



City of Phoenix
 PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report Z-24-16-2
 (Luna Azul PUD)
 August 4, 2016**

Deer Valley Village Planning Committee Meeting Date: August 18, 2016
Planning Commission Hearing Date: September 1, 2016
Request From: C-O/G-O HGT/WVR (4.73 acres)
Request To: PUD (4.73 acres)
Proposed Use: Planned Unit Development to allow a mix of uses including single and multifamily residential
Location: Northwest corner of 16th Street and Wahalla Lane
Owner: John L Jr & Sandra Freeman E Trust
Applicant/Representative: Adam Baugh, Withey Morris, PLC
Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Residential 3.5 to 5 du/acre Transportation (ADOT Right-of-Way)	
Street Map Classification	16 th Street	Collector	33 feet (west half)
	Wahalla Lane	Local	0 feet (north half)
	SR-101 Frontage Road / Beardsley Road	Arizona Department of Transportation (ADOT) Right-of-Way	Approximately 230 feet to the center of the freeway / 53 feet to the center of the frontage road (south half)
<u>CONNECT PEOPLE AND PLACES CORE VALUE</u>			
<i>OPPORTUNITY SITES; LAND USE PRINCIPLE: Promote and encourage compatible development and redevelopment with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.</i>			

The proposed development, designed to be compatible with the surrounding area, allows for a unique housing type, and is located in an area that is in close proximity to employment centers and commercial areas off of the Loop-101 freeway.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE

CERTAINTY AND CHARACTER; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.

CERTAINTY AND CHARACTER; DESIGN PRINCIPLES:

- ***Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design, and appearance.***
- ***Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.***
- ***Require appropriate transitions/buffers between neighborhoods and adjacent uses.***

The proposal will transform the subject site into a residential community with housing suitable for, but not exclusive to, residents with special needs. The main building which will be visible from Wahalla Lane is designed to resemble a large residential estate with a southwestern architectural style. The overall design proposed on the site will be compatible with the existing surrounding uses and is consistent with the Outer Loop Freeway Specific Plan. The site is designed to be sensitive to the surrounding residential and also serves as a transitional use and buffer between the freeway and the residential to the south.

CONNECTED NEIGHBORHOODS; LAND USE PRINCIPLE: Provide neighborhood-based social services (senior centers, Head Start Programs, job training, counseling) appropriate to the area's needs in convenient facilities compatible in scale and character with the surrounding neighborhood.

The proposed housing may be designed for residents with special needs and the community house in the center of the development provides a convenient space where training and counseling may be provided to the residents. The site has been designed to provide these and similar accessory uses on-site, while still maintaining a residential scale and character.

HEALTHY NEIGHBORHOODS; DESIGN PRINCIPLE: Plan and design communities and neighborhoods to be pedestrian friendly and walkable.

The site has been designed to allow the residents to walk safely through the community.

DIVERSE NEIGHBORHOODS; LAND USE PRINCIPLE: Include a mix of housing types and densities where appropriate within each village that support a broad range of lifestyles.

The proposed rezoning allows the opportunity to have a unique housing type with a slightly higher density than the surrounding residential, which provides an appropriate transition into the open space area to the east and the freeway to the north.

CLEAN NEIGHBORHOODS; LAND USE PRINCIPLE: Facilitate the acquisition of vacant, underutilized and blighted parcels for appropriate redevelopment, compatible with the adjacent neighborhood character and adopted area plans.

The proposed rezoning allows for the opportunity to provide appropriate residential development on an underutilized parcel adjacent to the freeway and will enhance the area. As proposed and stipulated, the PUD Narrative is designed to be sensitive to the surrounding neighborhood and compatible with the surrounding residential. There are appropriate use restrictions, building and landscape setbacks, open space areas, and a combination of walls and landscaping for screening.

Outer Loop Freeway Specific Plan

The subject site is located in Segment 4 of the Outer Loop Freeway Specific Plan. The Plan was adopted May 1, 1996. The purpose of the plan is to mitigate negative effects of the Loop-101 freeway on neighborhoods. The proposed rezoning meets the intent of many of the elements of the plan.

Land Use

The plan makes no specific land use recommendations for the subject site, but does consider the general area as transitional due to the proximity to residential and open space uses. The plan recommends maintaining low to medium density residential uses in the general area to transition into the open space.

Circulation

The plan calls for adequate and more direct access from the school to 12th or 16th Streets. This has already been completed by previous developments in the area and the proposed development should enhance access due to the right-of-way improvements that will be required along Wahalla Lane.

Noise

The plan recommends noise walls. These have been installed by ADOT. The plan also includes site development policies for residential development, including site plan and construction techniques.

Safety

Lighting should be provided for safety, however should not be excessive adjacent to residences.

Neighborhood Enhancement

There are no specific recommendations adjacent to the subject site. However, the plan does encourage enhanced landscaping between the frontage road and the subdivision that is further west of the site. The plan also notes that high profile landscaping should be avoided due to maintenance issues. The proposed development includes landscaping within the rear yards on the north side of the site. Also, there may be an opportunity to add additional landscaping within the ADOT right-of-way area just north of the site, subject to ADOT approval.

Recreational Trails and Bikeways

The plan recommends that a bicycle lane/route be constructed on the south frontage road. However, the city's most recent bikeways plan does not require a bike lane or route.

Surrounding Land Uses/Zoning		
	Land Use	Zoning
On Site	Vacant	C-O/G-O HGT/WVR
North	Freeway	R1-8, RE-43
South	Single-family residential	R1-8
East	Preserve	R1-8
West	Single-family residence	R1-8

Background/Issues/Analysis

SUBJECT SITE

1. This is a request to rezone a 4.73-acre site located at the northwest corner of 16th Street and Wahalla Lane from C-O/G-O HGT/WVR (Commercial-Office, General-Office option, with a height waiver) to PUD (Planned Unit Development) to allow single and multifamily residential with a maximum of 30 units or 6.80 dwelling units per acre.

2. The General Plan Land Use Map designation for the subject site is Residential 3.5 to 5 dwelling units per acre. The proposal has a maximum dwelling unit density of 6.8 dwelling units per acre.



Although the proposal is not in specific in conformance with the General Plan Land Use map designation, an amendment is not required as the subject site is less than 10 acres. Also, the proposal is compatible in scale and intensity with surrounding residential uses and residential building types that would be permitted in the Residential 3.5 to 5 dwelling units per acre designation.

The area north of the site is designated Transportation for the Loop-101 freeway. The areas to the south and west of the site are designated Residential 3.5 to 5 dwelling units per acre and the area to the east is designated Parks/Open Space.

3. The subject site consists of two (2) vacant lots that are zoned C-O/G-O HGT/WVR. Each lot is approximately two (2) net acres. The area to the north of the site is zoned R1-8 and RE-43 and includes the Loop-101 freeway and the frontage road.



The property immediately to the west is developed with a single-family residence that is zoned R1-8. The area to the south is developed with an R1-6 zoned single-family subdivision. The area to the east is the Buffalo Ridge desert park which is owned by the city and also zoned R1-6.

PROPOSAL

4. The proposal was developed utilizing the PUD zoning designation which allows an applicant to propose uses, development standards, and design guidelines for a site. One of the goals of this process is to allow the applicant to develop standards that respond to the surrounding environment more so than conventional zoning districts allow. The end result is property rezoned with standards crafted specifically for the site.

Where the PUD Development Narrative is silent on a requirement, the applicable Zoning Ordinance provisions will be applied.

5. Below is a summary of the proposed standards for the subject site as described in the attached PUD Development Narrative date stamped July 26, 2016 (see attached). The proposed standards were designed to allow for single and multifamily homes to be compatible within the context of the surrounding area. The homes and overall community design is intended for adults with life limitations and disabilities, however the community is not exclusive to those with disabilities.



Land Use

The Development Narrative proposes the following uses: single and multifamily homes with 30 units, a community building, accessory uses that are permitted in residence districts, and temporary uses subject to the Zoning Ordinance standards.

Development Standards

The table below provides a summary of the proposed development standards:

Development Standards	Proposed PUD
Density (Maximum dwelling units/acre)	6.80 (32 units)
Height (Maximum)	30 feet
Building Setbacks (Minimum)	North (street): 10 feet South (street): 8 feet East (street): 10 feet West (property line):10 feet
Landscape Setbacks (Minimum)	North (street): 0 feet South (street): 8 feet East (street): 10 feet West (property line):0 feet* *A minimum of eight (8) trees shall be dispersed within the private yards along the west property line.
Lot Coverage (Maximum)	40%
Open Space (Minimum)	10% of gross area (20,604 sq. ft.)
Parking (Minimum)	1.5 spaces per 2-bedroom unit; 2 spaces per 3-bedroom unit Guest Parking: (only if reserved spaces): 0.5 spaces per 2-bedroom unit; 1.0 space per 3-bedromm unit Note: Any required unreserved parking spaces may be counted toward the total required parking count.
Street Standard	Perimeter: Public Streets Interior: Private Drive
Wall Height (Maximum)	Perimeter: 6 feet Perimeter adjacent tot guest parking area: 4 feet

The proposed density at 6.80 dwelling units per acre would allow up to 32 dwelling units which is not consistent with the maximum 30 dwelling units proposed. Staff is recommending a stipulation to revise the maximum density to 6.35 to be consistent with the proposed number of dwelling units. This proposed density is less than what would be permitted in the R-2 zoning district, however it is comparable to the R1-6 zoning district which allows for a density of up to 6.34 dwelling units per acre with a bonus. R1-6 zoning is the next available lower density zoning option after R-2.

The building and landscape setbacks are reduced compared to the Zoning Ordinance standards. There is no prescribed landscape setback proposed along the north and west sides of the property, however these areas are part of the private yards of the residences and there is an opportunity to add

landscaping in these areas. There are a minimum of eight (8) trees required to be dispersed along the west property line and the north property line is adjacent to the ADOT right-of way area on the freeway frontage road. There may be an opportunity to add landscaping along the freeway frontage road, subject to ADOT approval. The landscaping shall be in general conformance to the conceptual landscape plan.



The proposed open space does exceed the Zoning Ordinance standards. There are several common areas proposed, including a lawn/recreation area and water fountain feature for each side of the development, and a community building and pool area in the center. This will contribute to the open, community atmosphere that the developer is striving for.

The proposed development standards allow for better integration of the residential community where adjacent to the surrounding streets and the single-family residence to the west, as well as within close proximity to other single-family properties.

Elevations



Front 3D



Back 3D

Conceptual elevations are included in the PUD Narrative and are proposed to be southwest style, one and two-story homes, with earthen colored walls and surfaces.



A rendering is provided for the community building/center house which is designed as a larger version of the individual homes.



Design guidelines

Design guidelines and standards are proposed to reinforce the design of the site as shown on the conceptual site plans, building elevations and renderings.

Signage

Signage is proposed to meet the standard Zoning Ordinance requirements and will be designed to be compatible with the proposed architectural style of the development.

Sustainability

The Development Narrative proposes several options to incorporate sustainability principles into the project. A minimum of five (5) of the listed sustainability principles will be required. The principles include using resources efficiently, water and energy efficiency, and building designed to respond to the southwest climate. Leadership in Energy and Environmental Design Green Building Rating System and the city's Green Construction Code will be incorporated where practical.

Phasing

The development will be constructed in two phases. The perimeter improvements along the 16th Street and Wahalla Lane, as well as the parking, community building, and common area in the center of the site is proposed during the first phase of development. The homes will then be developed as they are purchased. Staff has concerns about when the required trees along the west side of the site would be planted, therefore a stipulation is recommended to require the trees prior to the issuance of the Certificate of Occupancies for each of the homes along the west side of the site

STREETS AND TRAFFIC

6. The Street Transportation Department has requested a right-of-way dedication for the north half of Wahalla Lane and requires that all streets within and adjacent to the development be constructed with all required features and to meet ADA accessibility standards.

MISCELLANEOUS

7. The Aviation Department has reviewed the Rezoning application submittal and requests that the following item should be completed prior to approval:
 - That the property owner record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of the Phoenix Deer Valley Airport Airport to future owners or tenants of the property.

The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.

8. The Fire Department has noted that the water supply (gpm and psi) is not known for the site. Additional water supply may be required to meet the required fire flow per the Phoenix Fire Code.
9. It has been determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in Shaded Zone X, on panel 1295 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
10. The Paradise Valley Unified School District has indicated that there are adequate school facilities to accommodate the projected number of additional students generated by the proposed rezoning.
11. The Water Services Department has noted that the site has existing water and sewer mains nearby that can potentially serve the development.
12. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

Findings

1. The proposed rezoning is compatible in scale and intensity with surrounding residential uses and residential building types that would be permitted in the Residential 3.5 to 5 dwelling units per acre General Plan Land Use map designation.
2. The proposed development is in conformance with several General Plan goals and policies.
3. The development has the opportunity to provide a unique housing option for residents with special needs, for which there are limited housing options.

Stipulations

1. An updated Development Narrative for the Luna Azul PUD reflecting the changes approved through this request shall be submitted to the Planning and Development Department within 30 days of City Council approval of this request. The updated Development Narrative shall be consistent with the Development Narrative date stamped July 26, 2016, as modified by the following stipulations:
 - a. Page 12, G. Development Standards, 1. Development Standards Table: Revise the density to "Maximum 30 D.U., 6.35 D.U./ACRE."
 - b. Page 13, G. Development Standards, 1. Development Standards Table, Revise the footnote to read as follows:

“*A minimum of eight (8) trees shall be dispersed within the private yards along the west property line. These trees shall be planted with the construction of each of the six (6) homes on the west side of the site and prior to the issuance of Certificate of Occupancies for the individual homes.”

- c. Page 16, H. Design Guidelines, first bulleted item: Revise “maybe” to “shall be” to be consistent with the similar guideline on page 18.
- d. Page 16, H. Design Guidelines, second bulleted item: Revise “three- to five-foot” to “four-foot” to be consistent with wall standards on page 14.
- e. Page 36, Street Cross Section Exhibit: Revise the width of Wahalla Lane to be 32 feet from face of curb to face of curb.
- f. Page, 54, Phasing Plan, Add the following note along the west side of the site:

“Required trees shall be planted with the construction of each of the six (6) homes on the west side of the site and prior to issuance of Certificate of Occupancies for the individual homes.”

- 2. Right-of-way totaling 25 feet shall be dedicated for the north half of Wahalla Lane, as approved by the Planning and Development Department.
- 3. The developer shall construct all streets adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
- 4. The property owner shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of Phoenix Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.

