by GCU into the university campus. The added property will become subject to a set of standards and design guidelines set forth in the PUD, allowing for consistent and compatible development that accommodates the continuing growth of GCU.

An indication of the rate of growth for GCU is the rapid increase in the student population attending on campus classes, excluding the on-line students. The initial PUD in 2010, Z-3-2010, projected 1,700 on campus students and 615 dormitory rooms. Campus enrollment is now approximately 16,000 students with approximately 11,000 students expected to live on campus by 2016. The additional land to be incorporated into the overall campus will accommodate the growth needed for the new students and associated dorms, faculty, administration, amenities and educational facilities.

The goals of the PUD are as follows:

- To create a campus that contains the facilities needed by a university of regional and national recognition.
- To provide for the continuing rapid growth of GCU while maintaining a desirable university campus atmosphere.
- To define a set of development standards that will help guide future build-out of the GCU campus.
- To promote quality development sensitive to the existing neighborhood and the City of Phoenix General Plan through a comprehensive land use plan. The comprehensive site plan has provided sizeable setbacks, a building setback regime, extensive landscaping, and perimeter treatment. These enhancements are designed to prevent any real or perceived adverse impacts on the surrounding residential properties.
- To promote an architecturally innovative and aesthetically pleasing campus with appropriate consideration given to building materials, design and site layout.

- To promote a beautifully designed, landscaped and maintained development that complements and enhances the environment.

2. Site Planning Concepts

As stated above, GCU has experienced significant and rapid growth over the past few years, and several site planning strategies have been developed in order to accommodate this growth in a coordinated way. These strategies aim to:

- Strengthen the educational presence and prestige of GCU along Camelback Road, while retaining iconic elements such as the rows of palm trees.
- Increase height and density around courtyards, malls and quads to create identifiable outdoor spaces that enhance the quality of life for those who use the campus and contribute to the university's identity.
- Maintain a variety of outdoor sports facilities in order to support the university's traditional emphasis on athletics and outdoor activity.
- Employ landscape strategies that both establish unique zones across the campus, as well as knit these interrelated zones together.
- Provide a significant spatial and landscape buffer between the campus and adjacent residential districts to reduce any perceived negative impacts between dissimilar land uses.
- Maintain a vehicle-free campus core that encourages walking and cycling within the core. The core is the main north-south spine of pedestrian circulation, extending from the security station that stops traffic at the main 33rd Avenue entrance to the Student Union building, and adjacent buildings.
- Incorporate additional land that will allow for the expansion of the facilities needed by the University, including student amenities, sporting venues, and other facilities needed to support the multiple facets of community life.
- Provide for the addition of research and business development facilities.
- Continue and expand, where possible, GCU's traditional practice of involving the surrounding neighborhoods.

These strategies will help the university increase its stature and accommodate growth on an infill location in a way that is responsive to its environment, surroundings, neighborhoods and climate.

Main Entrance and Gateway to Campus

The 33rd Avenue entry from Camelback Road has been the traditional main entrance to the campus for decades. Flanked by formal rows of Mexican fan palms leading to a manned security station, this alignment continues into the heart of the campus as a pedestrian mall terminating at

the Student Union. The ceremonial aspect of this entrance is further reinforced by recently installed monument signs along Camelback Road, which are enhanced by masonry perimeter walls. Future improvements will continue to enhance and celebrate this entrance as the main public gateway into the university.

The 33rd Avenue alignment transitions students, faculty, administration and visitors from automobile- to pedestrian-oriented circulation at the guard station, and becomes the primary north/south corridor on campus. The pedestrian nature of this mall has been strengthened over time through building placement that reinforced the spatial perception of this linear outdoor corridor. Landscape treatment will further enhance the pedestrian experience along this alignment. The tall, narrow palms along the vehicular path adjacent to Camelback Road are the most prominent landscape feature establishing this gateway, and will be maintained into the future. Additional tree cover will be added over time to extend this formal, linear planting pattern into the heart of campus. Conceptually, this is intended to enhance the collegiate mall experience of this axis, as well as to provide shade to encourage pedestrian and leisure use.

Community perception of the campus is announced primarily by the frontage along Camelback Road, and to a lesser degree the 35th Avenue frontage. The 33rd Avenue entrance from Camelback Road is a key to establishing the formal presence of the campus. The monument signage, double rows of palm trees, and the proposed perimeter fencing are the three major landscape design elements that will be most visible to passersby. However, as the campus grows north along 35th Avenue and east and west along Camelback Road, the traditional landscaping will change to reflect the increasing distance from the main entrance and symbolic center of the university. However, the use of consistent visual cues, such as the standard perimeter fencing, unique signage, and consistent development standards will continue to tie the campus together.

Campus Malls, Courtyards and Quads

A university's identity is, in large part, reflected by the built environment of its campus. From a site planning standpoint, several traditional elements have been employed at our nation's oldest universities in order to establish their campuses as academic retreats from everyday life. Some of these elements – pedestrian mall circulation, internal courtyards, and outdoor quadrangles (“quads”) framed by buildings – are common to universities ranging from Harvard to Arizona State University, and are a key component in communicating the atmosphere and daily rhythms of academic life.

This PUD is unique in that it is not tied to a specific building or single use. Rather, it is intended to guide future development and redevelopment within a 63-year old urban campus as it grows and matures. The site is effectively an infill location that will be slowly transformed over time. The recent additions of classroom buildings, dormitories, parking structures, an event center, and a recreation center do not represent the completion of the campus. As GCU's campus continues to grow, it will be important to reinforce, articulate, and more clearly define the physical relationships that help to form a great collegiate environment.

GCU has now developed or redeveloped the land between 35th Avenue and Little Canyon Trail, and from Camelback Road to Missouri Avenue, with some significant projections beyond those general boundaries all the way to the I-17 Freeway. With this proposed PUD expansion, the campus will continue to extend east of Little Canyon Trail to incorporate newly acquired property into the overall campus. In some locations, the new land acquisitions will be utilized as

short term interim surface parking and sport fields. The land uses and development standards previously approved will be extended to the additional property, so buildings may be added in the future as the student population grows. However, there will be some modifications of standards in portions of the added land, where warranted by evolving circumstances, such as freeway frontage, more intense adjacent uses, or the presence of existing buildings that do not meet the standards GCU previously set. These standards will be discussed on an individual basis where they differ from the standards set in an earlier PUD. Care is also being taken to ensure university property and development is in harmony with privately held properties nearby.

Landscape Design Concepts

As the GCU campus has been developed intermittently over the past 63 years, a variety of landscape conditions have been introduced ranging from lush Mediterranean landscapes to drought tolerant xeriscapes to irrigated lawns framed by tall, slender palms. As a university campus with a strong history of athletic achievement, there are also expansive areas of turf sports fields. This PUD embraces the concept of designing unique landscape zones across the campus; landscape materials should help define these smaller spaces and give them a sense of identity. In this way, the larger campus can be broken down into discreet zones that are more readily embraced by the student population. This goes hand in hand with the massing strategy of arranging buildings to reinforce mall, courtyard and quad relationships.

Recognizing the eclectic context, and the fact that future development will happen via discrete projects over time, the landscape design concept envisioned in this PUD involves several distinct strategies:

- Weaving together disparate existing environments when new construction occurs
- Establishing identifiable public spaces within the campus core and reinforcing the mall and quad site planning relationships
- Using common landscape and site wall elements to help establish a more unified public interface on Camelback Road
- Provide a landscape buffer, distance, and/or screening to adjacent residential districts

It is not envisioned that the campus will be treated as a ‘blank slate,’ rather; future landscape design will work to integrate the existing contextual relationships.

Concurrently, landscape design will need to complement building placement in order to more clearly define pedestrian spaces in the form of malls and quads. From a landscape perspective, this will entail establishing distinctive plant palettes for each corridor or outdoor gathering space. Palettes may be chosen to express variety, seasonal change, spatial enhancement, shade, water efficiency, color, and smell among other attributes. The goal is to establish identifiable public spaces with unique identities that pedestrians will want to use on a daily basis.

Along Camelback Road, in the proximity of the main entrance, the existing canopy of tall Mexican fan palms will be maintained, and complemented with understory flowering trees, groundcover, shrubbery and a new perimeter site wall. The existing palms, which are evenly

spaced at approximately 24 feet on center, are a recognizable feature of the neighborhood and will provide continuity between the historical context and future construction.

Little Canyon Trail (“LCT”) has landscaping maintained by GCU. Although LCT was originally the easterly boundary of the campus, the campus will now have significant frontage and facilities on both sides of the Trail.

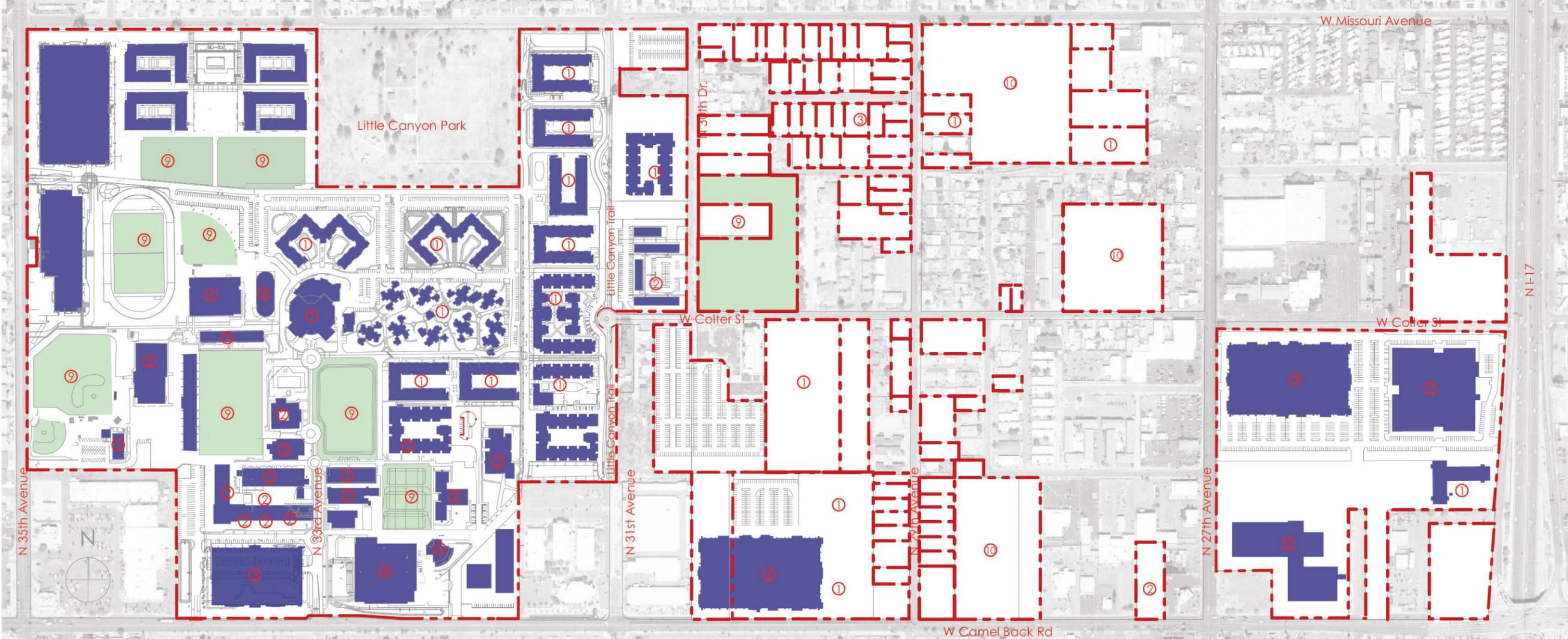
B. LAND USE PLAN

Generally speaking, outdoor athletic fields are located towards 35th Avenue and the west side of campus, student housing exists along the northern perimeter and eastern perimeter of Little Canyon trail, and academic facilities, administration and parking facilities are concentrated in the center and southern parts of campus. The existing and proposed land uses which are immediately east of Little Canyon Trail along Colter Street and 30th Drive include (but are not limited to) athletic intermural fields, food services uses, classrooms and dormitories. Automobile circulation and parking are confined to the perimeter of the campus, allowing an internal core for pedestrian and cycling. The land added to the campus with this PUD will be initially used for a new dormitory and surface parking for students and employees. Over time additional structured parking may be provided to accommodate the need created by additional classrooms, dormitories, food services, retail outlets, recreation and entertainment, and other ancillary needs of university students and faculty. Additional uses may include faculty housing and research facilities.

1. Proposed Use Categories

The entire site will continue to be occupied by GCU and related facilities deemed appropriate to the vision and growth of the university, including but not limited to classrooms, dormitories, research facilities, sports fields, public assembly venues, residences, offices, cafeterias and other food services, retail and wholesale sales, business development, communications center, job training facilities, surface parking, parking structures, and accessory uses. Entertainment uses will also be permitted to strengthen the campus as a place where the needs of the students can be met without driving. Further, GCU proposes to build two pedestrian bridges over the Little Canyon Trail to better connect the campus on either side of the trail. The bridges would be fifteen (15) feet above the ground plane, between twelve (12) and fourteen (14) feet wide, and constructed in steel and concrete. A detailed list of uses is further referenced in Section F. There are also administrative offices located at the northeast corner of 27th Avenue and Colter Street. The detached site situated along the I-17 Freeway frontage provides for retail uses, the GCU hotel, as well as facilities for training, administrative office spaces and parking. (*See*, Land Use Plan and Conceptual Site Plan)

3. Conceptual Site Plan



- ① student housing
- ② classrooms/offices
- ③ parking structure
- ④ event center/theater
- ⑤ gymnasium/clubhouse
- ⑥ recreation center
- ⑦ student union
- ⑧ food services
- ⑨ play fields
- ⑩ future use to be determined

C. SITE CONDITIONS AND LOCATION

1. Site Acreage, Location & Topography

GCU traces its origins to 1949 when the Grand Canyon College was founded by the Arizona Southern Baptist Convention. After two years in Prescott, Arizona, the college was moved to its current location on the northeast corner of 35th Avenue and Camelback Road. The site has been in continuous operation as post-secondary educational facility since that time, making the campus an integral part of the neighborhood. The school became a university in 1989, and has been under its current ownership since 2004.

The land owned by GCU is developed (or in the process of being developed) with buildings, hardscape, and landscape improvements. The land is virtually flat, with no significant topographic features or watercourses. GCU is located in the Alhambra Village, and is surrounded by a variety of uses including single-family homes, a church, multi-family homes, commercial, freeway, and a City of Phoenix Park.

The campus originally grew in a suburban style of low density one- and two-story buildings clustered in the center of the campus surrounded by sports fields along 35th Avenue and a grass lawn on the Camelback Road frontage. Over time, GCU acquired additional land including a non-contiguous parcel on the southeast corner of 31st Avenue and Missouri, and the parcel directly to the north of the First Southern Baptist Church. Later, an animal shelter fronting on 35th Avenue, an apartment building, and two residential lots were acquired. The current additions include parcels which contain a condominiums, residential lots (including duplexes), vacant land, apartment complexes, and existing office buildings.

The introduction of PUD zoning in 2010 allowed the campus to grow both vertically and horizontally with newer buildings being taller, allowing for the more compact form required for walkable environments. The goal of restricting automobile parking to the perimeter of the campus continues to be a primary consideration in the evolution of the campus.

Parking is dispersed in the perimeter portions of the campus, in proximity to Camelback Road, 35th Avenue, Missouri Avenue, 29th Avenue and the I-17 Freeway frontage which is consistent with the design objective of keeping the interior of the campus for pedestrian usage.

The site plan illustrates the distribution of campus facilities. The properties added with this expansion will be used initially for surface parking. Over time, buildings will be built on some or all of the parking lots depicted on the site plan, and the parking shown should not be considered to be the permanent use at these locations. Rather, other allowed campus related uses will be introduced as needed by GCU.

2. Vicinity Map



D. GENERAL PLAN CONFORMANCE

1. Compatibility with General Plan

The City of Phoenix General Plan Land Use Designations for the added land include residential at low, medium, and high density, and commercial. A minor General Plan Amendment accompanies this rezone request, so the land use designation for the entire PUD will be consolidated into *Public/Quasi-Public*. As set forth in the following subsections, the proposed Planned Unit Development rezoning request is consistent and compatible with a number of the goals and objectives set forth in the City’s General and Land Use Plans.

Surrounding General Plan Land Uses	
North (Missouri Avenue)	Residential 3.5 to 5 du/acre Residential 10 to 15 du/acre Parks/Open Space – Publicly Owned
East (of Little Canyon Trail to 27 th Avenue) East (27 th Avenue to I-17 Freeway)	Residential 15 + du/acre Residential 10 to 15 du/acre Commercial and Industrial
South (Camelback Road frontage west) South (Camelback frontage east)	Residential 3.5 to du/ac; 10 to 15 du/ac; 15+du/ac Commercial
West (across 35 th Avenue)	Residential 3.5 to 5 du/acre

The General Plan recognizes the need to promote strong, healthy neighborhoods and to preserve their unique character, while encouraging development that is sensitive to the scale and character of these surrounding neighborhoods. Typically, this is accomplished by incorporating appropriate development standards, such as additional landscaping, screening and setbacks, to mitigate any potential negative impacts, where disparate land uses are adjoining. The following outlines the relationship between the requested rezone change to PUD and the City of Phoenix General Plan. The General Plan seeks to promote comprehensive direction for the growth, conservation and development of all physical aspects of the City. The proposed rezone meets or exceeds the following goals outlined in the General Plan:

Core Value: Connect People & Places

Infill Goal - Vacant and underdeveloped land in the older parts of the city should be developed or redeveloped in a manner that is compatible with viable existing development and the long term character and goals for the area.

Land Use and Design Principle:

Promote and encourage compatible infill development with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.

GCU's growth and expansion is having direct, immediate, and positive effects on the surrounding community in many of the ways described by the General Plan. GCU has taken crime-ridden and blighted properties and transformed them into a part of a beautiful and congenial campus system, where both the community and students can thrive and students can learn, live, work and play.

Core Value: Strengthen Our Local Economy

Highly Skilled Workforce Goal - Align and leverage education and workforce development resources to develop a skilled and qualified talent pipeline that meets industry and business workforce needs through customized non-traditional training programs.

Land Use and Design Principle:

Support the expansion of education and training facilities where appropriate.

GCU's location in the heart of west Phoenix and canyon corridor west of I-17, its low tuition, and scholarship programs is providing an affordable and quality education to students for whom college was previously not obtainable or expected. Many of those students are then turning their talents toward the local community to foster job creation and further economic opportunities.

GCU' College of Science, Engineering and Technology offers a premier educational experience with relevant curricula designed to lead students to careers in the fields of science, technology, engineering and math (STEM). Industry experts have helped develop these science and technology programs to respond to demands for skilled professionals in these areas. Its adaptable curriculum changes to adapt to new developments in STEM industries.

The College of Science, Engineering and Technology also provides biology degree programs when students intend to move on to an advanced health care programs after earning their undergraduate degree. This coursework is rooted in scientific theory, which helps students seek additional education to become a pharmacist, physician's assistant, physical therapist or medical doctor.

The university expansion has also brought, and will continue to bring, GCU's substantial humanitarian efforts to uplift and enrich the larger community (including its elementary and high school student tutoring programs, free college classes for local high schoolers, new affordable housing through partnership with Habitat for Humanity, its crime reduction campaign, and others).

Finally, GCU's PUD not only facilitates development opportunities for actual edifices of learning on campus, but also for those compatible and necessary components that help make the campus balanced and sustainable, including housing, recreation, dining, entertainment, parking, and so on.

Core Value: Celebrate Our Diverse Communities and Neighborhoods

Connected Neighborhoods Goal: Ensure a cohesive, connected community through adequate venues for community interaction, community building activities and events, and the sharing of information about community issues and services.

Land Use and Design Principles:

Provide neighborhood-based social services (senior centers, Head Start Programs, job training, counseling) appropriate to the area's needs in convenient facilities compatible in scale and character with the surrounding neighborhood.

Design and locate new neighborhoods to promote access (both physical and visual) to parks and open space. New developments should also provide convenient pedestrian and bicycle access to transit stops, schools and other neighborhood amenities.

With its population of on-campus students, as well as students living in the local area, GCU's campus becomes its own community within a community. As these students experience campus life, they are provided significant opportunities to develop and maintain a healthy lifestyle through GCU's infrastructure.

GCU's primary piece of infrastructure is its educational offerings. Within such offerings are courses and classes designed to teach students both basic and advanced concepts of fitness, health, and wellness. This education not only benefits the students themselves, but it also benefits their families and circle of influence, as students share the principles they learn with others. Additionally, students who graduate in medical fields have the potential to become significant contributors to the lifting of the health and wellness standards of the City as a whole.

