

Tatum & Dynamite Self-Storage

Planned Unit Development

Approximately 340 south of the southwest corner of
Tatum Boulevard and Dynamite Boulevard

Case #: Z-22-18

1st Submittal: March 27, 2018

Resubmitted: June 8, 2018

Resubmitted: August 9, 2018

Public Hearing Draft: September 27, 2018

City Council Approval: December 5, 2018

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City codes or requirements. Additional public hearings may be necessary such as, but not limited to, right-of-way abandonments.



PRINCIPALS AND DEVELOPMENT TEAM

PROPERTY OWNER/DEVELOPER

1784 Capital Holdings, LLC

Kelly McKone
8777 N Gainey Center Drive, Suite 191
Scottsdale, Arizona 85258

Architecture

RKAA Architects, Inc.

Michelle Bach
2233 E Thomas Road
Phoenix, Arizona 85016

Engineering/Civil

Helix Engineering, LLC

Steve Bowser
3240 E Union Hills Drive, Suite 112
Phoenix, Arizona 85050

Land Use Attorney

Berry Riddell LLC

Wendy Riddell, Esq.
6750 E Camelback Road, Suite 100
Scottsdale, Arizona 85251

Traffic Engineer

Kimley-Horn & Associates

Chuck Wright
7878 N 16th Street, Suite 300
Phoenix, Arizona 85020

Public Affairs

Technical Solutions

4350 E Camelback Road
Phoenix, Arizona 85018

TABLE OF CONTENTS

Title / Cover Page	1
Principals and Development Team	2
Table of Contents	3
Purpose and Intent	6
Design Concept	7
Land Use Plan	8
Site Conditions and Location	9
General Plan Conformance	10
Zoning and Land Use Compatibility	12
1. Existing Zoning	12
2. Existing Land Uses	12
3. Compatibility	12
Permitted Uses	13
Development Standards	14
1. Parking	
2. Lighting	
3. Walls, Fences & Trash Enclosures	
Design Guidelines	16
1. Architectural Design Elements	
2. Landscaping Standards	
3. Circulation Standards	
4. Hours of Operation	
5. Wireless Communication Facilities	
Signs	18
1. Design of Permanent Signs	
2. Placement of Signs	
3. Monument Signage	
4. Wall Signage	
Sustainability	19
Infrastructure	20
1. Circulation Systems	20

2. Grading and Drainage.....	20
3. Water and Wastewater Services.....	20
Phasing Plan.....	21

EXHIBITS

Legal Description.....	A
Context Plan.....	B
Conceptual Site Plan.....	C
Landscaping Plan.....	D
Conceptual Elevations.....	E
Building and Landscaping Setbacks.....	F
Renderings.....	G
Grading and Drainage Plan.....	H
Existing and Proposed Zoning Map.....	I
General Plan Land Use Map.....	J
Comparative Standards Zoning Table.....	K
Traffic Impact Statement.....	L
Colors and Materials Board.....	M
Natural Grade Determination Report.....	N
Cross Section.....	O

PURPOSE AND INTENT

The purpose of this application is to rezone an approximate 5.12-acre parcel located approximately 340 feet south of the southwest corner of Tatum Boulevard and Dynamite Boulevard (the “Site”) to Planned Unit Development (“PUD”) for the development of a new secured and climate-controlled Self-Service Warehouse. Designated as Commercial (C-1) zoning and identified as Commercial on the Phoenix General Plan, the Site is anticipated for a neighborhood-serving commercial use. The Site is currently vacant and is located within the Desert View Village and the North Land Use Plan.



Due to an unusual configuration and the existence of two significant drainage ways, a PUD best responds to the Site’s unique characteristics. Additionally, a PUD will allow for a self-storage use with the establishment of a variety of enhanced development standards that more closely respond to the unique Sonoran Desert character and surrounding context than a base commercial district. This amenity will provide a needed service to the surrounding community and complement the existing mix of commercial uses.

To respect the existing zoning of the Site, the development standards of this PUD are based on the C-1 district, with some increased setbacks and a reduction in height to respect the desert character of the Site context.

DESIGN CONCEPT

The Tatum & Dynamite self-storage facility features a modern contemporary commercial design theme. Desert-toned block construction complements the existing commercial uses to the east and north, as well as the surrounding residential developments. Opposing materials are blended into the façade, such as metal paneling, blocks and stucco, to create textual variation and visual interest. Faux windows provide privacy to the adjacent neighbors and provide the look and feel of a typical C-1 business. However, with a self-storage use comes the benefit of a much lower daily traffic count. A staggered building edge both adapts to the unique parcel layout and physical Site features, while also providing a dynamic street frontage.

This well-conceived building design responds to the long-standing challenge of creating a use that succeeds on this uniquely shaped parcel, while also respecting the surrounding context. Design elements give the building a typical commercial retail look and feel, while the proposed self-storage use will result in much lower traffic than is typically generated by a C-1 use. See Exhibit L, *Traffic Impact Statement*.

LAND USE PLAN

The new self-service warehouse will consist of one approximately 120,000 square foot main building with an approximate 38,000 square foot building footprint, which will contain an enclosed, air-conditioned loading bay along the eastern side of the main building for the comfort of customers as they transfer belongings to/from vehicles to their storage units. Recognizing the residential context of the surrounding uses, the loading bay has been designed to have the look and feel of a typical residential garage. The one-story Building B, approximately 2,800 square feet, located near the Tatum Boulevard entrance will contain additional units. The Office building will be used for the sale of retail products incidental to storage, rental of units, and administrative purposes.