Writer

Racelle Escolar

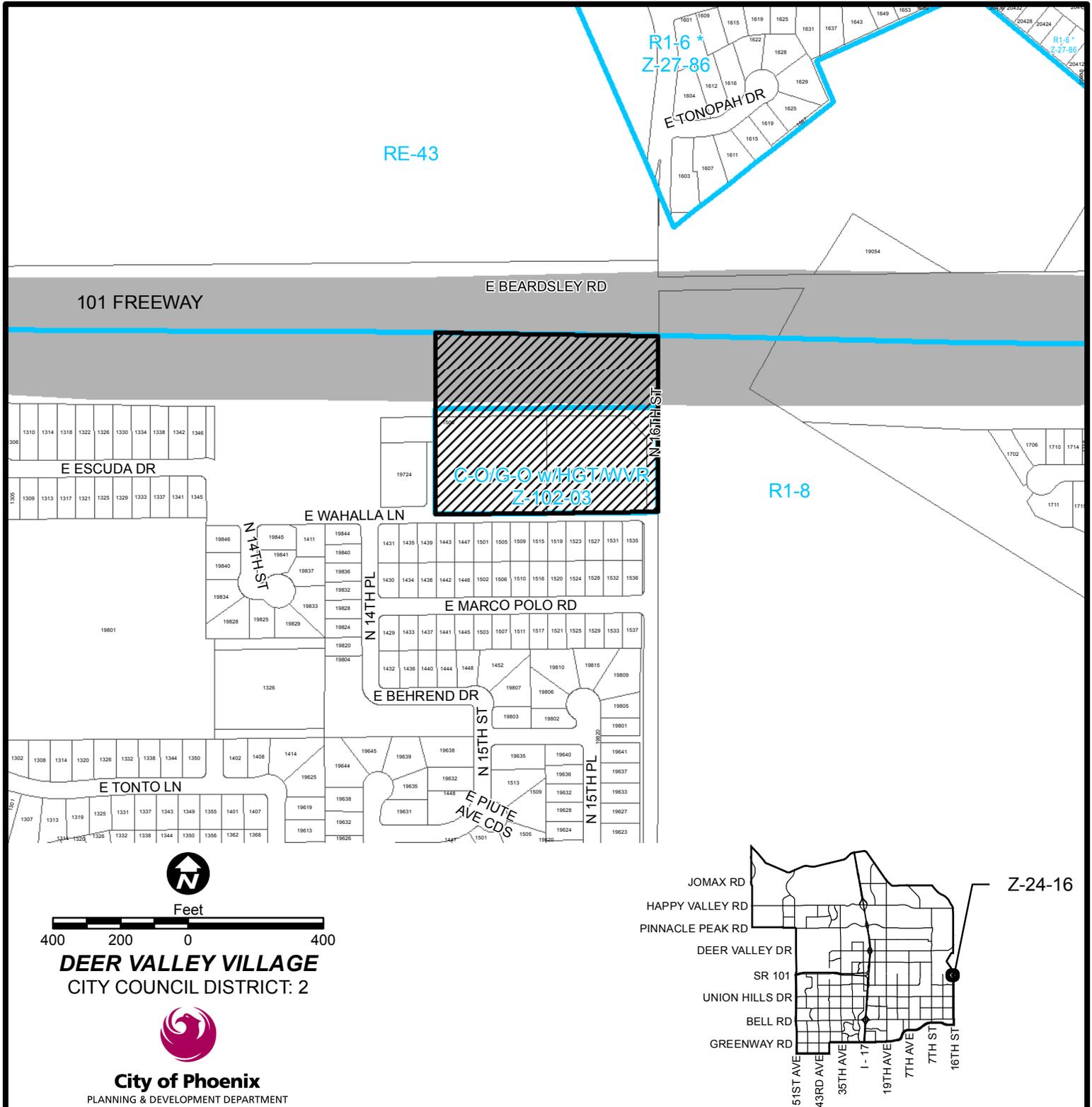
August 4, 2016

Team Leader

Joshua Bednarek

Attachments

Zoning Sketch, Aerial Map, and PUD Narrative



DEER VALLEY VILLAGE
CITY COUNCIL DISTRICT: 2



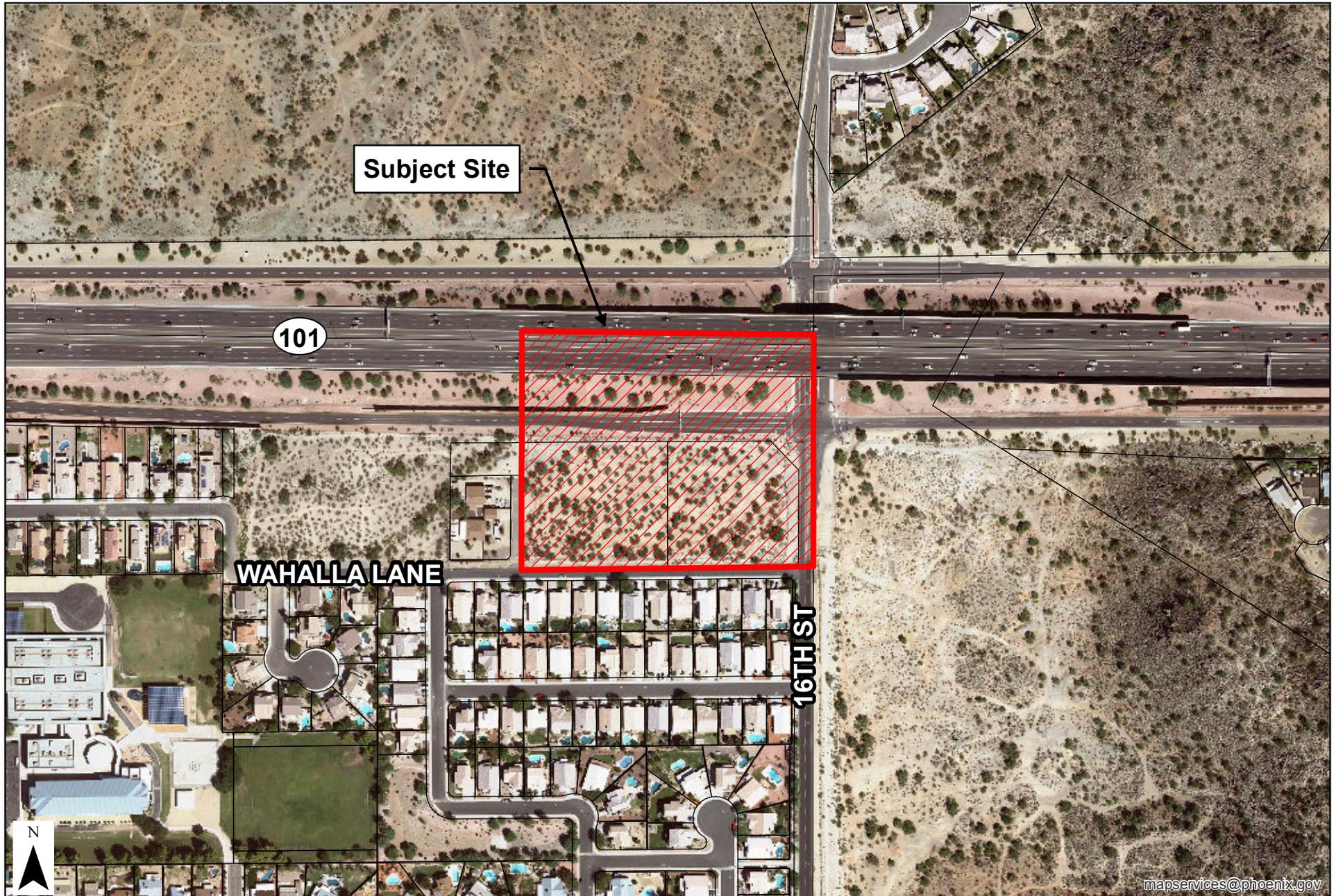
City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

APPLICANT'S NAME: Adam Baugh/Withey Morris, PLC		REQUESTED CHANGE: FROM: C-O/G-O HGT/WVR (4.73 a.c.) TO: PUD (4.73 a.c.)	
APPLICATION NO. Z-24-16	DATE: 5/10/16 REVISION DATES:		
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 4.73 Acres	AERIAL PHOTO & QUARTER SEC. NO. QS 40-30	ZONING MAP N-6	
MULTIPLES PERMITTED C-O/G-O HGT/WVR PUD	CONVENTIONAL OPTION N/A 32	* UNITS P.R.D. OPTION N/A 32	

* Maximum Units Allowed with P.R.D. Bonus

Z-24-16-2 (Luna Azul PUD) Aerial Map



Aerial Date: 2013

RE 7/29/2016

0 300 600 Feet

mapservices@phoenix.gov



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



Luna Azul Planned Unit Development

Northwest Corner of 16th Street and Wahalla Lane

Planned Unit Development
Development Narrative

Z-24-16-2

Initial Submittal: April 27, 2016

Resubmittal: June 21, 2016

Hearing Draft: July 26, 2016

Development Team

Developer:	ECC Management, LLC 14550 N. Frank Lloyd Wright Blvd., Suite 200 Scottsdale, Arizona 85260 P. 602.767.9500 mdr@cottagemgmt.com
Applicant/Representative	Withey Morris, PLC Adam Baugh / Jessi Thornton 2525 East Arizona Biltmore Circle, Suite A-212 Phoenix, AZ 85016 P. 602.230.0600 F. 602.212.1787 adam@witheymorris.com
Architect	Ross Chapin Architects 195 Second Street Langley, WA 98260 P. 360.221.2373 ross@rosschapin.com
Engineer / Land Planning	Hoskin Ryan Consultants, Inc. Matthew J. Mancini, PE 6245 N 24 th Parkway, Suite #100 Phoenix, AZ 85016 P. 602.252.8384 F. 602.252.8385 matt@hoskinryan.com
Landscape Architect	SJ Consulting, Inc Stacey Johnson/Dustin Walker Collaborative 8410 E Heartherbrae Dr. Scottsdale, AZ 85251 602-743-0070 336-953-3037

TABLE OF CONTENTS

A. Purpose and Intent	4
B. Land Use Plan	6
C. Site Conditions and Location	6
D. General Plan Conformance	7
E. Zoning and Land Use Compatibility	10
F. List of Uses	11
G. Development Standards	12
H. Design Guidelines	16
I. Signs	18
J. Sustainability	18
K. Infrastructure	20
L. Phasing Plan	21
M. Exhibits	
Area Vicinity Map	22
Aerial Map	23
Parcel Map	24
Conceptual Site Plan	26
Conceptual Landscape Site Plan	29
Conceptual Building Elevations	31
Conceptual Renderings	34
Street Cross Section	36
Legal Description	38
Context Plan	40
General Plan Map	48
Existing Zoning Map	49
Proposed Zoning Map	50
Circulation Plan	52
Phasing Plan	54
Comparative Zoning Standards Table	55

A. PURPOSE AND INTENT

1. PLANNED UNIT DEVELOPMENT

This Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for this particular project. Provisions not specifically regulated by this PUD are governed by the Phoenix Zoning Ordinance. If there are conflicts between specific provisions of this PUD, and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. This PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. The purpose and intent statements are not requirements that will be enforced by the City.

2. PROJECT OVERVIEW AND GOALS

The Luna Azul Planned Unit Development (the "Luna Azul PUD") rezones approximately 4.73 gross acres of land located at the northwest corner of 16th Street and Wahalla Lane (APNs: 213-23-006 & 213-23-017B) (the "Property"). See vicinity, aerial and parcel maps at Exhibits 1, 2 and 3. The applicant proposes a residential development designed to provide independent living to adults with life limitations such as intellectual, developmental, and acquired disabilities among others.

Luna Azul is a community where residents can live permanently, safely, and make lasting friendships; the community aims to provide convenient access to services, employment opportunities and urban amenities. The community is suitable for adults with disabilities providing them and others an atmosphere within which to live life safely, securely and on their own terms. The proposed plan will create an intimate community designed to foster connections and caring relationships amongst other residents of Luna Azul.

Dominant themes among adults with disabilities are their desires for permanency, independence and self-determination. To be able to choose where, how and with whom they live, while receiving the services they need. We believe that home ownership in a community like Luna Azul offers families the greatest and most reliable degree of choice and freedom.

By focusing neighboring houses around a shared garden courtyard, a "pocket neighborhood" such as the one proposed here provides the setting for neighbors to develop meaningful relationships beyond family and housemates. The active rooms of the residential cottages, including front porches, face the commons instead of turning inward. Their scale encourages residents to enjoy the outdoor

porch and common area where it's easy to engage in conversations with neighbors and passersby. These casual conversations help foster caring relationships and a meaningful sense of community.

Luna Azul will be comprised of thirty (30) independently-owned cottages, platted as a condominium development. Unit size will range from approximately 1,100 to 1,700 square feet, and will include both 2- and 3-bedroom options. The community design will allow for spontaneity, encourage connections, and lay the foundation for caring relationships and neighborly assistance when a fellow resident needs a hand.

The community will offer a range of amenities to serve the targeted resident profile. There will be indoor and outdoor community gathering spaces, and a Center House. Staff will be on-site to manage programs and organize social activities, and qualified vendors, family and friends will orchestrate and provide individualized support services in residents' homes. Proposed safety features may include a secured entrance and perimeter fence with regular on-site staffing. A transport shuttle may also help transport residents off-site when necessary.

3. SURROUNDING AREA

The proposed use is compatible with the surrounding area. The zoning on the Property is C-O / G-O with a height waiver up to 2-stories and 30-feet (See Case No. Z-102-03-2). The planned and approved office building was never built and the Property remains vacant and undeveloped today. The Property fronts Beardsley Road, which is also the frontage road for the Loop 101 Freeway. The land to the east and north of the Property is park and desert preserve land owned by the City of Phoenix. There are single-family residential communities to the south and west of the Property. Directly adjacent to the Property on the west is one single-family residence and vacant land.

The Luna Azul PUD offers a use more compatible with the surrounding single-family residences than does the existing commercial office zoning on the Property. It also provides a housing product more appropriate in size, scale, and massing than compared to the approved commercial office zoning. This PUD will create a vibrant new community on a vacant infill parcel that will complement the existing residential uses and parks and preserve land that surround it.

4. OVERALL DESIGN CONCEPT

The Luna Azul PUD is uniquely designed to foster strong relationships and socialization amongst its residents. The development emphasizes cottage homes

surrounding open space areas with ramadas, community outdoor patio areas and water features. The community includes a Center House with an outdoor swimming pool, offices, exercise area and gathering spaces. The private drive serving the community has separate ingress and egress points on Wahalla Lane. Parking space is provided along the private drive in close proximity to the Center House and all cottages and community spaces. The site design intentionally encourages residents to move about the community without having to navigate potential safety concerns posed by traffic patterns in traditionally-designed residential communities. Moreover, each cottage has a front porch facing a courtyard, encouraging opportunities for neighborly interactions with neighbors and passersby.

B. LAND USE PLAN

The approximate 4.73 gross acre site is designed to include a total of thirty (30) residential units. The Luna Azul PUD proposes a less intense use than now permitted under the existing C-O/G-O zoning. The maintenance, security, and physical attributes of the proposed development make Luna Azul a more appropriate land use adjacent to single-family residential developments than that which is allowed per the current zoning today. This PUD is designed to be suitable for (but not exclusive to) adults with life limitations and their families, and an active Homeowners' Association (HOA) will be an essential part of the community from its inception. The HOA will ensure the Property is properly maintained at all times, benefiting community residents and neighbors alike.