GCU's campus has wide sidewalks and pathways to allow students to both walk, bike and skateboard their way around campus rather than having to drive to and from areas of the campus. GCU students also have access to first-rate exercise facilities, intermural leagues (including flag football, soccer, and softball among others), and one of the finest municipal golf courses in the country managed by GCU.

Even beyond its students, faculty, administration and service personnel that utilize the overall campus, residents of the area greatly benefit from GCU's campus and expansion efforts. By cleaning up blighted and crime-ridden properties, GCU is making the entire area safer and more walkable.

E. ZONING AND LAND USE COMPATIBILITY

1. On-Site & Surrounding Zoning & Land Use Character

The added areas for this PUD amendment primarily consist of zoned R1-6, R-3 and C-2 Special Permit (“SP”) properties. Surrounding and adjacent zoning is mixed and includes the following zoned properties: PUD, R1-6, R-3, R-3A, R-4, R-4A, R-5, C-1, C-2, C-3, and C-2SP (*See*, Existing Zoning Map). This variety is reflected in the adjacent uses, which include single-family homes, multi-family housing, churches, apartments, retail uses, and a city park. The subject property is located in Alhambra Village, and is not within the Village Core or an overlay zoning district. As previously mentioned, the university has been in this location for decades, and is part of the fabric of the neighborhood. Increased building heights will be needed to provide more classrooms and dormitories, along with the other functions of the university, and in so doing care will be exercised to avoid negative impacts on existing land uses. It should be noted that most of the existing zoning applicable to the property being added to this PUD includes relatively dense multi-family and commercial. This existing zoning thus already allows for a much greater intensity than is found in the surrounding single family neighborhoods. This PUD is not replacing low density neighborhoods or zoning, but rather land previously approved for more intense development.

The PUD employs a variety of perimeter landscape treatments, setbacks, and stepbacks to ensure compatibility with adjacent properties. In effect, GCU has customized the relationships between its perimeter and the surrounding uses. Where the adjacent land uses will be more sensitive to activities on campus, GCU will respond with greater buffers. These are more completely described in Section G of this Narrative.

Surrounding Land Uses

North (Missouri Avenue)	<i>Multi-family residential, single-family residential, park</i>
East (of Little Canyon Trail)	<i>Multi-family residential, multiuse trail, church, self-storage facility, commercial</i>
South (Camelback Road)	<i>Church, Single-family residential, commercial retail center</i>
West (35 th Avenue)	<i>Commercial retail center, single-family residential</i>

Surrounding Zoning Districts

North (toward Missouri Avenue)	<i>R1-6</i>
East (of Little Canyon Trail)	<i>R1-6, R-3,R-4A,C-2, PUD</i>
East (27 th Avenue to I-17)	<i>R-3, R-5, C-1, C-2, C-3</i>
South (Camelback Road)	<i>R1-6, C-2, C-3</i>
West (35 th Avenue)	<i>C-1,C-2, R1-6</i>

F. LIST OF USES

A university is dynamic, complex and multi-faceted. To list all appropriate activities that may reasonably be expected to occur on a campus is not possible. The list below is intended to illustrate the known primary uses that are occurring or will occur in the near future.

1. ACCESSORY USES SUCH AS:
 - o PRINTING/GRAPHICS OPERATIONS
 - o BINDERY SERVICE
 - o CONFERENCE ROOM FACILITIES
 - o MAIL SERVICE
2. ASSEMBLY HALL & AUDITORIUM/ARENA (INCLUDING FOR SPORTING, CONCERTS, PLAYS AND OTHER EVENTS)
3. BOOKSTORE, INCLUDING NEW & USED DRAWING AND ART SUPPLIES, COMPUTERS, PRINTERS, PRECISION INSTRUMENTS, MUSICAL INSTRUMENTS, RECORDED MUSIC, COPY SERVICES, COMPUTER COMMONS
4. CAFETERIA, INCLUDING FULL SERVICE & FAST FOOD RESTAURANTS, CATERING, COOKING SCHOOL
5. CALL/COMMUNICATIONS CENTER, INCLUDING DATA CENTER WITH RELATED ACCESSORY USES
6. CHURCH AND CHAPEL
7. CLASSROOM
8. CONVENIENCE STORE
9. DAYCARE & NURSERY
10. DORMITORIES & APARTMENTS
11. FINANCIAL SERVICES
12. FIELDHOUSE
13. FOOD & BEVERAGE STORE
14. GYMNASIUM
15. HOSPITAL OR CLINIC
16. HOTEL/CONFERENCE CENTER, AND RELATED ACCESSORY USES INCLUDING A RESTAURANT AND THE SPECTRUM OF TYPICAL HOTEL/CONFERENCE CENTER FUNCTIONS
17. JOB TRAINING FACILITY
18. LABORATORY & SUPPLIES (INCLUDING BUT NOT LIMITED TO MEDICAL/DENTAL)
19. LIBRARY
20. LAUNDRY & LINEN SUPPLY
21. MAINTENANCE & RECEIVING, VEHICULAR REPAIR & FUELING, STORAGE
22. MOVIE THEATER
23. PARKING STRUCTURE
24. PERSONAL SERVICES INCLUDING BARBER/BEAUTY SALON, SHOE REPAIR, TAILOR
25. PHOTOGRAPHY, LITHOGRAPHY, ART, & SCULPTURE STUDIO
26. PUBLIC ASSEMBLY USES WITHIN THE CAMPUS, SUCH AS:
 - o OUTDOOR STUDENT/ALUMNI EVENTS, INCLUDING BUT NOT LIMITED TO SUCH ACTIVITIES AS SPORTS, DANCING, MUSIC AND FOOD
27. RADIO & TELEVISION BROADCAST STUDIO
28. RETAIL AND WHOLESALE SALES
29. RESIDENCE, SINGLE-FAMILY AND MULTI-FAMILY
30. RECREATION CENTER, INCLUDING BOWLING ALLEY, CLIMBING WALL/INDOOR & OUTDOOR THEATER, POOL HALL, VIDEO GAME CENTER, SPORTS FIELDS/SWIMMING POOL FACILITIES
31. RESTAURANTS; subject to the following conditions or limitations if within 500 feet of a residential zoning district (unless a more restrictive distance is noted below) (this distance shall be measured from the exterior wall of the building or portion thereof in which the business is conducted or proposed use is to be conducted closest to the residential district zoning line):
 - a. Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.

(2) The noise level, measured at any point on the received property, shall not exceed 55 dBA unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBA for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour long interval.

(3) Nothing in this section shall be construed to include an adult use.

b. Patron dancing shall be permitted only upon securing a use permit.

c. Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory uses only upon securing a use permit. This distance shall be measured from the exterior wall of the building or portion thereof in which the business is conducted or proposed use is to be conducted closest to the residential district zoning line.

d. Drive-through facilities as an accessory use to a restaurant, subject to the following conditions:

(1) Access to the site is to be from an arterial or collector street as defined on the street classification map.

(2) Securing a use permit if the queuing lane for the drive-through facility is closer than 300 feet to a residential district zoning line. This distance shall be measured from the point of the queuing lane closest to the residential district zoning line.

e. Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:

(1) Securing a use permit.

(2) The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.

(3) The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.

32. SCHOOL AND RESEARCH FACILITIES

33. TEMPORARY OR PERMANENT SURFACE PARKING

34. TEMPORARY LODGING

35. TRANSPORTATION SERVICES

36. CAMPUS SECURITY: Facilities/offices for municipal or private security personnel.

37. MEDICAL SERVICES: Office visits and non-invasive in-office medical procedures only for GCU students, faculty and staff.

38. COUNSELING SERVICES: Professionals on the GCU campus who counsel only GCU students, faculty and staff on various issues including, but not limited to, career goals, class schedules, education and mental and physical wellness.

39. TEMPORARY USES; shall obtain a Temporary Use Permit

G. DEVELOPMENT STANDARDS

The development standards contained within this PUD are intended to provide a consistent and predictable framework for future development within the GCU campus. These standards are intended to address the various influences on the site in relation to its use, impact on surrounding neighborhoods, relationship to major and minor streets, and infrastructure. Several development standards exist in the varied existing zoning districts that are not relevant to the site’s future use as a university. This PUD eliminates any required minimum interior building setback requirement, as well as the minimum lot width and minimum lot depth requirement (both of which are directed towards the subdivision of single family home lots). PUD standards also eliminate conflicts that may exist when a single use has multiple zoning standards. No new roads are anticipated to be dedicated to the city as a result of this PUD, and no common areas (such as might be found in a master-planned community) are proposed at this time. However, as earlier noted, this campus is being designed for walkability between administrative, educational, student housing facilities, and perimeter parking. The interior of the campus will have various open spaces in the form of landscaped quads, pedestrian routes, athletic/sports fields and outdoor amenity areas.

1. Development Standards and Guidelines

Development Standards and Guidelines	
Maximum density	2 du/ac (Residential Use) 50 du/ac (Dormitories)
Minimum Building Setbacks	Camelback Rd.: 50 feet 35 th Avenue: 50 feet I-17 Fwy./Missouri/27 th Ave/29 th Ave.: 20 feet Colter Street: 20-feet Interior Corner*: 0 feet Interior to Campus: 0 feet Adjacent to Residential Zoning Districts: 10 feet Adjacent to Non-Residential Zoning Districts: 0 feet Adjacent to Little Canyon Trail: 34 feet (measured west from the easterly line of the trail, trail is approximately 10 feet wide, canal is approximately 14 feet wide) <i>Interior Corner*: Location as Depicted by Building Setback Exhibit</i>
Maximum Building Height	95 feet (subject to following stepback provision which allows for a): (a) There shall be a 20 foot maximum building height at the 20 foot setback line along Missouri Avenue. The building height may be increased 2 feet for each additional 1 foot of building setback to the maximum permitted height.

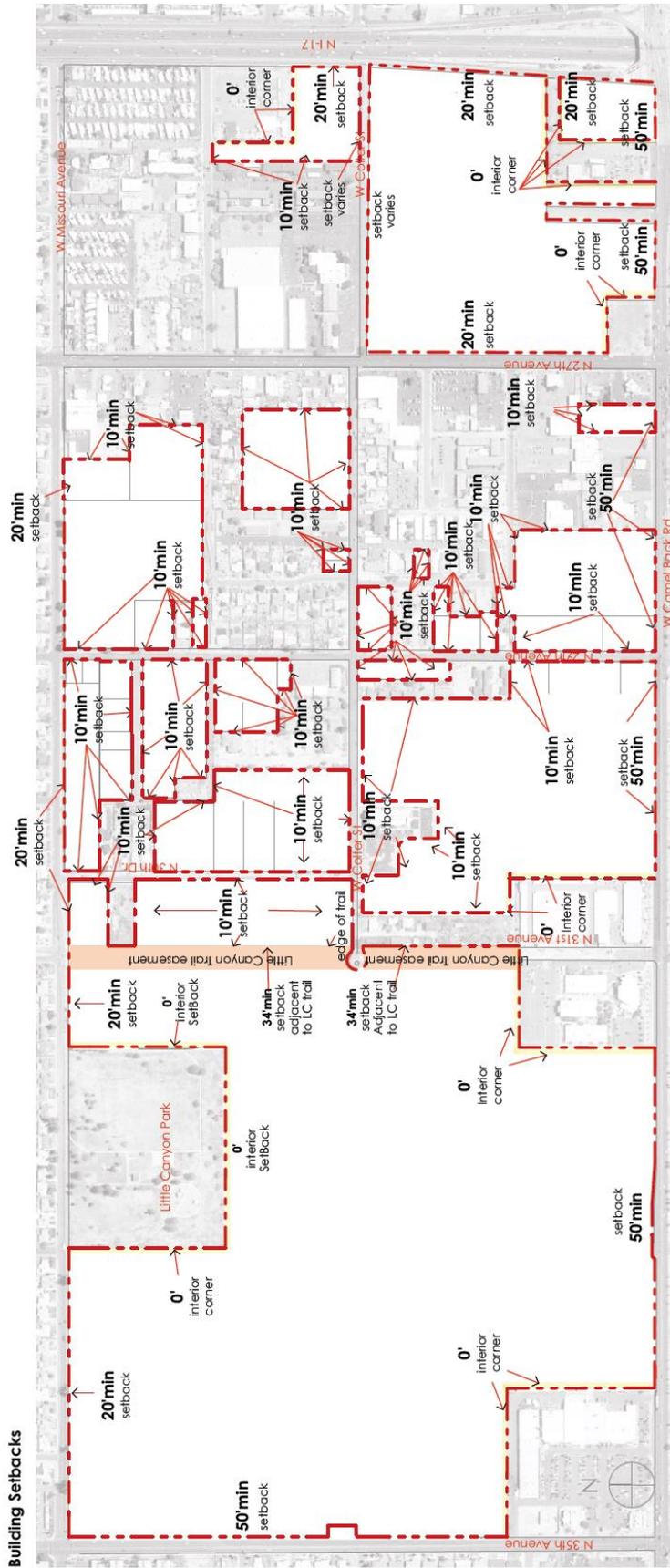
	(b) There shall be a 20 foot maximum building height at the 10 foot setback line adjacent to a residential zoning district. The building height may be increased 1 foot for each additional 1 foot of building setback to the maximum permitted height.
Maximum Lot Coverage	60%
Parking Standards	<p>Required Parking:</p> <ul style="list-style-type: none"> 1 space: 5 students 1.5 spaces: 1 BR unit 1.5 spaces: 2 BR unit 1 space: 3 staff/faculty 1 space: 4 arena seats 0.5 space: 1 key for hotel use <p>Provided Parking:</p> <p>Total sum of all parking required less 15% as allowed by Section 702 of the City of Phoenix Zoning Ordinance. Use permit approval is required to exceed allowed 15% parking reduction.</p>
Bicycle Parking Standards	<p>Student Housing: .25 bike loops* per dwelling unit, with a maximum of 25 loops per building</p> <p>All other buildings: 1 per 40 parking spaces, with a maximum of 25 loops per building</p>
Minimum Landscape Setback/Standards	<p>Adjacent to Public Street: 20 feet</p> <p>Adjacent to Residential Zoning Districts: 10 feet</p> <p>Adjacent to Non-residential Zoning Districts: 0 feet</p> <p>Interior Corner*: 0 feet</p> <p><i>Interior Corner*: Location as Depicted by Building Setback Exhibit</i></p>
Minimum Building Separation	Per City of Phoenix Building Code
Required Review	Per Section 507 of Zoning Ordinance
Street Standards	Private streets built to City standards and maintained by property owner

* Illustrative example of bike loops shown to the right (though other designs may be utilized):

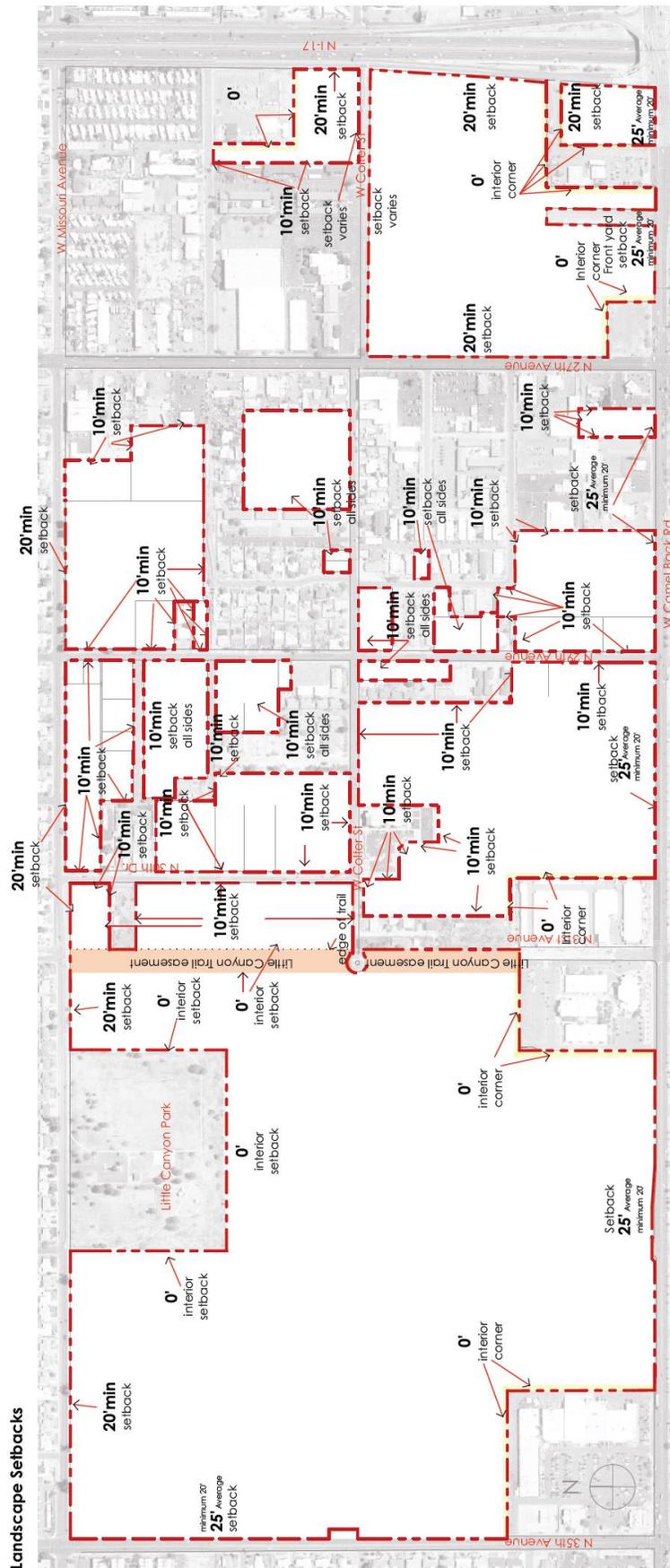


2. Building & Landscape Setbacks

For the purposes of this PUD, the building and landscape setbacks are described in relation to the project's proximity to the following areas: 1.) Camelback Road - southern perimeter, 2.) Missouri Avenue – northern perimeter, 3.) the “interior corner” setbacks within the existing university campus located just north of Camelback Road, 4.) Colter Street and 5.) the “interior” setbacks which are adjacent to the existing residential homes primarily between Little Canyon Trail and the I-17 Freeway frontage. Illustrations of these landscape and building setbacks for are detailed in the below in Building Setbacks and Landscape Setbacks exhibits.



Note: Open wrought iron fences up to 8' in height are permitted on property lines and subject to setback requirements where not prohibited by Section 31-13 of the City Code.



Note: Open wrought iron fences up to 8' in height are permitted on property lines and subject to setback requirements where not prohibited by Section 31-13 of the City Code.

3. Public Street & Perimeter Conditions

Camelback Road

Camelback Road is the more prominent ‘public face’ of the university, with its iconic row of towering palms and the formal main entrance to the campus. Directly to the east is the First Baptist Church of Phoenix, and to the west -- on the corner of Camelback Road and 35th Avenue - is a well-established neighborhood retail center in the C-2 zoning district. The campus’ ceremonial main entrance is along the 33rd Avenue alignment, with secondary campus entrances along the 31st, 34th and 35th Avenue alignments.