The building will include two basement levels and one story above grade, consistent with, and in most instances lower than the established heights of commercial uses in the vicinity. No portion of any building, including but not limited to, parapet walls, equipment, antennae, signs, etc., shall be above elevation 1860.00 or 21 feet as measured from finished grade to the tallest point of the building, whichever is lower.

Faux windows provide visual interest in the architectural design, while protecting the privacy and night-sky views for adjacent residents. No internal lighting is proposed in these faux windows.

The Site is adjacent to Dynamite Boulevard, a major arterial that features a deceleration lane at the entrance of the Site. A cross-access agreement will allow the Site to be accessed from Dynamite on the existing driveway to Primrose to the east. Ingress and egress occur both at Tatum Boulevard and Dynamite Boulevard, which both feature deceleration lanes to the Site.

Respectful of the desert night skies, the Site will feature low-level wall pack lighting mounted at 10 feet surrounding the building and facing down. In response to neighborhood input, the internal loading garage has been reoriented to face east. The daily operations of the main building are anticipated to be very quiet, as all activity will occur within the building. Every corner of the building will be monitored by security cameras visible from the office, which may be located along Tatum Boulevard or in the main building. A code is required for access into the main building. The proposed facility is equipped with industry-leading security measures including PIN code entry systems at loading area building entrances and elevators. Additionally, the facility will be equipped with interior and exterior 24-hour video surveillance equipment. Although the Site will be monitored for security purposes throughout the day and overnight, the storage units will only be accessible between the hours of 5am and 10pm. The manager of the business will not live on Site.

SITE CONDITIONS & LOCATION

Acreage and location

The 5.12-acre Site is generally located approximately 340 feet south of the southwest corner of Tatum Boulevard and Dynamite Boulevard. See legal description attached as Exhibit A.

Location in relation to major intersections or areas of regional significance

The Site is situated at a corner with concentrated commercial uses that serve the surrounding residential developments. Dynamite park is located to the northwest of the Site across Dynamite Boulevard. State land across Tatum Boulevard to the east is currently vacant yet designated as the future Azara master planned community. Other commercial services available to residents at this corner include a hardware store, two banks, massage parlor, gas station, medical center, gun shop and restaurants.

Topography and natural features

The Site slopes from the northeast down to the southwest. Due to the existing slope, the finished floor elevation sits approximately 1.7 feet below Primrose School. Storm water is channelized under the CVS Pharmacy and Dynamite Boulevard and exits through two culverts on the Site, flowing east to west and entering culverts under White Feather Lane. A retention basin is located along the northern edge of the Site west of Primrose and will be maintained. Likewise, the existing drainage condition and drainage ways will not be disturbed by the development of this Site.

GENERAL PLAN CONFORMANCE

The General Plan land use map identifies the Site as Commercial, recognizing that this is an ideal location for the commercial services that this community needs, in appropriate locations. Oriented at the corner of two major arterials, this intersection serves as one of the few locations where commercial developments are appropriate. This proposal aligns with the goals of the Phoenix General Plan in several ways, as outlined below.

Opportunity Sites: *To promote development of vacant parcels or redevelopment of underutilized parcels within the developed area of the city that are consistent with the character of the area or with the area's transitional objectives.*

Land Use Policy #1: *Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.*

Response: Development of this Site as commercial is consistent with the General Plan land use designation and the proposed design is respectful of the local conditions. The increased setbacks preserve the Sonoran Desert landscape and maintain the wash corridors that run through the Site. Through the approval of this request, a vacant, underutilized Site can be converted to a needed service for the community at a level of intensity that is respectful of local conditions. The proposed height of the building is consistent with and in most instances less than, the existing heights of the adjacent developments and landscaping setbacks will create transitional buffers between land uses. Additionally, as shown on Exhibits F and K, the landscaping and building setbacks established through this PUD are significantly greater than what would be guaranteed through a typical C-1 development.

Certainty & Character: *Ensure that development, redevelopment and infrastructure support and reinforce the character and identity of each unique community and neighborhood.*

Design Policy #3: *Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impacts on the residential properties.*

Response: This intersection has long been established as a commercial core, providing needed goods and services to a community that lacks significant commercial development. Tatum and Dynamite Boulevards serve as the transportation corridors that connect residents to the few services that exist in this community. As such, commercial developments are appropriate at this intersection as indicated by the General Plan land use designation. A rezone from C-1 to a PUD based on the C-1 district for use as self-storage represents a modest increase in intensity. Self-storage is by nature a very low-impact, quiet use that generates less traffic than some typical C-1 uses including banks, ice cream shops, retail automobile parts, fish markets, dry cleaners, clothing stores and retail bird sales permitted by right today.

Design Principle #7: *Protect the neighborhood’s views of open space, mountains, and man-made or natural landmarks.*

Response: Landscaped buffer areas of sufficient widths, combined with incorporation of open areas assist in preservation of adjacent rural lifestyles. The proposed height is lower than what could be built on Site today, is consistent with the surrounding developments and will not hinder the enjoyment of the neighborhood’s views of open space, mountains and other natural features.

