

# **202 & Van Buren Storage PUD**

**5223 East Van Buren Street  
Southeast corner of Loop 202 and Van Buren Street**

**Z-25-16**

Planned Unit Development  
Development Narrative

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**CITY OF PHOENIX**

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**Planning & Development  
Department**

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## A. PURPOSE AND INTENT

### 1. PLANNED UNIT DEVELOPMENT

This Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for this particular project. Provisions not specifically regulated by this PUD are governed by the Phoenix Zoning Ordinance. If there are conflicts between specific provisions of this PUD and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. This PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. The purpose and intent statements are not requirements that will be enforced by the city of Phoenix.

### 2. PROJECT OVERVIEW AND GOALS

The 202 & Van Buren Planned Unit Development (PUD) rezones approximately 2.37 gross acres of land located at the southeast corner of the Loop 202 Freeway and Van Buren Street (the "Property"). This well-conceived development will be an amenity to area residents and commercial users and add diversity to the current mix of commercial uses. See vicinity, aerial and parcel maps at Exhibits A, B and C.

The Property is vacant land adjacent to the Loop 202 Freeway, and fronts on Van Buren Street, which is a high traffic arterial street appropriate for redevelopment opportunities such as this.

The applicant proposes to rezone from R-4A to PUD to allow for the development of an approximate 122,871 square foot high-end climate controlled self-storage facility. Over the past decade, fewer new self-storage developments have been built within the trade radius. This development will provide a much-needed, quality self-storage facility to an area currently underserved.

This proposed facility is conveniently located for customers and is equipped with industry-leading security features. Security features include a gated driveway entry and keypad secured building entrances. Additionally, the facility will be equipped with interior and exterior 24-hour video surveillance equipment.

Four buildings are proposed for the development. The primary storage building B, located closest to the freeway, is designed as three stories no more than 50-feet above grade without a pitched roof. This is consistent with the established heights of the adjacent three-story developments existing to the east and north, which have pitched roofs bringing their overall heights in range with the height of the tallest building proposed in this PUD. The first floor of the building is proposed to include a loading vestibule and storage units. The second and third floors are anticipated to be comprised of storage units. The design also includes 54 exterior-accessed first floor units.

Building A is a one-story rental office and sales center. Buildings C and D, as noted on the site plan in the southern area of the Property, are one-story buildings that will provide

62 additional storage units with primarily exterior access units. Building D will have a combination of interior and exterior access units. Buildings A, C and D are all single-level with an overall height less than 20-feet. See conceptual site plan, landscape plan and building elevations, at Exhibits D, E and F.

### **3. SURROUNDING AREA**

The Property is currently zoned R-4A and is located directly adjacent to the Loop 202 Freeway. Though zoned for residential use, the Property has always been vacant. The construction of the Loop 202 Freeway, which occurred in the mid-1990's, ended up taking a significant portion of the Property frontage, creating an irregularly shaped parcel with extremely limited opportunities for development. Due to the location and configuration of this parcel, it is unlikely that this site will develop as residential or other commercial uses given that after approximately 26 years, it remains undeveloped. This well-conceived development provides an opportunity to bring much-needed amenities to area residents and commercial users and add diversity to the current mix of commercial users.

To the north of the Property is a vacant parcel, zoned A-1, which has also been impacted by the freeway alignment. To the northeast is a three-story multi-family residential development, zoned R-4. To the east is a two-story motel zoned C-3 and a three-story multi-family residential development zoned R-3A. To the south is vacant land zoned R-4A which permits building heights up to 48-feet. To the west is the Loop 202 access road and freeway at approximately 22 feet above the grade of the Property.

With regard to traffic, this self-storage use will have little impact on adjacent properties, due to very low vehicular traffic that this type of use generates. It is not anticipated that this use will have an adverse effect on peak hour movement.

In addition, the use will not generate significant activity, light or noise. The proposed building and enhanced landscaping along Van Buren Street will vastly improve the site's current condition from a vacant undeveloped parcel. The proposed secure, climate-controlled, high-end storage development will benefit local area residents and commercial users by providing much needed self-storage facilities for the surrounding area.

Given the existing heights in the area and the traffic intensity of Van Buren Street, this PUD has been planned to complement the surrounding existing and proposed developments.

### **4. OVERALL DESIGN CONCEPT**

This proposed Self-Storage Project is designed as an independent multi-building facility including a rental office with public access, a three-story air-conditioned storage building and two single level non-conditioned storage buildings with both interior-accessed and exterior-accessed storage units. Access to all storage buildings will be separated from public access with security gates and integrated keypad control. This is a high-quality storage facility offering a range of products to serve the local and surrounding community. Vehicular access to the facility will be from the north with a new driveway at Van Buren

Street. A secondary access point for emergency vehicles will be provided at the south end of the site and will connect to any future adjacent multi-family development. This southern point of access will not be available to customers, and will be reserved for emergency vehicle access only. Parking is provided at the north point of entry for customers visiting the rental office. Additional parking is also provided beyond the secured gate for current customers accessing the storage facilities.

A customer loading area will be provided at the south side of the three-story building with direct access to ground level storage space and convenient access to an elevator and upper level spaces. A vehicle turn-around area is provided between building B at the northern end of the Property and buildings C and D at the southern end, to allow customers to easily maneuver into and out of the facility from the north point of access.

The main storage building will be three levels above grade with an overall height no greater than 50-feet. The building finishes will be a combination of integral colored block, integral colored stucco, painted metal roll-up doors, glazing and some painted metal panel accents and painted steel shade elements at the glazed areas and customer entry. The color scheme is a mix of warm and cool grey tones for masonry and stucco, with a rich burgundy accent color. All four of the proposed buildings will use the same materials and colors and incorporate similar architectural features. See color palette at Exhibit G and building elevations at Exhibit F.

There are 10-foot average landscape and 10-foot building setbacks along the west, east and south property boundaries. A 93-foot building setback is proposed along the north property line, along Van Buren Street. Desert landscaping will be provided within all perimeter landscape buffer areas. The proposed single-level storage buildings will be located at the southern end of the site with the multi-level building located at the northern to minimize the impact on any future development to the south. The single-level storage buildings will have an overall height less than 20-feet.

## B. LAND USE PLAN

The approximate 2.37 gross acre site is designed to allow for an upscale, climate controlled self-storage use. The high quality nature of this storage facility will complement the mix of residential, commercial and industrial uses in the surrounding area.

The conceptual site plan maximizes the potential of the irregularly shaped site while still providing appropriate setbacks and efficient on-site circulation. The site will have one public ingress/egress point from the north and a proposed secondary ingress/egress point at the south for emergency vehicle access only. The primary northern access point from Van Buren Street provides for visitor parking and access to the rental office. A keypad controlled automatic gate at the north, between buildings A and B, will provide access beyond the visitor areas to the storage buildings. Areas between buildings along the perimeter property line will be secured with an 8-foot tall masonry wall finished to match the proposed buildings.

This PUD will allow the development of four buildings including: (A) a one-story approximately 1,960 square-foot rental office and sales center; (B) a three-story, approximately 112,917 square foot climate controlled building with 54 exterior accessed first floor units; (C) a one-story approximately 2,413 square-foot building with 12 exterior accessed first floor units; and (D) a one-story approximately 5,581 square-foot building with 10 exterior access first floor units. See conceptual site plan at Exhibit D.

Due to the limited frontage along Van Buren Street where the driveway is located, a limited landscape area is available. A 5-foot wide landscape area will be provided adjacent to the eastern property line, from the northern property line south 91-feet. A 3-foot landscape area will be provided adjacent to the western property line, from the northern property line south 33-feet. However, a 10-foot average landscape setback will be provided on the east and west property lines to balance the minimum setback dimension created by the limited street frontage.

A refuse enclosure is located at the midpoint of the facility along the east property line. A ratio of one (1) parking space per 50 storage units will be provided, which yields nineteen (19) total parking spaces for this self-storage use. This number of spaces will be more than sufficient to meet the parking demands for this limited low traffic volume use. The total number of vehicles expected at the self-storage facility averages nine (9) per hour, and even at peak hour, the total vehicle trips is no more than eleven (11) entering and eleven (11) exiting. Fourteen (14) customer parking spaces are located along the eastern side of the Property, across from building B within the secured area, and five (5) visitor parking spaces are located outside the gated entry to serve the sales office. Two bicycle parking spaces will be provided at the north end of building A, near the entrance and adjacent to the visitor parking area.

This PUD will provide two dedicated loading spaces between buildings B and D. The sole purpose of a customer's visit to the facility is to load or unload items, and as such, all provided parking spaces could also be used as loading spaces in the area adjacent to the parking spaces within the gated area, adjacent to building B and within the drive-aisle adjacent to building D. Two bicycle parking spaces will be provided at the north end of building A, near the entrance and adjacent to the visitor parking area.

This self-storage use will have little impact on adjacent properties, due to very low vehicular traffic this type of use generates. Furthermore, it is not anticipated that this use will have an adverse effect on peak hour movement. With this low traffic volume, the proposed single driveway for visitors is sufficient.

The plan for vehicular circulation and loading activity, located between the buildings, was specifically designed to have the least impact on adjacent residential uses to the south and southeast. The tallest building is situated at the northwest corner of the Property to provide the greatest buffer from adjacent commercial and residential uses to the west and south, placing it directly adjacent to the freeway.

## C. SITE CONDITIONS AND LOCATION

### 1. ACREAGE

The Property consists of approximately 2.37 gross acres (1.82 net acres). See legal description at Exhibit H.

### 2. LOCATION AND CURRENT USE

The project is located at the southeast corner of the Loop 202 Freeway and Van Buren Street. The Property is an irregularly shaped parcel with limited frontage and is currently vacant undeveloped land. See vicinity map at Exhibit A.

### 3. TOPOGRAPHY

The site is generally flat, vacant and undeveloped, as described above. See context plan and site photos at Exhibit I.

## D. GENERAL PLAN CONFORMANCE

The development is supported by the following goals, policies and objectives of the city of Phoenix 2015 General Plan. See General Plan map at Exhibit J.

**CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; GOAL: TO PROMOTE DEVELOPMENT OF VACANT PARCELS OR REDEVELOPMENT OF UNDERUTILIZED PARCELS WITHIN THE DEVELOPED AREA OF THE CITY THAT ARE CONSISTENT WITH THE CHARACTER OF THE AREA OR WITH THE AREA'S TRANSITIONAL OBJECTIVES. LAND USE PRINCIPLE: SUPPORT REASONABLE LEVELS OF INCREASED INTENSITY, RESPECTFUL OF LOCAL CONDITIONS AND SURROUNDING NEIGHBORHOODS; ENCOURAGE DEVELOPMENT OF THE TALLER AND LARGER BUILDINGS IN AREAS OF CHANGE AWAY FROM SINGLE-FAMILY AND LOW-RISE, MULTIFAMILY HOUSING.**

As a primary core of the Camelback East Village has evolved just one mile west of the Property, it has become necessary that the surrounding areas also redevelop. This parcel is no exception. Given the many land use changes that have occurred in the area over the last several years, this site is prime for development. The use is a minimal-impact type of development in that it can compatibly locate next to the existing uses and buildings. It is also a necessary amenity to the many multi-family communities nearby. With the growing number of multi-family residential uses in Phoenix, which are inherently smaller than traditional single-family residential housing, there is a great demand for this self-storage. The proposed use will serve nearby residents and commercial users by providing self-storage options to a currently underserved area.

This proposed PUD will develop an underutilized parcel in close proximity to a number of properties that have already been redeveloped. This project will provide a high-quality self-storage amenity to serve the Camelback East Village. The PUD is complementary to the type of development and uses in the Camelback East Village primary core, which is west of the PUD project area. The existing surrounding conditions include a variety of commercial uses and higher density residential uses, along a highly traveled arterial street. Properties along Van Buren Street to the east of the PUD, which are within areas designated as residential by the General Plan Land Use Map, have been developed as commercial uses and are appropriate along this busy arterial. Additionally, the tallest building on the Property is situated at the northwest corner of the Property, closest to the freeway, to provide the greatest buffer from adjacent commercial and residential uses to the west and south. This application represents an opportunity to develop the site in a manner compatible with the existing character for the area.

**CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; DIVERSE NEIGHBORHOODS; LAND USE PRINCIPLE: INCLUDE A MIX OF HOUSING TYPES AND DENSITIES WHERE APPROPRIATE WITHIN EACH VILLAGE THAT SUPPORT A BROAD RANGE OF LIFESTYLES.**

With a growing population downsizing and moving toward a multi-family residential, turn-key lifestyle, the need for high-quality self-storage options close to home is a necessity. The proposed PUD will provide a much-needed service to the many multi-family residential developments adjacent to the site and within the Camelback East Village.

**CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; LAND USE PRINCIPLE: LOCATE LAND USES WITH THE GREATEST HEIGHT AND MOST INTENSE USES WITHIN LIMITS BASED ON VILLAGE CHARACTER, LAND USE NEEDS, INFRASTRUCTURE AND TRANSPORTATION SYSTEM CAPACITY.**

The proposed PUD is compatible with area neighborhoods. The proposed self-storage use will serve nearby residents and the growing number of multi-family residential uses that are inherently smaller than traditional single-family residential housing, which creates a need for this storage use. The development is also complementary to the density and character of the adjacent multi-family residential and commercial uses. The PUD is just east of a Camelback East Village primary core, which supports more intense uses and greater heights, and is directly adjacent to A-1 and C-3 zoned property. It is also surrounded by higher density residential districts (R-4A) to the southeast and south, which are currently undeveloped, but can be developed up to 48-feet in height. Given the existing heights in the area and proximity to the primary core, the proposed application is compatible with the surrounding neighborhood conditions and height entitlements.

The property also fronts Van Buren Street, which is a highly traversed corridor. This development is not only appropriate along an arterial street, it also buffers street and freeway traffic and noise that impacts the residential uses directly east of the site.

**CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; DESIGN PRINCIPLE:** CREATE NEW DEVELOPMENT OR REDEVELOPMENT THAT IS SENSITIVE TO THE SCALE AND CHARACTER OF THE SURROUNDING NEIGHBORHOODS AND INCORPORATES ADEQUATE DEVELOPMENT STANDARDS TO PREVENT NEGATIVE IMPACT(S) ON THE RESIDENTIAL PROPERTIES; AND ENHANCE THE COMPATIBILITY OF RESIDENTIAL INFILL PROJECTS BY CAREFULLY DESIGNING THE EDGES OF THE DEVELOPMENT TO BE SENSITIVE TO ADJACENT EXISTING HOUSING. CREATE LANDSCAPE BUFFERS AND OTHER AMENITIES TO LINK NEW AND EXISTING DEVELOPMENT.

The proposed development is a high quality, climate controlled, indoor self-storage facility with additional exterior access units that has been designed in a manner that is sensitive to the existing surrounding residential uses. The 202 & Van Buren Storage PUD will serve to transition between the Loop 202 Freeway to the west and the residential to the east. The tallest building has been located closest to the freeway along the west property line to provide the greatest buffer from the residentially zoned parcels to the southeast and beyond a C-3 zoned motel directly to the east. All vehicular circulation and loading areas are located between the buildings and away from adjacent uses to provide a buffer from the residentially zoned property to the southeast. All storage areas will be contained within the buildings and no outdoor storage will be permitted. The proposed PUD, as designed, is compatible with the surrounding residential uses.

**CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CLEAN NEIGHBORHOODS; LAND USE PRINCIPLE:** FACILITATE THE ACQUISITION OF VACANT, UNDERUTILIZED AND BLIGHTED PARCELS FOR APPROPRIATE REDEVELOPMENT, COMPATIBLE WITH THE ADJACENT NEIGHBORHOOD CHARACTER AND ADOPTED AREA PLANS.

The proposed 202 & Van Buren Storage PUD will fill a vacant underutilized parcel, which is adjacent to parcels that have been fully developed. This project will provide the opportunity to develop a site that has always been a vacant undeveloped parcel, with a viable commercial building, consistent with the scale and character of the surrounding uses to serve the Camelback East Village residents and commercial users.

The Property has long been a source of blight in the neighborhood, often serving as a haven for unsafe and sometimes illegal activity. Development of the Property will eliminate a vacant lot, provide better security for the adjacent properties and add a vested user to the area to help deter negative factors. The development of this site and investment in the neighborhood will bring neighborhood stability and help improve the quality of life, public health and safety for the area.

## E. ZONING AND LAND USE COMPATIBILITY

The area has seen growth and infill over the years including the addition of multi-family residential and commercial uses. This proposed PUD will allow timely development of the site in an appropriate manner to complement the existing area development and uses. See existing zoning map at Exhibit K.

This Property is currently zoned R-4A. To the north of the Property, across Van Buren Street is a vacant parcel zoned A-1. To the northeast is a three-story multi-family residential development zoned R-4, which permits a building height of up to 48-feet. To the west of the property is a two-story motel zoned C-3, and beyond the motel to the west is a three-story multi-family residential development zoned R-3A, which permits a building height of up to 48-feet. To the south is vacant land zoned R-4A, which permits building heights up to 48-feet. To the east is the Loop 202 Freeway. The proposed height of the 202 & Van Buren Storage PUD, at a maximum building height of 50-feet, is consistent with the heights of the surrounding properties, and will provide a sound buffer from the freeway for adjacent residential and motel uses.

The construction of the Loop 202 freeway in the mid-1990's took a significant portion of the Property's frontage, creating an irregularly shaped parcel with extremely limited opportunities for development. Due to the history, location and configuration of this parcel, this PUD provides an opportunity to develop a site that has remained vacant since annexation into the city of Phoenix. This PUD will bring much-needed amenities to area residents and commercial users and add diversity to the current mix of commercial users.

This PUD is complementary to the adjacent uses and provides an appropriate transition in height, setbacks and lot coverage to adjacent properties. This development will provide much needed self-storage options in an area that is currently underserved according to market studies. Self-storage options are crucial to the needs of tenants residing in multi-family developments given that on-site storage and living areas of these types of developments are most often very limited. The number of multi-family residences in and around the Camelback East Village area have been growing at an unprecedented rate. Additionally, the close proximity and access to the adjacent Loop 202 Freeway makes this an attractive and convenient site for those seeking a safe, secure, and climate controlled self-storage facility. This PUD complements and supports the inherent needs of the existing and future residential developments in the area.

This proposed PUD is fully compatible with surrounding uses, and will bring needed services to the many multi-family developments existing and proposed in the area. See proposed zoning map at Exhibit L.

## **F. LIST OF USES**

### **1. PERMITTED USES**

Self-Service Storage Facility by right, as defined by Section 202 of the Phoenix Zoning Ordinance and subject to regulations below; all other uses permitted by right in Section 623 of the Phoenix Zoning Ordinance except for residential uses and those noted below; and any use permitted by a Use Permit in Section 623 of the Phoenix Zoning Ordinance shall likewise require a Use Permit by this PUD. Residential uses are not proposed as part of this PUD. Any future residential uses proposed would require a major PUD amendment.

The Self-Service Storage Facility is subject to the following regulations:

- (1) All storage shall be within a closed building.
- (2) No service or repair activities or anything other than dead storage and the rental and supervision of storage units shall be conducted on the premises.
- (3) There shall be no storage or use of hazardous or dangerous materials on the premises.
- (4) The premises shall abut or have direct access to an arterial street, as designated on the street classification map.
- (5) Screening the perimeter of the premises of a self-service storage warehouse shall be required. All parts of the perimeter which are adjacent to a residential zone shall be screened by a fence or wall with a landscaped area at least ten-feet wide.
- (6) Retail sales as an accessory use to self-storage shall be permitted.

The following uses shall be prohibited:

- (1) Adult bookstore, adult novelty store, adult theatre, adult live entertainment establishment, erotic dance or performance studio
- (2) Chemicals and Drugs, Storage and Distribution
- (3) Cigarette Service
- (4) Cleaning and Dyeing Plants
- (5) Guns, Retail Sales and/or Repairs
- (6) Nonprofit Medical Marijuana Dispensary Facility
- (7) Pawn Shop

## **2. TEMPORARY USES**

Temporary uses shall be subject to Section 708 of the Phoenix Zoning Ordinance.

## **3. ACCESSORY USES**

Accessory uses shall be subject to Section 623 of the Phoenix Zoning Ordinance.

## **G. DEVELOPMENT STANDARDS**

The provisions of this PUD will ensure compatibility with surrounding properties, promote new jobs and generate new tax revenue for the city of Phoenix. The 202 & Van Buren PUD development standards and design guidelines listed below are reflective of the commercial uses proposed for the project. It is the purpose and intent of the provisions defined within this PUD to promote the development of a high-quality self-storage facility. The provisions of this PUD will ensure compatibility with surrounding properties and the development of an asset that meets the market demands of the area.

Development of the 202 & Van Buren Storage PUD project shall comply with the provisions governed by the Phoenix Zoning Ordinance, unless modified by this PUD. This provision shall not limit the ability of the applicant or end user to apply for Use Permits, which can be requested per Section 623 of the Phoenix Zoning Ordinance and not identified by this PUD. If there are conflicts between specific provisions of this PUD and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. This PUD only modifies Phoenix Zoning Ordinance regulations and does not modify other Phoenix City Codes or requirements.

**1. DEVELOPMENT STANDARDS TABLE**

MINIMUM LOT WIDTH/DEPTH:		<b>NONE</b>
BUILDING SETBACKS (MEASURED FROM PROPERTY LINE):	<b>NORTH (STREET):</b>	<b>MINIMUM 93'</b>
	<b>SOUTH PROPERTY LINE (REAR):</b>	<b>MINIMUM 10'</b>
	<b>WEST PROPERTY LINE:</b>	<b>MINIMUM 10'</b>
	<b>EAST PROPERTY LINE:</b>	<b>MINIMUM 10'</b>
MAXIMUM BUILDING HEIGHT FOR STORAGE:	<b>50' TO ROOF LINE*</b>	
MAXIMUM LOT COVERAGE:		<b>50%</b>
LANDSCAPE SETBACKS:	<b>NORTH (STREET):</b>	<b>MINIMUM 0'</b>
	<b>SOUTH PROPERTY LINE (REAR):</b>	<b>MINIMUM 10'</b>
	<b>WEST PROPERTY LINE:</b>	<b>MINIMUM 3' FOR THE NORTHERN 33' OF THE PROPERTY; MINIMUM 10' ELSEWHERE</b>
	<b>EAST PROPERTY LINE:</b>	<b>MINIMUM 5' FOR THE NORTHERN 91' OF THE PROPERTY; MINIMUM 10' ELSEWHERE</b>
MAXIMUM DENSITY:		<b>0 DU/ACRE</b>

**\* MAXIMUM BUILDING HEIGHT IS FOR SELF-SERVICE STORAGE USE ONLY. MAXIMUM BUILDING HEIGHT FOR ALL OTHER USES SHALL BE IN ACCORDANCE WITH SECTION 623 OF THE PHOENIX ZONING ORDINANCE.**

## **2. LANDSCAPE STANDARDS**

A landscaped setback, measured from the property line, shall be established and maintained along all linear property lines as outlined in the Development Standards Table of this PUD and plant types as outlined below and in the conceptual landscape plan of this PUD. The conceptual landscape plan is at Exhibit E.

<b>PLANT TYPE</b>	<b>MINIMUM PLANTING SIZE</b>
<b>TREES</b>	<b>EAST, SOUTH &amp; WEST PROPERTY LINES: MINIMUM 2-INCH CALIPER TREES PLACED 20-FEET ON CENTER</b>
<b>SHRUBS &amp; GROUND COVER</b>	<b>MINIMUM (5) 5-GALLON SHRUBS PER TREE</b>

## **3. PARKING**

The parking for the 202 & Van Buren Storage PUD shall comply with Section 702 of the Phoenix Zoning Ordinance with the exception of loading spaces and parking spaces for a self-storage use. Parking for this PUD shall be provided as noted below:

### **PARKING PROVIDED**

STANDARD	1 space per 50 storage units
LOADING	2 spaces
BICYCLE	2 spaces

## **4. LIGHTING**

Exterior lighting shall comply with Section 23-100 of the Phoenix City Code and Section 507 Tab A of the Phoenix Zoning Ordinance.

## **5. WALLS AND FENCES**

All screen walls and fences shall comply with Section 703 of the Phoenix Zoning Ordinance with the exception of wall height. The maximum perimeter wall height along all property lines will be 8-feet. All perimeter building walls and screen walls have an average 10' landscape buffer directly adjacent with proposed trees provided at 20' on center. The

close proximity of the trees to the wall breaks up any appearance of a long wall expanse and helps deter graffiti activity. Additionally, the proposed perimeter building walls, as depicted in the building elevations, incorporate vertical and horizontal fenestration with the use of multiple materials, finishes and colors. The same fenestration shall be provided on the perimeter walls in excess of 50-feet long to avoid significant expanses of wall with a single color and material finish.

## H. DESIGN GUIDELINES

The building finishes will be a combination of integral color block, integral colored stucco, painted metal roll-up doors, glazing and some painted metal panel accents and painted steel shade elements at the glazed areas and customer entry. All four of the proposed buildings will utilize the same materials and colors and incorporate similar architectural features. See conceptual building elevations at Exhibit F.

This PUD shall conform to Section 507 Tab A of the Phoenix Zoning Ordinance with additional standards as indicated below.

The visual impact of a building depends on its relationship between its height, length and width including such features as prominent entries, windows, color and materials.

Various design techniques shall be required on all buildings, as noted below, with appropriate details and elements to recognize adjacency to other commercial and residential zoning as depicted in the conceptual building elevations at Exhibit F.

- Changes in the horizontal wall plane on all elevations. This will be achieved primarily with the use of various building materials and finishes. Window placement also relates horizontal wall plane variations with the change in interior floor levels. (Building B)
- Changes in the vertical wall plane on all elevations. This also will be achieved with the use of various building materials and finishes as well as articulation in façade relief, varying heights of building areas and projecting shade/façade elements. (Building B)
- Use of vertical elements on or in front of expansive blank walls on the west, south and east elevations. (Buildings A, B, C and D)
- Use of vertical accents and focal points on all elevations. Articulation in the façade relief and incorporation of projecting shade elements will be focused at the primary entry and pedestrian circulation areas of the building. (Buildings A and B)
- Change in the use of materials or color to provide a clear distinction between body and base of building. Integral color split face block creates a strong base element and is complemented with stucco, accent block, metal accents and shade elements. (Buildings A, B, C and D)
- Changes in predominant material use on all elevations. All elevations will contain a mix of integral color block of various textures, primary and secondary stucco colors. (Buildings A, B, C and D)
- Other form of building facade articulation as approved by Planning and Development Department. (Buildings A, B, C and D)

## I. SIGNS

All signage shall comply with city of Phoenix Zoning Ordinance Section 705 signage regulations for commercial industrial uses, except as noted below:

1. One ground sign along Van Buren Street shall be permitted and will comply with the design standards for Section 705 of the Phoenix Zoning Ordinance .
2. Wall signs for the development shall be permitted to a height no closer to the top of parapet than  $\frac{1}{2}$  the vertical dimension of the sign.
3. Wall sign area for building B shall not exceed 1.25 square feet per lineal foot per elevation. The maximum total wall sign area per east and west elevation for building B is 475 square feet.

All signs requiring a permit must be permitted by the city of Phoenix prior to fabrication and installation. See elevations for possible wall sign height and total wall signage area at Exhibit M.

## J. SUSTAINABILITY

The development is planned as a sustainable development within the community. Energy efficiency in design and long-term operation along with thermal comfort in building and site design provide a better self-storage atmosphere for customers, employees, property owners and residents.

### **CITY ENFORCEABLE STANDARDS:**

- The proposed drought tolerant vegetation will integrate trees and shade into the design of the development.
- The proposed use (Self-Storage) requires minimal parking area. Required parking spaces have been located directly adjacent to a 10-foot wide landscape area, which will have shade trees provided at a minimum spacing of every 20-feet, or one (1) tree for each parallel vehicle space.
- A minimum of 50% of the sidewalks will be shaded with the building overhang elements, awnings and landscaping.
- Building entrances will be shaded with architectural building elements and awnings.