35th Avenue

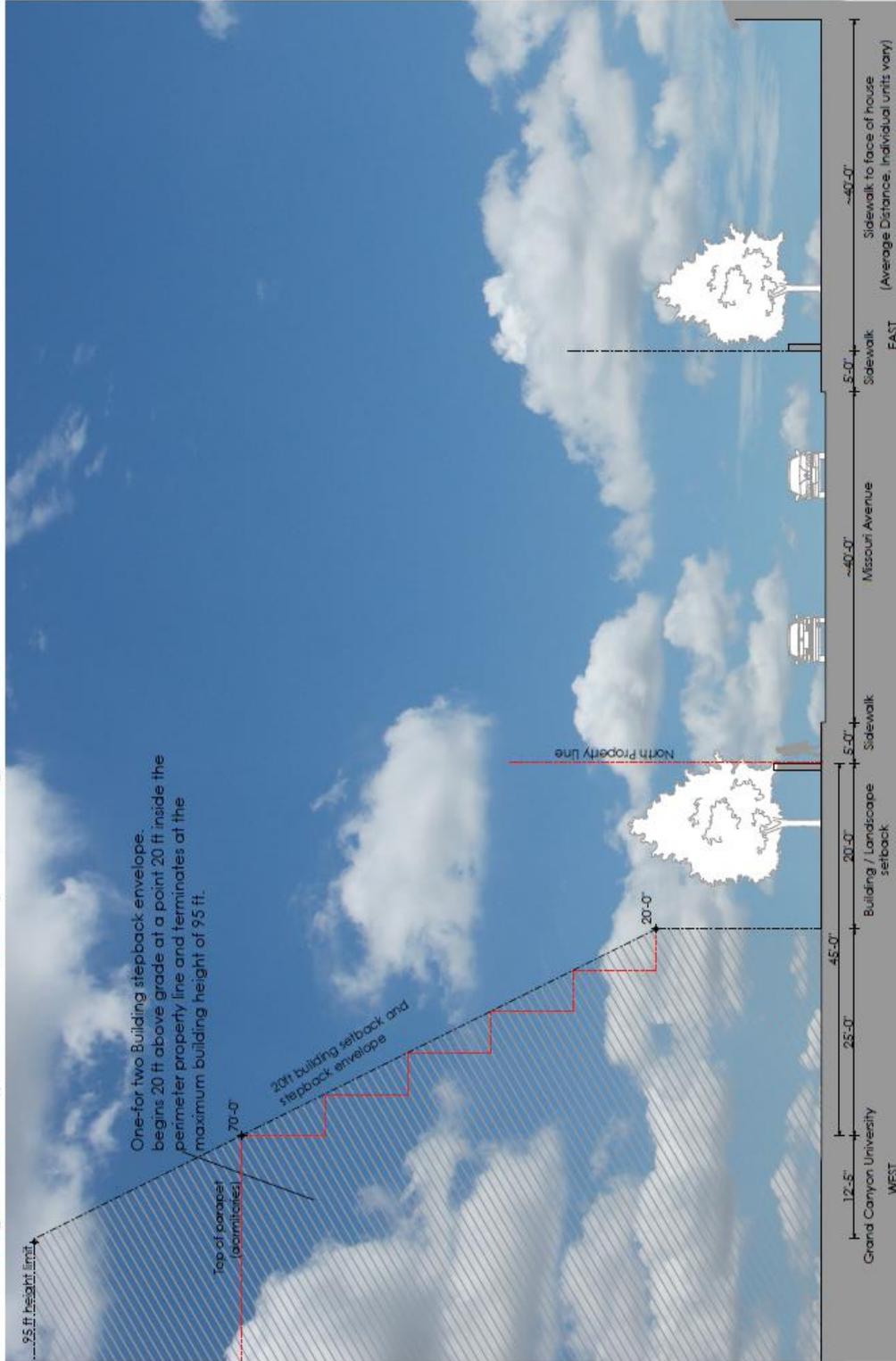
35th Avenue is comparable to the university presence on Camelback Road in that GCU has significant frontage on both heavily travelled arterial streets. Given this shared urban condition, setback standards along 35th Avenue mirror those on Camelback Road. Building setbacks along this perimeter shall be not less than 50 feet. Existing baseball netting may remain in its current location. Landscape setbacks adjacent to 35th Avenue shall be a minimum of 20 feet and average 25 feet, except where the property line is adjacent to the GCU sports fields. The turf sports fields themselves form significant landscape buffers several hundred feet in depth, which do not need to be otherwise screened by further landscaped setbacks. If the perimeter sports fields are redeveloped into building sites, the landscape setback of 20 feet would then apply.

Missouri Avenue

The northern perimeter of the GCU main campus along Missouri Avenue is shared with the City’s Little Canyon Park and single family homes on the north side of Missouri. Additionally, a building setback regime shall apply where the PUD project boundary adjoins existing residential homes in order to further mitigate any adverse impacts to the surrounding residential neighborhood. This “stepback regime” shall consist of a one foot increase in building setbacks for every two feet of additional building height starting at the standard 20-foot building setback line for two-story campus buildings. This stepback ratio shall continue to the maximum allowed height in this PUD, and no buildings will be allowed to protrude beyond the stepback regime.

The minimum perimeter landscape setback along Missouri Avenue shall be 20 feet, except where the property line is adjacent to either the Little Canyon Park or GCU sports fields. The park and turf sports fields themselves form significant landscape buffers several hundred feet in depth which do not need to be otherwise screened. However, a minimum landscape setback of 20 feet shall be provided between any building and the property line. The remaining area that does not adjoin the park or sports fields, the perimeter trees shall be non-deciduous screening trees. Further, where the property line abuts Little Canyon Park no setback will be required. (See, Building & Landscape Setback and Stepback Exhibit along Missouri Avenue)

Building and Landscape setback and stepback-along Missouri



30th Drive

The northern half of the subject property is bifurcated by the 30th Drive alignment. The site is also in proximity to R1-6, R-3, and other residential properties where existing buildings are setback approximately 10 feet from their respective property lines. This PUD continues the established setback, as depicted in the following building setback and landscape setback exhibits. Within this general area there are different conditions: the GCU campus may be on both sides of the Little Canyon Trail, or may be on the west side with a residential neighbor on the east. For this reason a variety of setback and stepback standards are proposed to ensure appropriate buffers on the eastern perimeters of the campus.

Colter Street

The majority of the section of Colter Street between 29th Avenue to the east and the Little Canyon Trail to the west was approved for abandonment by the Phoenix City Council, subject to stipulations, on October 21, 2015 and will be finally abandoned by the City Council following the completion of the stipulations of approval. Per the abandonment plans, a guard booth will be located on Colter Street and 30th Drive to regulate the flow of vehicles onto the abandoned portion of the streets, improving the overall safety for GCU students, faculty, and guests. Large amounts of pedestrians will cross Colter Street on the designated cross walk as they travel from the temporary parking lot on the south side of Colter Street to the proposed athletic field on the north side of Colter Street, student housing in the area and the center of campus west of Little Canyon Trail. Other development on Colter Street, which is either existing or being proposed, includes student housing, administration offices, and classrooms.

29th Avenue

Over time, GCU has acquired significant amounts of properties along the frontage of 29th Avenue, between Missouri Avenue to the north and Camelback Road to the south, with the greater share of GCU properties being located on the west side of 29th Avenue. At this time, not all of the development plans for those properties have been finalized, but they may include GCU administration buildings, student housing, parking garages, classrooms and other campus facilities.

“Interior Corner” Perimeter

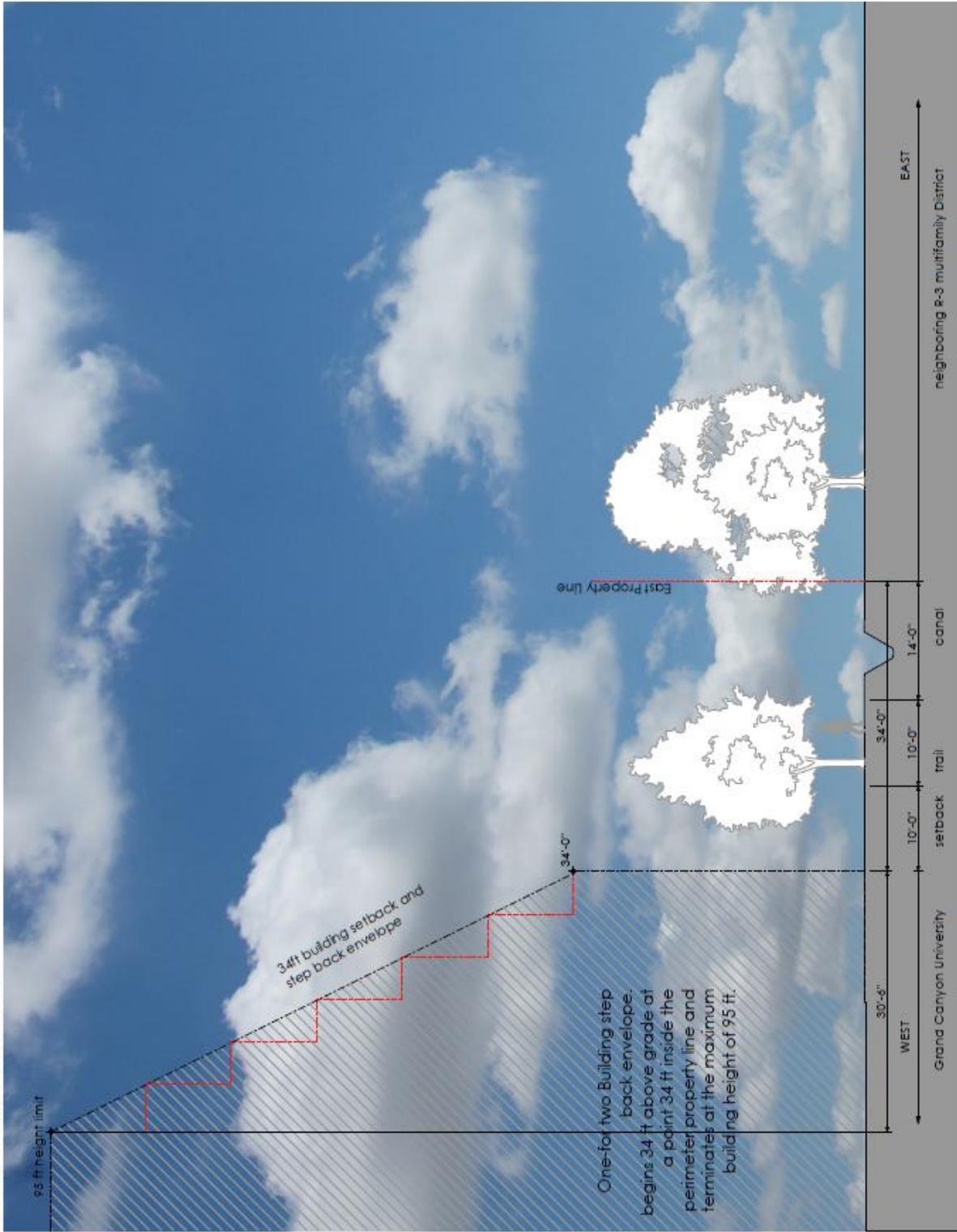
There are several notched, interior perimeter conditions on the GCU campus where the property line is adjacent to neither a public right-of-way nor a residence. For example, on the southeast, the campus abuts the First Southern Baptist Church property, and on the southwest the campus abuts the rear of a commercial strip corner. In the northwest GCU abuts Little Canyon Park. Farther east there is a commercial building at the southeast corner of 27th Avenue and Camelback Road. These perimeters of the site are similar to the boundaries between a retail pad and its surrounding retail center development, or adjacent commercial centers. This PUD envisions a 0-foot building and landscape setback for these portions of the property line not adjacent to either residence or a public right of way.

Little Canyon Trail

The Little Canyon Canal runs along the alignment of 31st Avenue between Camelback Road to Missouri Avenue. The trail improvements vary in depth, but generally extend from 30 to 40 feet west of the easterly line of the Trail and are well in excess of a 20 foot landscape setback. The trail improvements incorporate screening trees (i.e. Chinese pistache, as well as Arizona ash and dalbergia sissoo), as well as a variety of shrubs and ground cover in a dense pattern. Where these improvements occur inside the GCU property, they shall serve as the required landscape setback improvements. Otherwise, perimeter screening trees shall be non-deciduous screening trees.

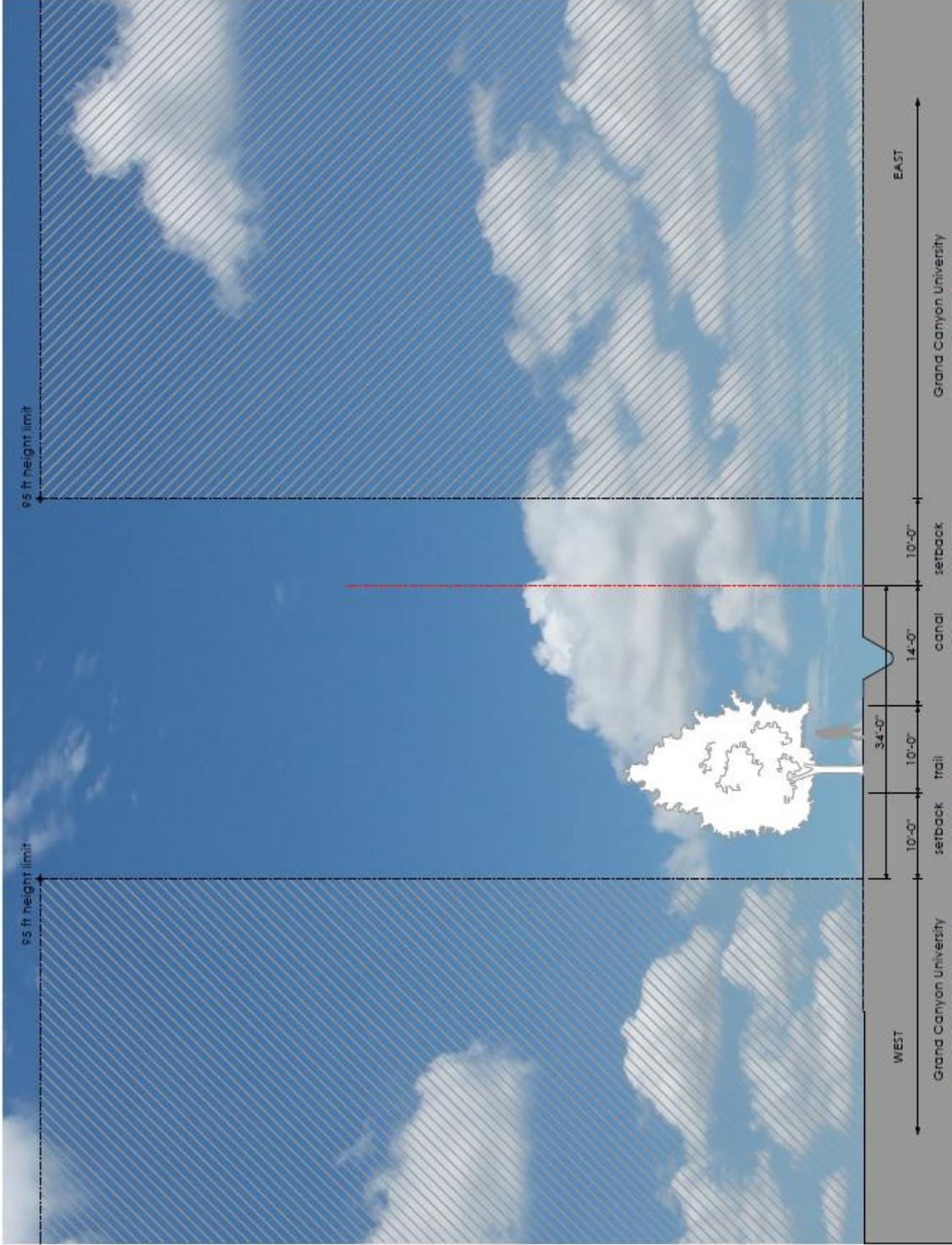
The required building setback west of the Little Canyon Trail shall not be less than 34 feet as measured from the east property line of the Trail easement. Additionally, buildings east of the trail shall maintain a 10 foot setback from the east property line of the trail easement. For buildings west of the trail, there shall be a 34 foot maximum building height at the 34 foot setback line adjacent to a residential zoning district. The building height may be increased 2 feet for each additional 1 foot of building setback to the maximum permitted height. However, this setback shall not apply where the existing campus is on both sides of Little Canyon Trail, which is designated as “interior corner” as shown by the setback exhibits.

Building setbacks along Little Canyon Trail
at neighboring residential area



overall width of canal, multifuse trail, and landscape improvements varies from approximately 30 ft to 38 ft

Building setbacks along Little Canyon Trail



overall width of canal, multiuse trail, and landscape improvements varies from approximately 30 ft to 38 ft

Note: no step-back envelope along areas where Grand Canyon University owns property on either side of the trail easement.

4. Lot Coverage

Continued development of the GCU campus will increase density significantly, with more multistory buildings spaced closer together. However, significant building setbacks, many outdoor malls and courtyards, and the high concentration of large outdoor sports fields will limit overall lot coverage to less than might otherwise be expected. However, given the dynamic nature of the campus and potential parcelization (recommend the words ‘lot combinations’’) that may occur in the future, the PUD does not contain a defined limitation on lot coverage.

5. Density

The GCU campus houses residential complexes consisting of both apartment-style buildings and dormitories. Demand for on-campus student housing continues to grow, and more dormitory-style and apartment-style residence halls are needed. This PUD shall limit overall residential density on the campus as a whole to not more than 2 dwelling units per acre. The dormitories are not dwelling units and are limited to a density of fifty (50) units per gross acre of the PUD project area.

6. Landscape Standards

Streetscape

Streetscape landscape standards shall apply to the landscape setbacks adjacent to public right-of-ways, such as Camelback Road.

Streetscape Landscape Standards	
<i>Plant Type</i>	<i>Minimum Planting Size</i>
Trees	Min. 3” caliper or multi-trunk tree (50% of required trees) Min. 2” caliper or multi-trunk tree (50% of required trees) Planted 30’ on center, or equivalent groupings, or centered between existing Mexican fan palms
Shrubs	Min. (5) 5-gallon shrubs per tree
Streetscape Landscape Setback	20 feet (adjacent to public right of way) 0 feet (where perimeter is adjacent to GCU sports field)

Perimeter Property Lines

Perimeter property line landscape standards shall apply to the landscape setbacks adjacent to residential districts and not adjacent to public right-of-way. These areas shall have an average of one tree for every 30 feet of perimeter (spaced on center or in equivalent groupings).

Perimeter Property Lines	
<i>Plant type</i>	<i>Minimum Planting Size</i>
Trees	Min. 3” caliper or multi-trunk tree (60% of required trees)

	Min. 2" caliper or multi-trunk tree (30% of required trees) Perimeter trees to be non-deciduous screening trees
Shrubs	Min. (5) 5-gallon shrubs per tree
Perimeter Landscape Setback	20 feet (where not adjacent to public right-of-way) 0 feet (where adjacent to city park, GCU sports fields, or interior perimeter conditions)

Adjacent to Buildings

Landscape requirements adjacent to buildings shall refer to the open areas within 20 feet of buildings. These areas shall have an average of one tree for every 30 feet of building perimeter (spaced on center or equivalent groupings). Trees shall not be planted closer than 10 feet from buildings.

Adjacent to Building	
<i>Plant type</i>	<i>Minimum Planting Size</i>
Trees	Min. 2" caliper or multi-trunk tree (60% of required trees) Min. 1" caliper or multi-trunk tree (30% of required trees) Spaced 30' on center, or equivalent, around perimeter
Shrubs	Min. five (5) 5-gallon shrubs per tree

Parking Landscape Areas

Landscape planters shall be located either at the ends of each row of permanent parking and at least one planter per 10 parking spaces, or in a continuous planter between rows of parking.

Parking Lot Area	
Interior Surface Area	8% (exclusive of perimeter landscaping and required setbacks)
Landscape Planters	At the ends of each row and not less than 1 planter per 10 spaces, or in a continuous planter between rows of parking
Planter Area	Minimum 120 SF per 10 parking spaces
Trees	Minimum 1 tree per 10 parking spaces Min. 3" caliper or multi-trunk tree (50% of required trees) Min. 2" caliper or multi-trunk tree (50% of required trees)
Shrubs	Min. two (2) 5-gallon shrubs per tree

Retention Areas

Retention Areas are to be landscaped along their perimeter with trees planted an average of one tree for every 30 feet of retention area perimeter.

Retention Areas	
Trees	Min. 2" caliper or multi-trunk tree (60% of required trees) Min. 1" caliper or multi-trunk tree (30% of required trees)
Shrubs	Min. two (2) 5-gallon shrubs per tree
Retention Areas are limited to a maximum slope of 4:1 and landscaped along perimeter with trees placed a minimum of every 30 feet on center (or equivalent groupings)	

Landscape Materials

Landscape materials shall not be selected from a list but will be chosen by GCU based on harmony with existing materials and support of the functions at a university, including the use of turf on sports fields and the variety of plant material needed for a university curriculum. The plant materials used for the landscape environment will emphasize native and other drought tolerant species according to the Low Water Using Plant List Phoenix AMA, State of Arizona Department of Water Resources.

7. Parking

GCU is currently undergoing a period of growth in enrollment, as well as a continuing to provide upgraded and new facilities including student housing, sporting facilities/athletic fields, classrooms, a hotel, restaurant/retail uses and office space for faculty and staff. Parking rates as approved in the original PUD will remain unchanged. GCU will reduce the required parking by 15 percent as allowed by the City ordinance. In the past, GCU has utilized The City of Phoenix shared parking model as originally approved in case Z-3-10, the case that established PUD zoning for GCU. The shared parking model provided a reduction in parking based on the mix of uses located on site at any given time. In the past the reduction values totaled 14 percent in weekday daytime parking. Since the campus is continuing to change rapidly, a formula allowing a simpler calculation for parking reductions based on the mix of uses is necessary.

Based on many years of experience with parking management at GCU, as student, staff, and faculty populations have grown, GCU has determined this 14% reduction meets the campus' parking needs. GCU has increased its parking over time based on this standard, and it has proven effective.