Design Principle #13: *Integrate into the development design natural features such as washes, canals, significant topography and existing vegetation, which are important in providing character to new subdivisions.*

Response: This development will retain and enhance the unique character of the Desert View Village by preserving the natural characteristics of the Site. The existing drainage ways have been preserved through the development design, native plant materials are salvaged and reused to promote preservation areas and protect the flora and fauna of the property.

Cores, Centers & Corridors: *Phoenix residents should have an abundance of places to connect with services, resources and each other.*

Land Use Policy #1: *Locate land uses with the greatest height and most intense uses within the village cores, centers and corridors based on village character, land use needs, and transportation system capacity.*

Response: Located at the intersection of two major arterials and identified as Commercial on the General Plan, this Site is ideal for neighborhood serving commercial. As mentioned previously, this community currently has low access to goods and services. Self-storage at this Site will provide residents with a needed service in a location that is appropriate in intensity. The proposed design is respectful of the existing village character, preserves the Sonoran Desert landscape and is consistent in scale to the surrounding developments.

Codes #1: *Support healthy urban villages, with a balanced mix of housing, employment opportunities and services as a principle means to reduce vehicle trip length and associated emissions.*

Response: As acknowledged by the Peripheral Areas C & D policy document and the General Plan Land Use map, commercial nodes of moderate size should be concentrated at major intersections as a way to reduce trip generation, vehicle trip length and associated emissions. Self-storage is a synergistic use to the existing commercial developments as this intersection and will serve to group the necessary community-serving commercial businesses together.

ZONING AND LAND USE COMPATIBILITY

General Plan Land Use classifications, along with the existing zoning designations and uses for the adjacent parcels, are as follows:

EXISTING LAND USE SUMMARY			
Direction	General Plan Land Use	Existing Zoning	Existing Use
Site	Commercial	C-1	Vacant
North	Commercial	C-2	Commercial/Retail
East	Commercial	C-1	Commercial/School
South	Residential 0-2 du/acre	R1-18	Residential
West	Residential 0-2 du/acre	R1-18	Residential

Existing Zoning

In 2000, the 9.95 acres on the southwest corner of Tatum and Dynamite was rezoned (Z-125-99) from S-1 to C-1 for the development of a drug store, retail and four small restaurants. As shown on the associated site plan, the intent was to channelize the south drainage way and pave the majority of the Site. At the time, the commercial center at the northwest corner was under construction and would be the first of very few commercial developments available to the surrounding residents. In 2004, a CVS was constructed on the hard corner as Phase I of the development. In 2012, the PHO approved the design for the Primrose Day Care School, which was constructed later that year. The remainder of the zoning boundary currently remains vacant.

Existing Land Use

The Site is currently vacant and has never been developed. Two drainage ways are located along the north and south property lines and will be maintained through the proposed development.

Compatibility

The current proposal is consistent with the intent of the previous zoning case in providing needed commercial services in concentrated areas. Additionally, the architecture will complement the existing CVS and Primrose and development of the Site as self-storage will convert an underutilized parcel into a needed service for the community.

PERMITTED USES

Self-Service Warehouse shall be permitted by right, as defined by Section 202 of the Phoenix Zoning Ordinance and subject to the conditions below. All other uses permitted by right in the Section 622 of the Phoenix Zoning Ordinance shall be permitted; and any use permitted by a Use Permit in Section 622 of the Phoenix Zoning Ordinance shall likewise require a Use Permit by this PUD.

The Self-Service Warehouse is subject to the following conditions:

1. All storage shall be within a closed building.
2. No service or repair activities other than dead storage and the rental and supervision of storage units shall be conducted on the premises.
3. There shall be no storage [or] use of hazardous or dangerous materials on the premises.
4. All parts of the perimeter of the Site which are adjacent to a residential zone shall be screened by a fence or wall with a landscaped area at least fifty feet wide.
5. Retail sales as an accessory use to a Self-Service Warehouse shall be permitted. Retail sales consists of the sale of products incidental to that of a Self-Service Warehouse, i.e. tape, boxes, and dollies. Truck rentals shall be prohibited.

Household Moving Centers shall be prohibited.

Any property owner of the Site may request an interpretation of analogous uses to the defined list from the City of Phoenix Zoning Ordinance. The Zoning Administrator may administratively approve a use analogous to those uses listed above.

DEVELOPMENT STANDARDS

Please refer to Exhibit C for illustrative clarification of the standards noted below.

LOT DEVELOPMENT STANDARDS

	PUD STANDARD
Maximum Height (Building A)	16 feet ⁽¹⁾
Maximum Height (Building B)	13 feet ⁽¹⁾
Maximum Lot Coverage	Twenty-Five (25) percent
Maximum Building Size (Building A)	120,000 Square Feet
Maximum Building Size (Building B)	2,800 Square Feet
Building Setbacks	
North (Streetscape)	Minimum 100 feet
East (Streetscape)	Minimum 80 feet
South (Building A)	Minimum 95 feet
South (Building B)	Minimum 50 feet
West	Minimum 55 feet

Note⁽¹⁾: Building height shall be measured as defined by the City of Phoenix Zoning Ordinance.

