



**City of Phoenix**  
PLANNING AND DEVELOPMENT SERVICES

**Staff Report: Z-3-10-5**  
**(Grand Canyon University PUD)**  
September 20, 2010

**Alhambra Village Planning Committee Meeting Date** September 28, 2010  
**Planning Commission Hearing Date** October 13, 2010  
**Request From:** R1-6 (single family residential/private university) (96.9 acres) and R-5 (office/multi-family/private university) (5.0 acres)  
**Request To:** PUD (Planned Unit Development) (101.9 acres)  
**Proposed Use** University campus and related uses  
**Location** Approximately 640 feet east of the northeast corner of Camelback Road and North 35th Avenue  
**Owner** Grand Canyon Education Incorporated  
**Applicant/Representative** Paul Gilbert  
 Beus Gilbert PLLC  
**Staff Recommendation** Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Public/Quasi-Public	
<b>Street Map Classification</b>	Camelback Road	Arterial	40-55 feet north half
	35 <sup>th</sup> Avenue	Major Arterial	40 foot east half
	31 <sup>st</sup> Avenue	Local	40 foot west half
	Missouri Avenue	Minor Collector	40 foot south half
<b><i>GROWTH AREA ELEMENT – Goal 1: Maintain a high quality of life and economically healthy community.</i></b>			
The request supports the linkage between academic opportunity, the community and the home. It also contributes to a better quality of life by recognizing the scale of adjacent land uses and proposing development standards which assure that buffering will occur on the site's perimeter.			

***LAND USE ELEMENT – Goal 3: Infill – Vacant and underdeveloped land in the older parts of the city should be developed or redeveloped in a manner that is compatible with viable existing development and the long term character and goals for the area.***

The proposal promotes infill and is compatible with the surrounding land uses. It promotes the uniqueness of the Alhambra Village; preserves and enhances the quality of life for the area by ensuring compatible development; and provides an opportunity for residents to live, work, and be educated within the village.

***LAND USE ELEMENT GOAL 1 NEIGHBORHOOD POLICY 2: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design and appearance.***

The proposal recognizes the scale of adjacent land uses and proposes development standards which assure that buffering will occur on the site's perimeter. Additionally, the university is maintaining the landscaping on the adjacent Little Canyon Trail, which enhances the character of the adjacent neighborhood.

***LAND USE ELEMENT GOAL 1 NEIGHBORHOOD POLICY 6: Ensure that neighborhoods have reasonable access to basic neighborhood support services.***

The university campus is open to the public for educational opportunities and various athletic and entertainment events. Opportunities exist for students in the neighborhood as well. For example, a senior housing/assisted living development is planned nearby and university nursing students could have the opportunity to work with the population there as part of their education.

## **BACKGROUND**

1. This request is to rezone 101.9 acres from R1-6 (single-family residential [university]) (96.9 Acres) and R-5 (multi-family) (5.0 acres) to PUD, Planned Unit Development allowing a university campus and related uses. The proposed development standards and allowed uses will facilitate new development on the campus, allowing future increases in the on-campus student population. The PUD is the best suited zoning category for this request given the university's plans for future buildings that do not adhere to typical residential standards such as height.

## SUBJECT SITE

- The site is located on approximately 100 acres between Camelback Road and Missouri Avenue and 31<sup>st</sup> Avenue and 35<sup>th</sup> Avenue. The Little Canyon Park is situated on the site's northern boundary at Missouri Avenue. The recently completed Little Canyon Trail traverses the 31<sup>st</sup> Avenue alignment on the site's eastern boundary. The western side of the site touches 35<sup>th</sup> Avenue and the southern boundary is Camelback Road. Existing land uses in the area include: single and multi-family residential, offices, retail, recreation and a church.



*Vicinity map for Grand Canyon University Planned Unit Development (PUD).*

## PROPOSED DEVELOPMENT AND EXISTING ZONING

- The PUD proposal was first submitted formally February 17, 2010 and has been refined by the applicant over the past few months. The proposal was developed utilizing the PUD zoning category which allows an applicant to propose uses, development standards and design guidelines for a site. One of the benefits of this category is to allow the applicant to develop standards that respond to the surrounding environment, more so than conventional zoning districts allow. The end result is a parcel rezoned with standards specifically crafted and tailored for that site. The PUD zoning category specifically defines such things as height, uses, setbacks and boundaries. Any later deviation from the approved PUD standards determined to be a major amendment will follow the rezoning and public hearing approval process.