### **PRIVATELY ENFORCED PRACTICES INCORPORATED BY THE DEVELOPER:**

- This PUD will regularly adopt the latest energy and building codes that encourage the use of light colored roofing materials and will minimize heat island effects.
- Architectural building elements through building overhangs and plan variation stimulate the flow of air around pedestrian areas and throughout the site.
- Low 'e' double pane glazing will be used in the proposed development.
- The development will provide a safe, reliable, and efficient stormwater management system that protects both human health and the environment.

- The development's interior lighting will be controlled by motion sensors to reduce energy consumption.

## K. INFRASTRUCTURE

### 1. CIRCULATION

Vehicular access to the facility will be from the north with a new driveway at Van Buren Street. A secondary access point for emergency vehicles will be provided at the south end of the site and will connect to any future multi-family development. This southern point of access will not be available to customers, and will be reserved for emergency vehicles only. Visitor parking is provided at the north point of entry for customers to park and enter the rental office. Additional parking is also provided beyond the secured gate for current customers. See circulation plan at Exhibit N.

### 2. GRADING AND DRAINAGE

This site is not affected by offsite stormwater flows. The general topography of the area is from the northwest to the southeast. There is approximately nine feet of elevation difference from the north property line to the south parcel line. The Loop 202 freeway is immediately west of the Property. The freeway is elevated in this location and effectively protects the Property from any offsite flows from the north and west.

Onsite stormwater from the development will be retained as required by the city of Phoenix design standards. The Property will be required to retain the runoff from the 100-year, 2-hour event. The required stormwater volume will be retained underground.

### 3. WATER AND SEWER

Public water and sewer mains are located in Van Buren Street to serve the Property. No main extensions are anticipated for the project. An existing sewer tap appears to be available to serve the Property. This will be confirmed by a camera inspection of the service prior to connecting to it. If required, a new sewer service will be installed for the Property.

A flow test on the existing water system will be performed during the preliminary site plan process to confirm the water system has adequate flow and pressure for fire protection. A new six-inch fire tap will be made into the existing 12-inch water line in Van Buren Street for fire protection. The new domestic and irrigation services will also be tapped from this 12-inch water main.

## L. PHASING PLAN

The 202 & Van Buren Storage PUD will be developed in one phase.

## M. EXHIBITS

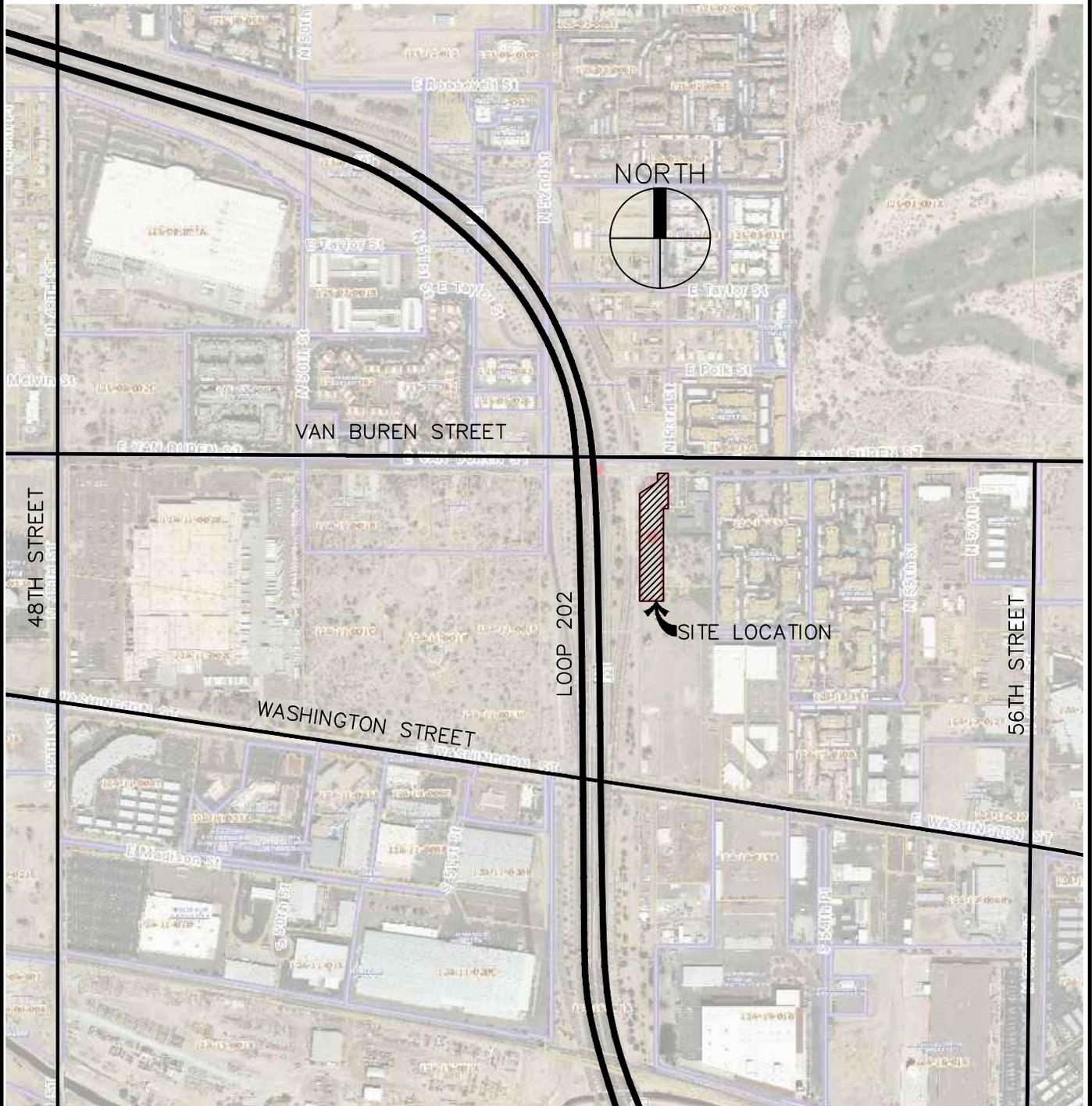
Area Vicinity Map	A
Aerial Map	B
Parcel Map	C
Conceptual Site Plan	D
Conceptual Landscape Site Plan	E
Conceptual Building Elevations	F
Color Palette	G
Legal Description	H
Context Plan	I
General Plan Map	J
Existing Zoning Map	K
Proposed Zoning Map	L
Conceptual Sign Exhibit	M
Circulation Plan	N
Comparative Zoning Standards Table	O

# LOOP 202 & VAN BUREN STORAGE

5223 EAST VAN BUREN STREET  
PHOENIX, AZ 85034

## VICINITY/AERIAL MAP

NOT TO SCALE



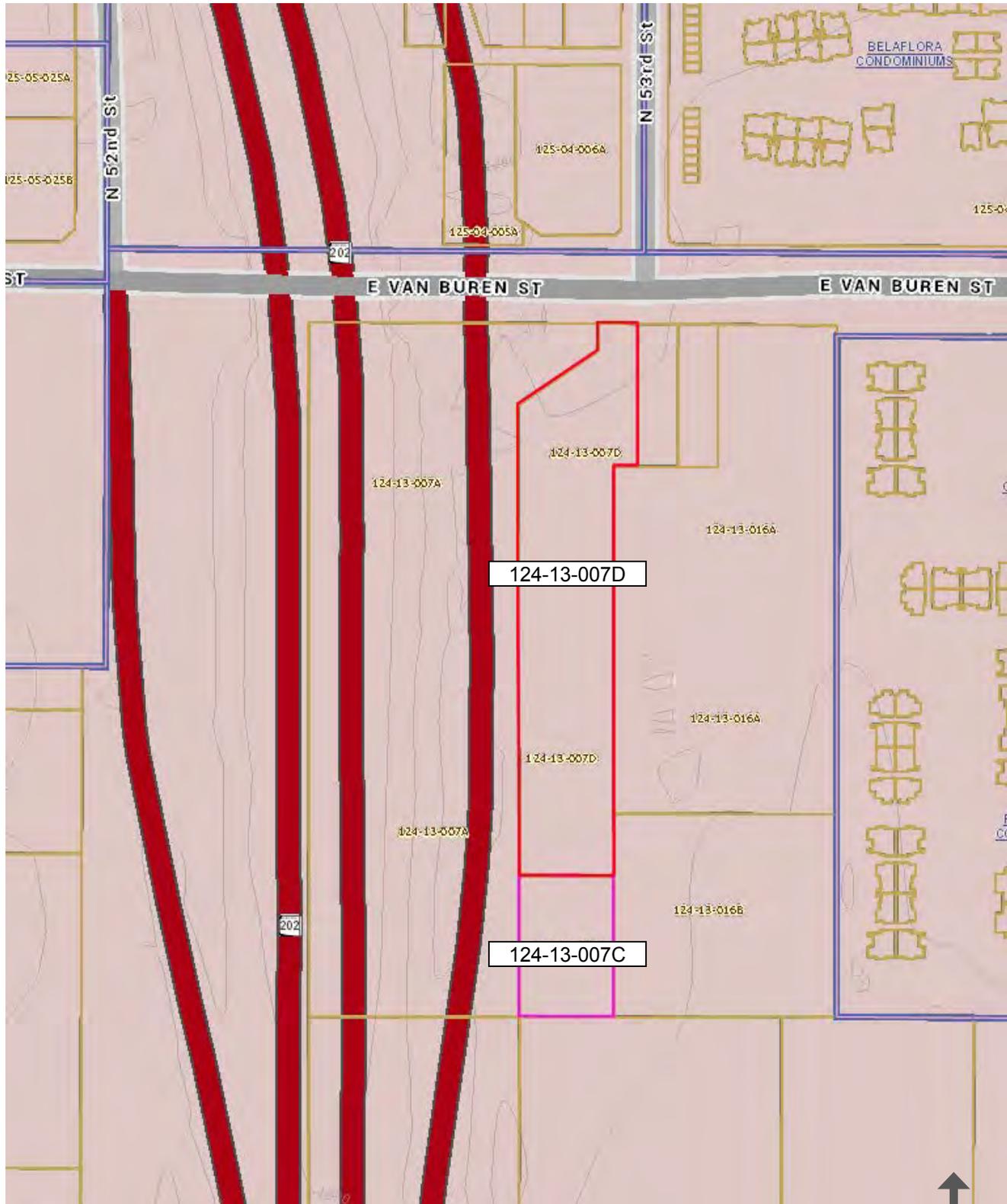
# LOOP 202 & VAN BUREN STORAGE

5223 EAST VAN BUREN STREET  
PHOENIX, AZ 85034

## AERIAL MAP

NOT TO SCALE





# 202 & VAN BUREN STORAGE

PHOENIX, ARIZONA

PROJECT NUMBER: 15052.00  
DATE: 01.26.16



NORTH



## CONCEPTUAL SITE PLAN

### DEVELOPMENT PROGRAM

#### GENERAL INFORMATION

OWNER: ASPIRANT DEVELOPMENT, LLC CONTACT: GEOFF JACOBS  
ADDRESS: 6617 N. SCOTTSDALE ROAD, SUITE 101  
TELEPHONE: (480) 951-5303  
ARCHITECT: ROBERT BROWN ARCHITECTS CONTACT: KELLY FERGUSON  
ADDRESS: 549 S. 48TH ST., SUITE 108, TEMPE, AZ. 85281  
TELEPHONE: (480) 377-2222 FAX: (480) 377-2230  
BUILDING CODE: 2012 I.B.C. ELECTRICAL CODE: 2011 N.E.C.  
MECHANICAL CODE: 2012 I.M.C. FIRE CODE: 2012 I.F.C.  
PLUMBING CODE: 2012 I.P.C. ENERGY CODE: 2012 I.E.C.C.  
HEALTH CODE: MARICOPA COUNTY HEALTH CODE

#### SITE INFORMATION

PROJECT ADDRESS: LOOP 202 & VAN BUREN STREET  
5223 E. VAN BUREN STREET  
PHOENIX, ARIZONA 85034

PARCEL NUMBER: 124-13-007C & 124-13-007D  
EXISTING ZONING DISTRICT: R-4A  
PROPOSED ZONING: PUD

SITE AREA:  
NET LOT AREA THIS PROJECT: 103,095 SQ. FT. 2.37 ACRES

#### PROPOSED BUILDING AREA:

BUILDING A:	1,960 S.F.
BUILDING B:	37,639 S.F. / FLOOR
BUILDING C:	2,413 S.F.
BUILDING D:	5,581 S.F.

TOTAL FLOOR AREA: 122,871 S.F.  
TOTAL SURFACE FLOOR AREA: 47,593 S.F.