LANDSCAPING STANDARDS

	PUD STANDARD
Landscape Setbacks	
North (Streetscape)	Minimum 100 feet
	Exclusive of drainage ways shall provide one (1) tree and five (5) shrubs for every twenty (20) linear feet of street frontage, twenty (20) foot on center or equivalent groupings
East (adjacent to Tatum Boulevard)	Minimum 25 feet
	Exclusive of drainage ways shall provide one (1) tree and five (5) shrubs for every twenty (20) linear feet of street frontage, twenty (20) foot on center or equivalent groupings
South	Minimum 50 feet
West	Minimum 55 feet
Perimeter	Perimeter Landscape Setbacks exclusive of streetscape standards and drainage ways shall provide 1 tree and 5 shrubs for every 15 feet of property line, 20 foot on center or equivalent groupings
Landscape Areas Outside of Required Landscape Setbacks	All landscape areas outside of required landscape setbacks, exclusive of drainage ways shall provide 1 tree and five 5 shrubs for every 800 square feet of landscape area

Minimum Planting Sizes – Streetscape	
Trees	Min. 2-inch caliper (50% of required trees) Min. 4-inch caliper (50% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree
Minimum Planting Sizes – Adjacent to Building or Perimeter Property Lines	
Trees	Min. 2-inch caliper (50% of required trees) Min. 4-inch caliper (50% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree
Minimum Planting Sizes - Parking Lot Area	
Trees	Min. 2-inch caliper (50% of required trees) Min. 4-inch caliper (50% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree
Parking Lot Area	
Interior Surface Area (exclusive of perimeter landscaping and all required setbacks)	Minimum 10%
Landscaped Planters (single row parking)	Minimum 120 square feet and at ends of each row of parking approx. every 90' feet
Adjacent to Building	
Building facades within 100' of public right-of-way or adjacent to public entry to building	Minimum 25% of exterior wall length shall be treated with a landscaped planter min. 5' in width

MAXIMUM ELEVATION STANDARD

No portion of any building, including but not limited to, parapet walls, equipment, antennae, signs, etc., shall be above elevation 1860.00 or 21 feet as measured from finished grade to the tallest point of the building, whichever is lower.

MAINTENANCE

The property owner shall be responsible for the maintenance, landscaping, improvements and preservation of all open space areas, drainage ways, parking lot, landscape setbacks, and landscaping within the right of ways.

PARKING

Off-street parking and loading shall comply with Section 702 of the Zoning Ordinance with the exception that a minimum of two bicycle parking spaces and a minimum of 18 parking spaces and a maximum of 23 parking spaces shall be provided, as depicted on Exhibit C, *Conceptual Site Plan*. Parking shall be setback a minimum of 90 feet from any residential zoning district.

LIGHTING

Exterior lighting shall comply with Section 507 Tab A, Section 23-100 and 704 of the Zoning Ordinance, and the City Code. Low-level wall pack lighting faces down and protects night-sky views.

- Lighting measured at the shared property line of any residential zoning district shall not exceed zero (0) foot candle.
- All on-site lighting is to be shielded to prevent direct visibility of the light source from adjacent property.
- Parking lot and security lighting shall not exceed a maximum of fifteen (15) feet in height including lamp, pole, and base within one hundred fifty (150) feet of a residential district.
- Lighting fixtures and illumination should be of similar design and character as the project's building components.
- There shall be no lighting visible through the faux windows

WALLS, FENCES & TRASH ENCLOSURES

Walls and Fences shall comply with Section 703 of the Phoenix Zoning Ordinance. The existing fence along the western property line and the existing screen wall along the southern property line will be preserved. Trash enclosures shall not be placed within 160 feet of the south property line and 270 feet of the west property line.

DESIGN GUIDELINES

Tatum and Dynamite Self-Storage shall be designed with four-sided architecture to create visual interest to adjacent residents and passing traffic. Generous building and landscaping setbacks lessen the visual impact of the structure and respect the desert environment. The elevations provide for rooflines, proportion, façade articulation, appropriate detailing, colors and materials to promote design respecting the architectural character of the surrounding built form. The goal of these guidelines is not to dictate or direct architectural style, but to achieve harmony in the built environment. The guidelines listed below apply to both Building A and Building B except where noted otherwise.

Architectural Design Elements

- The front entry of the building is clearly defined and identifiable.
- Windows/trim as well as accent detailing shall be incorporated and vary from the primary color and materials of the building.
- Building wall articulation shall include, but is not limited to, changes in the materials along the vertical plane, variation in roof lines and form, use of vertical accents, change in use of materials and colors to provide a clear distinction between roof, body and base of building.
- Air conditioning, heating or environmental enhancement devices shall be roof-mounted and screened by parapet walls to the top of the equipment.
- High-quality building materials shall include, but are not limited to, metal and composite panels, metal trim, concrete masonry units and glazed faux windows. A minimum of three high-quality building materials shall be used.
- Building façades shall not extend beyond fifty linear feet in any direction without being interrupted by a change in architectural element such as:
 - A. Material
 - B. Architectural variety created by a change in plane such as awning, window or pillar
 - C. Wall plane projections and recesses
- Predominant exterior building materials shall not include the following:
 - A. Wood
 - B. Highly reflective glass
 - C. Colored plastic
 - D. Untextured concrete
- Glass reflectivity shall not exceed 10%.
- Building entry is clearly identifiable through the use of awnings, a change in building material and color, metal pillars and windows.
- Building accents are expressed through differing quality materials rather than applied finishes.