This can be explained by GCU's on-campus to off-campus student ratio. Currently 60% of GCU's student body lives on campus, where there are increasingly more and more on-campus amenities. Accordingly, the vehicular needs of on-campus students are reduced from those of off-campus students. This results in less parking demand. GCU projects it will increase the percentage of on-campus students to 70% over time, which will further reduce the parking demand.

Additionally, as GCU is surrounded by single-family and multi-family developments, many students are within walking, cycling, and skateboarding distance of campus or may be transported to and from campus by parents, siblings, and roommates. Such transportation options do not require any degree of parking.

Parking on GCU owned property that has not been added to this PUD, but which is otherwise permitted under the Phoenix Zoning Ordinance to be used for campus parking (either temporary or permanent), may be counted toward meeting the required parking amounts contained herein.

8. Amenities

GCU provides a number of amenities in order to compete on a national level for the best and brightest applicants. These amenities are above and beyond those typically required for commercial or multifamily projects. The university's traditional focus on sports is expressed through baseball, softball, and lacrosse fields, as well as indoor sports courts. The recently-completed Recreation Center has added state of the art fitness and aerobics rooms as well as

additional indoor basketball and volleyball courts. The new Event Center is an amenity for the student body and the neighborhood at large, and is capable of hosting intercollegiate sporting activities, faith-based events, musical and dramatic performances, educational seminars and annual school ceremonies.

9. Shade

Given our desert environment, special consideration must be given to shade in order to create pleasant outdoor experiences that will encourage pedestrian activity. Landscape architecture, building design, and building placement are the three key factors that impact the quality of shade on campus.

Well established specimens exist on campus currently, and during redevelopment of older parcels, every effort should be made to either maintain existing trees, or relocate them if possible. In new projects, site design should ensure that pedestrian circulation paths are afforded shade protection, either through landscape elements, or building features. Trellises, overhangs, awnings, and building cantilevers are all appropriate measures that should be considered in addition to tree selection and placement.

New construction on the GCU campus shall comply with the shade standards set forth in Section 507 Tab A of the Phoenix Zoning Ordinance.

10. Lighting

As structures are added to the campus, photometric plans for impacted areas shall be submitted to the Planning and Development Department concurrent with building plans. Lighting plans shall conform to the Phoenix Zoning Ordinance and City Code, specifically section 23-100 of the City Code (also known as the “Dark Sky Ordinance”), and will incorporate systems designed to reduce lighting during low-usage periods wherever possible without negatively impacting public safety. Lighting plans will be designed in accordance with generally accepted industry practices according to the most recent publications of the Illuminating Engineering Society of North America (IESNA). Illumination from freestanding lighting shall not exceed 1 foot candle at all property lines abutting residential uses.

Height standards for exterior freestanding light poles are as follows.

Lighting Standards	
<i>Lighting type</i>	<i>Height limit</i>
Parking area lighting	25 feet to bottom of fixture
Vehicular and pedestrian circulation lighting	25 feet to bottom of fixture
Sports field lighting	75 feet to bottom of fixture

H. DESIGN GUIDELINES

This PUD is unique in that it focuses on a university campus, and not a discrete set of buildings that will be constructed in a defined period of time. Also, as a wide and deep 100+ acre campus, individual buildings that may eventually be constructed in the center of campus are likely of less interest to the surrounding community than projects that are visible from adjacent properties and public roads. Therefore, the design guidelines found in this section focus instead

on future perimeter site wall design, which is of interest to the neighboring community due to its visible nature.

GCU has established a “signature” wrought iron fence now generally used to demark the perimeter. This will continue to be the primary perimeter fence material and design. In addition:

- Mesh screens, ornamental metalwork, and arches may be employed at key locations to provide visual cues to circulation paths and entrances
- Lighting will be coordinated with wall design to further differentiate key locations and provide variation
- Future site walls on Camelback Road will address existing conditions, such as the monument signs at the 33rd Avenue entrance, in a way that responds to the context of the site

I. SIGNAGE

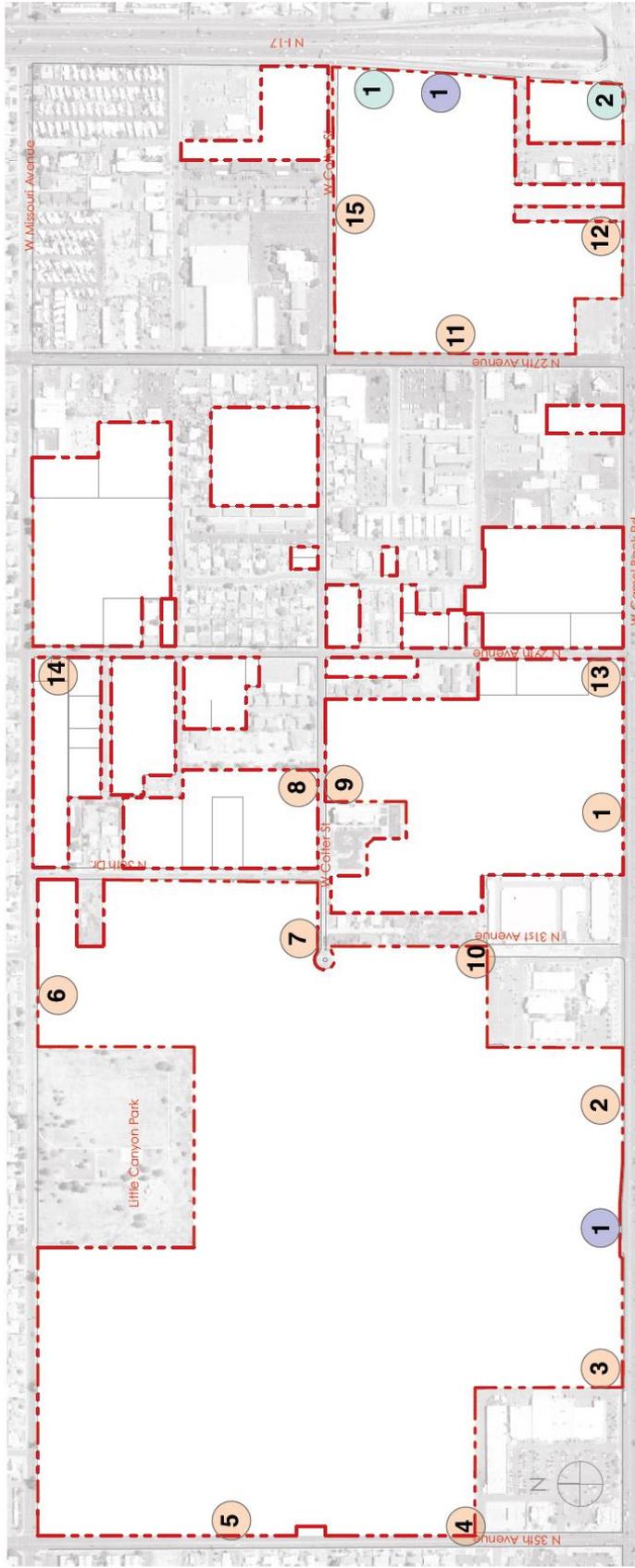
Signage on the GCU campus consists of three classes of signs: major monument signs, minor monument signs, and other sign types, including building facade-mounted/wall signs. Major and minor monument signs shall be provided along the perimeter of the campus, and are primarily intended to identify and advertise the campus. Information panels, university insignia and/or wayfinding elements may be incorporated into wall design.

Other sign types may be visible from locations outside the campus, but are primarily intended to identify the University, buildings, programs, or significant locations within the campus (an exception would be aerial view signs which are visible from above). Other sign types range from building signs to information kiosks directing new students to classes. With the inclusion of freeway frontage a freeway pylon sign or signs will be added, and an entry monument will be added at Colter and the I-17 frontage road entrance to the campus.

A Major Monument Sign currently exists on Camelback Road at the 33rd Avenue entrance (location 1 on the Perimeter Signage Locations plan). This sign at location “1” has recently been upgraded to consist of opposing monuments on either side of the entrance that incorporate the GCU word mark, seal, and a digital display board. Variation in massing is achieved through the use of distinct planar elements that join to form the sign, and by varying the treatment of each sign in color and material (stucco and stone). Placement of other major/minor monument signs and freeway pylon signs shall be as depicted on the “Perimeter Signage Locations” exhibit within this PUD.

1. Perimeter Signage

Perimeter Signage Locations



- Major monument signage
- Minor monument signage
- Freeway Pylon



suOLL
architects

Minor monument signs at the remaining locations are expected to be added or upgraded over time to include the GCU word mark, seal, location identification (e.g., “34th Avenue at Grand Canyon University”), or other way-finding elements.

The following standards shall apply to signage on the GCU campus. These standards are divided into three sections, major monument signage, minor monument signage, and other permitted sign types which may be found elsewhere on campus (i.e., such as wall signs on buildings, pedestrian malls, parking lots, or roofs). Major and minor monument signage is specific to perimeter locations identified in diagram I.1, while other permitted sign types are found throughout the campus interior, and may or may not be visible from adjacent parcels or public right of way. Minor signs will be designed to complement major signs, providing an image readily identifiable by the community.

The proposed standards reflect the signs currently approved for GCU.

Signage Standards

Major Monument Signage

Height	30 feet maximum
Sign area (base or structure excluded)	maximum 350 SF each, 2 per location
Digital display area	maximum 225 SF each, 2 per location
Materials	CMU, cementitious fiberboard, stucco or metal
Location	As depicted on the “Perimeter Signage Locations” exhibit within this PUD, and in other locations compatible with the requirements in Section 705 of the Phoenix Zoning Ordinance.

Minor Monument Signage

Height	18 feet maximum
Sign area (base or structure excluded)	Maximum 200 SF each, 2 per location
Materials	CMU, cementitious fiberboard, stucco or metal
Location	As depicted on the “Perimeter Signage Locations” exhibit within this PUD, and in other locations compatible with the requirements in Section 705 of the Phoenix Zoning Ordinance as of the date of PUD adoption.

Other permitted sign types

Building-façade mounted/wall signs	
Freeway Pylon Sign	
Painted wall or 3D wall relief signs	
Pan channel lettering	
Electronic message center	
Sculptural Signs	
Translucent/mesh signs	
Projected light signs	
Architectural ledge or roof signs	
Aerial view signs	<i>*limited to 2,000 SF in area on the roof of the Event Center</i>

Building-façade mounted/wall signs (“wall signs”) are signs visible from the public right-of-way and placed or painted directly against a bearing and/or nonbearing wall connected to a building structure, with the exposed face of the sign in a plane approximately parallel to the plane of said wall and projecting outward from the wall not more than two feet. Such signs may feature accessory lighting components to allow for visibility at night.

College campuses are a unique land use. Similar to Phoenix’s vision for the downtown, university campuses should provide a unique and authentic sense of place. This sense of place should be vibrant and energetic to both match and promote the enthusiasm of young students who come together with diverse backgrounds and goals to form a united student body.

Artistic graphics, images, and elements on the exterior of campus is one of the primary ways this sense of place is created, particularly as the art draws upon themes and images present throughout the campus and university experience. Those thematic elements and displays tie the entire campus experience together and create a more vibrant and inviting exterior aesthetic to the campus.

Accordingly, as a subset of wall signs, GCU’s campus will feature building art design components (“building art”).

Building art will architecturally enhance the façades of campus buildings with artistic designs, and/or other graphic art (no photographs).

No more than 30% of the design of such building art signs may be dedicated to text and no portion of the sign may be dedicated to advertising any off-campus products or services. Such signs may feature accessory lighting components to allow for visibility at night.

Wall Signs

Height	No closer to top of roof parapet than 3 feet.
Sign area	1.5 square foot per linear foot per elevation, (except for the additional allowance for building art); <i>Building Art:</i> 3.5 square feet per linear foot per elevation (except no building art component shall encompass more than 25% of the total square footage of the building façade on which the building art is located)

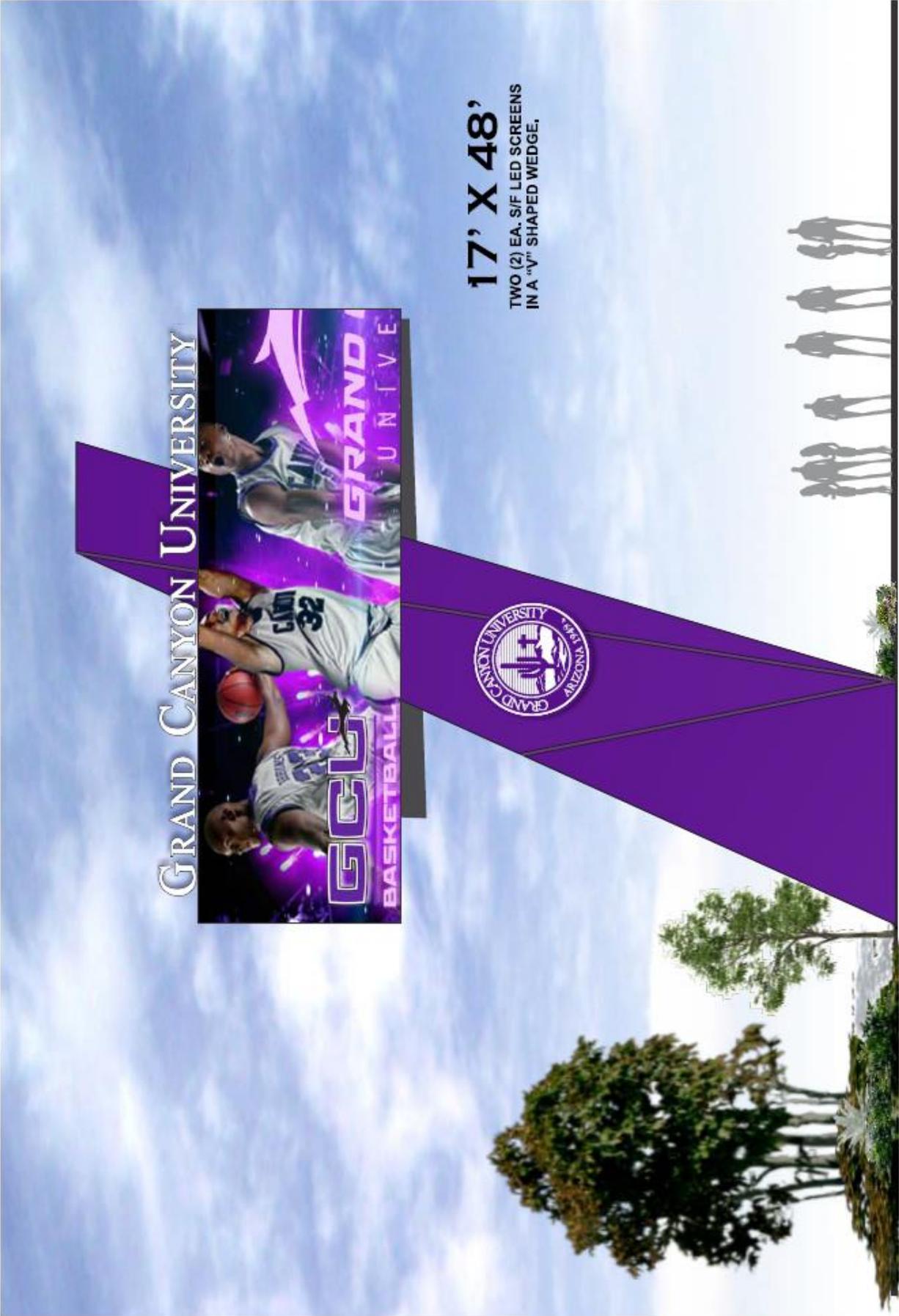
Temporary Banner Signs. A temporary sign composed of high quality fabric mesh, vinyl, heavy polyester, or other durable, but flexible, material and secured or mounted so as to allow the movement of the atmosphere to move the sign, which may be mounted on walls and fences and which is visible from the public right-of-way. These shall include, but not be limited to, temporary or rotating banners affixed to poles, which shall be securely fastened, vented, and have a minimum clearance of eight feet above grade. The light standards shall be engineered to support any banner larger than four feet. The standards for Temporary Banner Signs affixed to building walls shall be the same as those applicable to wall signs (including the allowance for building art). Illustrative Examples are included below in the exhibits entitled “Banner Wall Sign” and “Banner Building Art.”



Arched Entry Signs up to a maximum of 18 feet in height may be allowed over major and minor entrances so long as they are attached and integrated into the perimeter site wall design and not freestanding or monolithic in nature. Arched entry signs shall be predominately open above a height of 14 feet. The Minimum vertical clearance for vehicular traffic shall be 14 feet.

Freeway Pylon Signs. These signs shall be located adjacent to the freeway and advertise Grand Canyon University, its events, facilities, services, and activities. Such signs shall be as depicted below in area and height and may include electronic displays. No full motion video shall be permitted. However, copy change every 10 seconds with no hourly restriction shall be permitted. These signs advertise GCU and its programs and activities, are permitted to a maximum height of 75 feet and an area of 17' x 48', and are subject to the spacing and location requirements of Section 705 of the Zoning Ordinance. Electronic displays are permitted.

Also permitted is GCU's v-shaped freeway pylon sign along the I-17 freeway just south of Colter St. that is 68' 9" in height with a maximum sign area of 1,053 sf., which includes 816 sf. LED screen on each side of the structure, a 10' diameter GCU logo (approximately 79 sf.) and 158 sf. set of pan channel letters and backer on top of each LED screen to identify Grand Canyon University. Exhibits below identify the conceptual appearance and dimensions of this sign both with and without the backer behind the pan channel letters (either configuration being permitted). All freeway pylon signs shall be consistent in theme and colors to match the University's color palette.



17' X 48'

TWO (2) EA. S/F LED SCREENS
IN A "V" SHAPED WEDGE.

Major Monument Signs shall be limited to two signs of 30 feet or less in height, with a maximum digital display area of 225 square feet per sign. Letters shall be 12 inches in height or less, and one university seal or crest of five feet in diameter shall be allowed per sign.

Perimeter Ground Signs. These include major monument signs, arched entry signs, and signs mounted to perimeter site walls or gates.

Signage mounted to perimeter walls or gates may consist of logos, crests, or university seals not more than five feet diameter, letters of not more than 36 inches in height, and shall be limited to 18 feet in height.

Shade Device/Apparent Bas-Relief Signs. Signs formed through the manipulation of shading devices so that the silhouette of letters or graphic images are read in apparent bas-relief from oblique angles shall be allowed. To be considered a shade device/apparent bas-relief sign, the apparent image must be visible only at oblique angles to the wall or façade (i.e. must not be identifiable when the viewer is facing the wall or façade directly or at a right angle), and the complete assembly must serve as a shading device that mitigates solar heat transfer to a building or pedestrian path. Such signs shall be limited to four square feet per linear foot of the building elevation to which they are attached. Area shall be computed as fifty percent (50%) of the sum of the surface area of all faces required to form the apparent letters or graphic images.

Aerial Signs. There shall be no more than one (1) unlit aerial sign on the roof of the event center and it shall not exceed 2,000 square feet. Such aerial sign shall not be visible from the perimeter of the development.

Fixed Pole Mounted Signs. These shall include permanent pole mounted way-finding signs in parking lots. The structures on which the signs are placed shall be limited to 27 feet in height. The signs themselves should be four feet with a maximum of 16 square feet.

J. SUSTAINABILITY

The redevelopment of urban infill locations offers a number of benefits from a sustainability perspective. Since 1951, the GCU campus has developed in a typical suburban pattern of widely spaced one- and two-story buildings. By choosing to accommodate student growth within its current campus, GCU is moving toward a more sustainable model of increased density. Constructing new buildings on previously developed land helps to preserve irreplaceable agricultural resources by protecting prime farmland and unspoiled desert habitat from sprawl. The efficiency of transportation and utility infrastructure is increased by reducing total system distances and using existing services. Infill locations provide excellent proximity to a variety of existing uses, which help to promote community connectivity and vibrant neighborhoods.

This PUD proposes that each new building 10,000 square feet or larger on the GCU campus meet five of the following seven standards in order to further address sustainability.