PROPOSED BUILDING HEIGHT: 40'-0" MAX.  
LOT COVERAGE: 47,593 S.F. / 103,095 S.F. = 46% (50% MAX.)  
ESTIMATED LANDSCAPE AREA: 19,090 S.F. / 99,793 S.F. = 19%

#### PARKING ANALYSIS:

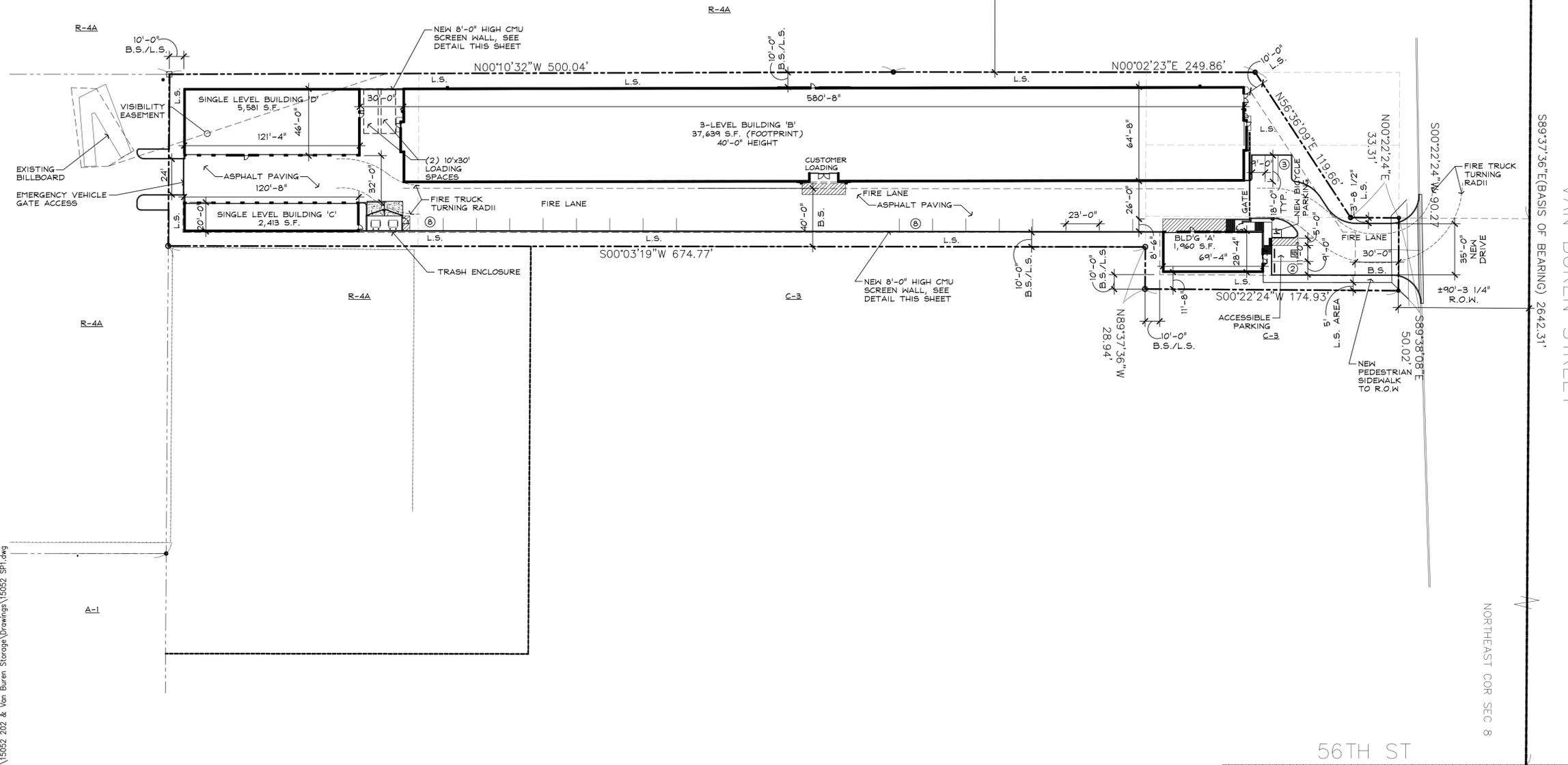
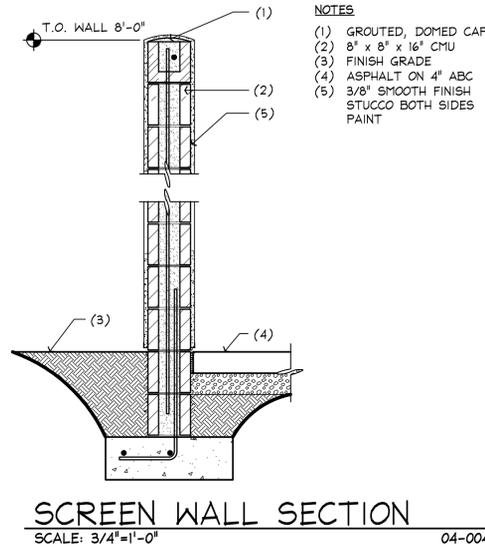
REQUIRED: 1/50 STORAGE UNITS = 750 UNITS/50 = 15 SPACES  
PROVIDED: 21 SPACES  
BICYCLE PARKING PROVIDED: 2 SPACES

Z-25-16-6  
KIVA#: 16-262  
QS: 10-40



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tempe • arizona • 85281  
p.480.377.2222 f.480.377.2230

SP1



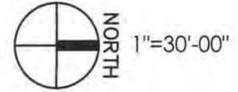
## CONCEPTUAL SITE PLAN

SCALE: 1"=40'-0"

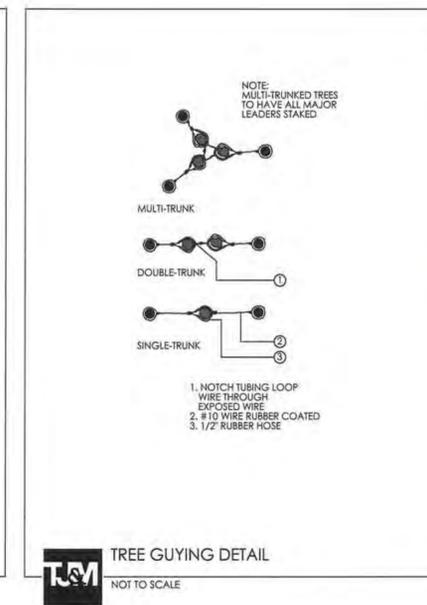
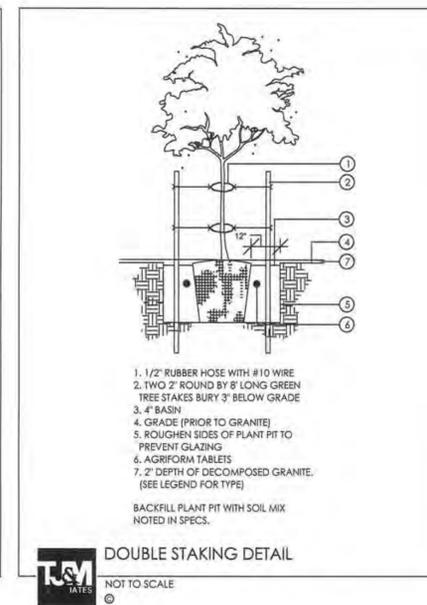
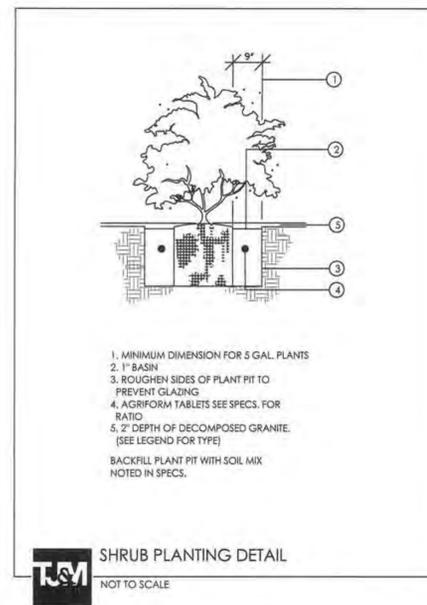
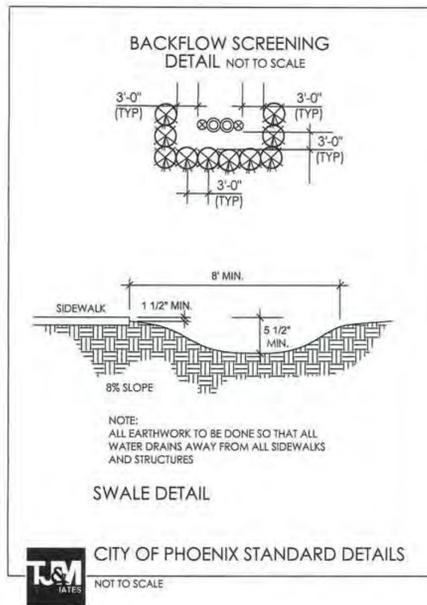


# 202 & VAN BUREN STORAGE

PHOENIX, ARIZONA  
PROJECT NUMBER: 15052.00  
DATE: 05.17.16

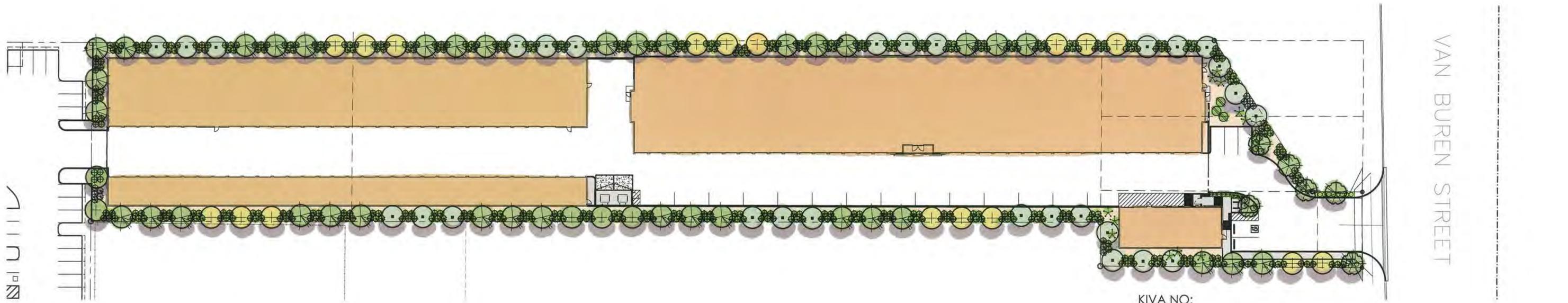


## CONCEPTUAL LANDSCAPE PLAN



- LANDSCAPE LEGEND**
- CERCIDIUM HYBRID  
DESERT MUSEUM PALO VERDE  
2" CALIPER / 36" BOX
  - ACACIA SALICINA  
WILLOW ACACIA  
2" CALIPER / 36" BOX
  - ACACIA STENOPHYLLA  
SHOESTRING ACACIA  
2" CALIPER / 36" BOX
  - CHILOPSIS 'LOIS ADAMS'  
LOIS ADAMS DESERT WILLOW  
2" CALIPER / 36" BOX
  - RUELLIA PENINSULARIS  
BAJA RUELLIA  
5 GALLON
  - LEUCOPHYLLUM FRUTESCENS  
'GREEN CLOUD'  
5 GALLON
  - CAESALPINIA MEXICANA  
MEXICAN BIRD OF PARADISE  
5 GALLON

- TECOMA 'ORANGE JUBILEE'  
'ORANGE JUBILEE'  
5 GALLON
- HESPERALOE PARVIFLORA  
RED YUCCA  
5 GALLON
- DASYLIRION WHEELERII  
DESERT SPOON  
5 GALLON
- ALOË 'BLUE ELF'  
BLUE ELF ALOË  
1 GALLON
- LANTANA MONTEVIDENSIS  
'GOLD MOUND'  
1 GALLON
- 1/2" MINUS MADISON GOLD  
DECOMPOSED GRANITE  
2" DEPTH IN ALL LANDSCAPE AREAS



**CITY OF PHOENIX GENERAL LANDSCAPE NOTES:**

THE CITY OF PHOENIX GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.

THE DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.

CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.

FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING AND APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.

NO PLANT SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY, OR DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT 602-262-7811.

ALL PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.

ALL RIGHT-OF-WAY AND CITY-REQUIRED (PERIMETER, RETENTION, AND PARKING) PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.

CONTACT THE PARKS AND RECREATION DEPARTMENT FORESTRY SUPERVISOR AT 602-262-6862 TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN THE PUBLIC R.O.W. PRIOR TO ANY PLANT RE-LOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE PARKS AND RECREATION DEPARTMENT PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY CITY PLANT MATERIAL OR EQUIPMENT.

CONTACT THE STREET TRANSPORTATION DEPARTMENT HORTICULTURIST AT 602-262-6284 PRIOR TO THE RE-LOCATION OR REMOVAL OF EXISTING PLANT MATERIAL IN THE A.D.O.T. R.O.W. THAT IS ON THE CITY'S SIDE OF THE SOUND WALL. OBTAIN WRITTEN PERMISSION FROM THE STREET TRANSPORTATION DEPARTMENT PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY PLANT MATERIAL OR EQUIPMENT.

ALL EXISTING TREES AND SHRUBS IN RIGHT-OF-WAY DESIGNATED TO REMAIN BUT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN LIKE SIZE AND KIND BY THE CONTRACTOR.

THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE ANY MODIFICATIONS REQUIRED TO TIE INTO THE EXISTING CITY OF PHOENIX IRRIGATION SYSTEM IN RIGHT-OF-WAY TO THE PROPOSED SYSTEM. ALL THOUGH IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAPPING AND/OR ABANDONING EXISTING IRRIGATION TO PLANT MATERIALS AND PROVIDING NEW IRRIGATION TO THE EXISTING PLANT MATERIAL IN THE RIGHT-OF-WAY PER THE APPROVED PLAN.

WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.

TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF SIX FEET EIGHT INCHES (6'8") PER SECTION 507 TAB A.I.I.A.3.1.10 OF THE CITY OF PHOENIX ZONING ORDINANCE.

PVC PIPE LATERALS ARE REQUIRED A MAXIMUM OF FIVE FEET (5') OF POLY TUBING OFF OF THE PVC PIPE LATERAL IS ALLOWED. NO POLY TUBING LATERALS ARE ALLOWED.

PLANT QUANTITIES AND CALIPER SIZES PER THE ZONING REQUIREMENTS FOR THIS SITE PROVIDED IN THE LEGEND ON THE APPROVED PLANS ARE REQUIRED TO BE INSTALLED IN THE FIELD. ANY DEVIATIONS FROM THE PLAN WILL REQUIRE A REVISION TO THE APPROVED PLAN.

NOTE: MINIMUM CALIPER SIZE IS A ZONING REQUIREMENT. IF THE MINIMUM CALIPER CANNOT BE MET AT BOX SIZE THAT IS SPECIFIED, THEN THE BOX SIZE MUST BE INCREASED TO MEET CALIPER REQUIREMENTS.