The Luna Azul PUD will turn a vacant and underutilized property into a vibrant and active community that will benefit an underserved population and complement the surrounding neighborhoods. This PUD will have less of an impact on the surrounding community than the currently approved commercial office use. This PUD will generate significantly less traffic and noise than a typical commercial office use. See site plan on page 26.

C. SITE CONDITIONS AND LOCATION

1. ACREAGE

The Property consists of approximately 4.73 gross acres. See legal description on page 38.

2. LOCATION

The Property is located at the northwest corner of 16th Street and Wahalla Lane. See vicinity map on page 22. The Property is vacant land fronting Beardsley Road, which is also the frontage road for the Loop 101 Freeway. To the east is preserve land owned by the City of Phoenix. To the south, west and across the Loop 101 freeway are the single-family residential neighborhoods (Scarlett Canyon and Eagle Hills). The Luna Azul PUD provides a complementary and transitional use as a buffer between the surrounding single-family residential developments and the freeway.

3. TOPOGRAPHY

The site is generally flat, vacant land. See context plan and site photos on page 40. The surrounding area is generally flat, with the exception of the elevated Loop 101 freeway directly north, which is approximately 25-feet above the grade of the Property, and the park preserve to the east, which gradually slopes up to the southeast from 16th Street to the peak of Buffalo Ridge which is approximately 470-feet above the grade of the Property.

D. GENERAL PLAN CONFORMANCE

The proposed mixed use development is supported by the following goals, policies, and objectives of the General Plan.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER

- **DESIGN PRINCIPLE: CREATE NEW DEVELOPMENT OR REDEVELOPMENT THAT IS SENSITIVE TO THE SCALE AND CHARACTER OF THE SURROUNDING NEIGHBORHOODS AND INCORPORATES ADEQUATE DEVELOPMENT STANDARDS TO PREVENT NEGATIVE IMPACT(S) ON THE RESIDENTIAL PROPERTIES; AND ENHANCE THE COMPATIBILITY OF RESIDENTIAL INFILL PROJECTS BY CAREFULLY DESIGNING THE EDGES OF THE DEVELOPMENT TO BE SENSITIVE TO ADJACENT EXISTING HOUSING. CREATE LANDSCAPE BUFFERS AND OTHER AMENITIES TO LINK NEW AND EXISTING DEVELOPMENT.**

The proposed development will provide high-quality, individually-owned residential homes in a walkable, traffic-free environment. It is suitable for (but not exclusive to) individuals with life limitations who are traditionally underserved. The proposed PUD is surrounded by parcels that have been or are nearly fully developed, and is abutting a freeway frontage road and streets. The Property is adjacent to a street on each

side, providing a buffer between Luna Azul and adjacent residential uses. Trees and shrubs planted along Wahalla Lane and 16th Street will provide a substantial buffer and visual enhancement for the residential development to the south and to passersby along 16th Street. An existing landscape area that is along the freeway frontage road will provide additional buffer to the north. Within each rear yard, along the entire perimeter of the Property, homeowners will be permitted to plant trees and other landscaping within the eight- to 10-foot setback area just inside the perimeter wall. This project will provide an appropriate density and compatible use while serving as a transition between the single-family residences to the south of the Property and the freeway. The community is designed in a manner sensitive to the existing surrounding single-family residential uses.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CLEAN NEIGHBORHOODS

- **LAND USE PRINCIPLE: FACILITATE THE ACQUISITION OF VACANT, UNDERUTILIZED AND BLIGHTED PARCELS FOR APPROPRIATE REDEVELOPMENT, COMPATIBLE WITH THE ADJACENT NEIGHBORHOOD CHARACTER AND ADOPTED AREA PLANS.**

The proposed Luna Azul PUD will develop an underutilized parcel which is adjacent to parcels that have been nearly fully developed. This infill project will provide the opportunity to develop vacant land into a residential community, consistent with the scale and character of the surrounding uses and provides opportunities to a currently underserved population. The development of this site and investment in the neighborhood will enhance neighborhood stability and will only add to the quality of life, public health and safety for the area.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; DIVERSE NEIGHBORHOODS; GOAL - ENCOURAGE COMMUNITIES AND NEIGHBORHOODS TO BE A MIX OF AGES, INCOMES AND ETHNICITIES AND PROVIDE HOUSING SUITABLE TO RESIDENTS WITH SPECIAL NEEDS

- **LAND USE PRINCIPLE: INCLUDE A MIX OF HOUSING TYPES AND DENSITIES WHERE APPROPRIATE WITHIN EACH VILLAGE THAT SUPPORT A BROAD RANGE OF LIFESTYLES.**

This Luna Azul proposal recognizes both the benefits of living in a walkable, traffic-free neighborhood, as well as the importance and complexity of providing suitable housing for individuals with all variants of life limitations, amidst a current shortage of such housing across the nation. While “pocket neighborhoods” of cottage homes exist elsewhere in the country, there is currently no community in Arizona providing self-contained cottage living arrangements like that proposed here. This project is also unique because it offers not only permanent home ownership in a quiet, neighborhood of peers, but also flexibility and self-determination that is not often available to these residents and their families.

Unlike other housing options for this audience, residents at Luna Azul and their families will: (i) have the permanence, cost certainty and equity benefits that come with home ownership; (ii) the flexibility and self-determination that comes with choosing and replacing their own caregivers and roommates; and (iii) the social opportunities and peace of mind that comes with living among like-minded neighbors.

Like any neighborhood, Luna Azul will accommodate all manner of residents, including not only those with intellectual and developmental disabilities, but also acquired disabilities, inherent functional limitations, and anyone seeking the unique benefits of Luna Azul's neighborhood living. Further, because homes at Luna Azul will be individually owned, residents and their families, like home owners everywhere, will make their own determinations regarding: whether and how much services they care to have delivered in to their homes and by whom; the selection of housemates, daily activities and schedules; and regarding permanent improvements and alterations to their homes to fit their specific needs.

- **A MEASURE OF SUCCESS: INCREASE THE NUMBER OF PERMANENT SUPPORTIVE HOUSING UNITS FOR RESIDENTS WITH SPECIAL NEEDS, CONSISTENT WITH THE CITY'S FIVE YEAR CONSOLIDATED PLAN.**

Luna Azul perfectly fulfills this measure of success by providing supportive housing options to residents with special needs and their families in a way that has never before been envisioned in Phoenix. This proposal will help fill a growing need for long-term housing options that provide safe areas and amenity rich services that fill the specific needs of a population that is grossly underserved. This PUD will provide a new solution for families to live in close proximity, and will allow adults with special needs to gain more independence and thrive in a neighborhood of like-minded residents.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CONNECTED NEIGHBORHOODS: GOAL - ENSURE CONNECTIVITY TO RESOURCES AND SERVICES FOR NEIGHBORHOODS AND COMMUNITIES

- **LAND USE PRINCIPLE: PROVIDE NEIGHBORHOOD-BASED SOCIAL SERVICES (SENIOR CENTERS, HEAD START PROGRAMS, JOB TRAINING, COUNSELING) APPROPRIATE TO THE AREA'S NEEDS IN CONVENIENT FACILITIES COMPATIBLE IN SCALE AND CHARACTER WITH THE SURROUNDING NEIGHBORHOOD.**

Luna Azul will help the city maintain the high quality of life, the connectedness among neighbors, and the economically healthy community environment its residents and planners want and deserve. At the PUD, social, recreational, vocational, educational and routine services may all be available within walking distance (i.e., no additional

car trips will be required), in Luna Azul's Center House. These amenities, including social services specifically designed to meet the needs of Luna Azul residents, may be, but need not be conveniently delivered on-site. The delivery method of these services and the overall community design are compatible with the scale and character of the surrounding community.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; HEALTHY NEIGHBORHOODS

- **LAND USE PRINCIPLE: PLAN AND DESIGN COMMUNITIES AND NEIGHBORHOODS TO BE PEDESTRIAN FRIENDLY AND WALKABLE.**

Luna Azul has intentionally been designed to include safe and comfortable pedestrian walkways and gathering spaces throughout the community. While most residential communities are designed with a primary focus on the residences themselves, Luna Azul is instead designed to encourage residents to spend time in outdoor open spaces, and thereby have more opportunities to connect with others. Instead of merely waving to unknown neighbors from the car or garage, Luna Azul's residents and their guests will commonly walk past one-another, allowing for neighborly interactions not present in typically-designed communities.

Safety is an especially important objective given the nature of Luna Azul's purpose. The community will have the capacity to be gated, and the interior roadway will be comprised of a single loop around the Center House. The interior private drive is centrally located to ensure residents can walk around the community without the typical concerns associated with pedestrian travel in proximity to streets. Each housing cluster includes landscaped courtyards, large front porches, ample shaded walkways, shade structures in central open space areas where appropriate, and clearly marked pedestrian pathways to the Center House with a path of travel crossing the private drive only once. The unique elements of Luna Azul meet and exceed the General Plan's healthy neighborhoods land use principle.

E. ZONING AND LAND USE COMPATIBILITY

The City of Phoenix General Plan prioritizes, among other things, the development of housing for citizens with special needs. This proposed PUD will complement the existing area development and uses, while at the same time providing housing for this underserved population. See existing zoning map on page 49.

The Property is currently zoned C-O / G-O with a height waiver up to 2-stories and 30-feet. To the north, across the Loop 101 Freeway, and to the east of the Property is

desert preserve land zoned RE-43 and R1-8. To the south is a single-family residential development zoned R1-8. To the west is one single-family residence and one vacant parcel zoned R1-8. The development pattern in the area is comprised of single family residential subdivisions to the north and south of the Loop 101 Freeway.

This PUD is within Segment 4 of the Outer Loop Freeway Specific Plan area (the “Plan”). The purpose of the Plan is to mitigate negative effects of the Loop-101 Freeway on neighborhoods. Luna Azul meets many of the goals of the Plan elements which include Land Use, Circulation, Noise, Safety, Neighborhood Enhancement and Recreational Trails and Bikeways. Luna Azul meets policies in the Land Use element by maintaining low to medium density residential uses in the general area to transition into the open space. The right-of-way improvements that will be required along Wahalla Lane as part of the Luna Azul development will help satisfy the Circulation element of the Plan by enhancing access to the school along 16th Street. Lighting will be provided within Luna Azul to meet the Safety element of the Plan, but will not be excessive adjacent to residences. Additional landscaping will be permitted within each rear yard that will meet the Neighborhood Enhancement element of the Plan.

This development will help meet the growing market demands for this population segment and their families. This PUD is in line with the recommendations of the Plan and complementary to the uses adjacent to this PUD. The nearby outdoor recreational amenities help support the City’s General Plan priorities. See proposed zoning map on page 50.

F. LIST OF USES

1. PERMITTED USES

Single and multi-family residential uses and home occupations per section 608 of the Phoenix Zoning Ordinance

2. TEMPORARY USES

Temporary uses shall be subject to Section 708 of the Phoenix Zoning Ordinance.

3. ACCESSORY USES

Accessory uses shall be subject to Section 608 of the Phoenix Zoning Ordinance. Accessory uses as resident-related amenities shall include but are not limited to the following:

- Visits by off-site service providers by appointment
- Crafts and classes
- Culinary events
- Indoor and outdoor activities
- Resident gardens/plantings
- Resident transport

G. DEVELOPMENT STANDARDS

It is the purpose and intent of the provisions defined within this PUD to promote the development of a residential development designed to provide independent living to adults with life limitations. The provisions of this PUD will ensure compatibility with surrounding properties. The Luna Azul development standards and design guidelines are reflective of the unique environment envisioned for the project.

Development of the Luna Azul project shall comply with the provisions governed by the Phoenix Zoning Ordinance, unless modified by this PUD. This provision shall not limit the ability of the applicant or end user to apply for use permits which can be requested per Section 608 of the Phoenix Zoning Ordinance and not identified by this PUD. If there are conflicts between specific provisions of this PUD and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. This PUD only modifies Phoenix Zoning Ordinance regulations and does not modify other Phoenix City Codes or requirements.

1. DEVELOPMENT STANDARDS TABLE

DENSITY (GROSS)	MAXIMUM 30 D.U. 6.80 D.U. / ACRE	
MINIMUM PERIMETER BUILDING SETBACK STANDARDS	NORTH (STREET): SOUTH (STREET): EAST (STREET): WEST (PROPERTY LINE):	10' 8' 10' 10'
MINIMUM PERIMETER LANDSCAPE SETBACK STANDARDS	NORTH: SOUTH: EAST: WEST:	0' 8' 10' 0'*

BUILDING HEIGHT	MAXIMUM	30'
LOT COVERAGE	MAXIMUM	40%
COMMON AREA	MINIMUM	10%
STREET STANDARD	PRIVATE DRIVE	

*A minimum of eight (8) trees shall be dispersed within the private yards along the west property line.

2. LANDSCAPE STANDARDS

The development shall be in general conformance with the conceptual landscape plan provided within this Planned Unit Development. The plant palette will be composed of desert adapted trees, shrubs, accents, and groundcover to be located internally and along the internal street. See conceptual landscape plan on page 29.

This PUD is designed to include streetscape trees to provide various benefits within an urban residential development. Not only do they provide an aesthetic quality by creating a transition from the street into the developed neighborhood, but they also provide shade for pedestrians while reducing heat build-up, which is common in desert streetscape environments. Trees should be close enough together to provide a continuous canopy of foliage and therefore, more consistent shade and cooling effects. Shrubs will also be planted to enhance the streetscape environment. The streetscape plantings will reflect the Sonoran desert by including species native to the region. This is an environmentally conscious decision, thus avoiding the amount of unnecessary water that non-native, or adapted species would require. Automatic irrigation will be added to ensure quality life for all planted species.

TREES	STREET & PERIMETER: 50% MINIMUM 2-INCH CALIPER, 25% MINIMUM 3-INCH CALIPER, AND 25% MINIMUM 4-INCH CALIPER TREES SPACED 20-FEET ON CENTER OR EQUIVALENT GROUPINGS
SHRUBS	STREET & PERIMETER: MINIMUM FIVE 5-GALLON SHRUBS PER TREE

3. WALLS AND FENCES

All screen walls and fences shall comply with Section 703 of the Phoenix Zoning Ordinance except that a taller wall may be permitted along the north property line, at the developer's election, to provide better noise mitigation from the freeway. The maximum perimeter wall height on the west, south and east property lines will be 6-feet. The maximum perimeter wall height along the north property line, adjacent to the freeway, will be 10-feet or as determined by a sound study. The maximum wall height between the driveway ingress and egress points, adjacent to the guest parking, shall be four-feet.

4. PARKING

The parking for this PUD shall comply with Section 702 of the Phoenix Zoning Ordinance. Approximately 17 covered parking spaces (2 accessible) are provided on the site plan and may eventually include more in the future. Sixty-eight (68) parking spaces will be provided, which will be more than sufficient to meet the parking demands on the site. All resident parking spaces are located along the internal private drive to provide the most efficient use of the site and safety for residents. Some of the parking spaces may be reserved for residents and staff. When reserved parking is provided, unreserved guest parking spaces shall be provided. Loading areas shall be provided within the parking area between the driveways, and may be used as guest parking when not being used for loading. Parking will be provided as shown in the site plan on page 26.