The application development narrative provides an overview of the existing conditions, existing and proposed land uses and character and the overall design concept. It outlines the proposed development standards, design guidelines and sign standards. The narrative discusses the PUD's sustainability, infrastructure and the known phasing of development.

- The development standards proposed by the PUD are similar to the Mid-Rise zoning district which could allow the requested building height as illustrated in the comparative zoning table below.

	<b>Mid-Rise</b>	<b>Proposed in PUD</b>
<b>Density</b>		
Dwelling unit density	As permitted in the district with which the Mid-Rise district is combined	2.0 units per acre
<b>Setbacks</b>		
Minimum perimeter building setbacks	Front: 35 feet Rear: 15 feet Side: landscaped area of 5 times the distance from front yard and rear property line in single-family	Front (south): 50 feet Rear (north): 20 feet Side (west): 50 feet Side (east): 20 feet Interior perimeter: 0 feet
Common landscaped setback adjacent to perimeter areas	Landscaped area of 5 times the front yard width (measured in square feet)	20 feet
Minimum interior building setbacks	Not addressed	None
<b>Maximum Height</b>	190 feet	95 feet
Building setback	When adjacent to single-family residential districts or uses, then there shall be an additional setback of one foot horizontal for each vertical one foot in height from the adjacent residential property line.	Rear yard (north) and side yard (east) adjacent to residential districts: a 1 foot for 1 foot setback beginning at a height of 20 feet at the setback line and continuing away from the property line to the maximum allowed height
<b>Lot Coverage</b>	No maximum lot coverage	All structures: 50%
<b>Common Areas/Open Space</b>	Minimum 30% of net area, exclusive of setbacks and vehicular traffic and parking areas	No minimum requirement (university campus has open space throughout, i.e. athletic fields, quadrangles)
<b>Required Studies</b>	Reflection, traffic and utility studies to demonstrate compatibility with surrounding uses	Traffic Study approval required
<b>Allowed Uses</b>	As permitted in the district with which the Mid-Rise district is combined	University campus and associated uses as defined in Section F of the narrative
<b>Required Review</b>	Development review per Section 507	Development review per Section 507

## OVERALL DESIGN CONCEPT

- The intent of the PUD is to create a framework in which further development of the Grand Canyon University Campus can occur over time as the student population increases. The near future will bring construction of an event center, a new dormitory, a recreation center and a classroom building. Some of these buildings will be taller than the 30 foot height allowed in the residence district but are allowed under the proposed standards of the PUD. The PUD standards for height on the campus include setback provisions from residential zoning/development consistent with the mid-rise provisions of the Zoning Ordinance. It is the intent of

the PUD that any buildings on site over 20 feet tall will have appropriate setbacks and stepbacks from rear yard (north) and side yard (east) property lines.

## CONCEPT PLAN

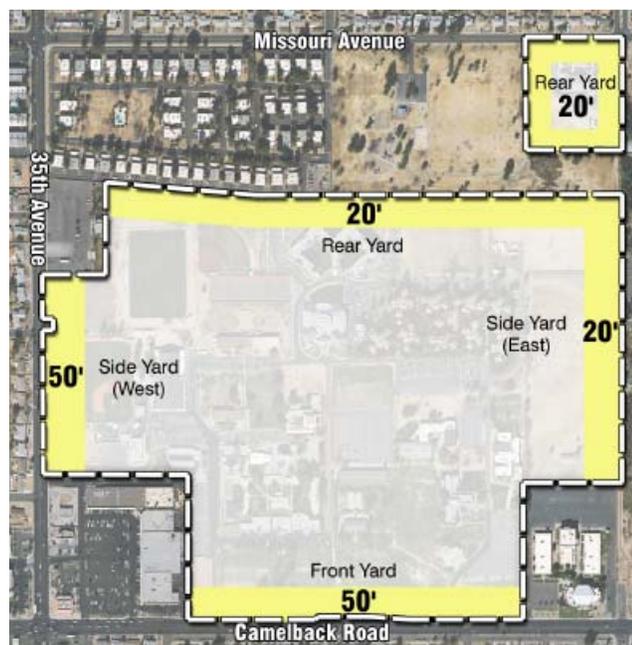
6. Grand Canyon University anticipates significant growth in the next few years. In order to accommodate this growth, the PUD has been designed with strategies for coordinated development. The public image of the university along Camelback Road will be maintained and strengthened. Height and density around courtyards, malls and quadrangles is intended to create identifiable outdoor spaces, enhancing the quality of life on campus. The variety of outdoor sports facilities will be maintained to support the traditional emphasis on athletics. Landscape strategies will be utilized to establish unique zones throughout the campus as well as tying disparate zones together. Lastly, the PUD provides a significant spatial and landscape buffer between the campus and adjacent residential districts to reduce any perceived negative impacts between dissimilar land uses.