- Building wall colors shall be muted and blend with rather than contrast strongly with the desert environment. Primary building colors shall include gray, off-white, brown, and tan.
- The garage doors of Building B shall be internally facing to the Site and not readily visible from adjacent right-of-way.
- Decorative paving shall be constructed adjacent to any loading area.

Landscaping Standards

- The two drainage ways that cross the Site shall remain in their current state and not channelized.
- Landscaping shall include native planting materials such as, but not limited to, Blue Palo Verde, Willow Acacia, Ironwood and Creosote.
- Landscaping shall include a minimum of:
 - Five different varieties of trees
 - Five different varieties of shrubs

Circulation Standards

- No paved drive aisle shall be constructed between Building A (as shown on Exhibit C) and the north, west and south property lines.
- No paved drive aisle shall be constructed between Building B (as shown on Exhibit C) and the south property line.
- Modification of these Circulation Standards shall trigger a Major PUD Amendment.

Hours of Operation

- The hours of operation shall not exceed 5am to 10pm, unless modified by securing a Use Permit in accordance with the provisions of Section 307 of the City of Phoenix Zoning Ordinance.

Wireless Communication Facilities

Wireless Communication Facilities shall comply with the City of Phoenix Zoning Ordinance Section 715 with the following additional provisions.

- Wireless Communication Facilities must adhere to the guidelines for concealed facilities as set forth in Section 715 of the City of Phoenix Zoning Ordinance
- Freestanding Wireless Communication Facilities shall be prohibited.
- Equipment enclosures for Wireless Communication Facilities shall be designed to be architecturally compatible with the main building.
- The equipment enclosures for building mounted Wireless Communication Facilities shall be screened by parapet walls.
- Wireless Communication Facilities shall be setback 150 feet from the west property line and 275 feet from the south property line.

SIGNS

All signage shall comply with Section 705 of the Zoning Ordinance for commercial development, unless otherwise noted by this development narrative.

Design of Permanent Signs

All permanent signs shall be compatible with the design of buildings, reflecting the architectural style, building materials, textures, colors, and landscape elements of the overall project.

Placement of Signs

- Signs and landscaping shall be placed so that they are not in conflict when landscaping reaches full maturity.

Monument Signage

Monument signage will be installed on Site at Tatum Boulevard and Dynamite Boulevard and will be designed to be architecturally compatible with the main building. Signage will not be placed off-site, such as at the intersection of Tatum Boulevard and Dynamite Boulevard.

Wall Signage

Wall signage facing adjacent residential areas shall be prohibited.

SUSTAINABILITY GUIDELINES

The development is planned as a sustainable development within the community. Energy efficiency in design and long-term operation, coupled with thermal comfort in building design, create a superior experience for customers, employees, property owners and residents.

At a minimum, consideration and implementation of at least three (3) of the following enforceable Design Review Standards or other sustainability principles as approved by the Planning and Development Department shall be incorporated into the development.

- A. The proposed drought tolerant vegetation will integrate trees and shade into the design of the development.
- B. The development will minimize surface parking area and provide an abundance of shade throughout the building overhang on all planned parking areas.
- C. Sidewalks will be shaded with the building overhang elements, awnings and landscaping.
- D. Building entrances will be shaded with architectural building elements and awnings.
- F. The “Heat Island” effect will be reduced by providing a light-colored roof to provide a minimum roof SRI (Solar Reflectance Index) rating of 75% of the roof surface area.

The following sustainable practices will be incorporated by the developer.

- A. This PUD will regularly adopt the latest energy and building codes that encourage the use of light colored roofing materials and will minimize heat island effects.
- B. Architectural building elements through building overhangs and plan variation simulate the flow of air around pedestrian areas and throughout the Site.
- C. The development will provide a safe, reliable, and efficient storm water management system that preserves the existing drainage ways and protects both human health and the natural environment.
- D. The development’s interior lighting will be controlled by motion sensors to reduce energy consumption.
- E. Low flow fixtures will be used throughout the building to reduce water consumption.
- F. Low ‘e’ double pane glazing will be used.

INFRASTRUCTURE

Circulation Systems

Direct vehicular ingress and egress to the self-storage facility will occur from Tatum Boulevard and Dynamite Boulevard. A cross-access easement between the Site, the Primrose parcel and the CVS parcel allows for circulation throughout the commercial center.

All roadways have been coordinated with adjacent circulation patterns and developments to ensure appropriate access and traffic control.

The developer shall construct all streets adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

Grading and Drainage

All grading and drainage shall comply with City Code. A grading and drainage plan is included as Exhibit H and most appropriately designs the Site to address the existing drainage condition.

Water and Wastewater Services

Water and wastewater infrastructure requirements will be determined, designed and constructed in accordance with Phoenix City Code requirements and Water Services Department Design Standards and Policies. The City of Phoenix serves the Site through public water mains located in Tatum Boulevard and Dynamite Boulevard. No public main extensions are proposed.

PHASING PLAN

The project is anticipated to be constructed in one phase.

EXHIBIT A
Legal Description

A PORTION OF SECTION 31, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA AS MORE PARTICULARLY DESCRIBED AS LOT 2, OF PRIMROSE – LOTS 1 AND 2, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1131 OF MAPS, PAGE 38.

EXHIBIT B
Context Plan

CONTEXT PLAN

Proposed Self-Storage

SWC Tatum Blvd. and Dynamite Blvd.