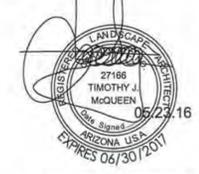
PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF LANDSCAPE PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

**MISC. LANDSCAPE NOTES** THESE NOTES ARE NOT REVIEWED OR APPROVED BY THE CITY OF PHOENIX.

- THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH PHOENIX STANDARDS.
- TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MIN. CANOPY OF 6'-8".
- USE PVC LATERALS WITH A MAXIMUM A 5' OF POLY TUBING OFF OF PVC. NO POLY LATERALS WILL BE ACCEPTED.
- PLANT QUANTITIES AND CALIPER SIZES PROVIDED ON THE APPROVED PLAN AND IN THE LEGEND ARE REQUIRED TO BE INSTALLED IN THE FIELD.
- ALL NEW AND DISTURBED LANDSCAPE AREAS WILL RECEIVE A 2" TOP-DRESS OF MATCHING DECOMPOSED GRANITE (MIN. 1/2" MINUS).
- PLANT MATERIAL WITHIN THE CITY OF PHOENIX SIGHT DISTANCE TRIANGLES IF EXISTING WILL BE MAINTAINED AT A MAXIMUM 24" IN HEIGHT. TREES WILL BE MAINTAINED WITH A 7' MINIMUM CLEAR CANOPY.
- NO PLANT SUBSTITUTIONS, TYPE, SIZE OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT (602) 262-7811
- NO SLOPES ARE GREATER THAN 4:1
- THERE IS NO OVERHEAD POWER LINES ON SITE
- NO SALVAGED PLANT MATERIAL

KIVA NO:  
CCPR NO:  
SDEV NO:  
LPRN NO:  
Q-S NO:

LANDSCAPE ARCHITECT	CITY OF PHOENIX	DATE
ESTIMATED RIGHT-OF-WAY COST \$ _____	ESTIMATED S.F. OF LANDSCAPE IN RIGHT-OF-WAY _____	
MAINTENANCE BY: ( ) CITY (x) OWNER	TOTAL ACRES (OR PORTIONS) LANDSCAPED AREAS _____	
SQUARE FOOTAGE OF TURF _____	DATE OF PRELIMINARY SITE PLAN APPROVAL _____	



**T.J. McQUEEN & ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

8433 East Cholla St., Suite 101  
Scottsdale, Arizona 85260  
P. (602) 265-0320 F. (602) 266-6619

EMAIL: timmcqueen@tjmla.net



**robert brown architects**

549 south 48th street • suite 108  
tempe • arizona • 85281  
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# 202 & VAN BUREN STORAGE

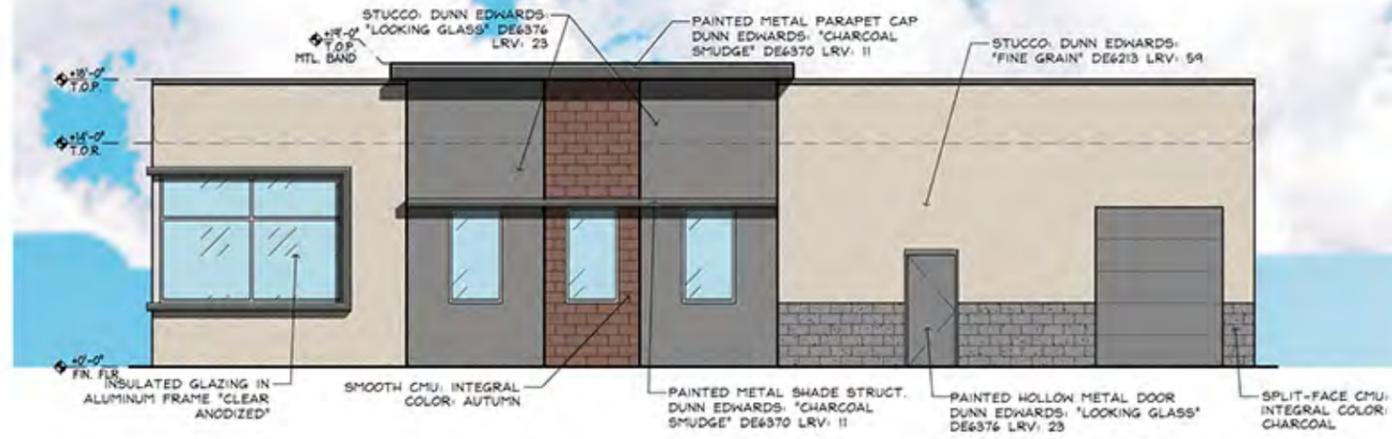
PHOENIX, ARIZONA

PROJECT NUMBER: 15052.00  
DATE: 05.17.16

NORTH

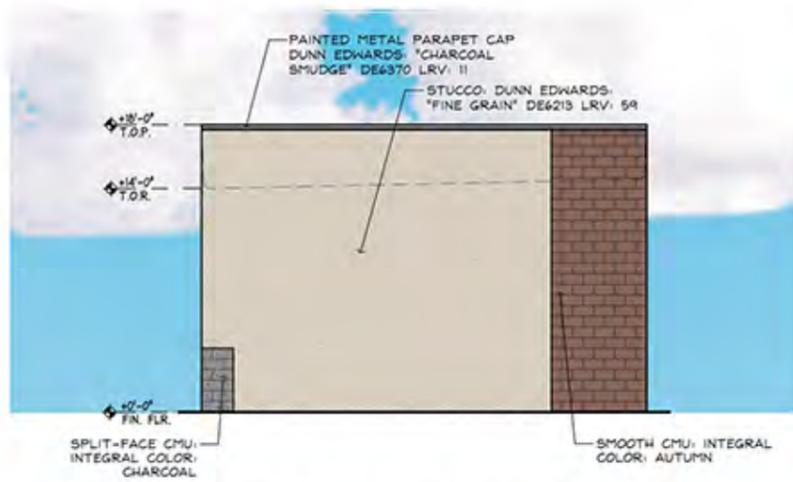


## CONCEPTUAL ELEVATIONS



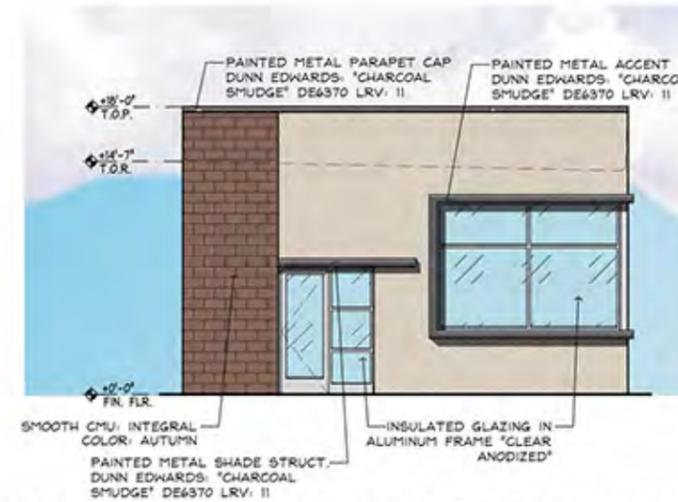
### WEST ELEVATION-BUILDING "A"

SCALE: 3/16"=1'-0"



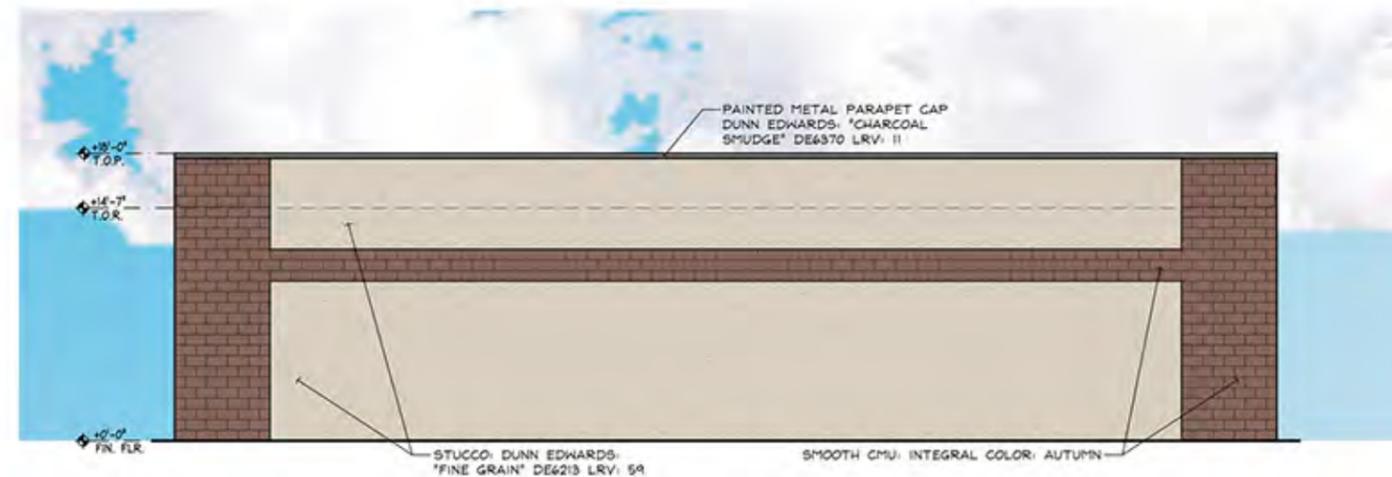
### SOUTH ELEVATION-BUILDING "A"

SCALE: 3/16"=1'-0"



### NORTH ELEVATION-BUILDING "A"

SCALE: 3/16"=1'-0"



### EAST ELEVATION-BUILDING "A"

SCALE: 3/16"=1'-0"

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May 17, 2016 - 8:45pm



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PHOENIX, ARIZONA

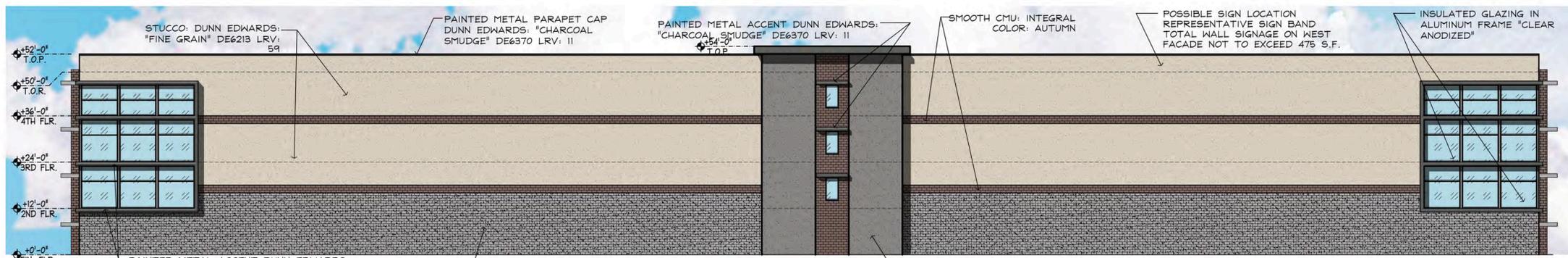
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DATE: 05.17.16

NORTH

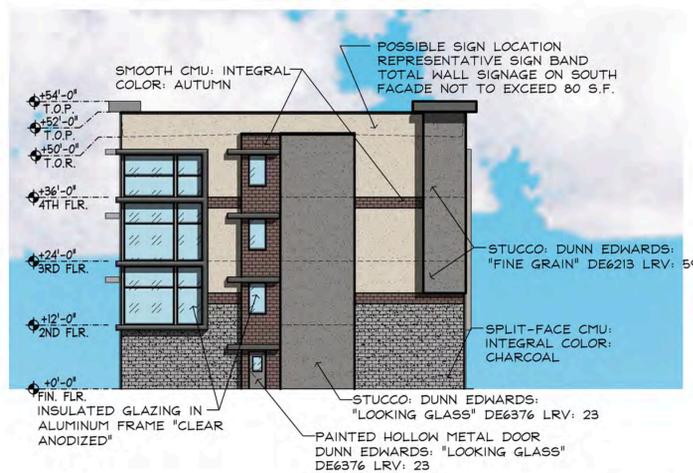


## CONCEPTUAL ELEVATIONS



### WEST ELEVATION-BUILDING "B"

SCALE: 1/16"=1'-0"



### SOUTH ELEVATION-BUILDING "B"

SCALE: 1/16"=1'-0"



### NORTH ELEVATION-BUILDING "B"

SCALE: 1/16"=1'-0"



### EAST ELEVATION-BUILDING "B"

SCALE: 1/16"=1'-0"

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# 202 & VAN BUREN STORAGE

PHOENIX, ARIZONA

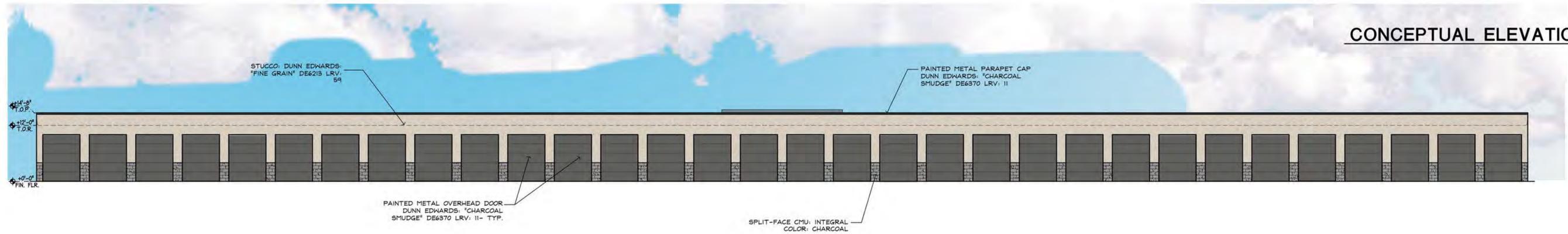
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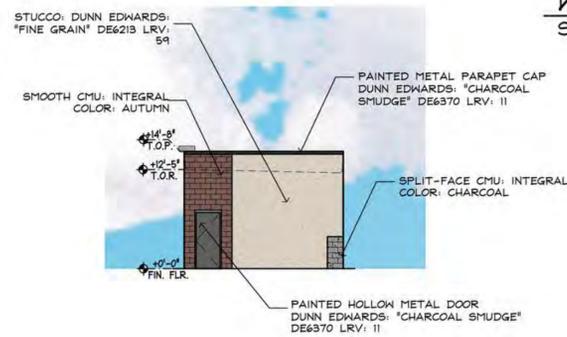
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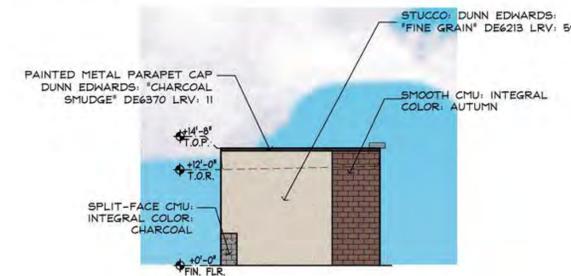
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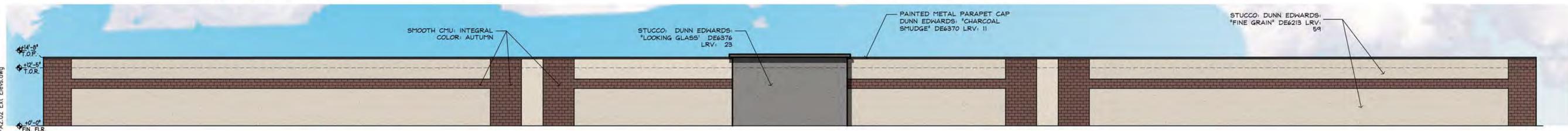
**WEST ELEVATION-BUILDING "C"**  
SCALE: 3/32"=1'-0"