PARKING REQUIRED

1.5 SPACES PER 2 BEDROOM UNIT; 2 SPACES PER 3 BEDROOM UNIT OR MORE;
GUEST PARKING (IF RESERVED SPACES): 0.5 SPACES PER 2 BEDROOM UNIT; 1.0 SPACE PER 3 BEDROOM UNIT OR MORE

NOTE: ANY UNRESERVED PARKING SPACES REQUIRED BY THIS PUD MAY BE COUNTED TOWARD THE TOTAL REQUIRED PARKING COUNT.

PARKING PROVIDED

STANDARD (ONSITE)	59
COMPACT (ONSITE)	5
ACCESSIBLE (ONSITE)	4
TOTAL PARKING PROVIDED	68

5. AMENITIES

The following amenities shall be provided:

- **Features.** Fully functional kitchens, bathrooms, separately controlled utilities, as well as many practical safety and design features for the unique needs of adults with disabilities.
- **On-Site Amenities.** Impeccably landscaped grounds and outdoor gathering spaces with a water feature and a ramada; an outdoor pool; a community garden; and ample parking for residents, staff, guests and service providers. A Center House is also planned that may include less than, but no greater than, 8,000 square feet.
- **Management.** Determined by Homeowners' Association.
- **Activities.** Classes, events, and activities organized and supervised by qualified staff could include family-styled theme dinners, game nights, movie nights, Friday night socials, group excursions, and more.
- **Service Providers.** Support services principally will be provided to individual residents by qualified service providers.

6. SHADE

A reasonable amount of shade will be provided for protection from the sun and heat along pedestrian walkways using trees and trellis structures. Additionally, a minimum of one covered Ramada will provide increased protection and comfort in both courtyard areas. Residences will have room-sized covered porches that are a minimum 160 square feet. The community Center House will have a deep arcade, covered outdoor sitting room, large covered front porch, as well as a trellised area adjacent to the pool and shade trees surrounding in the courtyard. Carport shade structures are proposed in the parking areas.

7. LIGHTING PLAN

Minimization of light pollution for the protection of nighttime views is an important component of the design theme for the project, as well as for the adjacent neighboring properties. In response, all exterior lighting for common open space areas, development entries, and adjacent to the internal street will comply with the Dark Sky Ordinance, Section 23-100, Phoenix City Code. Exterior lighting will meet or exceed provisions set forth in Article VII: Shielding and Filtering Outdoor Lighting, and Section 704: Environmental Performance Standards of the Phoenix Zoning Ordinance.

H. DESIGN GUIDELINES

The purpose of Luna Azul PUD Design Guidelines is to describe the design intentions and character for the proposed community. Luna Azul will offer the impression of a well-considered residential community that contributes to the surrounding neighborhood. It will clearly not feel institutional.

The site will be laid out with two pocket neighborhood residential clusters, oriented around shared common areas, and connected by walkways to the central community building.

OUTER APPEARANCE AND ENTRY

While driving by, the general public will first see southwest style residential buildings behind a perimeter wall and landscaping. An opening in the wall will reveal the Center House, appearing like a well-appointed larger home, with a welcoming front porch and double-entry doors. Design features may include earthen-colored walls and clay-tile roofing. Guests and short-term visitors will enter a looped drive and be visually directed to parallel parking spots or angled parking tucked from street view by a screen wall and landscaping, and then to the main entry of the building. Residents and staff will follow a drive to the side of the building, perhaps through a gate, to a larger looped drive and additional parking. See conceptual building elevations, conceptual renderings and street cross section on pages 31, 34 and 36.

- Buildings maybe Southwest Style, and may include earthen-colored wall surfaces and gabled- and hipped-roof forms.
- Provide a screened three- to five-foot solid perimeter wall and landscaping at the entrance to the community adjacent to the parking spaces.
- Provide residential and staff parking spaces within the inner loop drive.

The physical design of Luna Azul is intended to foster connections and caring relationships among neighbors, while respecting and preserving each person's need for privacy. The first among several design patterns to support these goals is the Scale of Sociability. To achieve this, each pocket neighborhood has a limited number of homes so residents will have a comfortable number of neighbors they can know and relate with on a daily basis.

- Residences shall be arranged in clusters numbering no more than 16 homes.

Each common area will feature a water element as a focal center of the courtyard. While the two clusters are similar, the proportion of the courtyards will be different, as will the selection and positioning of buildings, and the configuration of lawn, trees and gathering spaces.

- Each cluster shall be surrounded with a solid perimeter wall measuring a maximum of six-feet high when adjacent to a street and maximum of four-feet high interior to the Property along the private inner loop drive.
- Entrances to each cluster shall be demarcated with a gateway which may include a trellis, capped pilasters, or some other decorative feature.
- Each courtyard shall have a minimum of one water feature.
- The clustered courtyards shall have different designs, which will be achieved by using proportion, positioning of buildings and configuration of landscaping and gathering spaces to create two unique spaces.

Another key pattern for balancing community and privacy is having layers of personal space.

- Transitions between public and private spaces shall be articulated with design features such as a trellised gateway, landscaped planting border, low wall and porch.
- Each residence shall have a porch positioned between the shared commons and the active interior living space, with a minimum area of 160 square feet and a minimum dimension of 8 feet.
- Each residence shall have a private outdoor area to the rear of the unit.

All residences will be designed as nested houses with open and closed sides that prevents neighbors from peering into one another's living space.

- Each residence shall be designed so that no window peers into the living space of adjacent dwellings closer than 25 feet apart. This may be accomplished by design approaches such as window position or provision of translucent glass.

To provide clear spatial orientation, especially needed for some people with developmental disabilities.

- Courtyard clusters shall be linked with a straight walkway to and through the Center House.

The Center House is the shared living room of the community, a place for gatherings, occasional shared meals, movie nights, and recreational and social activities. Staff offices and supportive services have spaces in the building. Design-wise, it is the main building – largest in size and centrally positioned, further reinforcing orientation within the community, and a clear point of arrival for guests.

- A shared community building shall be provided for the use of residents, staff and guests, and positioned centrally between the two residential clusters.

The community may have a secured entrance, perimeter fence and 24-hour, on-site staffing. Community support services and activities may be augmented by other state funded programs and volunteer organizations.

BUILDING MATERIAL AND FORM

Residential buildings and the Center House shall be traditional Southwest Style.

- Residential and community buildings shall be one- or two-story forms with gabled or hipped roofs, deep porches, and with earthen-colored wall surfaces.
- Windows shall be vertically proportioned.
- Carports may have flat roofs.

I. SIGNS

All sign provisions shall comply with Section 705: Signs of the Phoenix Zoning Ordinance. Luna Azul requests only a single entrance sign that does not exceed the City of Phoenix regulations. This sign shall be compatible with the design of buildings and site, reflecting the architectural style, building materials, textures, colors, and landscape elements of the project.

J. SUSTAINABILITY

Leadership in Energy and Environmental Design (LEED) Green Building Rating System is presently a voluntary standard for developing high-performance sustainable neighborhoods, and energy and resource efficient buildings that are healthy for its occupants. Developers of the Luna Azul property are intent on incorporating these standards where practical. Key design elements to be reviewed in accordance with the LEED philosophy include water efficiency, energy and atmosphere, materials and resources, indoor environmental quality, innovation, and awareness and education.

Similarly, the voluntary City of Phoenix Green Construction Code further promotes environmentally responsible and sustainable development practices. Fundamental and complementary principles of energy efficient building design, water resource conservation, light pollution control and indoor environmental quality will be considered for all new construction within the PUD. Sustainability concepts also recognize that projects should seek to integrate within and conform to the character of the existing community and environment.

Luna Azul shall incorporate sustainability principles through consideration and implementation of at least five (5) of the following Design Review Presumptions, or

other sustainability principles will be identified on the preliminary approved and final site plan:

- A. Building designs should respond to the harsh southwest climate by incorporating materials and design methods suitable for the region.
- B. Design for effective water usage and conservation methods in buildings by using low flow 'Water Sense' qualified plumbing fixtures using minimal amounts of potable water.
- C. Inclusion of energy efficient certified appliances in all dwelling units for reductions in on-going power consumption.
- D. Incorporate "Smart" irrigation control systems into the development application.
- E. Use roofing materials that specify a high Solar Reflectance Index for a minimum of 75% of the roof surface area.
- F. Buildings and structures will be in compliance with Section 1612 of the International Building Code. The floor elevation of the buildings, or portions of buildings intended for human occupancy, should provide a freeboard of not less than one foot above the design flood elevation.
- G. During construction on the building site, vegetation and soils should be protected and reused.
- H. Use paints and coatings on the interior of the building (i.e., inside of the weatherproofing system and applied on-site), including 90-percent or more of such products applied to interior surfaces of homes, will be certified low-VOC (volatile organic compound) or no-VOC by one of the following:
 - 1. Green Seal Standard GS-11; or,
 - 2. Greengard Certification for Paints and Coatings; or,
 - 3. Scientific Certification Systems (SCS) Standard EC-10.2-2007, Indoor Advantage Gold; or,
 - 4. Master Painters Institute (MPI) Green Performance Standards GPS-1 or GPS-2; or,
 - 5. A certifiable third-party low-emitting product list.
- I. Promoting human comfort for the PUD area and maximizing protection from the sun and heat, a minimum of one gazebo, covered porch are provided.
- J. Respecting the arid desert context, a combination of porches, patios or courtyards are included in the development plan.
- K. Site hardscape areas, including vehicular access ways, should be minimized to the extent possible to reduce drainage runoff and minimize heat gain.
- L. A minimum of 50 percent of newly landscaped areas within common and buffer areas should contain native species.

- M. Prior to occupancy, the entire building will be flushed with fresh air prior to occupancy but after all phases of home construction are completed. The entire building will be flushed for at least 48 total hours, keeping all interior doors open. HVAC air filters will be replaced or cleaned after flush, as necessary.
- N. Convenient access to public transportation to reach employment, social, recreational, and cultural opportunities.
- O. Recycling for multi-family developments
- P. LED Lighting

K. INFRASTRUCTURE

1. CIRCULATION

The PUD is designed with individual 20-foot wide ingress and egress connections to Wahalla Lane. Guest circulation is designed to enter through the easterly entrance and circulate through the drive aisle and parking lot on the south side of the PUD, which is non-gate restrictive. Guest circulation then progresses to the westerly exit to Wahalla Lane. Guest parking will be located within this drive aisle, as well as along Wahalla Lane. Resident, emergency service, and refuse vehicle circulation will utilize the same ingress point as guests, and will proceed through a 20-ft wide drive aisle that meets City of Phoenix Fire Code Standards. The drive aisle will contain on-site parking spaces for use by the residents, staff, guests, and service providers, and will loop through the site and exit through the westerly driveway to Wahalla Lane. See circulation plan on page 52.

The interior private drive is centrally located to ensure residents can walk around the community without the typical concerns associated with pedestrian travel in proximity to streets. Luna Azul has intentionally been designed to include safe and comfortable pedestrian walkways leading from each unit to within the clusters surrounding the open spaces, and leading to the Center House. Each housing cluster includes clearly marked pedestrian pathways to the Center House with a path of travel crossing the private drive only once.

2. GRADING AND DRAINAGE

Grading and Drainage for the site will follow the guidelines set forth by the City of Phoenix' Storm Water Policies and Standards Manual. Storm water runoff generated by the 100-year 2-hour storm event will be retained on-site via surface basins or underground storage systems. All stored storm water runoff will be required to dissipate within a 36-hour period.

Off-site storm water runoff is not anticipated to impact the site; however, if during the course of design off-site flows are discovered, the flows shall be accepted and

discharged in the same manner and location that existed prior to development, with no increase in runoff occurring.

This site will also follow Arizona Department of Environmental Quality and City of Phoenix guidelines for Storm Water Management. A Notice of Intent (NOI) and Storm Water Management Plan (SWMP) will be prepared and approved, in order to limit downstream storm water pollutants from exiting the site.

3. WATER AND SEWER

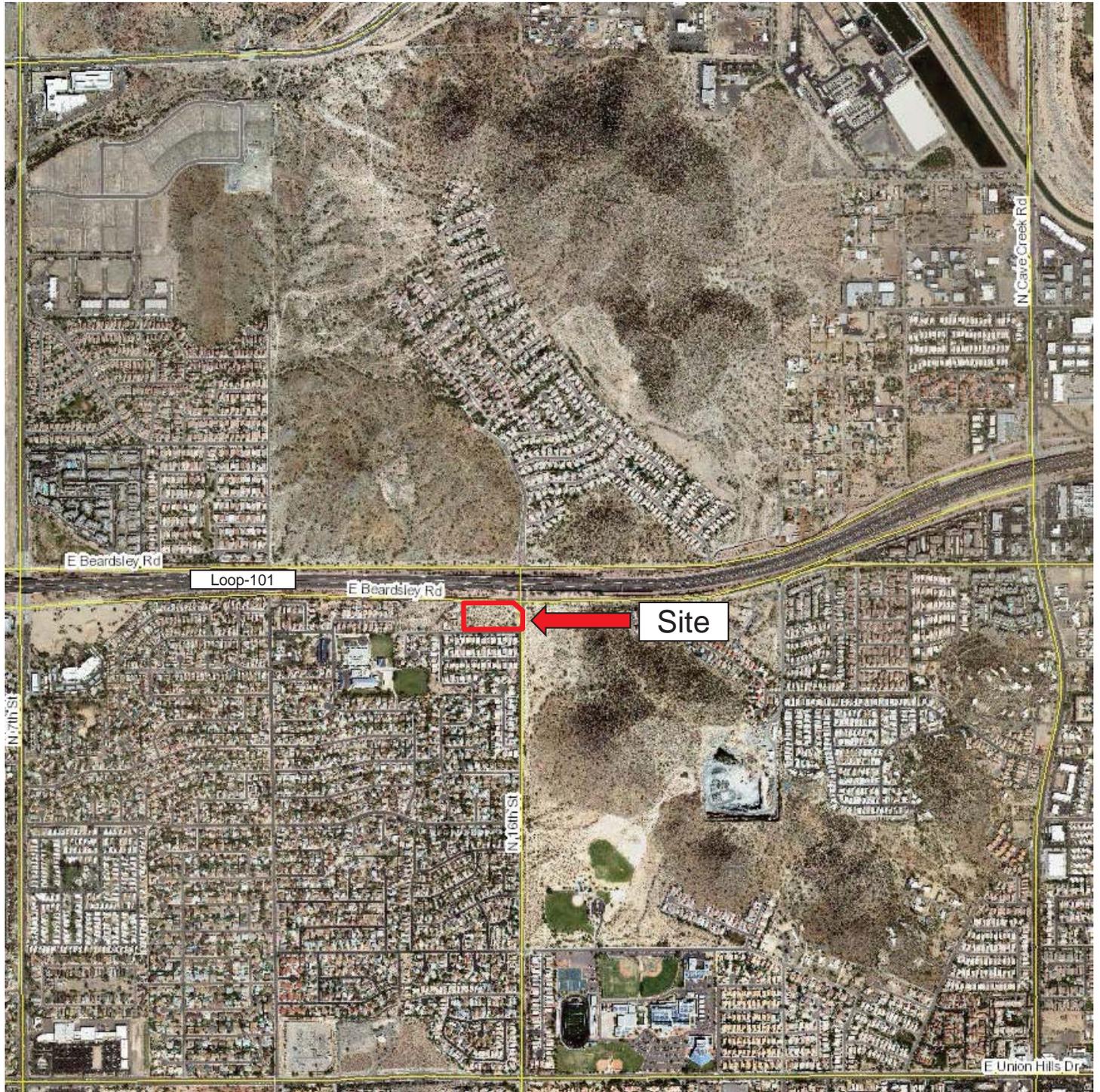
The City of Phoenix will be the water and sewer provider for the PUD. The onsite water, sewer and fire systems will be private, with proposed connections to the public water and public sewer mains located within Wahalla Lane. An 8-inch public water main, and 8-inch sewer main currently exist adjacent to the site. The City has expressed adequate capacity within these lines, and off-site water and sewer extension shall not be required.