## DEVELOPMENT STANDARDS & DESIGN GUIDELINES

7. Below is a summary of the proposed standards for the subject site, as described in the third submittal of the PUD narrative date stamped September 13, 2010. The primary focus of the standards is to address the inter-relationship between the university campus and the land uses adjacent to its perimeter.

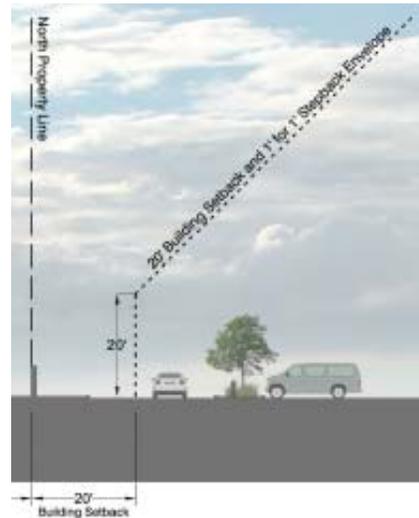
### Landscape and Building

**Setbacks** –The purpose of this section is to define the setbacks for the perimeter of the site, providing appropriate standards depending on the adjacent land uses. Generally, perimeter landscape setbacks are an average of 25 feet and building setbacks range from 50 feet on the arterial streets to 20 feet along the other property lines. Additionally, building setbacks adjacent to residential uses along the north and west property lines (identified in Diagram G.11.) and around the parcel at the northeast corner, include a stepback provision.



*Building setbacks for Grand Canyon University  
Planned Unit Development*

**Height** – The PUD proposes a maximum building height of 95 feet. No buildings are proposed at this time that approach that height. Buildings presently under construction will be less than 60 feet tall. A stepback provision is required adjacent to residential zoning. This provision restricts building height to 20 feet at the 20 foot setback line and then allows for a 1:1 increase, one foot of additional height for each one foot of additional setback, up to the maximum allowed height of 95 feet. The large size of the campus, combined with the stepback development standards proposed adjacent to residential zoning, accommodate future campus expansion with taller buildings.



*Stepback illustration for buildings over 20 feet in height at residential perimeter.*

**Density** – The university campus will provide living facilities for students in the form of dormitories and apartment-style housing. Units with cooking facilities are counted toward the establishment of density on a site and the proposed density for this campus is no more than 2.0 units per acre.

**Allowed Uses** - Uses anticipated on the campus are typical of a university campus, such as: classrooms, dormitories, sports fields, research, and public assembly. A more comprehensive list of uses is included in the Appendix of the PUD document.

**Landscape Standards** – Standards are proposed for areas adjacent to streets, adjacent to buildings, adjacent to the perimeter and in parking and retention areas. The standards delineate the sizes of trees, shrubs and placement of the vegetation.

**Parking Standards** – The PUD proposes parking standards based on the unique characteristics of the Grand Canyon University campus. A review of the ordinance parking requirements compared to utilization of a shared parking model was conducted. Parking calculations made separately for each use would require 2,721 spaces be provided on campus. The shared parking model would require a total of 2,337 spaces on campus. The PUD proposes a total of 2,394 spaces, which is a 12% reduction compared to the standard calculation. The shared model proposed is appropriate for a mixed use project such as a university campus. For example, a given student will not simultaneously need a separate parking space at the dormitory, the student union and the bookstore.

**Amenities** – Amenities on the campus include a student recreation center, a student union, athletic facilities, an amphitheater, an event center, open spaces, shaded walkways, a swimming pool and the Little Canyon Trail.

**Shade** – The PUD addresses the provision of shade for sidewalks near new construction (75% coverage) and for parking spaces (25% coverage). It is proposed that when replacement is necessary, mature trees will be replaced with mature trees at least 15 feet tall. This provision is a lesser standard than required by the Zoning Ordinance. The language should be either deleted so relevant provisions of Section 507 TAB A of the Zoning Ordinance apply, or changed to provide a greater standard.