**SOUTH ELEVATION-BUILDING "C"**  
SCALE: 3/32"=1'-0"



**NORTH ELEVATION-BUILDING "C"**  
SCALE: 3/32"=1'-0"



**EAST ELEVATION-BUILDING "C"**  
SCALE: 3/32"=1'-0"

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PHOENIX, ARIZONA

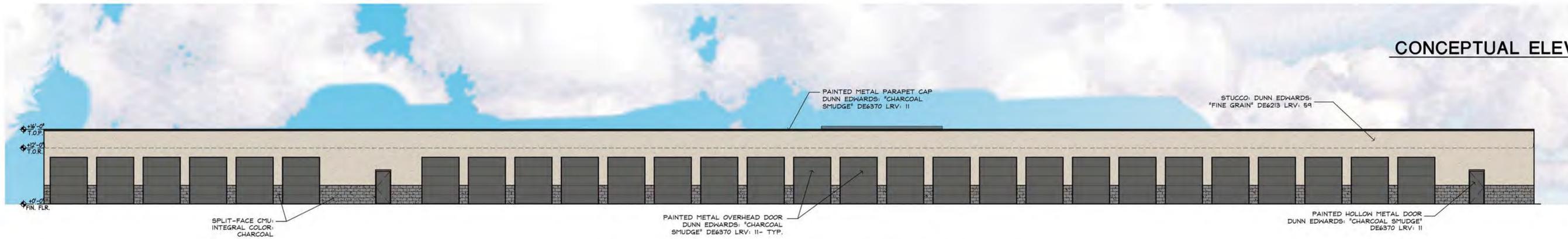
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DATE: 05.17.16

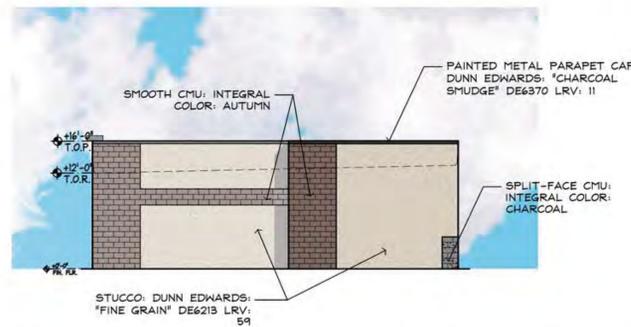
NORTH



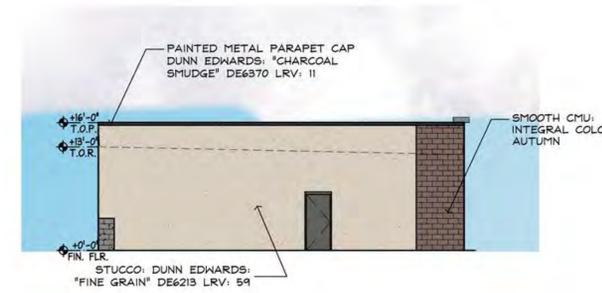
## CONCEPTUAL ELEVATIONS



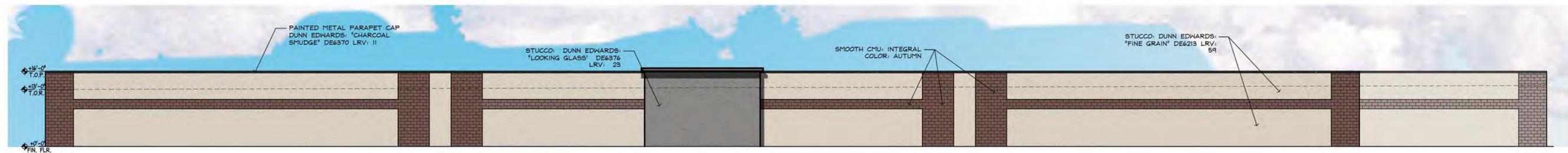
**EAST ELEVATION-BUILDING "D"**  
SCALE: 3/32"=1'-0"



**SOUTH ELEVATION-BUILDING "D"**  
SCALE: 3/32"=1'-0"



**NORTH ELEVATION-BUILDING "D"**  
SCALE: 3/32"=1'-0"



**WEST ELEVATION-BUILDING "D"**  
SCALE: 3/32"=1'-0"

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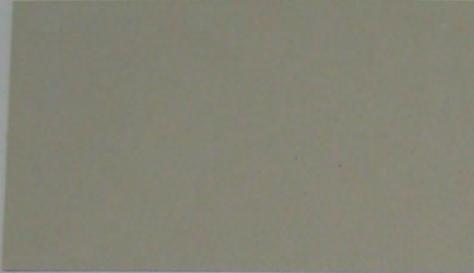


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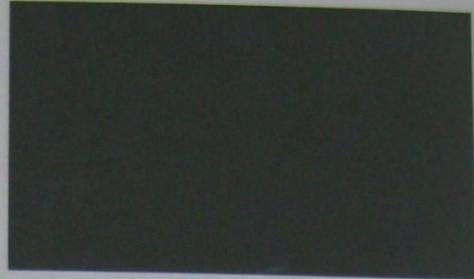
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LOOP 202 & VAN BUREN STORAGE

5223 EAST VAN BUREN STREET  
PHOENIX, AZ 85034



DUNN EDWARDS  
"FINE GRAIN" DE6213, LRV: 59  
STUCCO(MAIN BODY)



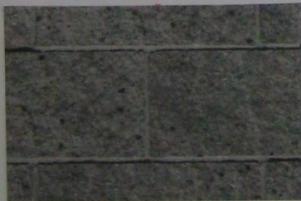
DUNN EDWARDS  
"CHARCOAL SMUDGE" DE6370,  
LRV: 11 METAL ACCENTS, CANOPIES,  
STUCCO & STEEL DOORS



DUNN EDWARDS  
"LOOKING GLASS" DE6376, LRV: 23  
STUCCO(ACCENT)



"CLEAR ANODIZED ALUMINUM",  
STOREFRONTS



SUPERLITE INTEGRAL COLOR SPLITFACE  
BLOCK "CHARCOAL"



SUPERLITE INTEGRAL COLOR SMOOTH  
BLOCK "AUTUMN"



**LEGAL DESCRIPTION  
EXHIBIT A**

THAT CERTAIN PORTION OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 4 EAST, GILA AND SALT RIVER BASE AND MERIDIAN; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION 8 (AN ADOT BRASS CAPPED SURVEY MONUMENT) OF WHICH THE NORTHEAST CORNER OF SAID SECTION 8 (AN ADOT ALUMINUM CAPPED SURVEY MONUMENT) BEARS S 89°37'36" E (BASIS OF BEARING), A DISTANCE OF 2642.31 FEET;

THENCE S 89°37'36" E, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 613.47 FEET;

THENCE LEAVING SAID NORTH LINE, S 00°22'24" W, A DISTANCE OF 90.27 FEET TO THE SOUTH RIGHT OF WAY OF VAN BUREN STREET, SAID POINT BEING THE **POINT OF BEGINNING**;

THENCE ALONG SAID RIGHT OF WAY, S 89°38'08" E, A DISTANCE OF 50.02;

THENCE LEAVING SAID RIGHT OF WAY, S 00°22'24" W, A DISTANCE OF 174.93 FEET;

THENCE N 89°37'36" W, A DISTANCE OF 28.94 FEET;

THENCE S 00°03'19" W, A DISTANCE OF 674.77 FEET;

THENCE N 89°38'04" W, A DISTANCE OF 118.05 FEET;

THENCE N 00°10'32" W, A DISTANCE OF 500.04 FEET;

THENCE N 00°02'23" E, A DISTANCE OF 249.86 FEET;

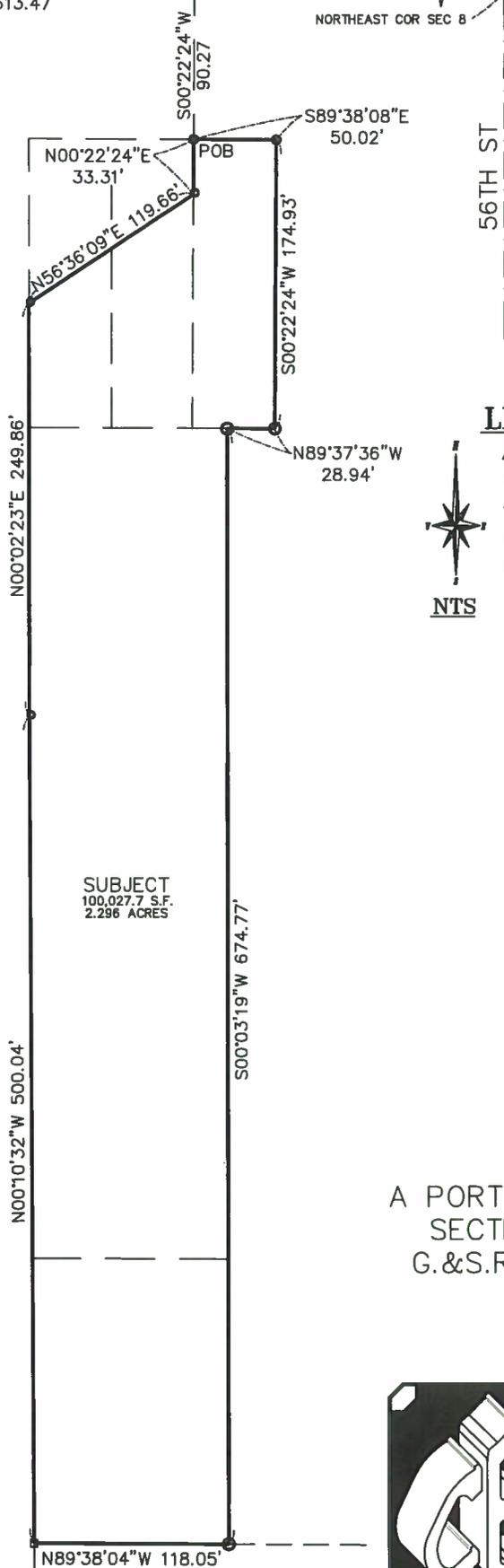
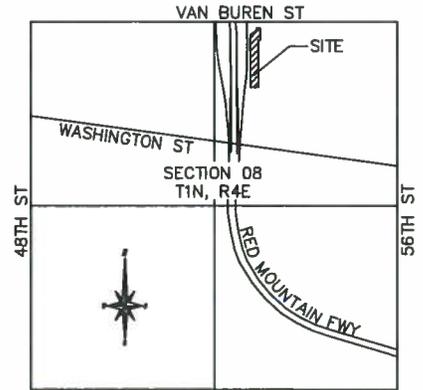
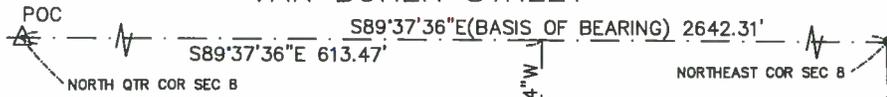
THENCE N 56°36'09" E, A DISTANCE OF 119.66 FEET;

THENCE N 00°22'24" E, A DISTANCE OF 33.31 FEET TO THE **POINT OF BEGINNING**.

THE ABOVE CONTAINING 100,027.7 SQUARE FEET, MORE OR LESS.