Sustainability Standards and Practices	
<i>Each project shall meet at least 5 of the following requirements</i>	
1	Ensure proper building orientation with 60% or more of an individual building's

unshaded façade area facing within 15 degrees of north/south
2 No more than 15% of unshaded glazing facing within 15 degrees of west
3 Provide bicycle stalls or lockers for at least 10% of residents and 2% of faculty/staff
4 Ensure that at least 20% of building materials (by weight) be manufactured within a 500 mile radius of the site
5 Ensure that at least 90% of low slope, unventilated roof area is covered with light colored or high-albedo materials with a Solar Reflectance Index (SRI) of at least 30
6 Ensure that a LEED-Accredited Professional is on the landscape architecture project team
7 Ensure that a LEED-Accredited Professional is on the mechanical engineering project team

K. INFRASTRUCTURE

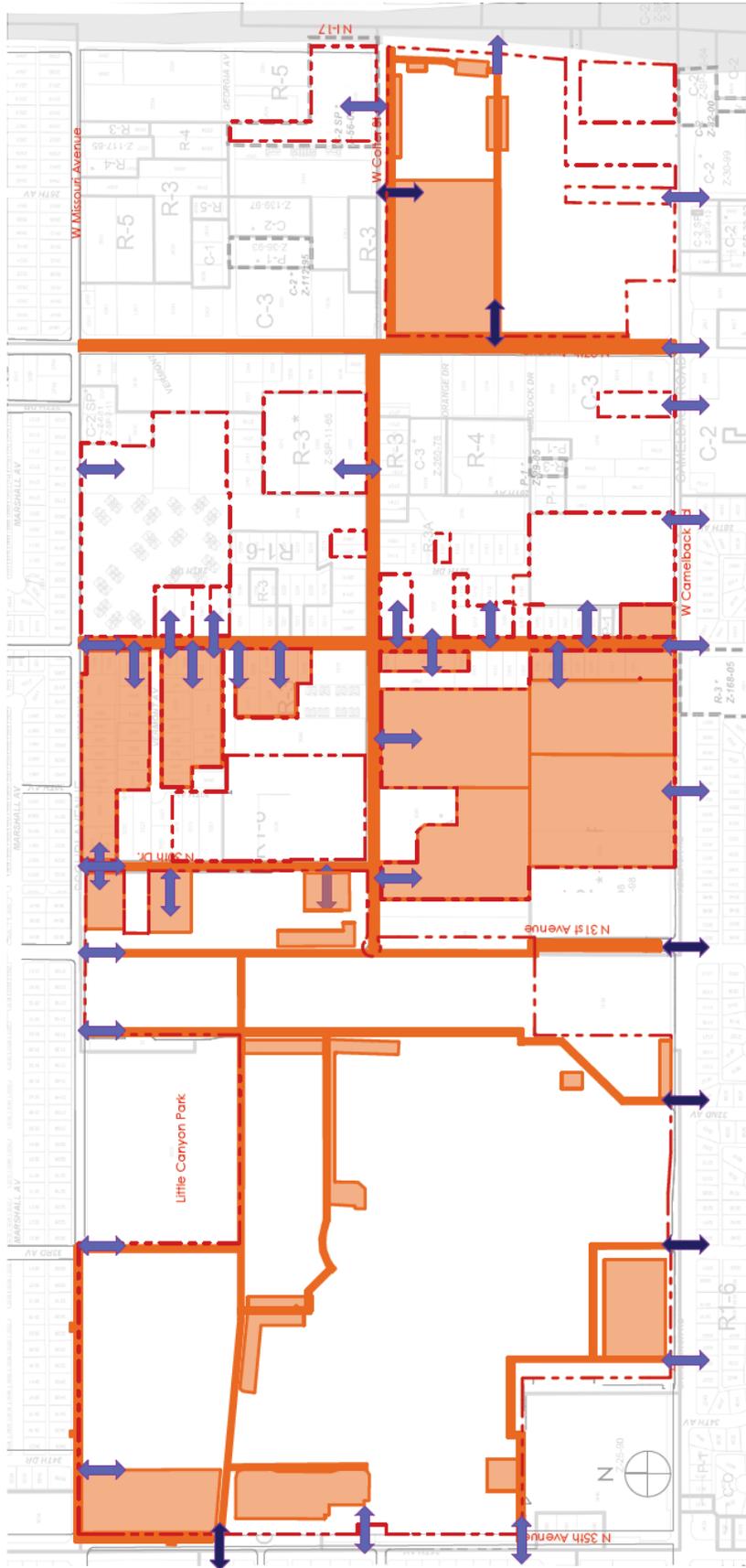
1. Circulation Systems

Ingress and egress to the Campus will be provided via 6 major and various minor drives, as depicted on the Vehicular Circulation Plan below. No improvements are proposed to the existing symbolic main entrance drive on 33rd Avenue.

The Street Classification Map designates Camelback Road from 27th Avenue to 35th Avenue as a class “D” arterial, with a 50-foot half street right-of-way. Traffic studies have been completed by CivTech for the street system surrounding the campus and for the 6 major vehicular access points designated in the exhibit below. Other points of ingress/egress are shown below but their use is limited and/or controlled.

2. Vehicular Access Points

Vehicular Access Points



-  Major Parking Areas
-  Major vehicular access
-  Minor vehicular circulation



Pedestrian Circulation

Currently, pedestrian circulation on campus is handled via a network of sidewalks, paths, and pedestrian malls. Small and intermediate sized parking lots are spread throughout campus, and students, faculty and staff who commute via automobile disperse from these lots to various buildings on campus. Those who commute via mass transit or alternative modes of transportation are able to enter the campus at 4 points along Camelback Road and the access road on 35th Avenue, and then traverse the campus via the same internal system. As redevelopment occurs, parking will be moved to the perimeter of campus and automobile commuters will exit their cars along the periphery of campus and walk to their internal destinations. As redevelopment occurs, parking will be moved to the perimeter of campus and automobile commuters will exit their cars along the periphery of campus and walk to their internal destinations.

Little Canyon Trail

The Little Canyon Canal is an historic channel that predates the Salt River Project canal system seen elsewhere in the valley. The canal is a relatively narrow channel that transitions to an underground vault on either side of the university campus. This trail runs through the middle of the campus for a distance of approximately half mile from Missouri Avenue to Camelback Road.

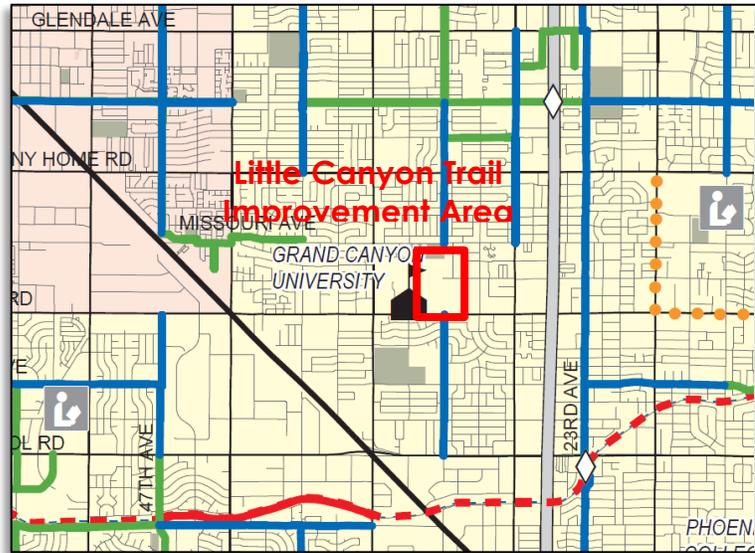
Easements are currently in place along the alignment of the trail, including utility easements and a multiuse trail easement. The alignment of the canal represents a segment in the Metropolitan Bike Path system (see the Maricopa Association of Governments “Bikeways” map), and is a community amenity. The City of Phoenix recently approved a Public Art Project that aims to improve the canal between Missouri Avenue and Camelback Road, and capitalize on its capacity to serve as a walking and bike path for area neighbors and public pedestrian access to Little Canyon Trail shall continue to be provided along Colter Street.

Improvements created a heavily landscaped multiuse path on the western bank of the canal on university property. As such, the university has agreed to provide annual funds to maintain these improvements that include a meandering path of concrete and decorate concrete, groundcover and shrubs, including white lantana, desmettiana and blue grama grasses, along with a tree canopy of pistache, palo verde and sissou trees place 30 feet on center to provide shade and screening. A landscaped terminus is provided at the Colter Street cul-de-sac as an amenity to the adjacent neighborhood.

These walkable improvements provide a welcome amenity to the neighborhood, and also provide a superior screening element between the campus and multifamily properties to the east. The extent of these improvements varies along the canal alignment, but is generally between 30 and 40 feet deep. The practical effect on the immediately surrounding neighbors will be to provide a superior buffer between educational and residential uses that will help mitigate any possible negative effects on adjacent property owners.

Metropolitan Bike Map

Source:
Maricopa Association of Governments
“Bike Ways”



3. Grading and Drainage

The project is being designed for new construction to accommodate on-site storage for run-off from a 100-year, 2-hour storm event. The common retention areas will be limited to a maximum of three feet of water depth and graded with maximum side slopes of 4:1. Retention areas provided on individual parcels may be either by retention basins or underground storage. All retention facilities will be drained within 36-hours of a major storm event as required by the City of Phoenix Drainage Design Manual.

4. Water & Wastewater Services

Water Design

The site is currently served by 12” waterlines within Camelback Road and Missouri Avenue and an 8” waterline within 35th Avenue. There is an internal network of public 8” and 6” lines to distribute water throughout the campus. Proposed buildings will be serviced from the internal distribution system, and be subject to the Phoenix Plumbing code. The water distribution system within this project, including fire protection, will be a private system, owned and maintained by the property owner. Improvements to the system will be reviewed and inspected by the Building Safety Section of the Development Services Department.

Wastewater Design

Wastewater services for this project will be provided by an existing 15” sewer line in the 35th Avenue right of way and 8” sewer lines in Colter Street and 33rd Avenue. Within the site, the campus is served by an internal network of 8” and 12” sewer lines. New buildings will connect to this internal network. All new sanitary sewer lines within the site shall be private plumbing lines subject to the Phoenix Plumbing Code or the Arizona Department of Environmental Quality (ADEQ) Aquifer Protection Program General Permit 4.01 in accordance with Arizona Administrative Code Title 18, Chapter 9, Section E301, whichever is applicable.

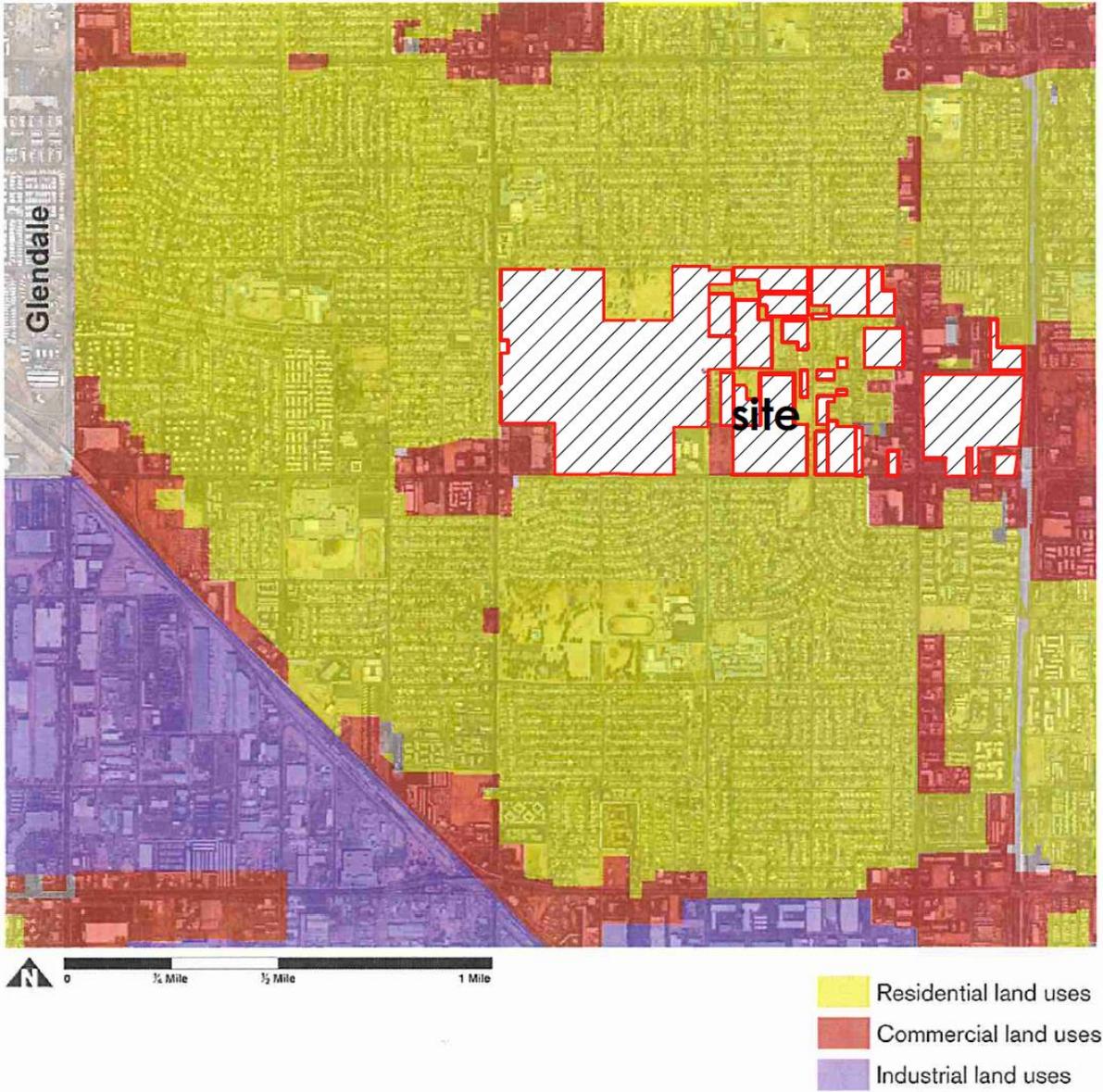
Internal sewer main sizes and manhole spacing will be as required by the City of Phoenix Water Services Design Manual. The sanitary sewer collection system within this project will be a private system, owned and maintained by the property owner. The system will be reviewed and inspected by the Building Safety Section of the Development Services Department.

O:\INDEX\GRAND CANYON UNIVERSITY\GRAND CANYON UNIVERSITY PUD - 2015\DOCS\PUD AMENDMENT\3RD SUBMITTAL\DRAFT 3.0 VERSION BASED ON STAFF'S 2.5 COMMENTS 3.8.16.DOCX

EXHIBITS

1. Context Aerial
2. General Plan Land Use Maps
3. Legal Description
4. Traffic Study Reference
5. Context Plan & Photos

General Context Aerial



General Context Zoning Aerial

Existing General Plan Land Use Map
(Commercial; Public/Quasi-Public; 10-15 du/ac; 15+ du/ac)

EXISTING:

Residential 10 to 15 du/acre (39.11 +/- Acres), Commercial (6.20 +/- Acres),
Residential 15+ du/acre (1.83 +/- Acres)

-  Proposed Change Area
-  Residential 3.5 to 5 du/acre
-  Residential 10 to 15 du/acre
-  Residential 15+ du/acre
-  Commercial
-  Industrial
-  Public/Quasi-Public
-  Transportation
-  Parks/Open Space - Publicly Owned

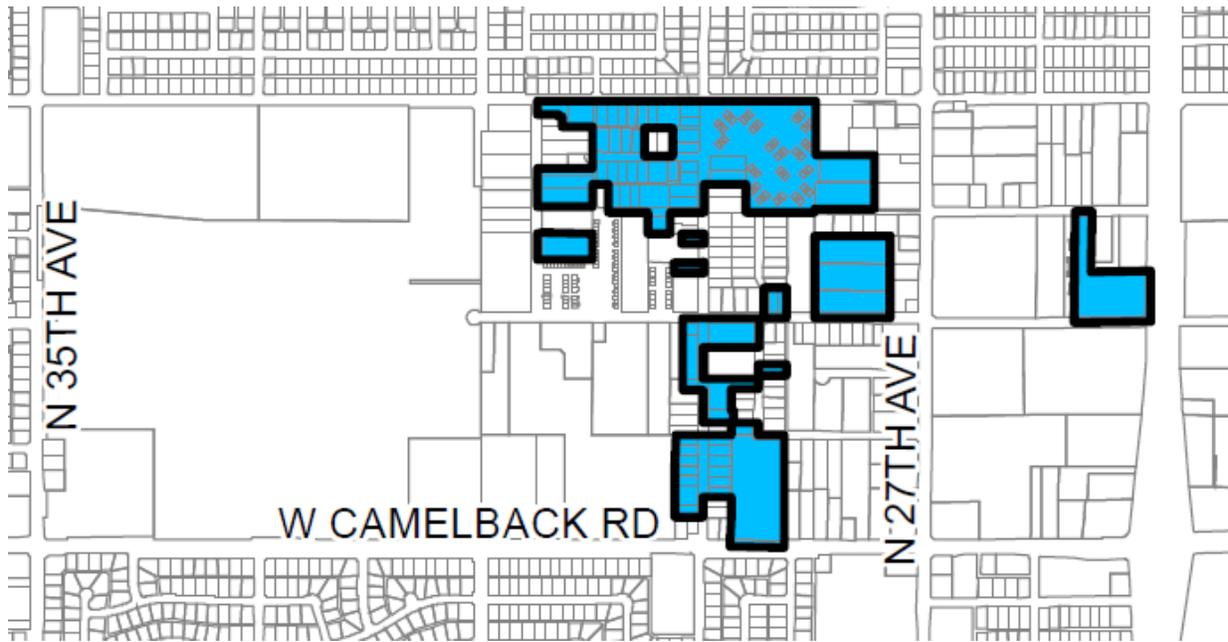


Proposed General Plan Land Use Map
(Public/Quasi-Public)

PROPOSED CHANGE:

Public/Quasi-Public (47.14 +/- Acres)

-  Proposed Change Area
-  Public/Quasi-Public



PUD UPDATE REV 4B
LEGAL DESCRIPTIONS
2/25/2016



EXPIRES: 9/30/2016

**LEGAL DESCRIPTION
PUD UPDATE**

PARCEL NO. 1 (35TH & CAMELBACK CAMPUS):

THAT PORTION OF THE SOUTHWEST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 14 BEARS NORTH 89°55'51" WEST, 2621.08 FEET;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 14 NORTH 00°06'04" EAST, 638.66 FEET TO A ½" REBAR WITH CAP STAMPED "LS 48510" MARKING THE SOUTHEAST CORNER OF THAT PARCEL AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2010-0043322, RECORDS OF MARICOPA COUNTY, ARIZONA, AND THE **POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID EAST LINE NORTH 00°06'04" EAST, 688.55 FEET TO THE NORTHWEST CORNER OF LOT 1, BLOCK 3, PLAT OF "HOMELAND" AS RECORDED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, AND THE SOUTHEAST CORNER OF A PARCEL AS DESCRIBED IN DOCKET 8422, PAGE 181, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER BEING MARKED BY A ½" REBAR WITH CAP STAMPED "LS 48510", AND ALSO BEING THE BEGINNING OF A NON-TANGENT 25.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTH, SAID CURVE BEING TANGENT TO THE NORTH LINE OF SAID LOT 1, OF WHICH THE RADIUS POINT OF SAID CURVE BEARS SOUTH 00°01'44" WEST, 25.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 38°12'17", AN ARC LENGTH OF 16.67 FEET TO A ½" REBAR WITH CAP STAMPED "LS 48510" AND THE POINT OF REVERSE CURVATURE OF A 45.00 FOOT RADIUS CURVE CONCAVE TO THE EAST;

THENCE ALONG SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 256°25'35", AN ARC LENGTH OF 201.40 FEET TO A ½" REBAR WITH CAP STAMPED "LS 48510" AND THE POINT OF REVERSE CURVATURE OF A 25.00 FOOT RADIUS CURVE CONCAVE TO THE NORTH;

THENCE ALONG SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 38°21'29", AN ARC LENGTH OF 16.74 FEET TO THE NORTHEAST CORNER OF SAID PARCEL AND THE SOUTHWEST CORNER OF LOT 1, PLAT OF "COLTER OFFICE COMPLEX" AS FILED IN BOOK 1117, PAGE 3, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER BEING MARKED BY A ½" REBAR WITH CAP STAMPED "LS 48510";

THENCE SOUTH 89°59'35" EAST, 297.51 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE SOUTHEAST CORNER OF SAID LOT 1, SAID CORNER BEING MARKED BY A ½" REBAR WITH CAP STAMPED "LS 48510";

THENCE NORTH 00°10'43" EAST, 942.00 FEET ALONG THE EAST LINE OF SAID LOT 1 AND THE EAST LINES OF LOTS 4 AND 6, PLAT OF "HOMESITE TRACTS" AS FILED IN BOOK 18 OF MAPS, PAGE 48, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE NORTH LINE OF SAID LOT 6;

THENCE SOUTH 89°58'57" WEST, 298.79 FEET ALONG THE NORTH LINE OF SAID LOT 6 TO THE NORTHWEST CORNER OF SAID LOT 6, SAID CORNER LYING ON SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 14;

THENCE NORTH 00°06'04" EAST, 133.95 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 180 FEET OF LOT 8, SAID PLAT OF "HOMESITE TRACTS";

THENCE NORTH 89°58'09" EAST, 298.97 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF SAID LOT 8;