The on-site water and sewer system will follow the Uniform Plumbing Code standards, while the on-site fire system will follow the International Fire Code, with City of Phoenix supplements. The proposed gates, if included, will also follow the City of Phoenix Fire Code.

L. PHASING PLAN

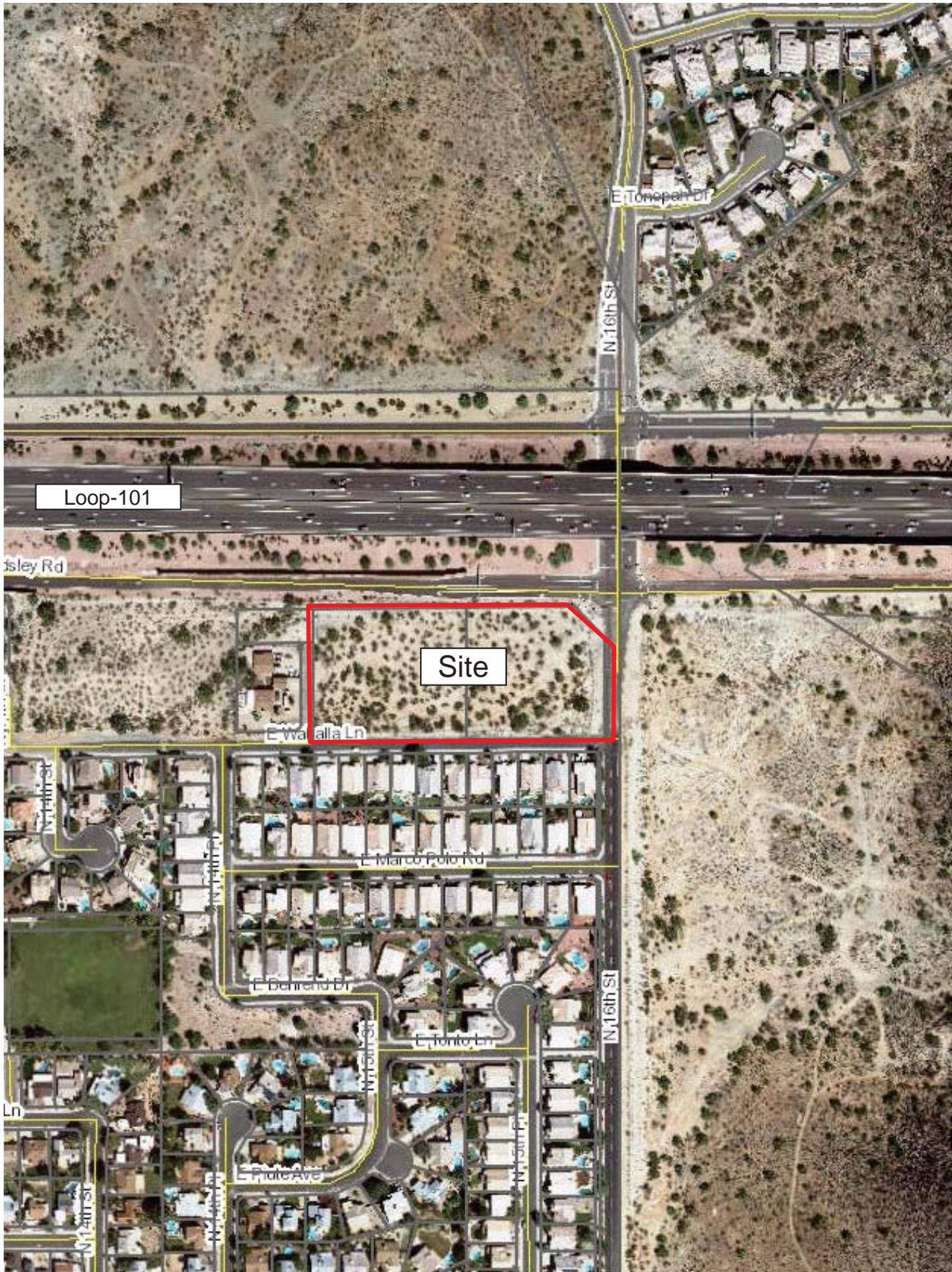
It is anticipated that initial improvements will include the Center House and swimming pool, open space amenities, perimeter walls and landscaping, and the completion of the adjacent public improvements. Individual residential buildings (together with the necessary site work for those buildings) will be developed within the Property as market conditions warrant. See phasing plan on page 54.

Area Vicinity Map



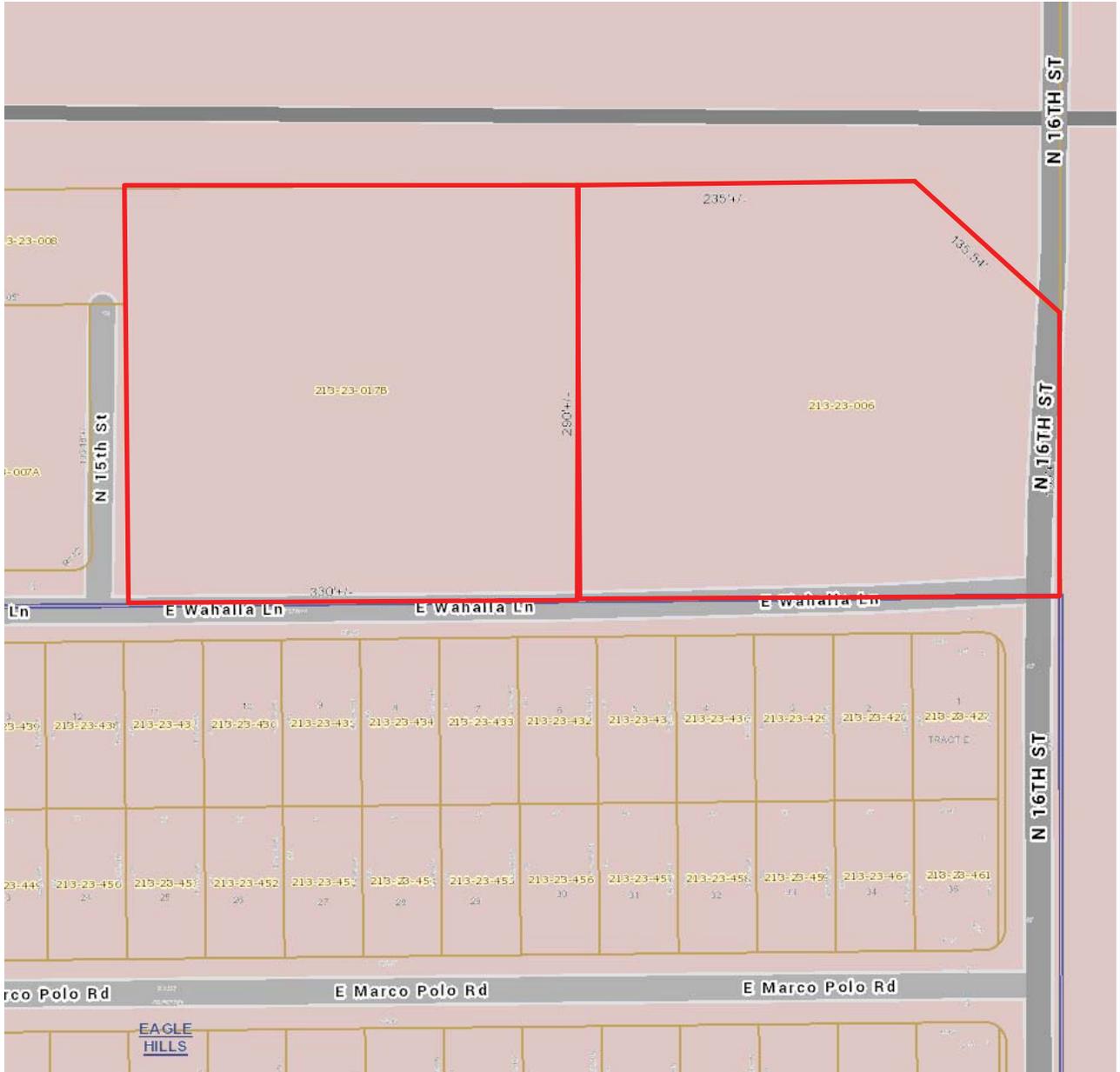
N

Aerial Map



N

Parcel Map



Conceptual Site Plan



- shared common area
- limited use area (private yard)
- landscape area for public benefit
- private residence
- common buildings
- covered parking and utility structures

Conceptual Landscape Plan

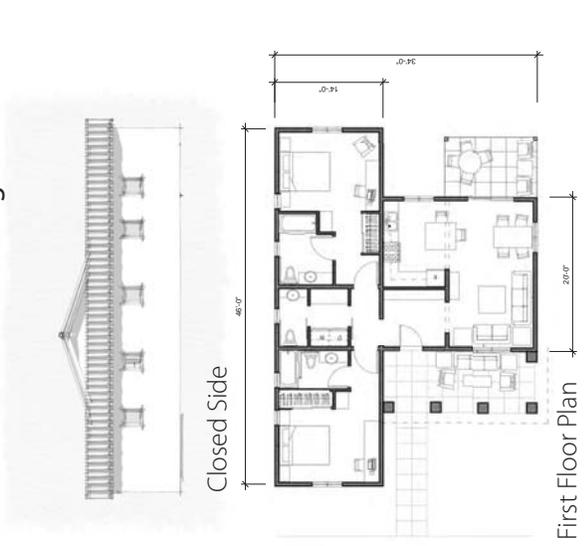


LUNA AZUL PLANNED UNIT DEVELOPMENT
 landscape design concept and artist rendering
 SJ Consulting, Inc. July 2016



Conceptual Building Elevations

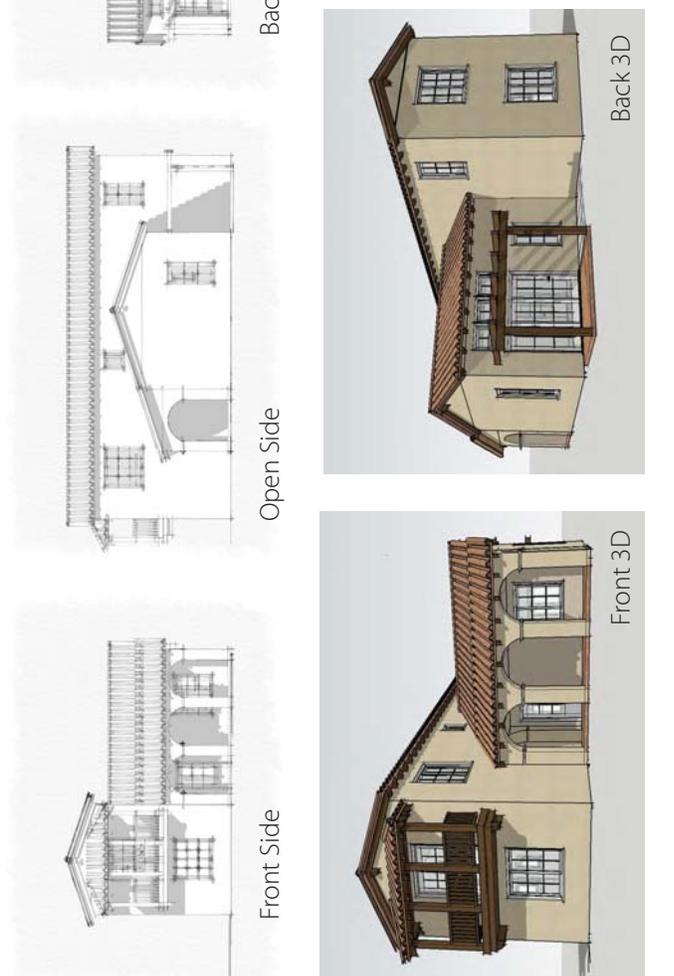
Building Plan 1S 1053



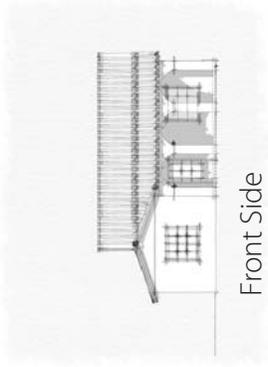
TYPICAL EXTERIOR MATERIALS
 Clay tile roofing
 Stucco
 Stained wood trellis and balconies
 Fiberglass or vinyl windows & patio door
 Natural wood front door
 Concrete or Saltillo tile pavers



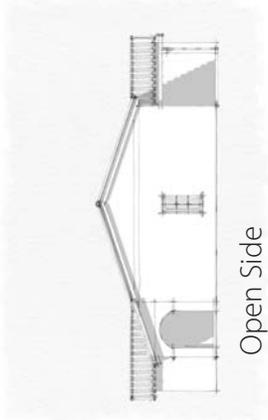
Building Plan 1S 1680



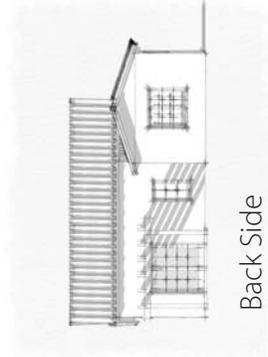
Building Plan 1S 1260



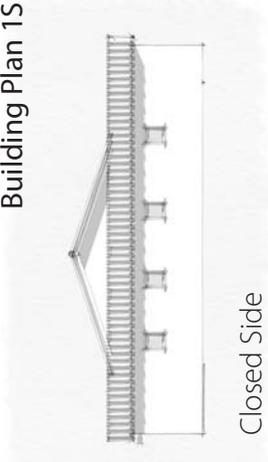
Front Side



Open Side



Back Side



Closed Side



Back 3D

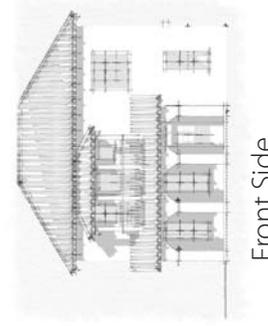


Front 3D

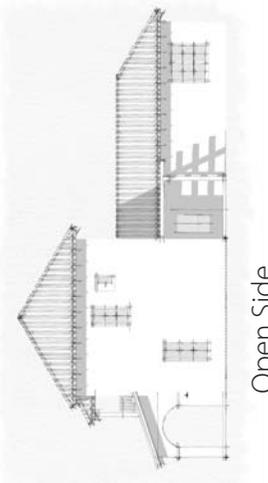


First Floor

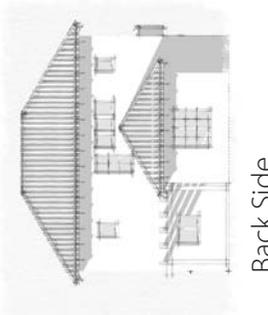
Building Plan 1S 1592



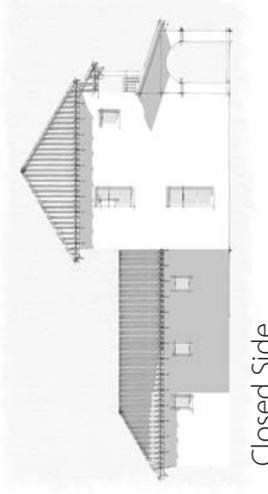
Front Side



Open Side



Back Side



Closed Side



Front 3D



Front 3D



Second Floor Plan



First Floor Plan



Scale

ROSS CHAPIN ARCHITECTS
 First Office: Box 230 • 195 Second Street • Langley, Washington 98260
 T: (360) 221-2373 • E: inquiry@rosschapin.com • W: rosschapin.com



CLIENT
 MARK ROTH
 ECC Management, LLC
 17865 Ballinger Way NE Seattle, WA 98155
 (206) 310-9034 • mrd@ecctagengmt.com

PLOT DATE
 2/8/2016
 REVISIONS
 M.M.D.D.Y.Y

PROJECT NO.
 1-000-01
 DRAWN BY
 R.C.K.L.