**Lighting Standards** – The lighting standards are designed to accommodate the needs of a university campus. Lighting plans will comply with the city's Dark Sky Ordinance. The PUD narrative only addresses the height of freestanding lights for parking areas, walkways and sports fields. In addition to regulating the height of free standing lights, the narrative should require that the lighting not exceed one foot candle at property lines adjacent to residential zoning or uses.

**Design Guidelines** – Design guidelines for the PUD focus specifically on future perimeter site wall design, which is of interest to the neighboring community due to its highly visible nature. The site wall design will incorporate a variety of design features to address the project's goal of reinforcing the campus atmosphere while exceeding the aesthetic appeal usually found in such walls. Design features will include coursing patterns, varying heights and articulation.

**Sign Standards** – The sign portion of this application is vague. It proposes to allow the existing signage and additional signage in the future. Signs will be located at entrance points to the campus. Other sign types may be visible from locations outside the campus, but are primarily intended to identify buildings, programs or significant locations within the campus.

The PUD proposes aerial view signage. The applicant has indicated that it might be possible for the campus to host a major event at some future point where such signage would be visible to a television audience. Signage visible from an aerial view is allowed in two places in the city of Phoenix: the Downtown Core and on a site near the Jobing.com arena in the west valley. The land uses associated with these locations are likely to draw the large crowds and possible television audience typically associated with aerial view signs. The activity centers existing and proposed on campus are not comparable to the venues found in the Downtown Core and near the arena in Glendale. Staff does not support the aerial view signs provision in the PUD document.

The PUD proposes to allow projected light signage. The applicant has indicated that prior to review of the application by the Planning Commission, new projected light signs will be identified and/or standards for these signs will be proposed in areas where residences may be affected. Standards should be identified prior to presentation of the application to the Village Planning Committee so that affected residents have the opportunity to comment at the first public meeting reviewing the specific proposal. Staff does not support the provision for projected light signage.

The language pertaining to signage in the PUD narrative is a lesser standard than required by the Zoning Ordinance. The signage provisions do not contain enough information for review and permitting of signage to occur. Staff does not support the signage language as presented. The language should be either deleted so relevant provisions of Section 705 of the Zoning Ordinance apply, or changed to provide a greater standard.

**Sustainability** – The Grand Canyon University has chosen to accommodate its student growth within the confines of its existing campus. This choice increases the efficiency of transportation and utility infrastructure by reducing total system distances and using existing services. New buildings on the campus 10,000 square feet or larger will be required to meet five of seven identified sustainability standards.

## GENERAL COMMENTS

8. The Planned Unit Development zoning district allows applicants to create development standards and cannot alter city processes or modify regulations governed by the zoning ordinance. The Grand Canyon University PUD submittal follows City of Phoenix processes except for some variations pertaining to signage and lighting. Stipulation 2 addresses these and other minor changes to ensure city processes and protocol are not altered.
9. The Water Services Department has commented that water and wastewater infrastructure requirements are determined at the time of site plan or master plan review by the Water Services Department, when final land uses and urban design of the property in question have been clearly identified, and proposed water demands and wastewater generation and infrastructure locations and attributes have been established. While some information on infrastructure issues may be provided as part of the PUD application process, access to water and wastewater services is granted as part of the site plan or master plan approval process.

The Water Services Department is unable to provide specific comments on, or provide approvals for, conceptual water and wastewater plans that do not meet the City's requirements for preliminary site plans or preliminary master plans. Any general comments provided by the Water Services Department prior to preliminary site plan or preliminary master plan review on potential infrastructure constraints or infrastructure requirements should not be construed as the endorsement or approval of any particular proposed infrastructure solution or plan.

The parcel may [or may not] be served by existing COP water and wastewater systems pending capacity review and approval. The design and construction of any facilities needed to connect to or increase the capacity of the existing infrastructure will be the responsibility of the developer.

10. A Traffic Impact Statement has been submitted to the Street Transportation Department and review comments have been transmitted to the applicant. There are some discrepancies with the Traffic Impact Statement and the Vehicular Circulation Diagram in the PUD narrative. For example, they indicate that the entrance at the 31<sup>st</sup> Avenue alignment is a major access point, however there is no right-of-way in place at that location and permission to access across the private parcels has not been secured. As the PUD narrative may obtain approval prior to the approval of a Traffic Impact Study, the Vehicular Circulation Diagram title should be amended to indicate that it is conceptual.
11. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements and other formal actions may be required.