VAN BUREN STREET



SUBJECT  
100,027.7 S.F.  
2.296 ACRES

**LEGEND**

- △ FOUND ADOT BCSM
  - FOUND ADOT ALUMINUM CAP
  - FOUND 1/2" REBAR & RLS 42137
  - ⊗ FOUND PK NAIL & RLS 42137
  - SET 1/2" REBAR RLS 33308
- NTS



EXHIBIT B  
A PORTION OF THE NE QUARTER  
SECTION 8, T-1-N, R-4-E  
G.&S.R.M., MARICOPA CO., AZ



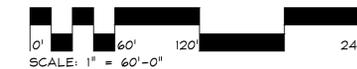
**PO BOX 2368  
GLENDALE, AZ 85311  
PH: (623) 536-1993**

# 202 & VAN BUREN STORAGE

PHOENIX, ARIZONA  
 PROJECT NUMBER: 15052.00  
 DATE: 01.26.16

Exhibit I

NORTH



## CONTEXT AERIAL SITE PLAN

### GENERAL INFORMATION

OWNER: ASPIRANT DEVELOPMENT, LLC CONTACT: GEOFF JACOBS  
 ADDRESS: 6617 N. SCOTTSDALE ROAD, SUITE 101  
 TELEPHONE: (480) 951-5303

ARCHITECT: ROBERT BROWN ARCHITECTS CONTACT: KELLY FERGUSON  
 ADDRESS: 549 S. 48TH ST., SUITE 108, TEMPE, AZ. 85281  
 TELEPHONE: (480) 377-2222 FAX: (480) 377-2230

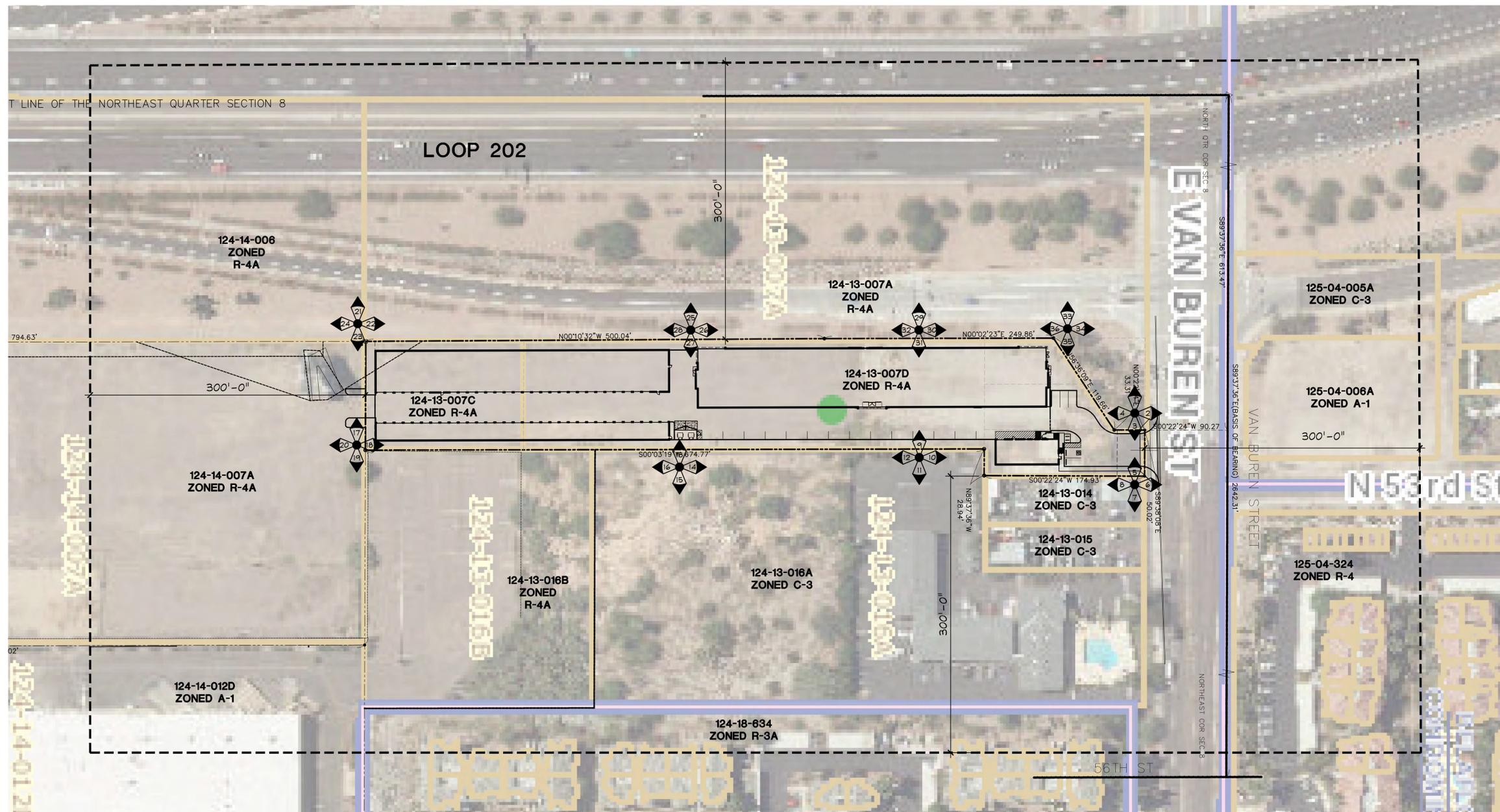
BUILDING CODE: 2012 I.B.C. ELECTRICAL CODE: 2011 N.E.C.  
 MECHANICAL CODE: 2012 I.M.C. FIRE CODE: 2012 I.F.C.  
 PLUMBING CODE: 2012 I.P.C. ENERGY CODE: 2012 I.E.C.C.  
 HEALTH CODE: MARICOPA COUNTY HEALTH CODE

### SITE INFORMATION

PROJECT ADDRESS: LOOP 202 & VAN BUREN STREET  
 5223 E. VAN BUREN STREET  
 PHOENIX, ARIZONA 85034

PARCEL NUMBER: 124-13-007C & 124-13-007D

INDICATES PHOTO ATTACHED SEPARATELY



KIVA#: 16-262  
 QS: 10-40



549 south 48th street • suite 108  
 tempe • arizona • 85281  
 p.480.377.2222 f.480.377.2230

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## CONTEXT AERIAL SITE PLAN

SCALE: 1"=60'-0"