Preliminary Design: Residential Buildings
 Phoenix, Arizona
 Luna Azul

A1.0

Conceptual Renderings

Perspective Views - Concept Plan



CenterHouse Courtyard with East Court beyond



CenterHouse Entry with East Court beyond



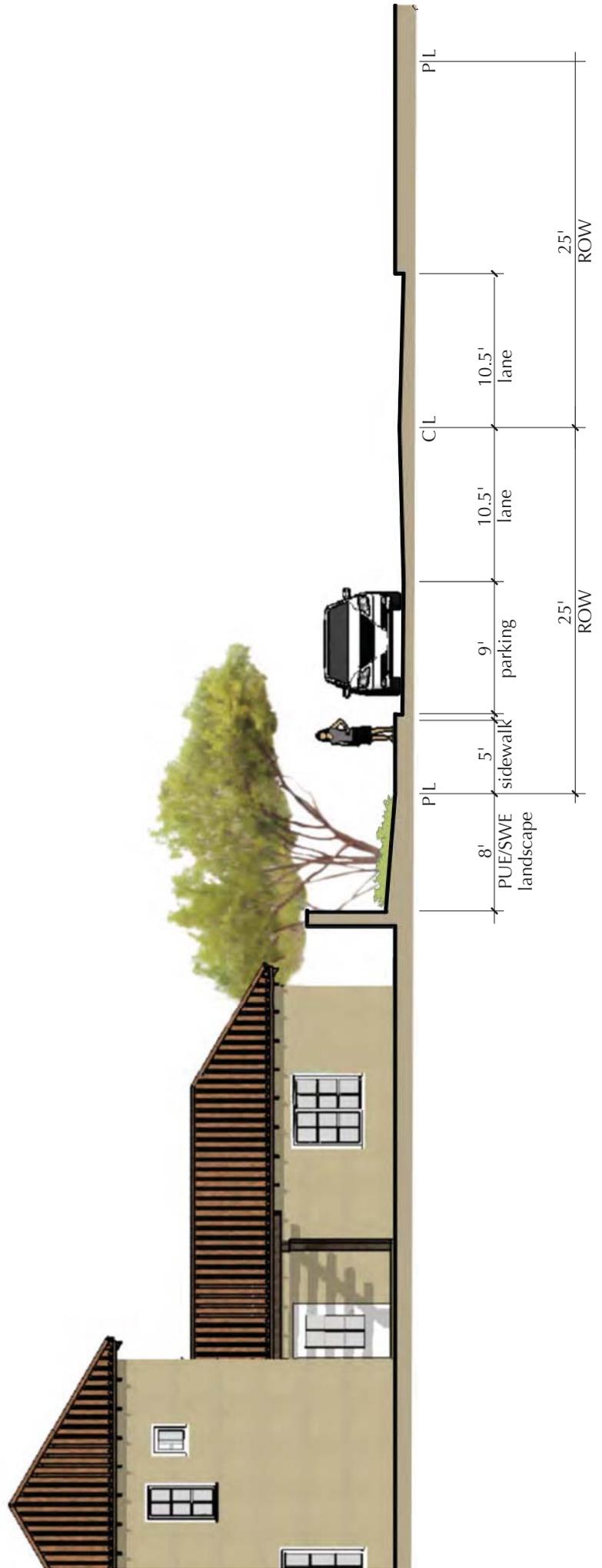
East Courtyard



CenterHouse at Street Entry



Street Cross Section



Street Section at Wahalla Lane



Legal Description

LUNA AZUL
LEGAL DESCRIPTION FOR RE-ZONING PURPOSES

A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA & SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT **TRUE POINT OF BEGINNING**, A CITY OF PHOENIX BRASS CAP FLUSH FOUND AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 28, FROM WHICH A 3/4 INCH REBAR FOUND AT THE EAST QUARTER CORNER OF SAID SECTION 28 BEARS SOUTH 00 DEGREES 00 MINUTES 57 SECONDS EAST 1981.28 FEET;

THENCE ALONG THE CENTERLINE OF WAHALLA LANE, SOUTH 89 DEGREES 29 MINUTES 00 SECONDS WEST 656.04 FEET;

THENCE DEPARTING SAID CENTERLINE, NORTH 00 DEGREES 13 MINUTES 33 SECONDS WEST 307.82 FEET TO A POINT ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF THE ARIZONA STATE ROUTE 101 FRONTAGE ROAD;

THENCE ALONG SAID RIGHT-OF-WAY LINE, SOUTH 89 DEGREES 00 MINUTES 00 SECONDS EAST 562.25 FEET;

THENCE DEPARTING SAID RIGHT-OF-WAY LINE SOUTH 44 DEGREES 30 MINUTES 29 SECONDS EAST 135.53 FEET TO A POINT ALONG THE EAST LINE OF SAID SECTION 28;

THENCE ALONG SAID EAST LINE SOUTH 00 DEGREES 00 MINUTES 57 SECONDS EAST 195.43 FEET TO THE **TRUE POINT OF BEGINNING**.

SAID PARCEL CONTAINING 191,888 SQUARE FEET OR 4.41 ACRES, MORE OR LESS.



EXPIRES 12/31/18

Context Plan

16th STREET & STATE ROAD 101 COTTAGE HOMES

Context Plan

Photographs



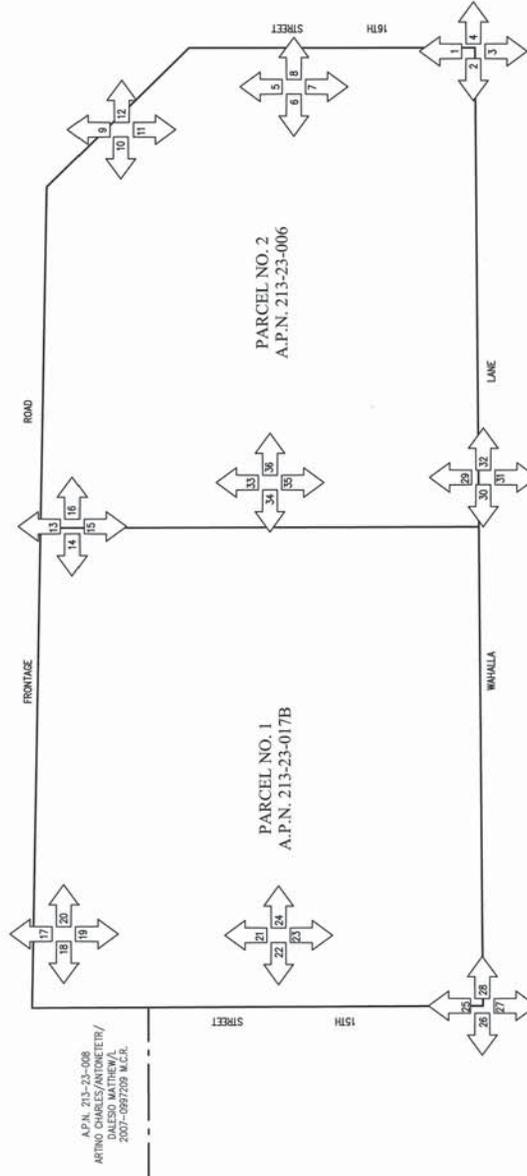
EXPIRES 12/31/2015

Prepared by:
Hoskin • Ryan Consultants, Inc.
6245 N 24th Parkway, Suite 100
Phoenix, Arizona 85016
(602) 252-8384

Prepared for:
LUNA AZUL DEVELOPMENT FUND, LLC
17865 Ballinger Way NE
Seattle, WA 98155
(206) 310-9034

CONTEXT PLAN FOR LUNA AZUL 16TH STREET & STATE ROAD 101 COTTAGE HOMES

A PORTION OF THE NORTHEAST QUARTER OF SECTION 28
TOWNSHIP 4 NORTH, RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



A.P.N. 213-23-008
ARTURO CHARLES/ANTONETTA/
DALESO MATHEW/L
2007-0897209 W.C.L.

ENGINEER
HOSKIN RYAN CONSULTANTS, INC.
1000 N. 24TH AVENUE, SUITE 100
PHOENIX, ARIZONA 85016
TEL: (602) 252-8384
FAX: (602) 252-8385
CONTACT: MATTHEW A. MANGINI, P.E.
EMAIL: MATTHEW@HOSKINRYAN.COM

OWNER/DEVELOPER
LUNA AZUL DEVELOPMENT FUND, LLC
1000 N. 24TH AVENUE, SUITE 100
SEATTLE, WA 98105
TEL: (206) 316-9004
CONTACT: MARK ROHN

VICINITY MAP
NTS



Hoskin•Ryan Consultants, Inc.
creative engineering solutions
Office (602) 252-8384 | Fax (602) 252-8385 | www.hoskinryan.com
6245 N. 24th Parkway Suite #100 Phoenix, AZ 85016

REVISIONS:

LUNA AZUL, 16TH ST & SR101 COTTAGE HOMES
CONTEXT PLAN

DESIGNED: MM
DRAWN: STAFF
CHECKED: MM
DATE: 04-11-11
SHEET 1 OF 1
PROJECT NO. 15-076-01

DATE: 03/27/2011

DESIGNED: MM
DRAWN: STAFF
CHECKED: MM
DATE: 04-11-11
SHEET 1 OF 1
PROJECT NO. 15-076-01

Call at least two full working days before you begin excavation.

ARIZONA811
Arizona Blue Stakes, Inc.
Dial 8-1-1 or 1-800-548-5481 (722-5481) in Maricopa County; (602) 263-1100 in Maricopa County.

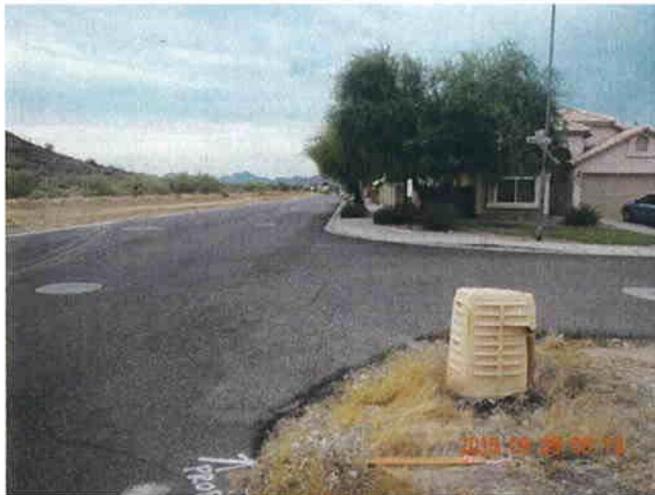
REMOVED BY	DATE
DRAFTED BY	DATE
CHECKED BY	DATE