### Findings

1. The request is consistent with the General Plan land use designation of Public/Quasi-Public and with multiple goals of the General Plan. The property's significant size makes it appropriate for PUD rezoning.
2. PUD zoning allows for unique guidelines that are customized for the future growth of this university campus.
3. The proposal complements the recently completed Little Canyon Trail project on the western edge of the campus (31<sup>st</sup> Avenue alignment).

### Stipulations

1. That an updated Development Narrative for the Grand Canyon University reflecting the changes approved through this request shall be submitted to the Planning Department within 30 days of City Council approval of this request. The updated Development Narrative shall be consistent with Development Narrative date stamped September 13, 2010, as modified by the following stipulations.
2. That the Development Narrative shall be modified as follows:
  - a. Amend Diagram E.1 to read Camelback Road rather than Camelback Avenue. Add the 31<sup>st</sup> Avenue alignment to the map.
  - b. Amend Diagram G.2. to reflect landscape setbacks an average of 25 feet.
  - c. P. 30, paragraph 2, line 5 – After the word “height”, provide a reference to Diagram G.11.
  - d. P. 34, paragraph 3, line 2 – “The Little Canyon Canal **and Trail runs** along this perimeter from Camelback Road to Missouri Avenue. **Trail these** improvements vary in depth...”
  - e. P. 38 – Delete reference to On Lot and Common Retention.
  - f. P. 43 – Amend table to show requirements for a total of 100% of the trees.
  - g. P. 45 – Delete remnant page of landscape materials list.

- h. P. 49, paragraph 2 – Amend line 2 to replace “should” with “will”. Delete the sentence beginning “When replacement....”
  - i. P. 50 – Add a requirement for a maximum of one foot candle at property lines adjacent to residential zoning or uses for all freestanding lights.
  - j. P. 51, paragraph 1, line 7 – Add new sentence: “The Grand Canyon Planned Unit Development shall conform to Section 507 of the Phoenix Zoning Ordinance with additional standards as indicated below.”
  - k. P. 52 – Delete regulatory provisions for signage language so that Section 705 of the Zoning Ordinance applies.
  - l. P. 55 – Delete provision for projected light signs.
  - m. P. 55 – Delete provision for aerial view signs.
  - n. P. 58, Diagram K.1 – Revise title to: Conceptual Vehicular Circulation Plan
  - o. P. 60, paragraph 2 – Revise line 2: “...of the canal ~~is a represents an~~ ~~unimproved~~ segment in...” Revise line 4: “...map), and **until recently was** ~~represents~~ an underutilized...” Revise line 5: “....recently **completed** ~~approved~~ a Public Art Project ~~that aims~~ to improve the canal between...”
  - p. P. 60, paragraph 3 – Remove the word “will” from line 1 and delete “once they are complete” from line 3.
  - q. P. 60, paragraph 4 – remove the four instances of the word “will”.
  - r. P. 60, paragraph 5 – move paragraph to p. 59 to correspond with pedestrian circulation discussion and amend Diagram reference to K.2.
  - s. P. 64, replace Comparative Zoning Standards Table with the table included in the staff recommendation.
  - t. Prior to p. 73, include Context Photos Key Map.
  - u. Amend all maps to identify 31<sup>st</sup> Avenue alignment and Missouri Avenue.
3. That right-of-way totaling 50 feet shall be dedicated for the north half of Camelback Road, as approved by the Street Transportation Department. Additional right-of-way may be necessary for the new traffic signal at 33<sup>rd</sup> Avenue and Camelback Road, and shall be dedicated and constructed as required by the Street Transportation Department.
4. That the Traffic Impact Statement shall be reviewed and approved by the Street Transportation Department prior to Preliminary Site Plan approval by the Planning and Development Services Department. The developer shall be responsible for any additional street right-of-way dedications and construction improvements.
5. That the developer shall construct all streets adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, landscaping and other incidentals as per plans approved by the Planning and Development Services Department. All improvements shall comply with all ADA accessibility standards.
6. That the below language shall be added as a preamble statement on a blank page prior to the Table of Contents within the Development Narrative. This additional language and any modifications to the narrative made through the public hearing process shall be completed and a final written PUD Development Narrative and electronic PUD Development Narrative shall be submitted within 30 days of final City Council approval.