THENCE NORTH 00°10'43" EAST, 150.00 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 30.00 FEET OF SAID LOT 8;

THENCE SOUTH 89°58'09" WEST, 259.17 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF THE WEST 40.00 FEET OF SAID LOT 8;

THENCE SOUTH 00°06'04" WEST, 10.00 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 40.00 FEET OF THE SOUTHEAST QUARTER OF SAID SECTION 14;

THENCE SOUTH 89°58'09" WEST, 40.00 FEET ALONG SAID SOUTH LINE TO SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 14;

THENCE SOUTH 89°58'09" WEST, 430.00 FEET ALONG THE SOUTH LINE OF THE NORTH 40.00 FEET OF SAID SOUTHWEST QUARTER OF SECTION 14 TO A POINT IN THE WEST LINE OF THE EAST 430.00 FEET OF SAID SOUTHWEST QUARTER OF SECTION 14, SAID POINT BEING MARKED BY A CHISELED 'X' IN CONCRETE;

THENCE SOUTH 00°06'04" WEST, 670.21 FEET ALONG SAID WEST LINE TO A POINT IN THE SOUTH LINE OF THAT PARCEL AS DESCRIBED IN THAT CERTAIN WARRANTY DEED FILED IN DOCKET 9110, PAGE 55, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "LS 48510";

THENCE NORTH 89°58'50" WEST, 886.23 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF THE PLAT OF "QUATROS (AMENDED)" AS FILED IN BOOK 148, PAGE 14, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 00°02'13" EAST, 679.43 FEET ALONG THE EAST LINE OF SAID PLAT TO THE SOUTH RIGHT OF WAY LINE OF MISSOURI AVENUE, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 12213";

THENCE SOUTH 89°58'09" WEST, 1263.06 FEET ALONG SAID RIGHT OF WAY LINE TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 44°53'24" WEST, 19.77 FEET TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 00°11'02" EAST, 1084.75 FEET ALONG THE EAST LINE OF THE WEST 40.00 FEET OF SAID SOUTHWEST QUARTER AND THE EASTERLY RIGHT OF WAY LINE OF 35TH AVENUE TO THE NORTHWEST CORNER OF THAT PARCEL AS DESCRIBED IN DOCUMENT NUMBER 2012-0023184, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE NORTH 89°48'58" EAST, 80.00 FEET ALONG THE NORTH LINE OF SAID PARCEL TO THE NORTHEAST CORNER OF SAID PARCEL, SAID CORNER BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 00°11'02" EAST, 170.00 FEET ALONG THE EAST LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 89°48'58" WEST, 80.00 FEET ALONG THE SOUTH LINE OF SAID PARCEL AND THE SOUTH LINES OF THOSE PARCELS AS DESCRIBED IN DOCKET 11058, PAGE 1231, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BOOK 235, PAGE 383, RECORDS OF MARICOPA COUNTY, ARIZONA, TO A POINT IN SAID EASTERLY RIGHT OF WAY LINE OF 35TH AVENUE AND THE EASTERLY LINE OF SAID PARCEL NUMBER ONE DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED

FILED IN DOCKET 10860, PAGE 502, SAID POINT BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 00°11'02" EAST, 20.51 FEET ALONG SAID RIGHT OF WAY LINE AND THE EAST LINE OF SAID PARCEL NUMBER ONE TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 14 AND THE NORTHEAST CORNER OF THAT PARCEL DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED FILED IN DOCKET 2865, PAGE 98, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE CONTINUING SOUTH 00°11'02" EAST, 629.26 FEET ALONG THE EAST LINE OF SAID PARCEL AND ALONG SAID RIGHT OF WAY LINE TO A POINT ON THE NORTH LINE OF THE SOUTH 690 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 14, FROM WHICH SAID POINT A 1/2 INCH REBAR WITNESS CORNER WITH CAP STAMPED "LS 48510 W.C." BEARS SOUTH 89°55'51" EAST, 2.00 FEET;

THENCE SOUTH 89°55'51" EAST, 650.01 FEET ALONG SAID NORTH LINE AND THE NORTHERLY LINE OF THAT PARCEL DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2006-1202438, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE NORTHEAST CORNER OF SAID PARCEL AND THE NORTHEAST CORNER OF THE SOUTH 690 FEET OF THE WEST 690 FEET OF SAID SOUTHWEST QUARTER, SAID CORNER BEING MARKED BY A 1/2" REBAR;

THENCE SOUTH 00°11'02" EAST, 650.01 FEET ALONG THE EAST LINE OF THE WEST 690 FEET OF SAID SOUTHWEST QUARTER TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF CAMELBACK ROAD AND THE NORTHERLY LINE OF THAT PARCEL AS DESCRIBED IN SAID QUIT CLAIM DEED FILED IN DOCKET 2865, PAGE 98, SAID POINT BEING MARKED BY A 1/2" IRON PIPE;

THENCE SOUTH 89°55'51" EAST, 568.63 FEET ALONG SAID NORTHERLY LINE OF SAID PARCEL AND ALONG SAID NORTHERLY RIGHT OF WAY LINE TO THE SOUTHWEST CORNER OF PARCEL NUMBER TWO DESCRIBED IN SAID QUIT CLAIM DEED FILED IN DOCKET 10860, PAGE 502, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE NORTH 45°00'49" EAST, 16.95 FEET ALONG THE NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 89°55'51" EAST, 229.00 FEET ALONG SAID NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 35832";

THENCE SOUTH 86°07'03" EAST, 180.42 FEET ALONG SAID NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 35832";

THENCE SOUTH 89°55'51" EAST, 511.64 FEET ALONG SAID NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO A POINT IN THE WEST LINE OF THE EAST 430.00 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 14, SAID POINT BEING MARKED BY A PK NAIL WITH TAG STAMPED "LS 48510";

THENCE NORTH 00°06'04" EAST, 598.80 FEET ALONG SAID WEST LINE AND ALONG THE WESTERLY LINE OF THAT PARCEL DESCRIBED IN THAT CERTAIN WARRANTY DEED FILED IN DOCKET 7870, PAGE 557, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE SOUTHWEST CORNER OF SAID PARCEL DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2010-0043322, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE ALONG THE SOUTH LINE OF SAID PARCEL SOUTH 89°54'46" EAST, 430.00 FEET TO THE **POINT OF BEGINNING.**

CONTAINS 5,666,480 SQUARE FEET OR 130.084 ACRES, MORE OR LESS.

PARCEL NO. 2 (COLTER STREET PROPERTY):

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHEAST CORNER OF SAID SECTION 14 BEARS SOUTH 89°56'34" EAST, 2621.76 FEET;

THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER SOUTH 89°56'34" EAST, 491.59 FEET;

THENCE NORTH 00°03'26" EAST, 40.00 FEET TO THE INTERSECTION OF THE NORTH LINE OF THE SOUTH 40.00 FEET OF SAID SOUTHEAST QUARTER, SAID NORTH LINE ALSO BEING THE NORTHERLY RIGHT OF WAY LINE OF CAMELBACK ROAD, AND THE WEST LINE OF LOT 12, BLOCK 3, PLAT OF "HOMELAND", AS FILED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID INTERSECTION BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510" AND BEING THE **POINT OF BEGINNING**;

THENCE NORTH 89°56'34" WEST, 168.85 FEET ALONG THE SAID NORTH LINE OF THE SOUTH 40.00 FEET OF SAID SOUTHEAST QUARTER TO THE SOUTHWEST CORNER OF LOT 11, BLOCK 3, PLAT OF "HOMELAND", AS FILED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER BEING MARKED BY A REBAR WITH YELLOW CAP STAMPED "LS 10846";

THENCE NORTH 00°07'57" EAST, 621.25 FEET ALONG THE WEST LINE OF SAID LOT 11, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE NORTHWEST CORNER OF SAID LOT 11, SAID CORNER BEING MARKED BY A 1" OUTSIDE DIAMETER PIPE WITH YELLOW CAP STAMPED "RLS 48510" ATTACHED BY A WIRE;

THENCE NORTH 89°58'04" WEST, 164.02 FEET ALONG THE SOUTH LINE OF LOT 2, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE SOUTHWEST CORNER OF SAID LOT 2, SAID CORNER BEING MARKED BY A MAG NAIL WITH WASHER STAMPED "RLS 48510";

THENCE NORTH 00°06'59" EAST, 666.17 FEET ALONG THE WEST LINE OF SAID LOT 2 TO THE NORTHWEST CORNER OF SAID LOT 2, FROM WHICH SAID CORNER A MAG NAIL WITNESS CORNER WITH WASHER STAMPED "LS 48510 WC 11FT" BEARS NORTH 00°06'59" EAST, 11.00 FEET;

THENCE SOUTH 89°59'35" EAST, 189.21 FEET ALONG THE NORTH LINE OF SAID LOT 2 AND THE NORTH LINE OF LOT 2, PLAT OF "COLTER COMMONS", AS FILED IN BOOK 1089, PAGE 30, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE NORTHEAST CORNER OF SAID LOT 2 OF "COLTER COMMONS", SAID CORNER BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 00°07'56" WEST, 157.57 FEET ALONG THE PROPERTY LINE COMMON TO SAID LOT 2 AND LOT 1, SAID PLAT OF "COLTER COMMONS", TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A PK NAIL WITH WASHER STAMPED "RLS 31020 GOETZ";

THENCE NORTH 89°57'53" EAST, 111.47 FEET ALONG SAID PROPERTY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 40°41'03" EAST, 40.71 FEET ALONG SAID PROPERTY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A PK NAIL WITH WASHER STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 00°01'08" EAST, 142.12 FEET ALONG SAID PROPERTY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A PK NAIL WITH WASHER STAMPED "RLS 31020 GOETZ";

THENCE NORTH 89°58'06" EAST, 164.78 FEET ALONG SAID PROPERTY LINE TO THE SOUTHEAST CORNER OF SAID LOT 1, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE NORTH 00°09'50" EAST, 330.37 FEET ALONG THE EAST LINE OF SAID LOT 1 TO THE NORTHEAST CORNER OF SAID LOT 1, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 89°59'35" EAST, 458.42 FEET ALONG THE NORTH LINE OF LOT 5, 6, AND 7, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE EAST LINE OF THE WEST 130 FEET OF SAID LOT 7;

THENCE SOUTH 00°11'43" WEST, 666.59 FEET ALONG THE EAST LINE OF THE WEST 130 FEET OF SAID LOT 7 AND LOT 8, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE NORTH LINE OF LOT 15, BLOCK 3, SAID PLAT OF "HOMELAND";

THENCE SOUTH 89°58'04" EAST, 34.03 FEET ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF SAID LOT 15, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE CONTINUING SOUTH 89°58'04" EAST, 134.03 FEET ALONG THE NORTH LINE OF LOT 16, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE NORTHEAST CORNER OF THE NORTH 60 FEET OF SAID LOT 16, SAID CORNER BEING ON THE WEST RIGHT OF WAY LINE OF 29TH AVENUE;

THENCE SOUTH 00°13'37" WEST 611.67 FEET ALONG SAID EAST LINE OF LOT 16 TO THE NORTH LINE OF THAT PARCEL AS DESCRIBED IN DOCKET 9174, PAGE 788, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID NORTH LINE ALSO BEING THE NORTH RIGHT OF WAY LINE OF CAMELBACK ROAD;

THENCE NORTH 89°56'34" WEST, 60.00 FEET ALONG SAID NORTH LINE AND SAID RIGHT OF WAY LINE TO A POINT ON THE WEST LINE OF THE EAST 60.00 FEET OF SAID LOT 16;

THENCE SOUTH 00°13'37" WEST, 10.00 FEET ALONG SAID WEST LINE TO THE NORTH LINE OF THE SOUTH 40.00 FEET OF SAID SOUTHEAST QUARTER, SAID NORTH LINE ALSO BEING THE NORTHERLY RIGHT OF WAY LINE OF CAMELBACK ROAD;

THENCE NORTH 89°56'34" WEST, 729.29 FEET ALONG SAID RIGHT OF WAY LINE TO THE **POINT OF BEGINNING**.

CONTAINS 1,148,775 SQUARE FEET OR 26.372 ACRES, MORE OR LESS.

PARCEL NO. 3 (27TH AVENUE PROPERTY):

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 13, FROM WHICH A BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 13 BEARS NORTH 89°28'56" EAST, 2604.62 FEET;

THENCE NORTH 89°28'56" EAST, 325.01 FEET TO THE EAST LINE OF THE WEST 324.97 FEET OF SAID SOUTHWEST QUARTER;

THENCE NORTH 00°20'47" EAST, 42.00 FEET ALONG SAID EAST LINE TO THE INTERSECTION WITH THE NORTH LINE OF THE SOUTH 42 FEET OF SAID SOUTHWEST QUARTER, SAID NORTH LINE BEING THE NORTH RIGHT OF WAY LINE OF CAMELBACK ROAD AND THE **POINT OF BEGINNING**;

THENCE CONTINUING NORTH 00°20'47" EAST, 224.66 FEET TO THE NORTH LINE OF THE SOUTH 266.64 FEET OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 89°28'56" WEST, 285.00 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF THE WEST 40 FEET OF SAID SOUTHWEST QUARTER, SAID EAST LINE BEING THE EAST RIGHT OF WAY LINE OF 27TH AVENUE;

THENCE NORTH 00°20'47" EAST, 507.48 FEET ALONG SAID EAST RIGHT OF WAY LINE TO THE NORTHWEST CORNER OF PARCEL NO. 4, AS DESCRIBED IN THAT CERTAIN DEED RECORDED UNDER DOCUMENT NUMBER 1997-0068316, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER ALSO BEING COINCIDENT WITH THE SOUTH LINE OF PARCEL 'A' AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2013-0272283, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 89°31'06" WEST, 40.00 FEET ALONG THE SOUTH LINE OF SAID PARCEL 'A' TO THE SOUTHWEST CORNER OF SAID PARCEL 'A', SAID CORNER BEING COINCIDENT WITH THE WEST LINE OF SAID SECTION 13;

THENCE NORTH 00°20'47" EAST, 520.05 FEET ALONG SAID WEST LINE TO THE NORTHWEST CORNER OF SAID PARCEL 'A';

THENCE NORTH 89°31'06" EAST, 40.00 FEET ALONG THE NORTH LINE OF SAID PARCEL 'A' TO AN ANGLE POINT IN THE NORTH LINE OF SAID PARCEL 'A', ALSO BEING THE NORTHWEST CORNER OF A TRIANGLE PARCEL AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1987-510237, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 00°20'47" WEST, 5.00 FEET ALONG THE PROPERTY LINE OF SAID PARCEL 'A' TO THE SOUTHWEST CORNER OF SAID TRIANGLE PARCEL, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "SPRINGER LS 34399";

THENCE NORTH 44°55'57" EAST, 7.12 FEET ALONG SAID PROPERTY LINE AND THE SOUTHEASTERLY LINE OF SAID TRIANGLE PARCEL TO THE NORTHEAST CORNER OF SAID TRIANGLE PARCEL, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "STUSSY RLS 37259";

THENCE NORTH 89°31'06" EAST, 1259.63 FEET ALONG THE NORTH LINES OF SAID PARCEL 'A' AND PARCEL 'B' AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2013-0272284, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID NORTH LINES ALSO BEING THE SOUTH RIGHT OF WAY LINE OF COLTER STREET, TO THE NORTHEAST CORNER OF SAID PARCEL 'B', SAID CORNER BEING MARKED BY A 1/2" REBAR WITH YELLOW PLASTIC CAP STAMPED "RLS 48510", AND SAID CORNER BEING COINCIDENT WITH THE WEST RIGHT OF WAY LINE OF BLACK CANYON HIGHWAY (I-17) AND THE WESTERLY LINE OF A PARCEL AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCKET 273, PAGE 112, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 00°26'59" WEST, 292.07 FEET ALONG SAID WESTERLY RIGHT OF WAY LINE TO AN ANGLE POINT IN SAID RIGHT OF WAY LINE, SAID ANGLE POINT BEING MARKED BY A MAG NAIL WITH BRASS WASHER STAMPED "LS 48510";

THENCE SOUTH 06°08'29" WEST, 933.80 FEET ALONG SAID RIGHT OF WAY LINE TO THE NORTHERLY CORNER OF THAT CERTAIN PARCEL AS DESCRIBED IN DOCUMENT NUMBER 1999-0161426, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 34°40'18" WEST, 21.51 FEET ALONG THE NORTHWESTERLY LINE OF SAID PARCEL TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 40.31 FEET, FROM WHICH BEGINNING THE RADIUS POINT BEARS NORTH 39°35'21" WEST;

THENCE WESTERLY 26.46 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 37°36'35" TO THE WEST CORNER OF SAID PARCEL AND THE NORTH LINE OF THAT PARCEL AS DESCRIBED IN DOCKET 14630, PAGE 58, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 88°01'14" WEST, 122.75 FEET ALONG THE NORTH LINE OF SAID PARCEL TO THE WEST LINE OF THAT PARCEL AS DESCRIBED IN DOCKET 4834, PAGE 206, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 06°08'29" WEST, 2.02 FEET ALONG SAID LINE TO THE SOUTHWEST CORNER OF SAID PARCEL;

THENCE SOUTH 89°28'56" WEST, 725.57 FEET ALONG THE NORTH LINE OF THE SOUTH 42.00 FEET OF SAID SOUTHWEST QUARTER AND THE NORTH RIGHT OF WAY LINE OF CAMELBACK ROAD TO THE **POINT OF BEGINNING**;

EXCEPT THAT PORTION DESCRIBED IN THAT CERTAIN GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2000-0945122, RECORDS OF MARICOPA COUNTY, ARIZONA, AS PARCEL NO. 1 AND PARCEL NO. 2, BEING A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING WEST OF THE WESTERLY RIGHT-OF-WAY LINE OF THE BLACK CANYON HIGHWAY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 13;

THENCE NORTH 89 DEGREES 57 MINUTES 40 SECONDS EAST 630.00 FEET;

THENCE NORTH 00 DEGREES 49 MINUTES 40 SECONDS EAST 42.00 FEET TO THE **POINT OF BEGINNING**;

THENCE NORTH 00 DEGREES 47 MINUTES 46 SECONDS EAST 428.04 FEET;

THENCE NORTH 89 DEGREES 57 MINUTES 18 SECONDS EAST 59.84 FEET;

THENCE SOUTH 00 DEGREES 38 MINUTES 56 SECONDS WEST 123.83 FEET;

THENCE SOUTH 00 DEGREES 50 MINUTES 22 SECONDS WEST 304.21 FEET;

THENCE SOUTH 89 DEGREES 57 MINUTES 40 SECONDS WEST 59.94 FEET TO THE **POINT OF BEGINNING**; AND

EXCEPT THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING WEST OF THE WESTERLY RIGHT-OF-WAY LINE OF THE BLACK CANYON HIGHWAY, DESCRIBED AS FOLLOWS;

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 13;

THENCE NORTH 89 DEGREES 57 MINUTES 40 SECONDS EAST 792.26 FEET;

THENCE NORTH 00 DEGREES 45 MINUTES 56 SECONDS EAST 41.97 FEET TO A CORNER POINT ON DEED RECORDED AS 86-531860, OF OFFICIAL RECORDS AND THE **POINT OF BEGINNING**;

THENCE NORTH 00 DEGREES 45 MINUTES 56 SECONDS EAST 302.59 FEET;

THENCE NORTH 00 DEGREES 45 MINUTES 56 SECONDS EAST 125.45 FEET TO A POINT ON A NORTH LINE ON DEED RECORDED AS 86-531860, OF OFFICIAL RECORDS;

THENCE NORTH 89 DEGREES 57 MINUTES 18 SECONDS EAST 458.35 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF THE BLACK CANYON HIGHWAY (INTERSTATE HIGHWAY 17);

THENCE SOUTH 06 DEGREES 34 MINUTES 57 SECONDS WEST 40.06 FEET;

THENCE SOUTH 89 DEGREES 53 MINUTES 52 SECONDS WEST 276.80 FEET;

THENCE SOUTH 03 DEGREES 19 MINUTES 27 SECONDS WEST 159.56 FEET;

THENCE SOUTH 89 DEGREES 35 MINUTES 45 SECONDS WEST 15.03 FEET;

THENCE SOUTH 04 DEGREES 08 MINUTES 50 SECONDS WEST 229.17 FEET;

THENCE SOUTH 89 DEGREES 57 MINUTES 40 SECONDS WEST 141.84 FEET TO THE **POINT OF BEGINNING**.

CONTAINS 1,385,850 SQUARE FEET OR 31.815 ACRES, MORE OR LESS.