1



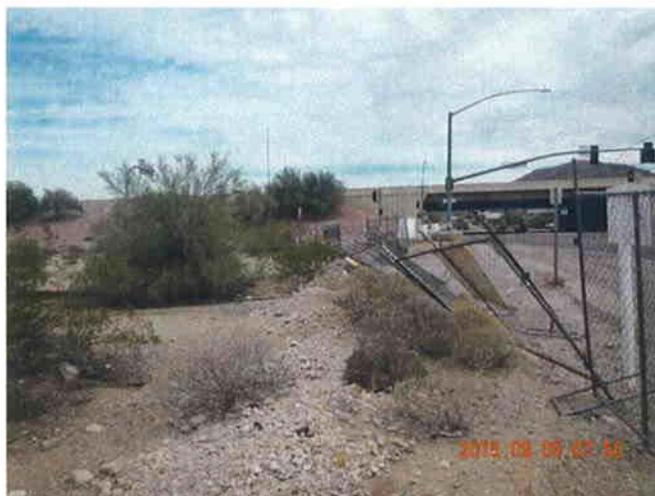
2



3



4



5



6



7



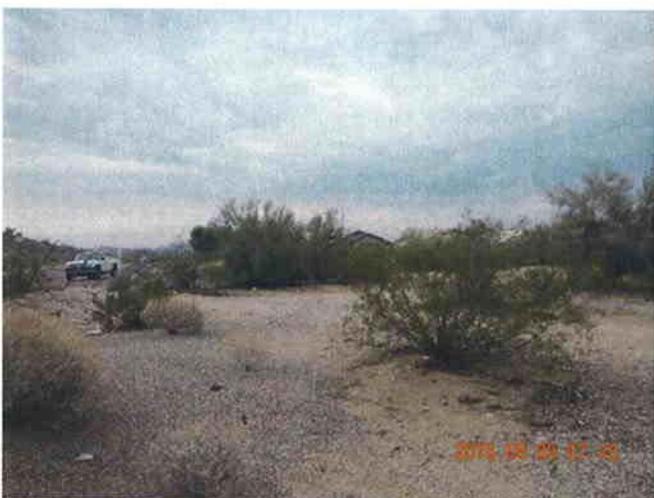
8



9



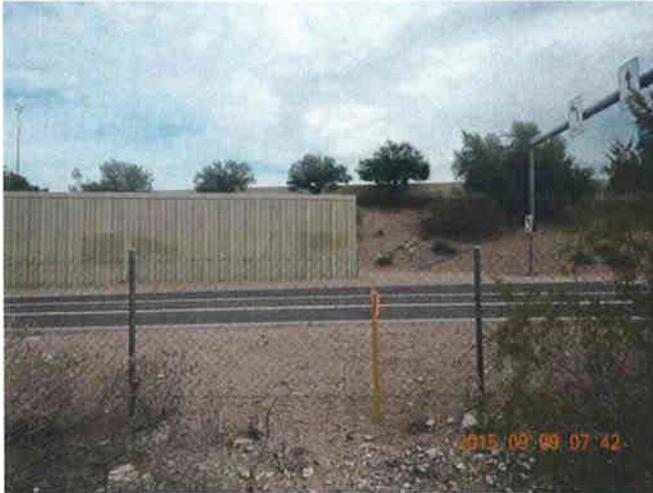
10



11



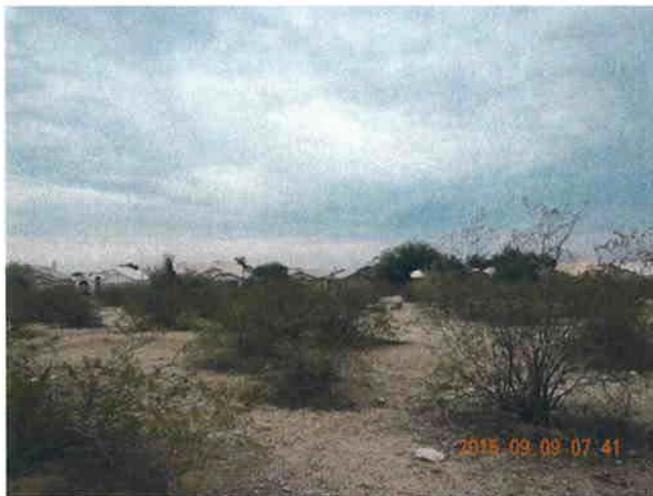
12



13



14



15



16



17



18



19



20



21



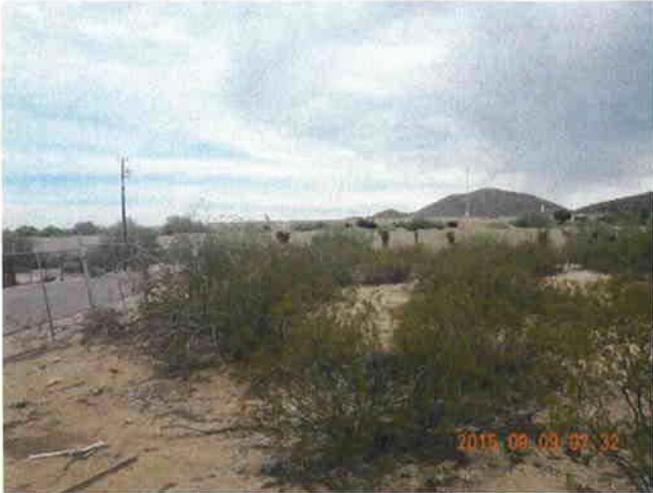
22



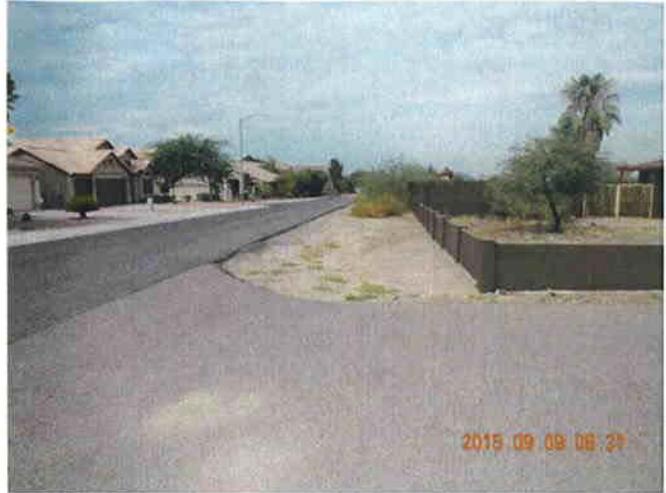
23



24



25



26



27



28



29



30



31



32



33



34

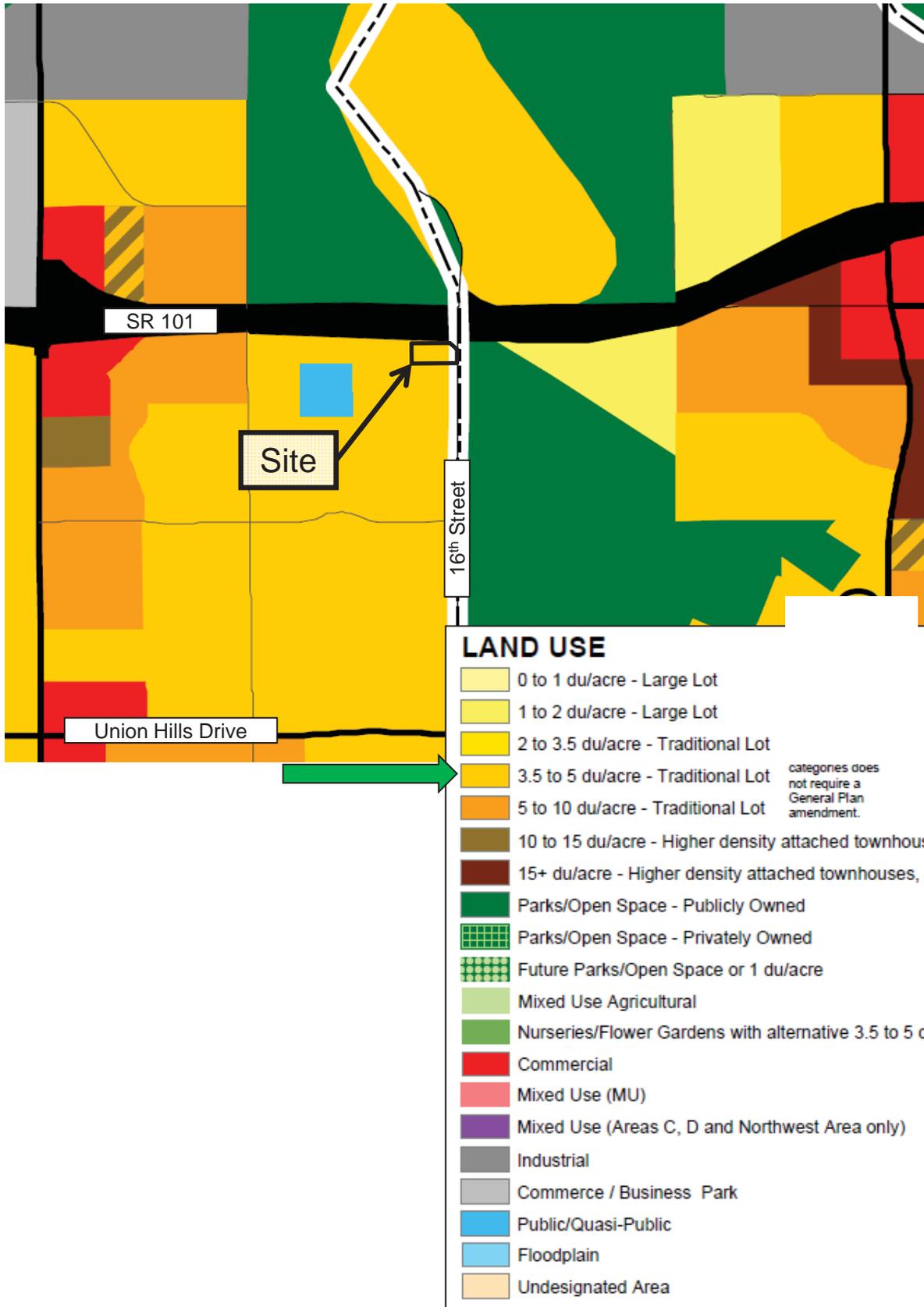


35

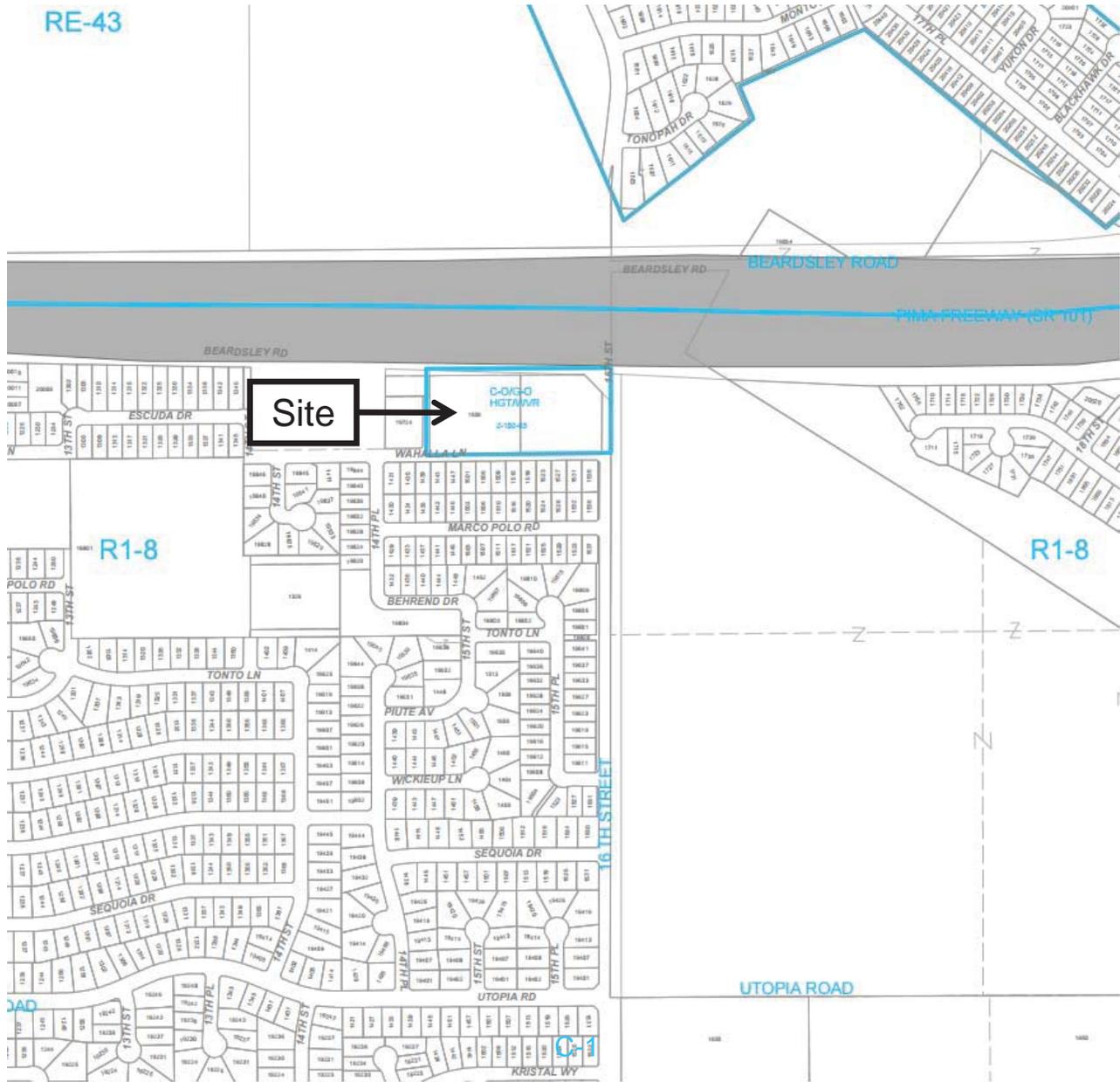


36

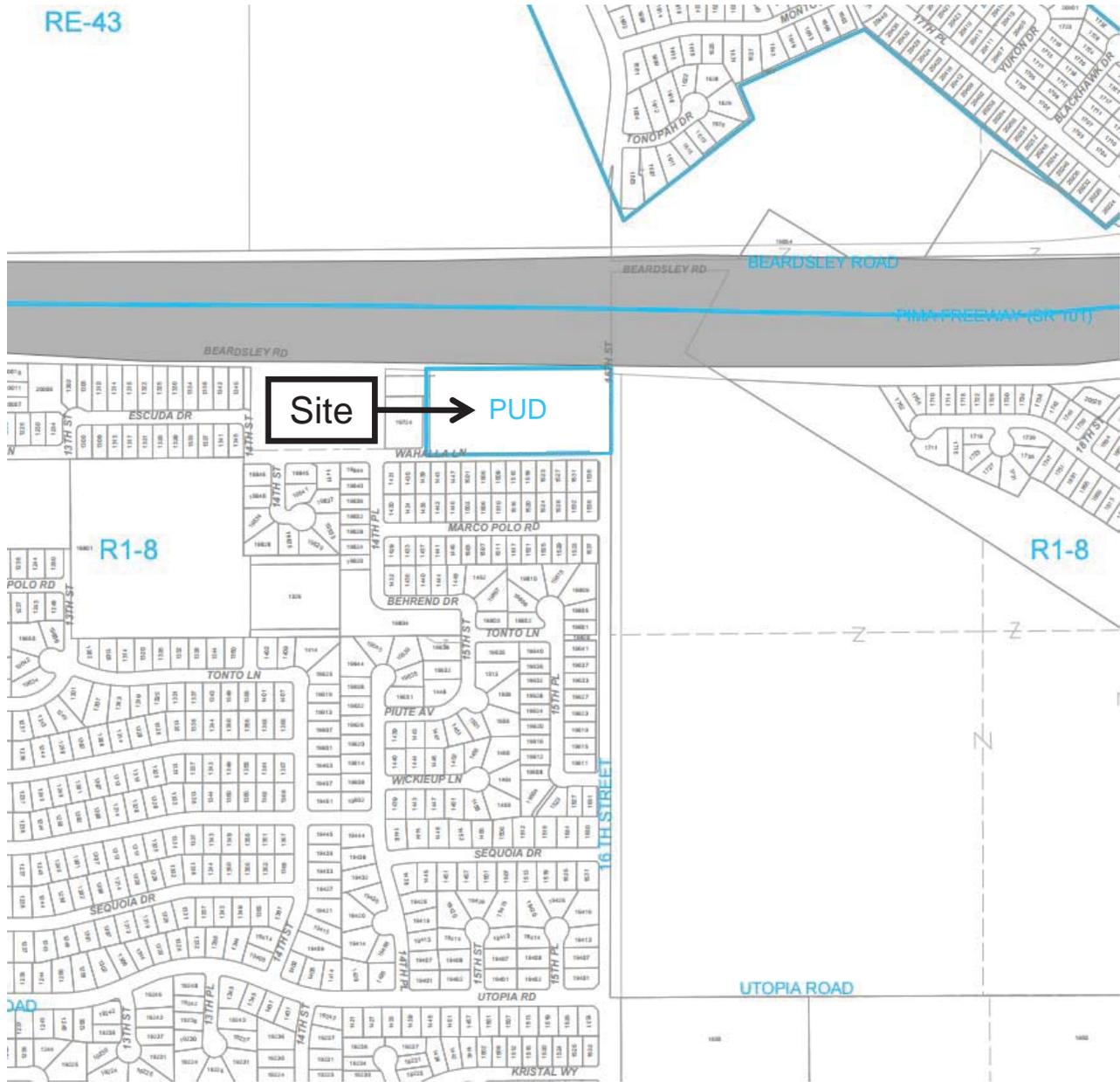
General Plan Map



Existing Zoning Map



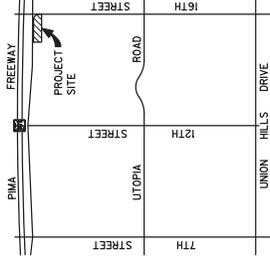
Proposed Zoning Map



Circulation Plan

**CIRCULATION PLAN
FOR
(LUNA AZUL)
16TH STREET & SR101
COTTAGE HOMES**

A PORTION OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.