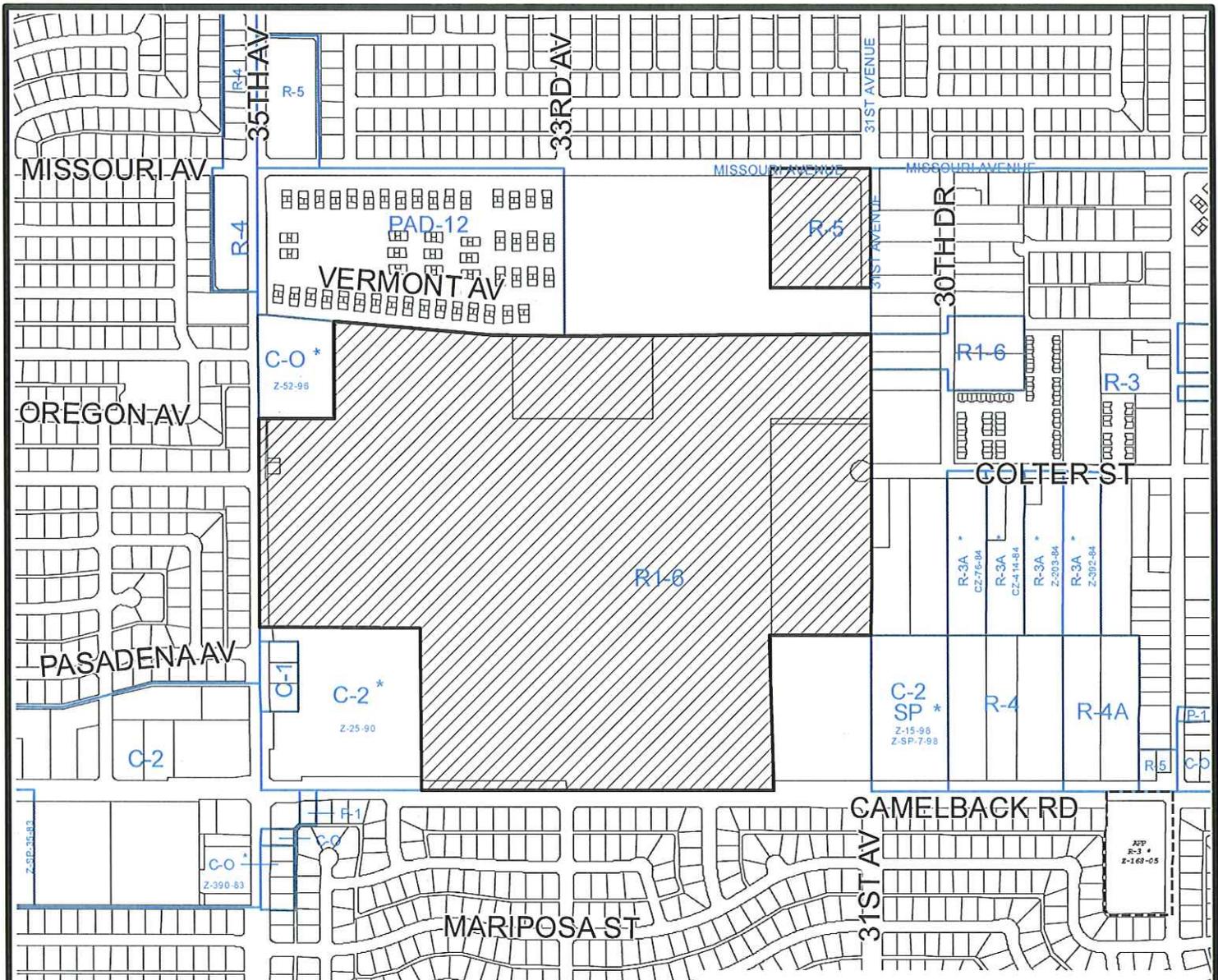
- a. A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the zoning ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary such as but not limited to right-of-way abandonments.

**Writer**

Katherine Coles  
9/14/10  
JB

**Attachments**

Attachment A: Sketch Map  
Attachment B: Aerial – Adjacent Developments  
Attachment C: Conceptual Site Plan  
Attachment D: PUD Narrative