PARCEL NO. 4 (EAST OF 30TH DRIVE):

UNITS 1 THROUGH 71, INCLUSIVE, COLTER MEADOWS CONDOMINIUMS, ACCORDING TO DECLARATION OF HORIZONTAL PROPERTY REGIME RECORDED MARCH 26, 1985 IN DOCUMENT NO. 85-130175, AND RERECORDED APRIL 29, 1985 IN DOCUMENT NO. 85-190910, AND PLAT RECORDED IN BOOK 280 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA;

TOGETHER WITH EACH UNITS UNDIVIDED INTEREST IN AND TO THE COMMON AREAS, AS SET FORTH IN SAID DECLARATION AND DESIGNATED ON SAID PLAT; AND

TOGETHER WITH ALL THOSE PORTIONS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2014-0592161 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH HALF OF LOT 3, HOMESITE TRACTS, ACCORDING TO BOOK 18 OF MAPS, PAGE 48, RECORDS OF MARICOPA COUNTY, ARIZONA.

SUBJECT TO: CURRENT TAXES AND OTHER ASSESSMENTS, RESERVATIONS IN PATENTS AND ALL EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, LIENS, COVENANTS, CONDITIONS, RESTRICTIONS, OBLIGATIONS, AND LIABILITIES AS MAY APPEAR OF RECORD.

TOGETHER WITH ALL THOSE PORTIONS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0189884 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH HALF OF LOT 3, HOMESITE TRACTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, BOOK 18 OF MAPS, PAGE 48.

TOGETHER WITH ALL THOSE PORTIONS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0721276 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 5, HOMESITE TRACTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 18 OF MAPS, PAGE 48;

EXCEPT THE NORTH 210 FEET THEREOF.

TOGETHER WITH ALL THOSE PORTIONS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0120260 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

THE SOUTH 75 FEET OF THE NORTH 210 FEET OF LOT 5, HOMESITE TRACTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 18 OF MAPS, PAGE 48.

PARCEL NO. 2:

THE SOUTH 50 FEET OF THE NORTH 135 FEET OF LOT 5, HOMESITE TRACTS, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 18 OF MAPS, PAGE 48.

CONTAINS 350,265 SQUARE FEET, OR 8.041 ACRES, MORE OR LESS.

PARCEL NO. 5 (2728 WEST COLTER STREET-APN NUMBERS: #153-19-007,#153-19-009,#153-19-011)

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBERS 2014-0679600, RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 9, 10 AND 11, BLOCK 2, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18 RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST 177.00 FEET, THEREOF.

CONTAINS 202,601 SQUARE FEET, OR 4.651 ACRES, MORE OR LESS.

PARCEL NO. 6 (5337 NORTH 30TH DRIVE-APN NUMBERS:#153-18-025F, #153-18-025E, #153-18-025D, #153-18-004A, #153-18-004B, #153-18-003A, #153-18-005B, #153-18-005C, #153-18-005A, #153-18-006B, #153-18-006A, #153-18-002B, #153-18-001B)

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHEAST CORNER OF SAID SECTION 14 BEARS SOUTH 89°56'34" EAST, 2621.76 FEET;

THENCE NORTH 00°06'04" EAST, 2643.03 FEET ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 14 TO A CITY OF PHOENIX BRASS CAP FLUSH MARKING THE CENTER SECTION CORNER OF SAID SECTION 14;

THENCE NORTH 89°58'09" EAST, 359.21 FEET ALONG THE MIDSECTION LINE OF THE SAID SOUTHEAST QUARTER OF SAID SECTION 14 TO THE NORTHWEST CORNER OF LOT 7, PLAT OF "HOMESITE TRACTS", AS FILED IN BOOK 18 OF MAPS, PAGE 48, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE DEPARTING SAID MIDSECTION LINE SOUTH 00°03'45" WEST 15.00 FEET ALONG THE WEST LINE OF SAID LOT 7 TO THE **POINT OF BEGINNING**;

THENCE NORTH 89°58'09" EAST, 298.49 FEET TO A POINT ON THE WEST LINE OF LOT 5, BLOCK 1, PLAT OF "HOMELAND", AS FILED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE CONTINUING NORTH 89°58'09" EAST 519.13 FEET TO THE NORTHEAST CORNER OF A PARCEL AS DESCRIBED IN THAT CERTAIN DEED RECORDED UNDER DOCUMENT NUMBER 2015-0035201, RECORDS OF MARICOPA COUNTY, SAID CORNER BEING MARKED BY A REBAR;

THENCE SOUTH 00°14'22" WEST 15.00 FEET TO THE NORTHWEST CORNER OF A PARCEL AS DESCRIBED IN THAT CERTAIN DEED RECORDED UNDER DOCUMENT NUMBER 2014-0762303, RECORDS OF MARICOPA COUNTY, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE NORTH 89°58'09" EAST 110.00 FEET TO A POINT ON THE EAST LINE OF SAID LOT 5, BLOCK 1, PLAT OF "HOMELAND", SAID POINT ALSO BEING ON THE WEST RIGHT OF WAY LINE OF N 29TH AVENUE AND MARKED WITH A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 00°14'22" WEST 126.42 FEET ALONG THE SAID EAST LINE OF SAID LOT 5, BLOCK 1, PLAT OF "HOMELAND" TO THE SOUTHEAST CORNER OF A PARCEL AS DESCRIBED IN THAT CERTAIN DEED RECORDED UNDER DOCUMENT NUMBER 2014-0717418, RECORDS OF MARICOPA COUNTY, SAID CORNER BEING MARKED BY A 3/4" IRON PIPE, 1' BELOW THE SURFACE;

THENCE SOUTH 89°59'04" WEST 628.85 FEET TO A POINT ON THE SAID WEST LINE OF LOT 5, BLOCK 1, PLAT OF "HOMELAND", SAID POINT BEING MARKED BY A MAG NAIL WITH WASHER STAMPED "RLS 48510" SET IN CONCRETE WALL FOOTER;

THENCE SOUTH 00°08'02" WEST 0.60 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 1/2 OF THE SAID LOT 7, PLAT OF "HOMESITE TRACTS", SAID POINT BEING MARKED BY A MAG NAIL WITH WASHER STAMPED "RLS 48510" SET IN CONCRETE WALL FOOTER;

THENCE SOUTH 89°58'23" WEST 298.61 FEET ALONG THE SAID SOUTH LINE OF THE NORTH 1/2 OF THE SAID LOT 7, PLAT OF "HOMESITE TRACTS" TO A POINT ON THE SAID WEST LINE OF LOT 7, SAID POINT BEING THE SOUTHWEST CORNER OF A PARCEL AS DESCRIBED IN THAT CERTAIN DEED RECORDED UNDER DOCUMENT NUMBER 2014-0659270, RECORDS OF MARICOPA COUNTY, SAID CORNER BEING MARKED BY CHISELED "X" IN CONCRETE;

THENCE NORTH 00°10'43" EAST 141.83 FEET ALONG THE SAID WEST LINE OF LOT 7, PLAT OF "HOMESITE TRACTS" TO THE **POINT OF BEGINNING**;

CONTAINS 129,592 SQUARE FEET, OR 2.975 ACRES, MORE OR LESS.

PARCEL NO. 7 (2733 WEST MISSOURI AVE-APN NUMBERS: #153-19-125, #153-19-017A, #153-19-019A, #153-19-049 thru #153-19-124, #153-18-004C, #153-19-003D, #153-19-003C):

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE EAST QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHEAST CORNER OF SAID SECTION 14 BEARS SOUTH 00°20'41" WEST, 2647.11 FEET;

THENCE ALONG THE MID SECTION LINE OF SAID SECTION 14 SOUTH 89°58'09" WEST 658.22 FEET TO A POINT, SAID POINT BEING MARKED BY A CHISELED X;

THENCE DEPARTING SAID MIDSECTION LINE SOUTH 00°01'51" EAST 20.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF MISSOURI STREET, SAID POINT BEING THE **POINT OF BEGINNING**;

THENCE ALONG THE SAID SOUTH RIGHT OF WAY LINE NORTH 89°58'09" EAST 218.45 FEET;

THENCE SOUTH 00°19'57" WEST 140.94 FEET;

THENCE SOUTH 89°58'38" WEST 17.35 FEET;

THENCE SOUTH 00°19'57" WEST 160.94 FEET;

THENCE NORTH 89°59'06" EAST 148.90 FEET TO THE NORTHEAST CORNER OF THE WEST 350 FEET OF LOT 14, BLOCK 2, HOMELAND, A SUBDIVISION RECORDED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 00°19'57" WEST 321.92 FEET;

THENCE SOUTH 89°59'57" WEST 350.00 FEET TO REBAR WITHOUT CAP;

THENCE SOUTH 00°19'57" WEST 16.94 FEET TO A 1 INCH IRON ROD FOUND 1 FOOT BELOW SURFACE;

THENCE NORTH 89°59'06" WEST 627.01 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF NORTH 29TH AVENUE, SAID POINT BEING MARKED BY A 1/2 INCH REBAR WITH CAP MARKED "RLS 48510";

THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°14'22" EAST 85.28 FEET TO A POINT, SAID POINT BEING MARKED BY A 1/2 INCH REBAR WITH CAP MARKED "RLS 48510";

THENCE DEPARTING SAID EAST RIGHT OF WAY LINE SOUTH 89°59'12" EAST 213.57 FEET;

THENCE NORTH 00°17'09" EAST 80.00 FEET A 1/2 INCH REBAR WITH CAP MARKED "RLS 48510";

THENCE NORTH 89°59'12" WEST 213.64 FEET TO A POINT ON SAID EAST RIGHT OF WAY LINE, SAID POINT BEING MARKED BY A 1/2 INCH REBAR WITH CAP MARKED "RLS 48510";

THENCE ALONG SAID EAST RIGHT OF WAY LINE NORTH 00°14'22" EAST 463.00 FEET TO THE BEGINNING OF A TANGENTIAL CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 12.00 FEET AND CENTRAL ANGLE OF 89°47'50";

THENCE NORTHEASTERLY ALONG SAID CURVE 18.81 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF WEST MISSOURI AVENUE;

THENCE ALONG SAID SOUTH RIGHT OF WAY LINE NORTH 89°58'09" EAST 616.11 FEET TO THE **POINT OF BEGINNING**;

EXCEPT THE INTEREST CONVEYED TO THE CITY OF PHOENIX FOR STREET PURPOSES DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0854087 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE EAST QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHEAST CORNER OF SAID SECTION 14 BEARS SOUTH 00°20'41" WEST, 2647.11 FEET;

THENCE ALONG THE MID SECTION LINE OF SAID SECTION 14 SOUTH 89°58'09" WEST 658.22 FEET TO A POINT, SAID POINT BEING MARKED BY A CHISELED X;

THENCE DEPARTING SAID MIDSECTION LINE SOUTH 00°01'51" EAST 20.00 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF MISSOURI STREET;

THENCE SOUTH 00°19'57" WEST 301.82 FEET TO THE **POINT OF BEGINNING**;

THENCE NORTH 89°59'06" EAST 25.00 FEET;

THENCE SOUTH 00°19'57" WEST 160.91 FEET;

THENCE SOUTH 89°59'35" WEST 25.00 FEET;

THENCE NORTH 00°19'57" EAST 160.91 FEET TO THE **POINT OF BEGINNING**;

CONTAINS 556,527 SQUARE FEET, OR 12.776 ACRES, MORE OR LESS.

PARCEL NO. 8, INTENTIONALLY OMITTED

PARCEL NO. 9 (2810 WEST CAMELBACK ROAD-APN NUMBERS: #153-28-031D, #153-28-031J, #153-28-031H, #153-28-029A, #153-28-003B, #153-28-004A, #153-28-027A, #153-28-027C, #153-28-020, #153-28-025, #153-28-022, #153-28-023, #153-28-024, #153-28-026, #153-28-021, #153-28-028F, #153-28-002B, #153-28-003F, #153-28-027B):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0592163 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

THE WEST HALF OF LOT 12, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE SOUTH 7 FEET THEREOF; AND

EXCEPT THE NORTH 25 FEET THEREOF; AND

EXCEPT THE SOUTH 22 FEET OF THE WEST 10 FEET OF LOT 12, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

TOGETHER WITH THAT PART OF ABANDONED PUBLIC ALLEY RIGHT OF WAY AS ABANDONED BY RESOLUTION NO. 16934 RECORDED DECEMBER 3, 1986 IN INSTRUMENT NO. 86-667936, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE EAST 10 FEET OF LOT 11, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE NORTH 25 FEET THEREOF; AND
EXCEPT THE SOUTH 22 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0765236 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST HALF OF THAT PORTION OF LOT 2, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, LYING WEST OF THE WEST LINE OF THE EAST 25 FEET OF SAID LOT 2;

EXCEPT THE SOUTH 150 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0797464 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH HALF OF THE NORTH TWO-THIRDS OF THE EAST HALF OF THE FOLLOWING DESCRIBED PROPERTY:

LOT 2, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, LYING WEST OF THE WEST LINE OF THE EAST 25 FEET OF SAID LOT 2;

EXCEPT THE SOUTH 150 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0818729 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 150 FEET OF LOT 2, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED BOOK 15 OF MAPS; PAGE 18;

EXCEPT THE SOUTH 75 FEET THEREOF,

AND EXCEPT THE EAST 145 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0818730 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 75 FEET OF THE EAST 164.09 FEET OF LOT 2, BLOCK 4 OF HOMELAND, ACCORDING TO THE PLAT RECORDED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE EAST 25 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0861541 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 60 FEET OF LOT 9, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0765234 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 1:

THE SOUTH 60 FEET OF THE NORTH 184 FEET OF LOT 9, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 15 OF MAPS, PAGE 18.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0765234 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 2:

THE SOUTH 60 FEET OF THE NORTH 244 FEET OF LOT 9, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 15 OF MAPS, PAGE 18.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0765234 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 3:

THE SOUTH 60 FEET OF THE NORTH 304 FEET OF LOT 9, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 15 OF MAPS, PAGE 18.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0765234 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 4:

LOT 9, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT "OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE SOUTH 260 FEET THEREOF; AND

EXCEPT THE NORTH 304 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0063844 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 10 AND 11, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18; AND

EXCEPT FROM SAID LOT 11, THE EAST 10 FEET, AND THE SOUTH 9 FEET OF THE EAST 20 FEET THEREOF; AND

EXCEPT FROM LOT 11, THE NORTH 25 FEET THEREOF; AND

EXCEPT FROM LOT 10, THAT PORTION DESCRIBED IN THREE DEEDS TO THE CITY OF PHOENIX, RECORDED IN DOCKET 7814, PAGE 736, IN DOCKET 7814, PAGE 740, AND IN DOCKET 7814, PAGE 742, RECORDS OF MARICOPA COUNTY, ARIZONA; AND

EXCEPT THE SOUTH 7 FEET OF LOT 10; AND THE SOUTH 7 FEET OF LOT 11, EXCEPT THE EAST 20 FEET THEREOF, AS CONVEYED TO THE CITY OF PHOENIX, BY QUIT CLAIM DEED RECORDED IN DOCKET 9771,PAGE 604.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0592156 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 260 FEET OF LOT 9, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH 7 FEET OF LOT 9, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, TOGETHER WITH A PARCEL OF LAND BOUNDED ON THE WEST BY THE WEST LINE OF SAID LOT 9, ON THE SOUTH BY THE NORTH LINE OF THE SOUTH 7 FEET OF SAID LOT 9, AND ON THE NORTHEAST BY THE ARC OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 12 FEET, AND BEING TANGENT TO SAID WEST LINE AND SAID NORTH LINE.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0067973 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 64 FEET OF THE NORTH 124 FEET OF LOT 9, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD ON THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18.

CONTAINS 386,502 SQUARE FEET, OR 8.872 ACRES, MORE OR LESS.

PARCEL NO. 10 (5228 & 5232 N 29TH AVE-APN NUMBERS: #153-18-011F, #153-18-011G, #153-18-011H, #153-18-011E, #153-18-011J, #153-18-012B):

ALL PORTIONS DESCRIBED IN THOSE CERTAIN WARRANTY DEEDS RECORDED UNDER DOCUMENT NUMBERS 2009-0318019, 2014-0430190, 2014-0430302, 2015-0091853, 2015-0202005 RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 11, BLOCK 1, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD WITH THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE NORTH 25 FEET OF SAID LOT 11.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0810054 RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 60 FEET OF THE EAST HALF OF LOT 12, BLOCK 1, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18.

CONTAINS 90,601 SQUARE FEET, OR 2.080 ACRES, MORE OR LESS.

PARCEL NO. 11 (2720 WEST CAMELBACK ROAD-APN # 153-28-037B):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1999-0007199, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE SOUTH HALF OF LOTS 15 AND 16, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18.

EXCEPT THE SOUTH 9 FEET THEREOF; AND

EXCEPT THE EAST 167 FEET THEREOF.

CONTAINS 39,056 SQUARE FEET, OR 0.897 ACRES, MORE OR LESS.

PARCEL NO. 12 (2910 WEST VERMONT AVENUE-APN NUMBERS: #153-18-007T, #153-18-007S, #153-18-007P, #153-18-007Q, #153-18-007R, #153-18-007E, #153-18-007J.):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2014-0592152, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE EAST HALF OF THE WEST HALF OF THE EAST 323 FEET OF LOT 6, BLOCK 1, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE NORTH 8.00 FEET THEREOF.

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL;

BEGINNING AT THE SOUTHWEST CORNER OF LOT 6;

THENCE NORTH ALONG THE WEST LINE OF LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40°07'59" AND A RADIUS OF 45 FEET;

THENCE SOUTHEASTERLY ALONG THE PERIMETER OF SAID CIRCULAR CURVE, A DISTANCE OF 31.5 FEET TO A POINT OF REVERSE CURVATURE;

THENCE EASTERLY ALONG THE PERIMETER OF A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40 FEET AND A CENTRAL ANGLE OF 40°07'59" A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH LINE OF LOT 6;

THENCE EAST, PARALLEL WITH AND 25 FEET NORTH OF THE SOUTH LINE OF LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF;

THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET NORTH OF THE SOUTHEAST CORNER THEREOF;

THENCE SOUTH ALONG THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE WEST ALONG THE SOUTH LINE OF LOT 6 AND THE **POINT OF BEGINNING**;

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2014-0592153, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE WEST HALF OF THE WEST HALF OF THE EAST 323 FEET OF LOT 6, BLOCK 1, HOMELAND, ACCORDING TO BOOK 15 OF MAPS PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE NORTH 8.00 FEET THEREOF.

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL;

BEGINNING AT THE SOUTHWEST CORNER OF LOT 6;

THENCE NORTH ALONG THE WEST LINE OF LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40°07'59" AND A RADIUS OF 45 FEET;

THENCE SOUTHEASTERLY ALONG THE PERIMETER OF SAID CIRCULAR CURVE, A DISTANCE OF 31.5 FEET TO A POINT OF REVERSE CURVATURE;

THENCE EASTERLY ALONG THE PERIMETER OF A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40 FEET AND A CENTRAL ANGLE OF 40°07'59" A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH LINE OF LOT 6;

THENCE EAST, PARALLEL WITH AND 25 FEET NORTH OF THE SOUTH LINE OF LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF;

THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET NORTH OF THE SOUTHEAST CORNER THEREOF;

THENCE SOUTH ALONG THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE WEST ALONG THE SOUTH LINE OF LOT 6 AND THE **POINT OF BEGINNING**;

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0011503, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

THE EAST 60 FEET OF THE WEST 150 FEET OF THE EAST 473 FEET OF LOT 6, BLOCK 1, HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE SOUTH 25 FEET; AND

EXCEPT THE NORTH 8 FEET.

PARCEL NO. 2:

THE EAST 15 FEET OF THE WEST 90 FEET OF THE EAST 473 FEET OF LOT 6, BLOCK 1, HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE SOUTH 25 FEET; AND

EXCEPT THE NORTH 8 FEET.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0096953, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

PARCEL NO. 2:

THE NORTH HALF OF THE EAST 160 FEET OF THE EAST 323 FEET OF LOT 6, BLOCK 1, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE NORTH 8 FEET THEREOF, AS QUITCLAIMED TO THE CITY OF PHOENIX, BY INSTRUMENT RECORDED IN DOCKET 15358, PAGE 554, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 6;

THENCE NORTH, ALONG THE WEST LINE OF SAID LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40 DEGREES 07 MINUTES 59 SECONDS, A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH 25 FEET OF SAID LOT 6;

THENCE EAST, PARALLEL TO AND 25 FEET NORTH OF THE SOUTH LINE OF SAID LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF;

THENCE NORTHEASTERLY TO A POINT ON THE SOUTH, ALONG THE EAST LINE OF SAID LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE WEST, ALONG THE SOUTH LINE OF SAID LOT 6, TO THE SOUTHWEST CORNER OF SAID LOT 6 AND THE **POINT OF BEGINNING**;

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0728865, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE SOUTH HALF OF THE EAST 160 FEET OF THE EAST 323 FEET OF LOT 6, BLOCK 1, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 6;

THENCE NORTH ALONG THE WEST LINE OF LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40 DEGREES 07 MINUTES 59 SECONDS, A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH 25 FEET OF LOT 6;

THENCE EAST, PARALLEL WITH AND 25 FEET NORTH OF THE SOUTH LINE OF LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF;

THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF LOT 6, DISTANT 35 FEET NORTH OF THE SOUTHEAST CORNER THEREOF;

THENCE SOUTH ALONG THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE WEST ALONG THE SOUTH LINE OF LOT 6, TO THE SOUTHWEST CORNER OF LOT 6 AND THE **POINT OF BEGINNING**.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1988-0286757, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE WEST 65 FEET OF THE EAST 463 FEET OF LOT 6, BLACK 1, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18.