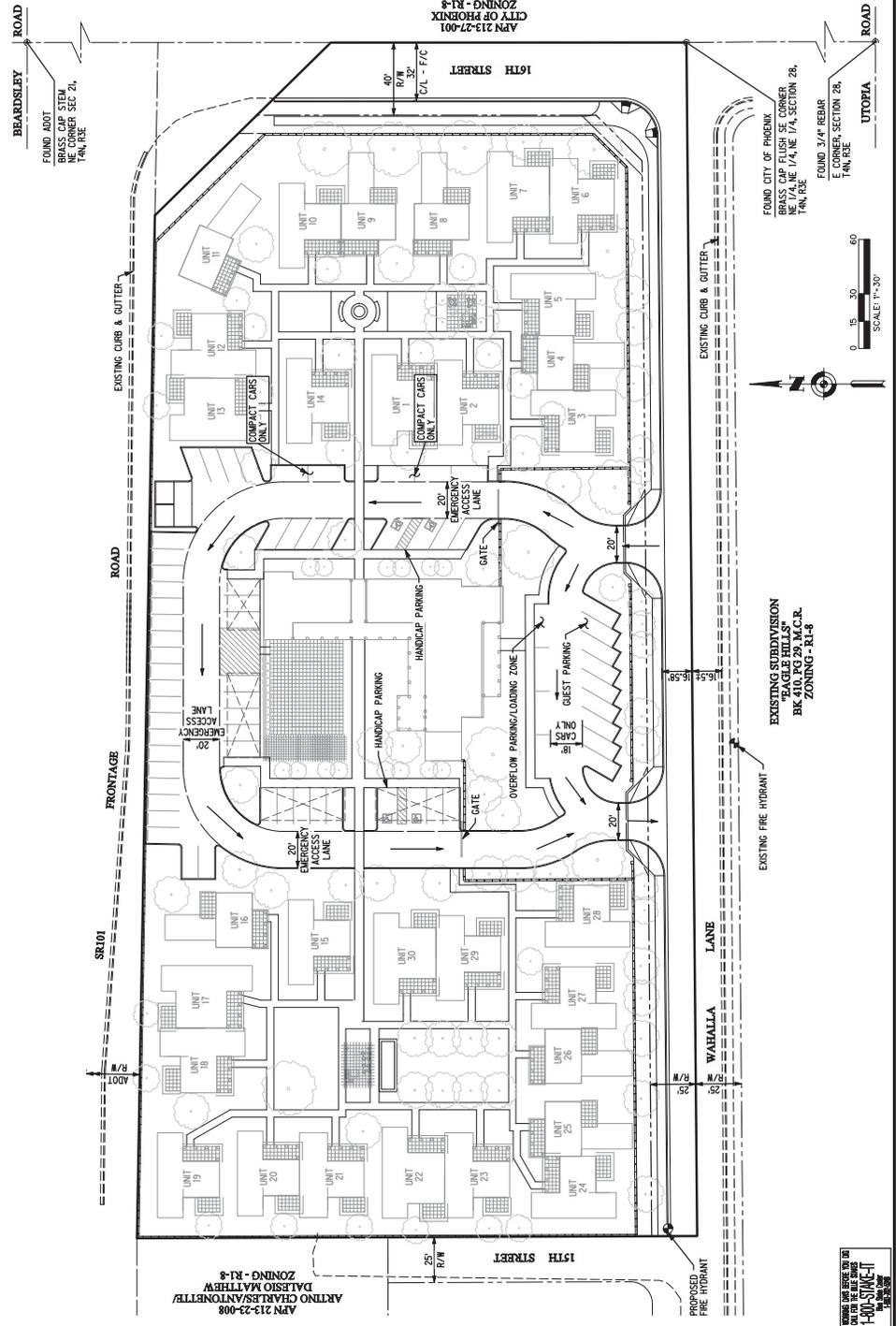
OWNER / DEVELOPER
LUNA AZUL DEVELOPMENT FUND, LLC
10000 N. 40TH STREET, SUITE 100
SEATTLE, WA 98155
TEL: (206) 300-9034
CONTACT: MARK ROTH

ENGINEER
HOSKIN RYAN CONSULTANTS, INC.
5050 N. 40TH STREET, SUITE 100
PHOENIX, AZ 85018
TEL: (602) 252-8384
FAX: (602) 252-8385
EMAIL: MATTHEW@HOSKINRYAN.COM

PROJECT DESCRIPTION
A 30 UNIT COTTAGE STYLE URBAN RESIDENTIAL CONDOMINIUM COMMUNITY. SITE WILL UTILIZE PRIVATE DRIVES (GATED TO COMMUNITY) AND PRIVATE PARKING (GATED TO COMMUNITY). A PRIVATE SEWER SYSTEM AND A PRIVATE FIRE MAIN.

ZONING
EXISTING ZONING - C-0
PROPOSED ZONING - PUD

CIRCULATION PATTERN



REVIEWED BY	DATE
DRAFTED BY	DATE
CHECKED BY	DATE



Hoskin • Ryan Consultants, Inc.
creative engineering solutions
5050 N. 40th Street Suite #100 Phoenix, AZ 85018
Office (602) 252-8384 | Fax (602) 252-8385 | www.hoskinryan.com

**(LUNA AZUL)
16TH STREET & SR101 COTTAGE HOMES
CIRCULATION PLAN**

Land Planning • Hydrology • Land Development • Civil Infrastructure • Surveying

DESIGNER: MM
CHECKER: MM
DATE: 10/1/15
PROJECT NO.: 15-078-01

Phasing Plan

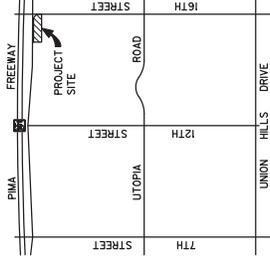
**CONCEPTUAL PHASING PLAN
FOR
(LUNA AZUL)
16TH STREET & SR101
COTTAGE HOMES**

A PORTION OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 3 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.

PROJECT PHASING

PHASE 1 - ALL PUBLIC R/W IMPROVEMENTS, MASS GRADING,
IMPROVEMENTS ASSOCIATED WITH THE CENTER HOUSE PARKING,
AND SITE CIRCULATION.
PHASE 2 - ALL PHASE 2 CONSTRUCTION OF COTTAGE HOMES
WILL BE CONSTRUCTED AS THE MARKET CONDITIONS DICTATE.

VICINITY MAP



N.T.S.

OWNER / DEVELOPER
LUNA AZUL DEVELOPMENT FUND, LLC
1000 N. 40TH STREET, SUITE 100
SEATTLE, WA 98105
TEL: (206) 300-9034
CONTACT: MARK ROTH

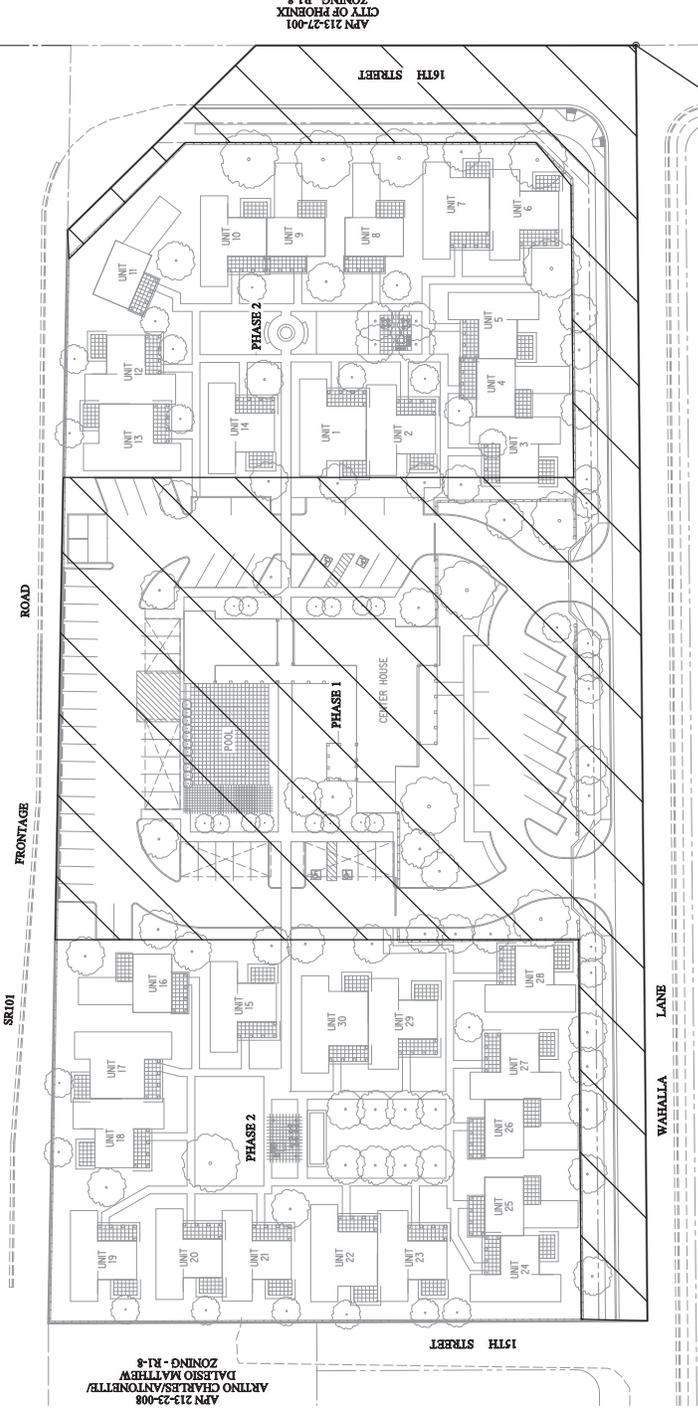
ENGINEER
HOSKIN RYAN CONSULTANTS, INC.
5050 N. 40TH STREET, SUITE 100
PHOENIX, AZ 85018
TEL: (602) 252-8384
FAX: (602) 252-8384
EMAIL: MATTHEW@HOSKINRYAN.COM

PROJECT DESCRIPTION

A 30 UNIT COTTAGE STYLE URBAN RESIDENTIAL CONDOMINIUM
COMMUNITY. SITE WILL UTILIZE PRIVATE DRIVES (BUILT TO
PRIVATE SEWER SYSTEM AND A PRIVATE FIRE MAIN.

ZONING

EXISTING ZONING - C-0
PROPOSED ZONING - R1-8



FOUND ADOT
BRASS CAP STEEL
CONCRETE CURB, SEC 21,
1/4" RISE

FOUND CITY OF PHOENIX
BRASS CAP FLUSH SE CORNER
NE 1/4, NE 1/4, NE 1/4, SECTION 28,
1/4" RISE

EXISTING DISTRIKSON
WAGLER HILLS
BK 410, PG 29, M.C.R.
ZONING - R1-8

FOUND 3/4" REBAR
E CORNER, SECTION 28,
1/4" RISE



REVIEWED BY	DATE
DRAFTED BY	DATE
CHECKED BY	DATE

Comparative Zoning Standards Table

STANDARDS	R-2 ZONING (TABLE B - PRD)	PUD ZONING
DENSITY NUMBER OF D.U.	MAXIMUM 10.50; 12.00 D.U. PER ACRE WITH BONUS	6.80 DU/ACRE
MINIMUM LOT WIDTH/DEPTH	NONE	NONE
MINIMUM PERIMETER BUILDING STANDARDS	20' ADJACENT TO A PUBLIC STREET; THIS AREA IS TO BE IN COMMON OWNERSHIP UNLESS LOTS FRONT ON THE PERIMETER PUBLIC STREET; 10' ADJACENT TO PROPERTY LINE	NORTH (STREET): 10' SOUTH (STREET): 8' EAST (STREET): 10' WEST (PROPERTY LINE): 10'
MINIMUM PERIMETER LANDSCAPE STANDARDS	20' ADJACENT TO A PUBLIC STREET; 5' ADJACENT TO PROPERTY LINE	NORTH (STREET): 0' SOUTH (STREET): 8' EAST (STREET): 10' WEST (PROPERTY LINE): 0'*
MAXIMUM HEIGHT	2 STORIES AND 30' FOR FIRST 150'; 1' IN 5' INCREASE TO 48' HIGH AND 4 STORIES	30'
LOT COVERAGE	MAXIMUM 45%	MAXIMUM 40%
COMMON AREAS	MINIMUM 5% OF GROSS AREA	MINIMUM 10% OF GROSS AREA
STREET STANDARDS	PUBLIC STREET OR PRIVATE ACCESSWAY	EXTERIOR: PUBLIC STREETS INTERIOR: PRIVATE DRIVES
PARKING STANDARDS	1.5 SPACES PER 2 BEDROOM UNIT 2 SPACES PER 3 BEDROOMS GUEST PARKING (ONLY IF RESERVED SPACES): 0.5 SPACES PER 2 BEDROOM UNIT; 1.0 SPACES PER 3 BEDROOM UNIT NOTE: ANY UNRESERVED PARKING SPACES REQUIRED BY THIS SECTION MAY BE COUNTED TOWARD THE TOTAL REQUIRED PARKING COUNT.	1.5 SPACES PER 2 BEDROOM UNIT 2 SPACES PER 3 BEDROOMS GUEST PARKING (ONLY IF RESERVED SPACES): 0.5 SPACES PER 2 BEDROOM UNIT; 1.0 SPACES PER 3 BEDROOM UNIT NOTE: ANY UNRESERVED PARKING SPACES REQUIRED BY THIS PUD MAY BE COUNTED TOWARD THE TOTAL REQUIRED PARKING COUNT.

*A minimum of eight (8) trees shall be dispersed within the private yards along the west property line.