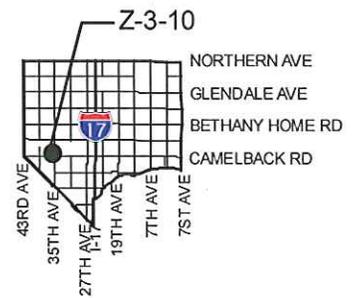


500 250 0 500 Feet

CITY OF PHOENIX PLANNING DEPARTMENT

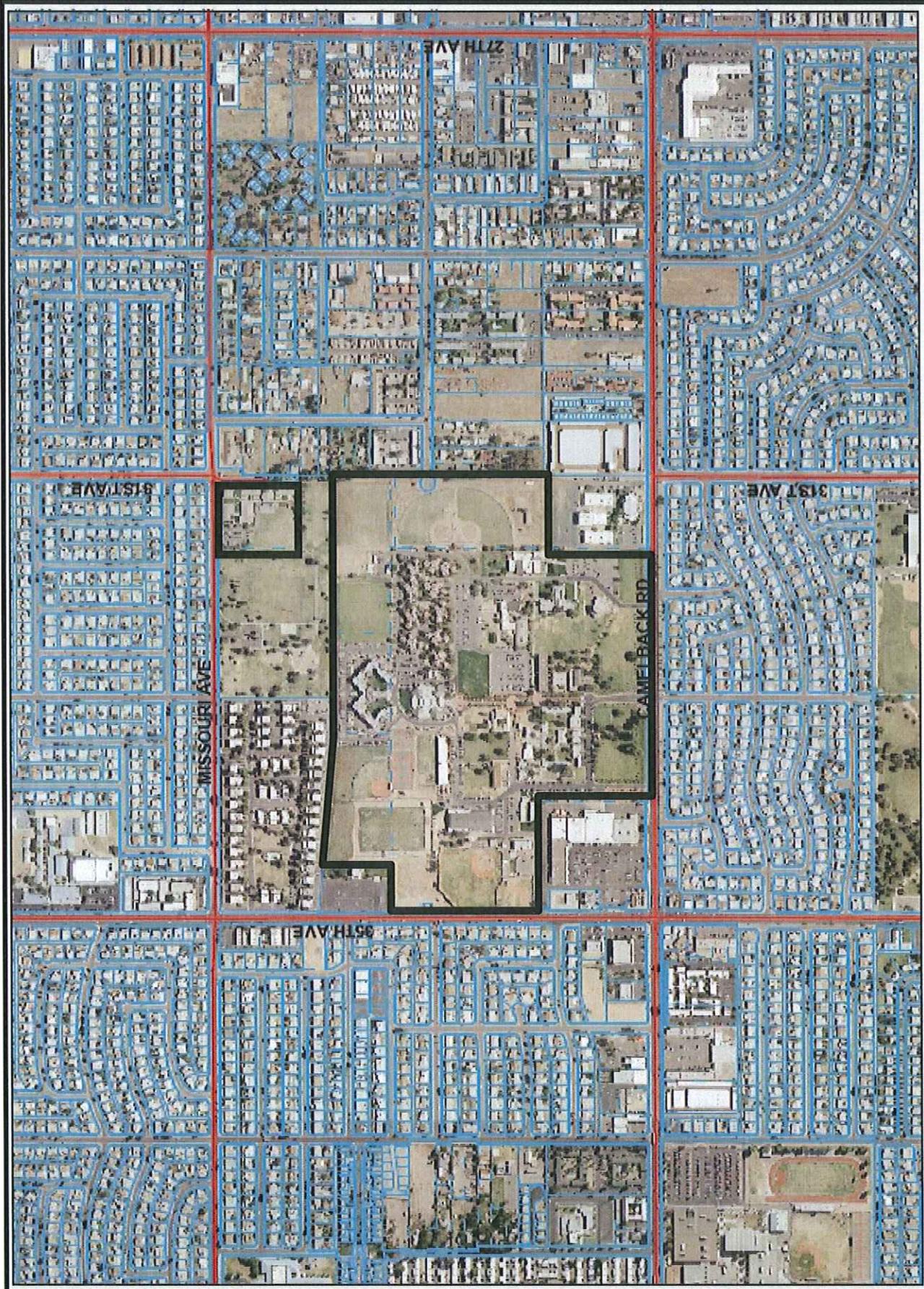
**ALHAMBRA VILLAGE**

CITY COUNCIL DISTRICT: 5



<b>APPLICANT'S NAME:</b> Beus Gilbert		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-3-10	<b>DATE:</b> 4/14/10 <small>REVISION DATES:</small>	<b>FROM:</b> R1-6, (96.90 a. c.) R-5, (5.00 a. c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX</small> 101.90 Acres	<small>AERIAL PHOTO &amp; QUARTER SEC. NO.</small> Q19-21	<small>ZONING MAP</small> H-6	<b>TO:</b> PUD, (101.90 a. c.)
<b>MULTIPLES PERMITTED</b> R1-6, R-5 PUD	<b>CONVENTIONAL OPTION</b> 484, 217 5095 PER NARRATIVE	<b>* UNITS P.R.D. OPTION</b> 614, 261	

\* Maximum Units Allowed with P.R.D. Bonus



The information provided on this map is based on recent drawings submitted by owners. Users of this information are cautioned that independent verification of actual conditions may be necessary.