Phoenix, Arizona

September 26, 2017

Arizona Office
2233 East Thomas Road
Phoenix, AZ 85016
Office: (602) 955-3900
rkaa.com

California Office
150 Paularino Avenue
Suite D-170
Costa Mesa, CA 92612
Office: (949) 954-8785





PHOTO #1



PHOTO #2





PHOTO #3



PHOTO #4





PHOTO #5



PHOTO #6





PHOTO #7



PHOTO #8





PHOTO #9



PHOTO #10





PHOTO #11



PHOTO #12





PHOTO #13



PHOTO #14





PHOTO #15



PHOTO #16





PHOTO #17



PHOTO #18





PHOTO #19



PHOTO #20



EXHIBIT C
Conceptual Site Plan

PROJECT DIRECTORY

DEVELOPER:
 1784 CAPITAL HOLDINGS
 8777 N. GAINNEY CENTER DRIVE, SUITE 191
 SCOTTSDALE, ARIZONA 85258
 CONTACT: KELLY MCKONE
 PHONE: (602) 885-2552
 E-MAIL: kmckone@1784holdings.com

ARCHITECT:
 ROBERT KUBICEK ARCHITECTS & ASSOCIATES
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: ROBERT KUBICEK
 PHONE: (602) 955-3900
 FAX: (602) 955-0496
 E-MAIL: rkubicek@rkaa.com

SITE DATA

EXISTING ZONING:	C-1
PROPOSED ZONING:	PUD
GROSS SITE AREA:	5.1 ACRES (224,604 S.F.)
NET SITE AREA:	5.0 ACRES (217,949 S.F.)

PROPOSED USE:	SELF-STORAGE
MAX HEIGHT BUILDING A:	16 FEET
MAX HEIGHT BUILDING B:	13 FEET

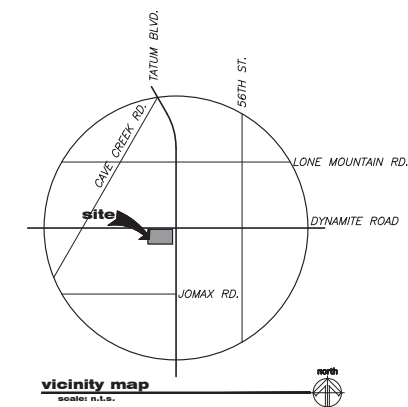
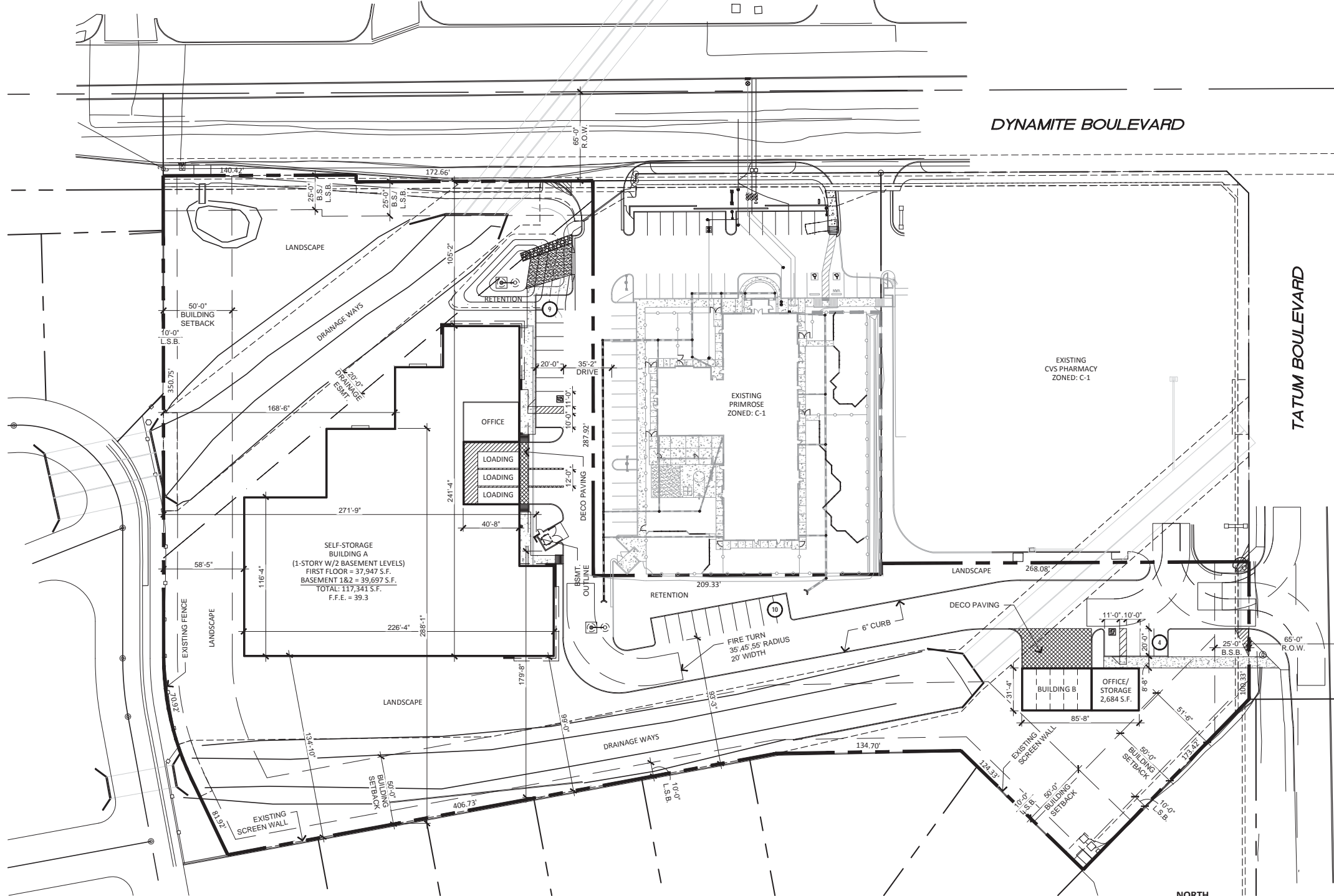
BUILDING AREA:	
SELF-STORAGE BLDG. A (1 UP/2 DOWN):	117,341 S.F.
OFFICE/BUILDING B:	2,684 S.F.