NORTH





**Photo #1** Northwest corner (street side) of site looking west



**Photo #2** Northwest corner (street side) of site looking north



**Photo #3**

**Northwest corner (street side) of site looking east**



**Photo #4**

**Northwest corner (street side) of site looking south**



**Photo #5** Northeast corner (street side) of site looking west



**Photo #6** Northeast corner (street side) of site looking north



**Photo #7**

**Northeast corner (street side) of site looking east**



**Photo #8**

**Northeast corner (street side) of site looking south**



**Photo #9**

**East property line looking west**



**Photo #10**

**East property line looking north**



**Photo #11**

**East property line looking east**



**Photo #12**

**East property line looking south**



**Photo #13**

**East property line looking west**



**Photo #14**

**East property line looking north**



**Photo # 15**

**East property line looking east**



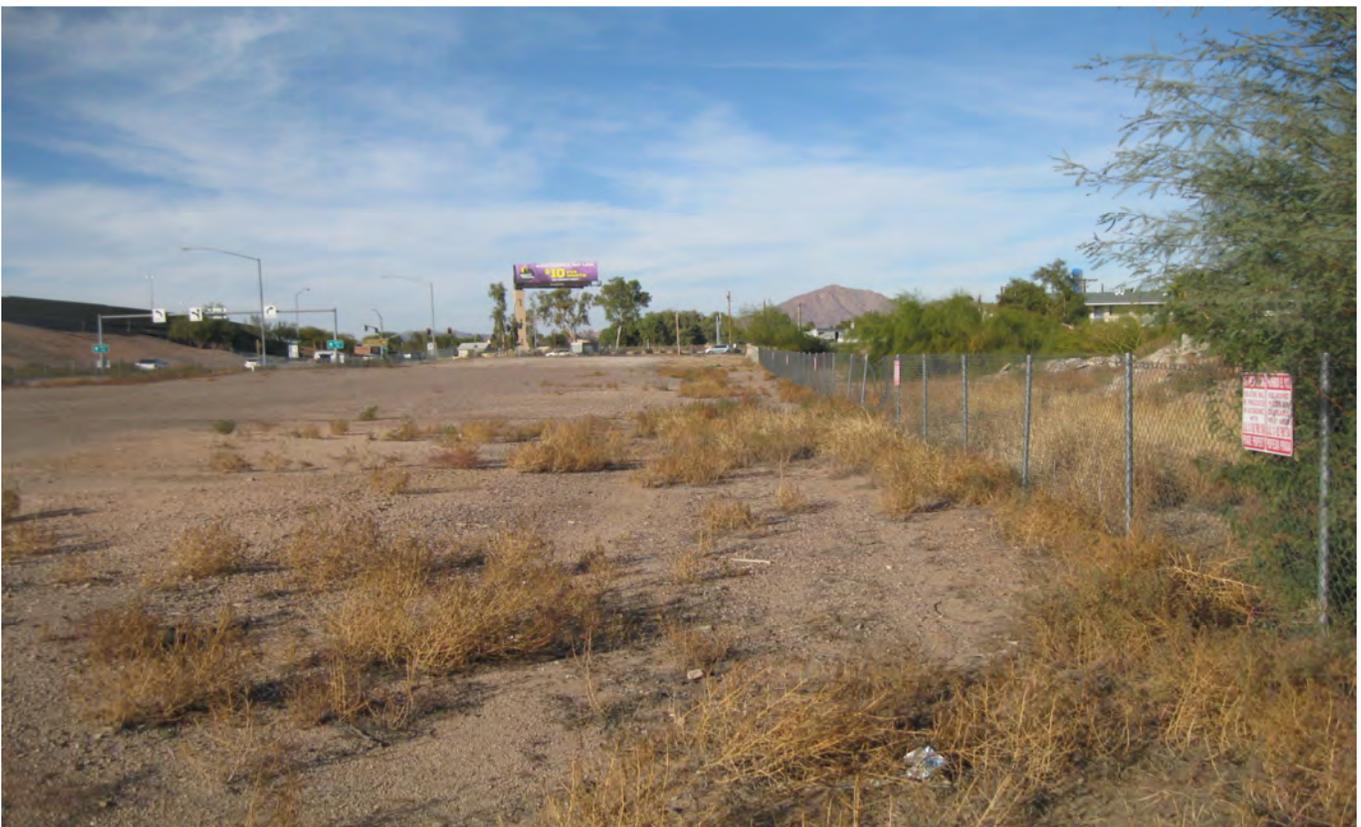
**Photo #16**

**East property line looking south**



**Photo #17**

**Southeast corner of site looking west**



**Photo #18**

**Southeast corner of site looking north**



**Photo #19**

**Southeast corner of site looking east**



**Photo #20**

**Southeast corner of site looking south**



**Photo #21**

**Southwest corner of site looking west**



**Photo #22**

**Southwest corner of site looking north**



**Photo #23**

**Southwest corner of site looking east**



**Photo #24**

**Southwest corner of site looking south**



**Photo #25**

**West property line looking north**



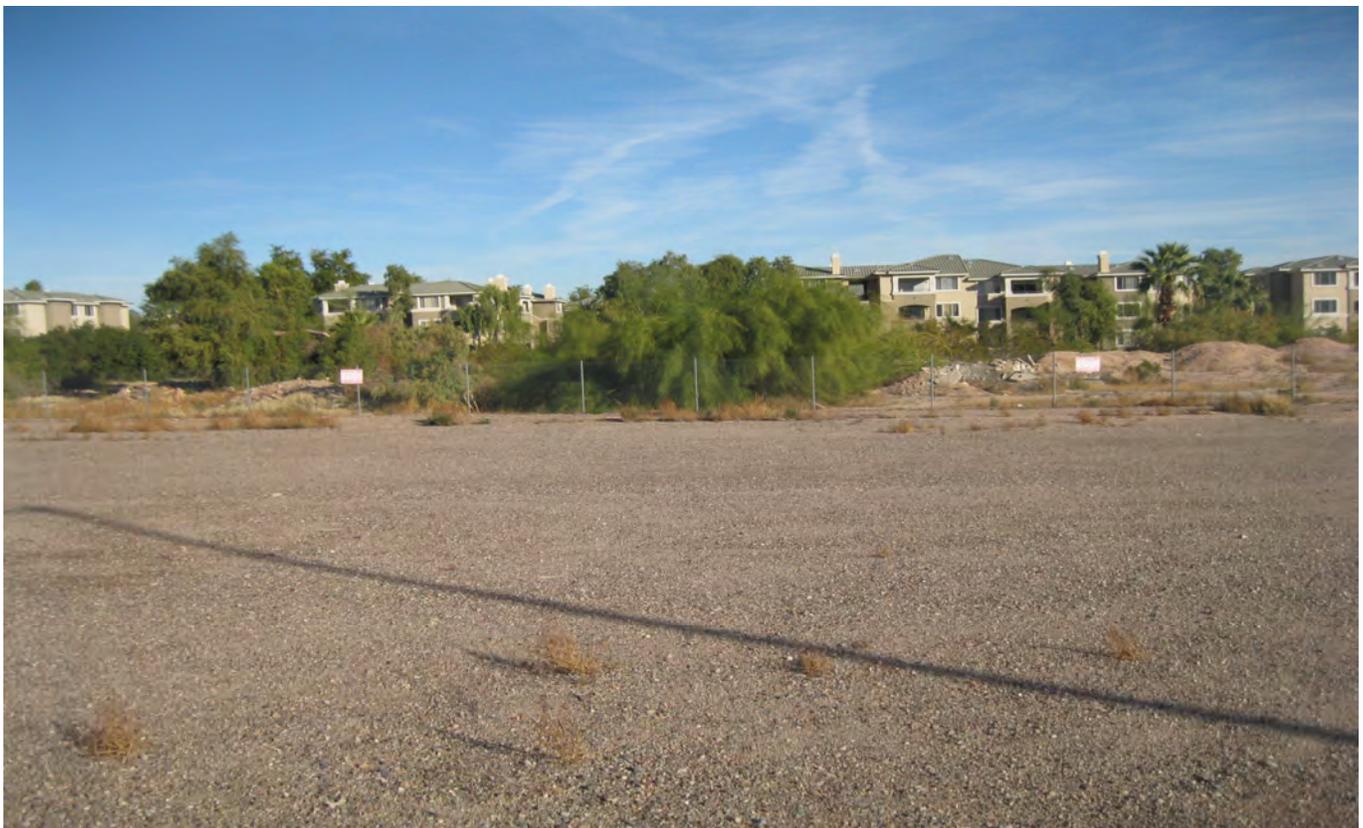
**Photo #26**

**West property line looking east**



**Photo #27**

**West property line looking south**



**Photo #28**

**West property line looking east**



**Photo #29**

**West property line looking east**



**Photo #30**

**West property line looking north**



**Photo #31**

**West property line looking east**



**Photo #32**

**West property line looking south**



**Photo #33**

**Northwest corner looking west**



**Photo #34**

**Northwest corner looking north**



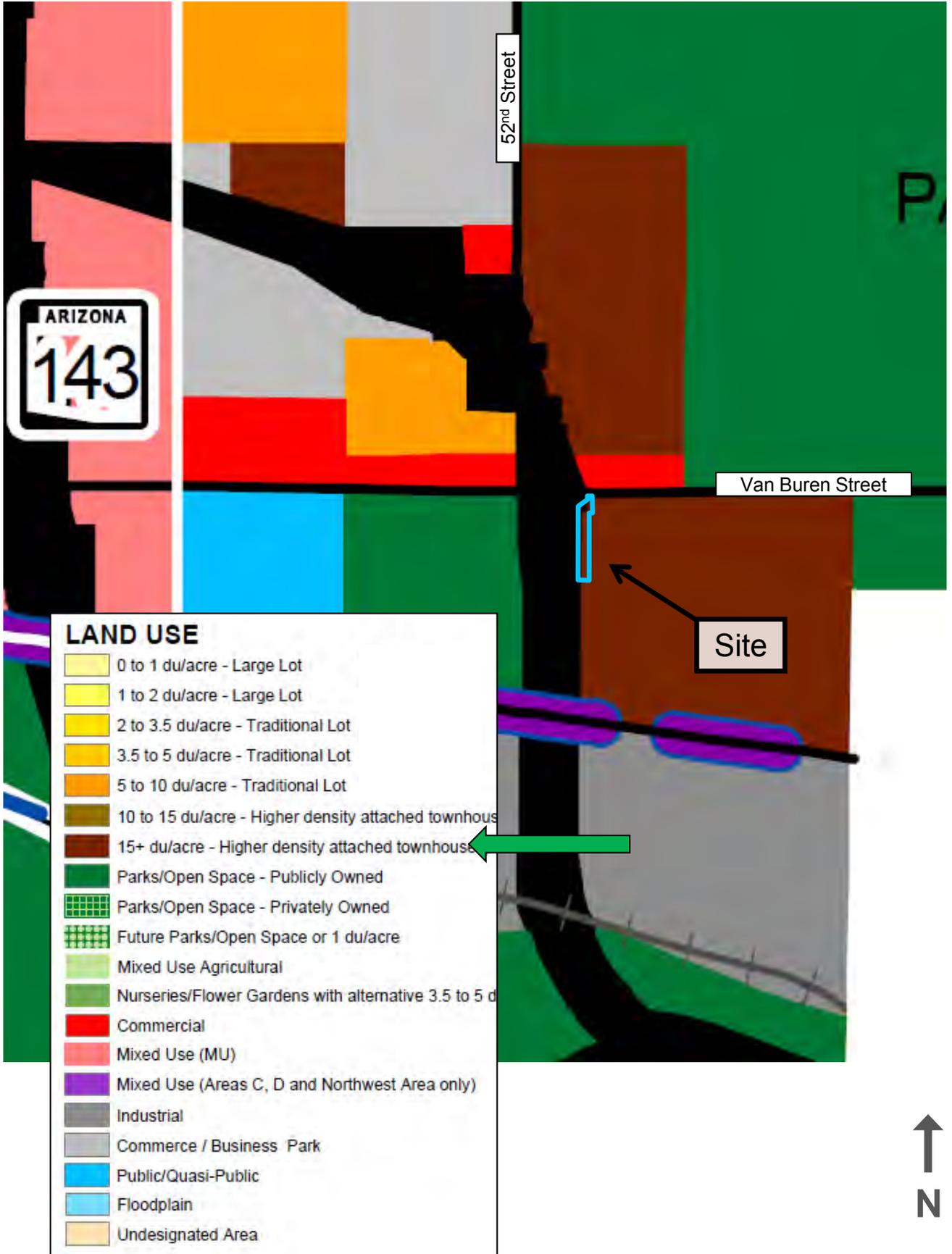
**Photo #35**

**Northwest corner looking east**



**Photo #36**

**Northwest corner looking south**



# Existing Zoning Map

# Exhibit K



Site



# Proposed Zoning Map

# Exhibit L

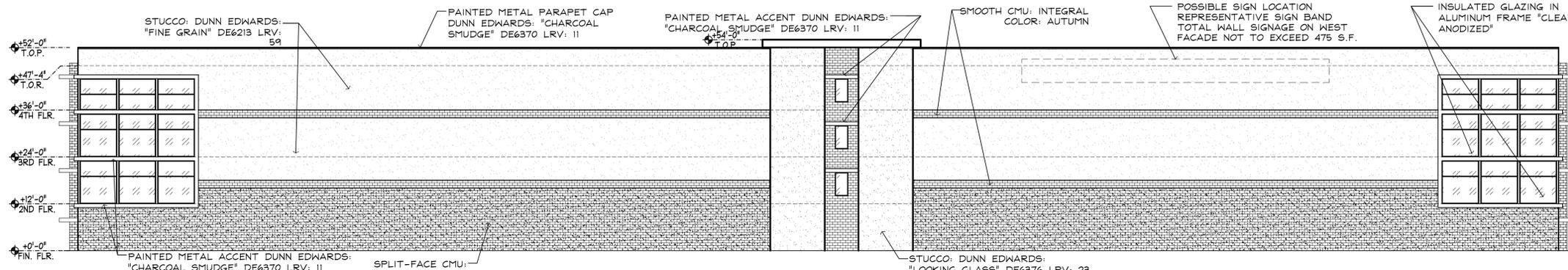


# 202 & VAN BUREN STORAGE

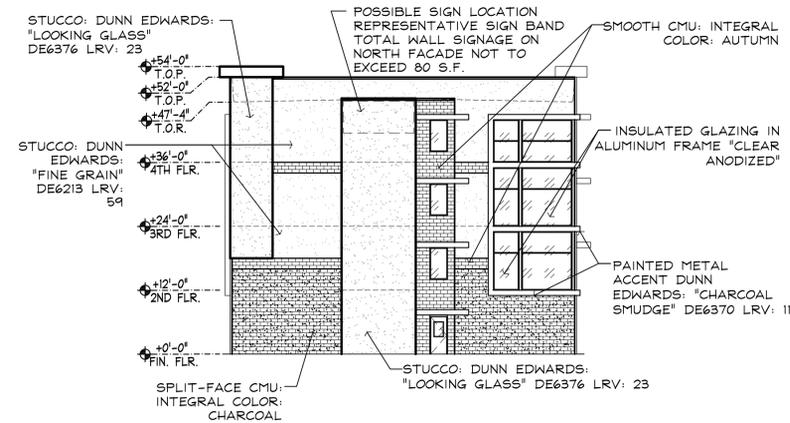
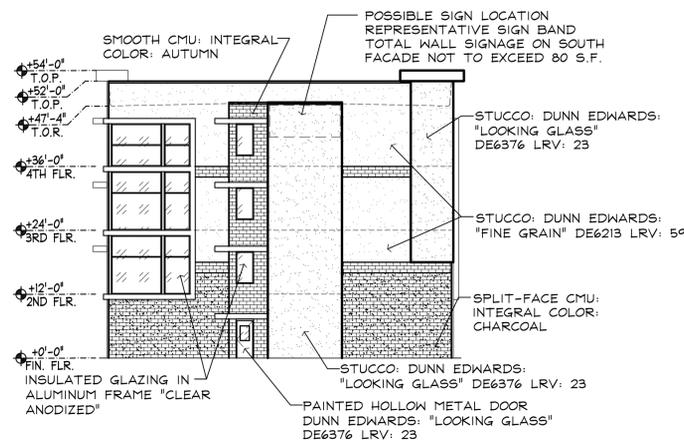
PHOENIX, ARIZONA  
 PROJECT NUMBER: 15052.00  
 DATE: 05.17.16



## CONCEPTUAL ELEVATIONS

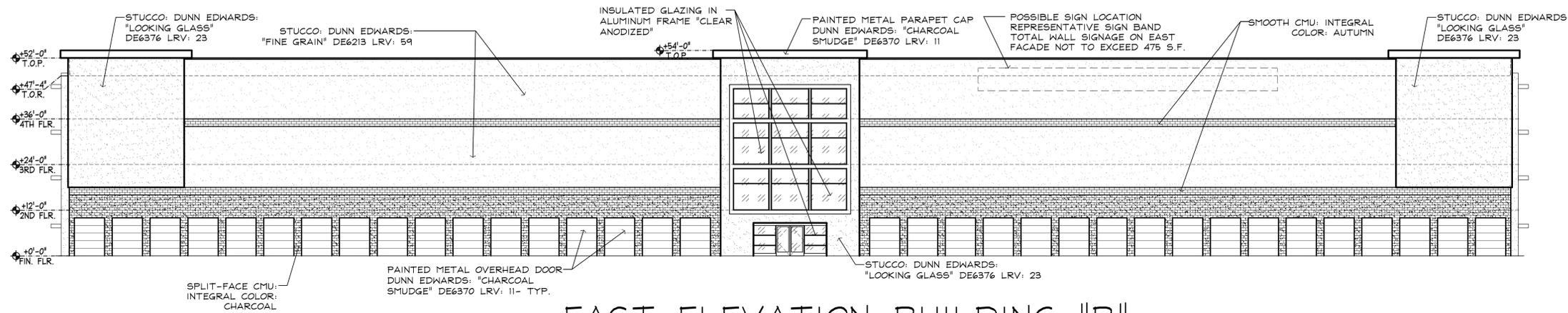


**WEST ELEVATION-BUILDING "B"**  
 SCALE: 1/16"=1'-0"



**NORTH ELEVATION-BUILDING "B"**  
 SCALE: 1/16"=1'-0"

**SOUTH ELEVATION-BUILDING "B"**  
 SCALE: 1/16"=1'-0"



**EAST ELEVATION-BUILDING "B"**  
 SCALE: 1/16"=1'-0"



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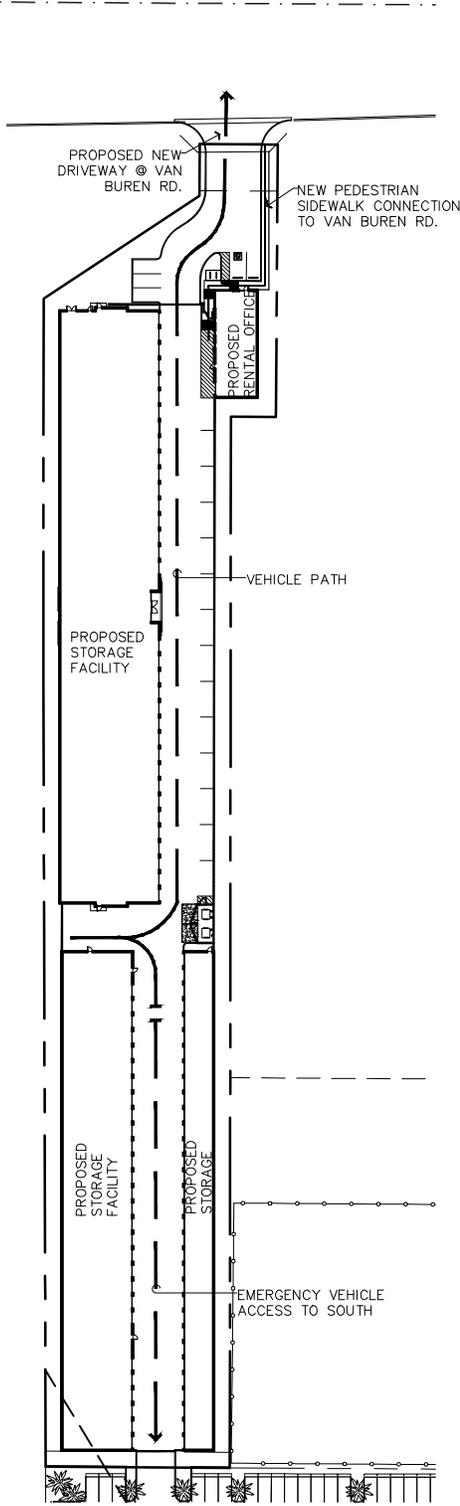
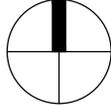
# LOOP 202 & VAN BUREN STORAGE

5223 EAST VAN BUREN STREET  
PHOENIX, AZ 85034

## CIRCULATION MAP

NOT TO SCALE

NORTH



# Comparative Zoning Standards Table

# Exhibit O

STANDARDS	C-2 ZONING	PUD ZONING
<b>DENSITY NUMBER OF D.U.</b>	MAXIMUM 15.23; 17.40 D.U. PER ACRE WITH BONUS	0 DU/ACRE
<b>BUILDING SETBACKS</b>	<p>ADJACENT TO STREET* (NORTH): 30'*; MINIMUM 20' PERMITTED FOR UP TO 50% OF STRUCTURE, INCLUDING PROJECTIONS</p> <p>ADJACENT TO C-3 (EAST): 0'</p> <p>ADJACENT TO R4-A (SOUTH): 45'</p> <p>ADJACENT TO R4-A (WEST): 45'</p> <p>*AVERAGE</p>	<p>ADJACENT TO STREET* (NORTH): MINIMUM 93'</p> <p>ADJACENT TO C-3 (EAST): MINIMUM 10'</p> <p>ADJACENT TO R4-A (SOUTH): MINIMUM 10'</p> <p>ADJACENT TO R4-A (WEST): MINIMUM 10'</p>
<b>LANDSCAPE SETBACKS</b>	<p>ADJACENT TO STREET* (NORTH): 30'*; MINIMUM 20' FOR UP TO 50% OF FRONTAGE</p> <p>ADJACENT TO R4-A (EAST): MINIMUM 10'</p> <p>ADJACENT TO R4-A (SOUTH): MINIMUM 10'</p> <p>ADJACENT TO R4-A (WEST): MINIMUM 10'</p> <p>*AVERAGE</p>	<p>ADJACENT TO STREET* (NORTH): 10'*; MINIMUM 0'</p> <p>ADJACENT TO R4-A (EAST): MINIMUM 5'</p> <p>ADJACENT TO R4-A (SOUTH): MINIMUM 10'</p> <p>ADJACENT TO R4-A (WEST): MINIMUM 3'</p> <p>*AVERAGE</p>
<b>HEIGHT</b>	<p>COMMERCIAL: 2 STORIES AND 30'; 56' WITH A HEIGHT WAIVER</p> <p>MULTIPLE FAMILY: 2 STORIES AND 30' (EXCEPT THAT 3 STORIES NOT EXCEEDING 30' ARE PERMITTED WHEN APPROVED BY THE DESIGN ADVISOR FOR DEMONSTRATING ENHANCED ARCHITECTURE)</p>	50' TO ROOF LINE
<b>LOT COVERAGE</b>	MAXIMUM 50%	MAXIMUM 48%