## Development Services

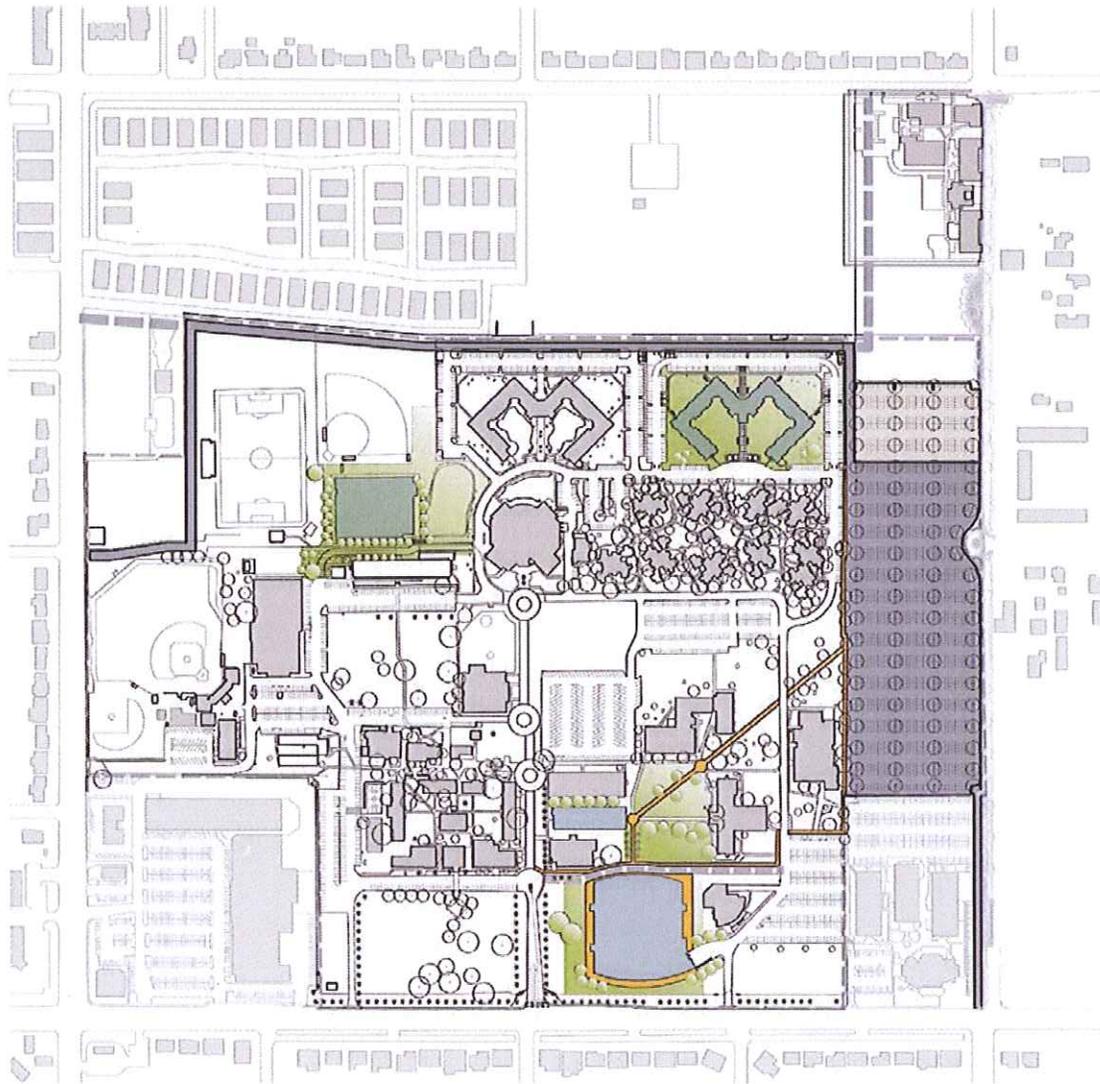

 City of Phoenix


 N

1 INCH = 737.079 FT.


 0 200 400 600 800 1,000 Feet

# CONCEPTUAL SITE PLAN



**Site Plan**  
Current projects in emphasis