EXCEPT THE SOUTH 25 FEET.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-067922, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

EXHIBIT "A"

LOT 6, BLOCK 1, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE EAST 528 FEET; AND

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 6;

THENCE NORTH ALONG THE WEST LINE OF SAID LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40° 07' 59" AND A RADIUS OF 45 FEET;

THENCE SOUTHEASTERLY, ALONG THE PERIMETER OF SAID CIRCULAR CURVE, A DISTANCE OF 31.05 FEET TO A POINT OF REVERSE CURVATURE;

THENCE EASTERLY, ALONG THE PERIMETER OF CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40 FEET AND A CENTRAL ANGLE OF 40° 07' 59", A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH 25 FEET OF SAID LOT 6;

THENCE EAST, PARALLEL WITH AND 25 FEET NORTH OF THE SOUTH LINE OF SAID LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF;

THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF SAID LOT 6, DISTANCE 35 FEET NORTH OF THE SOUTHEAST CORNER THEREOF;

THENCE SOUTH, ALONG THE EAST LINE OF SAID LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE WEST, ALONG THE SOUTH LINE OF LOT 6, TO THE SOUTHWEST CORNER OF SAID LOT 6 AND THE **POINT OF BEGINNING**.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2014-0799296, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

EXHIBIT "A"

THE WEST 65 FEET OF THE EAST 528 FEET OF LOT 6, BLOCK 1, OF HOMELAND, ACCORDING TO THE PLAT IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 6;

THENCE NORTH ALONG THE WEST LINE OF SAID LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT, CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40° 07' 59" AND A RADIUS OF 45 FEET;

THENCE SOUTHEASTERLY, ALONG THE PERIMETER OF SAID CIRCULAR CURVE, A DISTANCE OF 31.05 FEET TO A POINT OF REVERSE CURVATURE;

THENCE EASTERLY, ALONG THE PERIMETER OF CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40 FEET AND A CENTRAL ANGLE OF 40° 07' 59", A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH 25 FEET OF SAID LOT 6;

THENCE EAST, PARALLEL WITH AND 25 FEET NORTH OF THE SOUTH LINE OF SAID LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF;

THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF SAID LOT 6, DISTANCE 35 FEET NORTH OF THE SOUTHEAST CORNER THEREOF;

THENCE SOUTH, ALONG THE EAST LINE OF SAID LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF;

THENCE WEST, ALONG THE SOUTH LINE OF LOT 6, TO THE SOUTHWEST CORNER OF SAID LOT 6 AND THE **POINT OF BEGINNING**.

CONTAINS 84,295 SQUARE FEET, OR 1.935 ACRES, MORE OR LESS.

PARCEL NO. 13 (2920 W GEORGIA AVENUE APN NUMBERS: #153-18-008B, #153-18-030, #153-18-008C, #153-18-008D, #153-18-008H, #153-18-00F, #153-18-00J, #153-18-029):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBERS 2014-0798733, RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

EXHIBIT "A"

LOT 2, LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 53 OF MAPS, PAGE 32;

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2014-0783527, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

EXHIBIT A

THE EAST 175 FEET OF LOT 8, BLOCK 1, HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE SOUTH 85 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2014-0359195, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOT ONE (1) LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 53 OF MAPS, PAGE 32.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0747028, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

EXHIBIT "A"

THE SOUTH 85 FEET OF THE EAST 175 FEET OF LOT 8, BLOCK 1, HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE SOUTH 25 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0046093, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
EXHIBIT A

THE EAST 350 FEET OF LOT 8, BLOCK 1, HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE SOUTH 25 FEET; AND

EXCEPT THE EAST 175 FEET.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0825453, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

EXHIBIT "A"

THE WEST 60 FEET OF THE EAST 410 FEET OF LOT EIGHT (8), BLOCK ONE (1), HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE SOUTH 25 FEET;

EXCEPT THE NORTH 8 FEET THEREOF AS QUITCLAIMED TO THE CITY OF PHOENIX, A MUNICIPAL CORPORATION, FOR ROADWAY AND ALLEY PURPOSES IN DEED RECORDED FEBRUARY 13, 1959, IN DOCKET 2753, PAGE 368 OF OFFICIAL RECORDS.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0145589, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

EXHIBIT "A"

THE WEST 60 FEET OF THE EAST 470 FEET OF LOT 8, BLOCK 1,

HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, BOOK 15 OF MAPS, PAGE 18 THEREOF;

EXCEPT THE SOUTH 25 FEET THEREOF; AND

EXCEPT THE NORTH 8 FEET THEREOF AS QUITCLAIMED TO THE CITY OF PHOENIX, A MUNICIPAL CORPORATION, FOR ALLEY PURPOSES IN DEED RECORDED FEBRUARY 13, 1959, IN DOCKET 2753, PAGE 369 OF OFFICIAL RECORDS.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0212769, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE EAST HALF OF THE FOLLOWING DESCRIBED PROPERTY:

LOT 8, BLOCK 1, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE EAST 470 FEET THEREOF; AND

EXCEPT THAT PORTION THEREOF CONVEYED TO THE CITY OF PHOENIX, BY DEED RECORDED IN DOCKET 2753, PAGE 368, AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 8;

THENCE NORTH ALONG THE WEST LINE OF LOT 8, A DISTANCE OF 165.36 FEET TO THE NORTHWEST CORNER OF SAID LOT 8;

THENCE EAST ALONG THE NORTH LINE OF SAID LOT 8 TO A POINT WHICH IS 470 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT 8;

THENCE SOUTH PARALLEL TO AND 470 FEET WEST OF THE EAST LINE OF SAID LOT 8, A DISTANCE OF 8 FEET;

THENCE WEST PARALLEL TO AND 8 FEET SOUTH OF THE NORTH LINE OF SAID LOT 8 TO A POINT WHICH IS 8 FEET SOUTH AND 25 FEET EAST OF THE NORTHWEST CORNER OF SAID LOT 8;

THENCE SOUTH PARALLEL TO AND 25 FEET EAST OF THE WEST LINE OF SAID LOT 8 TO A POINT WHICH IS 35 FEET NORTH AND 25 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 8;
THENCE SOUTHEASTERLY TO A POINT WHICH IS 25 FEET NORTH AND 35 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT 8;

THENCE EAST PARALLEL TO AND 25 FEET NORTH OF THE SOUTH LINE OF SAID LOT 8 TO A POINT ON THE EAST LINE OF SAID LOT 8;

THENCE SOUTH ALONG THE EAST OF SAID LOT 8 A DISTANCE OF 25 FEET TO THE SOUTHEAST CORNER OF SAID LOT 8;

THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 8 A DISTANCE OF 627.75 FEET TO THE POINT OF BEGINNING.

CONTAINS 81,256 SQUARE FEET, OR 1.865 ACRES, MORE OR LESS.

PARCEL NO. 14 (2931 W VERMONT AVENUE APN NUMBERS: #153-19-031, #153-19-033A, #153-19-034, #153-19-035, #153-19-036, #153-19-037, #153-19-038):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0778247, RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

EXHIBIT "A"

LOT 3, OF LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 53 OF MAPS, PAGE 32;

EXCEPTING THEREFROM A PORTION CONVEYED TO THE CITY OF PHOENIX BY QUIT-CLAIM DEEDS RECORDED MARCH 5, 1959 AS DOCKET 2778, PAGES 116 AND 117 OF OFFICIAL RECORDS.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0799407, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOT 4 AND LOT 5, LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 53 OF MAPS, PAGE 32;

EXCEPT THE SOUTH 8 FEET OF SAID LOT 4.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0655931, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOT 6, LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 53 OF MAPS, PAGE 32;

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0798703, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOTS 7 AND 8, LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 53 OF MAPS, PAGE 32;

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0308774, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOT 9, OF LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 53 OF MAPS, PAGE 32;

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0853298, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOT 10, OF LORETTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 53 OF MAPS, PAGE 32;

CONTAINS 62,046 SQUARE FEET, OR 1.424 ACRES, MORE OR LESS.

PARCEL NO. 15, INTENTIONALLY OMITTED

PARCEL NO. 16 (2802 WEST COLTER ST APN #153-19-022, #153-19-023):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBERS 2015-0096953, RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1, BLOCK 1, OF PENNIE TRACT, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 43 OF MAPS, PAGE 5.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0726186, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOT 2, BLOCK 1, OF PENNIE TRACT, ACCORDING TO BOOK 43 OF MAPS, PAGE 5, RECORDS OF MARICOPA COUNTY, ARIZONA;

CONTAINS 17,181 SQUARE FEET, OR 0.394 ACRES, MORE OR LESS

PARCEL NO. 17 (5127 N 28TH DRIVE APN #153-28-042):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBERS 2015-0018051, RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL NO. 1:

LOT 3, RANDY ACRES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 83 OF MAPS, PAGE 2.

CONTAINS 8,416 SQUARE FEET, OR 0.193 ACRES, MORE OR LESS.

PARCEL NO. 18 (5160 NORTH 28TH DRIVE-APN NUMBERS: #153-28-001A)

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBERS 2015-0783192, RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE NORTH 146 FEET OF LOT 1, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

CONTAINS 39,919 SQUARE FEET, OR 0.916 ACRES, MORE OR LESS.

PARCEL NO. 19 (2530 W COLTER ST , APN #153-20-029E):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBERS 2015-0542670 AND 2015-0208325 RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

EXHIBIT "A-1":

A PORTION OF LOTS 14,15 AND 16 OF ELLAZONA, A SUBDIVISION RECORDED IN BOOK 18 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 14, ELLAZONA, A SUBDIVISION RECORDED IN BOOK 18 OF MAPS, PAGE 19, RECORDS OF MARICOPA COUNTY. ARIZONA;

THENCE SOUTH 00 DEGREES 04 MINUTES 14 SECONDS WEST, 330.04 FEET ALONG THE EAST LINE OF SAID LOT 14 TO THE SOUTH LINE OF THE NORTH 330.00 FEET OF LOTS 14, 15 AND 16 OF SAID ELLAZONA;

THENCE NORTH 89 DEGREES 11 MINUTES 07 SECONDS EAST, 326.35 FEET ALONG SAID SOUTH LINE OF THE NORTH 330.00 FEET OF LOTS 15 AND 16 TO THE EAST LINE OF SAID LOT 16 AND THE WESTERLY RIGHT OF WAY LINE OF INTERSTATE 17;

THENCE DEPARTING SAID SOUTH LINE OF THE NORTH 330.00 FEET OF LOT 15 AND 16, SOUTH 00 DEGREES 05 MINUTES AND 38 SECONDS WEST, 271.71 FEET ALONG SAID EAST LINE OF LOT 16 AND THE WESTERLY RIGHT OF WAY LINE OF INTERSTATE 17 TO THE NORTH LINE OF THE SOUTH 30.00 FEET OF SAID LOTS 14, 15 AND 16;

THENCE DEPARTING SAID EAST LINE OF SAID LOT 16 AND THE WESTERLY RIGHT OF WAY LINE OF INTERSTATE 17, SOUTH 89 DEGREES 11 MINUTES 56 SECONDS WEST, 426.25 FEET ALONG SAID NORTH LINE OF THE SOUTH 30.00 FEET OF SAID LOTS 14, 15 AND 16 TO THE WEST LINE OF THE EAST 100.00 FEET OF SAID LOT 14;

THENCE DEPARTING SAID NORTH LINE OF THE SOUTH 30.00 FEET OF LOTS 14, 15 AND 16, NORTH 00 DEGREES 04 MINUTES 14 SECONDS EAST. 601.64 FEET ALONG SAID WEST LINE OF THE EAST 100.00 FEET OF LOT 14 TO THE NORTH LINE OF SAID LOT 14;

THENCE DEPARTING SAID WEST LINE OF THE EAST 100.00 FEET OF LOT 14, NORTH 89 DEGREES 11 MINUTES 07 SECONDS EAST, 100.01 FEET ALONG SAID NORTH LINE TO THE **POINT OF BEGINNING**.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF PHOENIX, A MUNICIPAL CORPORATION BY QUIT-CLAIM DEED RECORDED SEPTEMBER 15, 2008 AS 2008-794918 OF OFFICIAL RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS:

THAT PART OF THE SOUTHWEST QUARTER OF SECTION 13 TOWNSHIP 2 NORTH, RANGE 2 EAST, G&SRB&M, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 13, BEING ALSO THE INTERSECTION OF THE MONUMENT LINES OF 27TH AVENUE AND CAMELBACK ROAD;

THENCE NORTH 00° 20' 40" EAST, AN ASSUMED BEARING, ALONG THE WEST LINE OF SAID SECTION 13 A DISTANCE OF 1324.17 FEET TO A 1/16TH CORNER, BEING ALSO THE INTERSECTION OF THE MONUMENT LINES OF 27TH AVENUE AND COLTER STREET;

THENCE NORTH 89° 31' 06" EAST, ALONG SAID 1/16TH. LINE, A DISTANCE OF 1304.66 FEET;

THENCE NORTH 00° 26' 58" EAST A DISTANCE OF 30.00 FEET TO THE INTERSECTION OF THE EXISTING NORTH RIGHT OF WAY LINE OF COLTER STREET WITH THE EXISTING WEST RIGHT OF WAY LINE OF 1-17, AND THE **POINT OF BEGINNING**;

THENCE SOUTH 89° 31' 06" WEST ALONG SAID EXISTING NORTH RIGHT OF WAY LINE A DISTANCE OF 25.00 FEET;

THENCE NORTH 44° 59' 02" EAST A DISTANCE OF 35.64 FEET TO A POINT IN SAID EXISTING WEST RIGHT OF WAY LINE WHICH 25.00 FEET NORTH OF SAID EXISTING NORTH RIGHT OF WAY LINE;

THENCE SOUTH 00° 26' 58" WEST ALONG SAID EXISTING WEST RIGHT OF WAY LINE A DISTANCE OF 25.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINS 148,477 SQUARE FEET, OR 3.409 ACRES, MORE OR LESS.

PARCEL NO. 20 (5136 N 29TH AVENUE-APN NUMBERS: #153-29-009C, #153-29-009D, #153-29-012A):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0741790, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE SOUTH 265 FEET OF LOT 7, BLOCK 3, HOMELAND, A SUBDIVISION RECORDED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE WEST 204 FEET.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0829515, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

LOT 7, BLOCK 3, HOMELAND, ACCORDING TO THE MAP OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE WEST 204 FEET; AND

EXCEPT THE SOUTH 265 FEET.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2015-0028764, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THAT PART OF LOT 8, BLOCK 3, HOMELAND, ACCORDING TO THE MAP OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

BEGINNING AT THE NORTHEAST CORNER OF LOT 8;

THENCE WEST 94.36 FEET;

THENCE SOUTH 65 FEET;

THENCE EAST 94.36 FEET;

THENCE NORTH 65.00 FEET TO THE TRUE **POINT OF BEGINNING**.

CONTAINS 37,577 SQUARE FEET, OR 0.863 ACRES, MORE OR LESS

Parcel Areas
PUD Update - Rev 4B (2/3/2016)

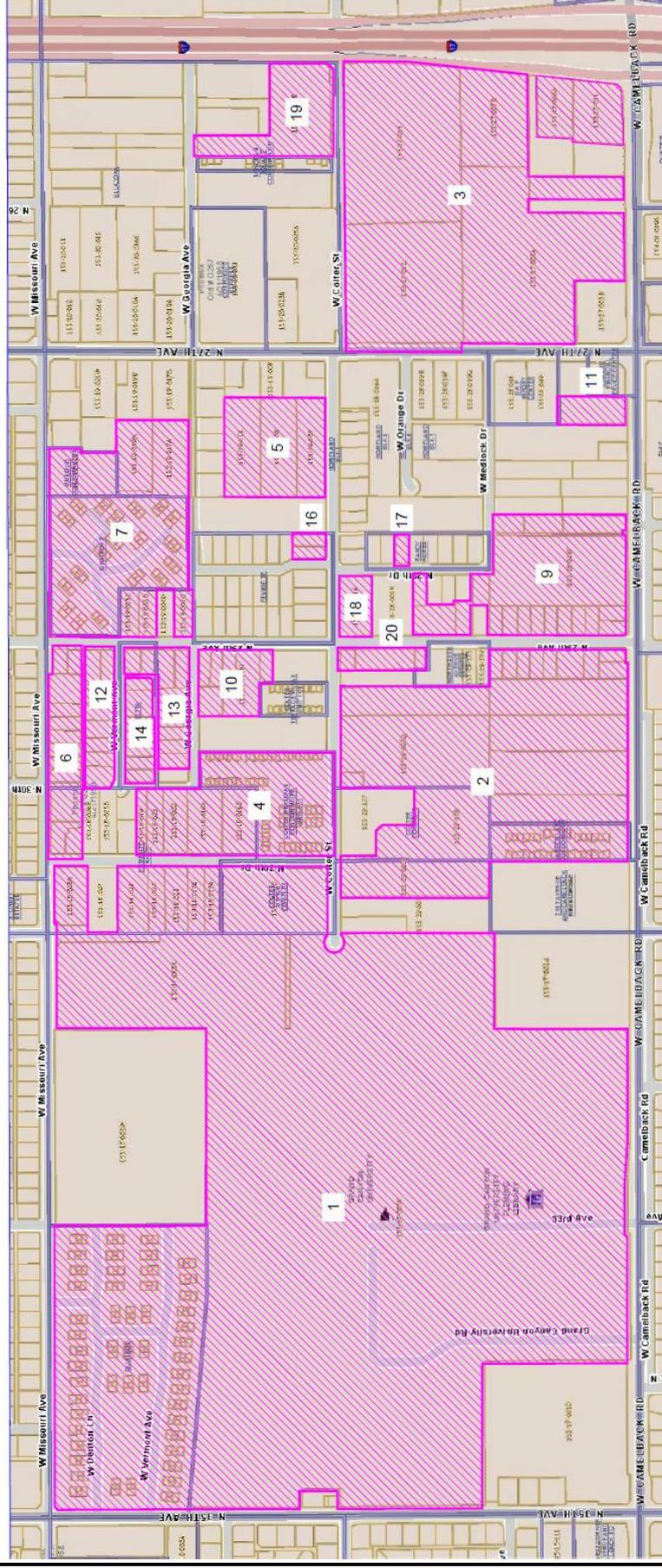
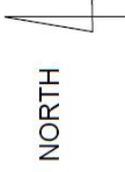
	GROSS AREA (S.F.)	GROSS AREA (ACRES)	NET AREA (S.F.)	NET AREA (ACRES)
PARCEL 1	5,916,569	135.826	5666480	130.084
PARCEL 2	1226776	28.163	1148775	26.372
PARCEL 3	1506844	34.592	1385850	31.815
PARCEL 4	394902	9.066	350265	8.041
PARCEL 5	216009	4.959	202601	4.651
PARCEL 6	159824	3.669	129592	2.975
PARCEL 7	594907	13.657	556527	12.776
PARCEL 8	0	0.000	0	0.000
PARCEL 9	446388	10.247	386502	8.872
PARCEL 10	108823	2.498	90601	2.080
PARCEL 11	44422	1.020	39056	0.897
PARCEL 12	109681	2.518	84295	1.935
PARCEL 13	117669	2.701	88743	2.037
PARCEL 14	84839	1.948	62046	1.424
PARCEL 15	0	0.000	0	0.000
PARCEL 16	25125	0.577	17181	0.394
PARCEL 17	10535	0.242	8416	0.193
PARCEL 18	57799	1.327	39919	0.916
PARCEL 19	164487	3.776	148477	3.409
PARCEL 20	53269	1.223	37577	0.863
TOTAL	11,238,868	258.009	10442903	239.736



EXPIRES: 9/30/2016

SCALE 1" = 414'

EXHIBIT B PUD UPDATE REV 4B



Traffic Study or Statement

An updated traffic analysis prepared by CivTech, Inc., dated February 5, 2016, and a traffic study for 27th Ave. and Colter St. prepared January 2016, are incorporated herein by reference.

Context Plan & Photos