TOTAL:	120,025 S.F.
SITE COVERAGE:	19%

TOTAL PARKING PROVIDED:	23 SPACES
-------------------------	-----------

ACCESSIBLE SPACES REQUIRED:	1 SPACES
ACCESSIBLE SPACES PROVIDED:	2 SPACES

INTERIOR LOADING PROVIDED:	3 SPACES
----------------------------	----------



SITE PLAN

SCALE: 1" = 40'-0"

CITY OF PHOENIX SITE PLAN NOTES

- a. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- b. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- c. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- d. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- e. STRUCTURES AND LANDSCAPING WITH A TRIANGLE MEASURING 33'X33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- f. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- g. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- h. THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE PHOENIX CONSTRUCTION CODE PRIOR TO USE.
- i. AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PDD PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 262-6981 AND REQUEST A DESIGN REVIEW INSPECTION.
- j. ALL ROOFTOP EQUIPMENT AND SATELLITES DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- k. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- l. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT TO BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- m. ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.
- n. SMOKE, GAS AND ODOR EMISSIONS SHALL COMPLY WITH REGULATION III OF THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS.
- o. THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT.
- p. THE AVERAGE NOISE LEVEL, MEASURED AT THE PROPERTY LINE, SHALL NOT EXCEED 55dB (1dn) WHEN MEASURED ON AN "A WEIGHTED" SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.
- q. ALL NEW SANITARY SEWER LINES WITHIN THE SITE ALL BE PRIVATE PLUMBING LINES SUBJECT TO THE PHOENIX PLUMBING CODE OR THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AQUIFER PROTECTION PROGRAM (APP) GENERAL PERMIT 4.01 IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE TITLE 18, CHAPTER 9, SECTION E301 (AAC R18-9-E301) WHICHEVER IS APPLICABLE.
- r. THE SANITARY SEWER COLLECTION SYSTEM WITHIN THIS PROJECT WILL BE A PRIVATE SYSTEM, OWNED AND MAINTAINED BY THE PROPERTY OWNER(S) OR ASSOCIATION. THE SYSTEM WILL BE REVIEWED AND INSPECTED BY THE BUILDING SAFETY SECTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- s. ALL ON-SITE WATER LINES, SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE PHOENIX PLUMBING CODE.

PROPOSED SELF STORAGE

SWC TATUM BLVD. AND DYNAMITE BLVD.

PHOENIX, ARIZONA

DATE: 09-27-2018 (PRELIMINARY NOT FOR CONSTRUCTION)

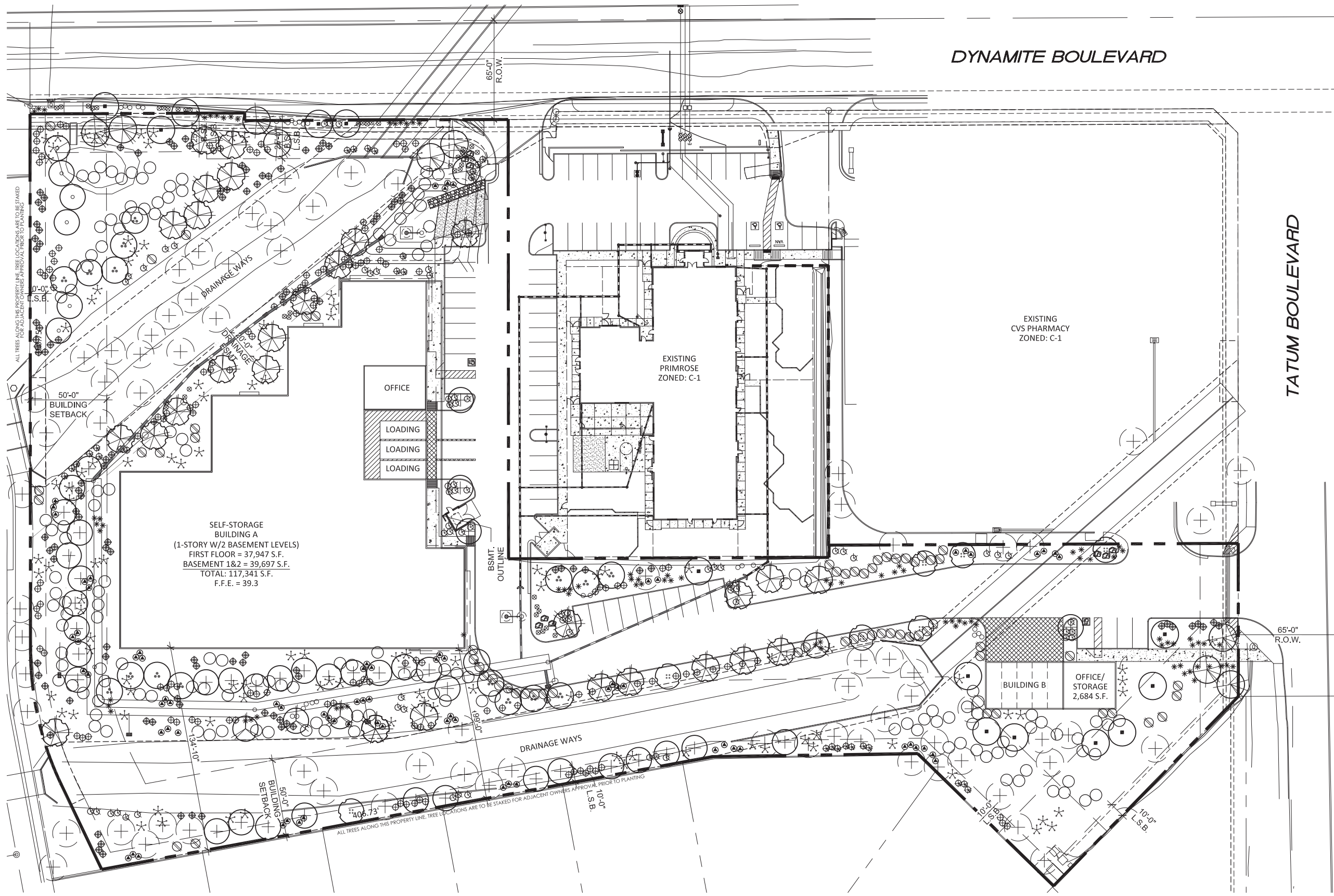
© 2017 R K A A ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF R K A A ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

SP-1

RKAA# 17189.50

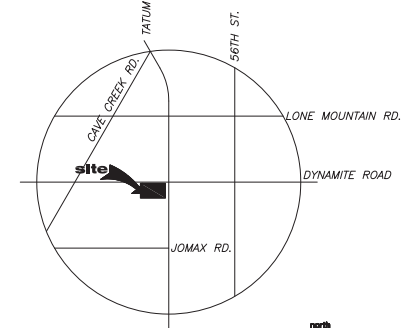


EXHIBIT D
Landscaping Plan



LANDSCAPE LEGEND

- CERCIDIUM FLORIDUM
BLUE PALO VERDE
2" CALIPER (29)
- ACACIA SALICINA
WILLOW ACACIA
4" CALIPER (38)
- OLNEYA TESOTA
IRONWOOD
2" CALIPER (7)
- PROSOPIS CHILENSIS 'AZT'
TORNLESS MESQUITE
2" CALIPER (4)
- ACACIA STENOPHYLLA
SHOESTRING ACACIA
2" CALIPER (13)
- CERCIDIUM PRAECOX
SONORAN PALO VERDE
4" CALIPER (10)
- DALBERGIA SISSOO
SISSOO TREE
4" CALIPER (17)
- DALBERGIA SISSOO
SISSOO TREE
2" CALIPER (6)
- EXISTING TREE
PROTECT FROM
CONSTRUCTION
- LEUCOPHYLLUM FRUTESCENS
'GREEN CLOUD'
5 GALLON (28)
- RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON (67)
- LARREA TRIDENTATA
CREOSOTE
5 GALLON (109)
- DODONEA VISCOSA
HOP BUSH
5 GALLON (65)
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON (145)
- DASYLIRION WHEELERII
DESERT SPOON
5 GALLON (108)
- AGAVE WEBERII
WEBBER'S AGAVE
5 GALLON (77)
- ALOE 'BLUE ELF'
BLUE ELF ALOE
1 GALLON (89)
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON (27)
- EUPHORBIA RIGIDA
GOPHER PLANT
1 GALLON (41)
- ACACIA REDOLENS
'DESERT CARPET' tm
1 GALLON (145)
- 3'x3'x3' SURFACE SELECT
GRANITE BOULDER
MINIMUM 2000lbs EACH (9)
- 1/2" MINUS MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P. (602) 265-0320
EMAIL: timmccqueen@tjma.net



LANDSCAPE PLAN
SCALE: 1" = 30'-0"
0' 15' 30' 60'



PROPOSED SELF STORAGE
SWC TATUM BLVD. AND DYNAMITE BLVD.
PHOENIX, ARIZONA
DATE: 10.29.18 (PRELIMINARY)

© 2017 R K A A
ARCHITECTS, INC. ALL
RIGHTS RESERVED.
THIS DRAWING IS AN
INSTRUMENT OF
SERVICE. IT IS THE
PROPERTY OF R K A A
ARCHITECTS, INC. AND
MAY NOT BE
DUPLICATED, USED OR
DISCLOSED WITHOUT
WRITTEN PERMISSION
OF THE ARCHITECT.

La.02
RKAA# 17189.50



EXHIBIT E
Conceptual Elevations



EAST ELEVATION

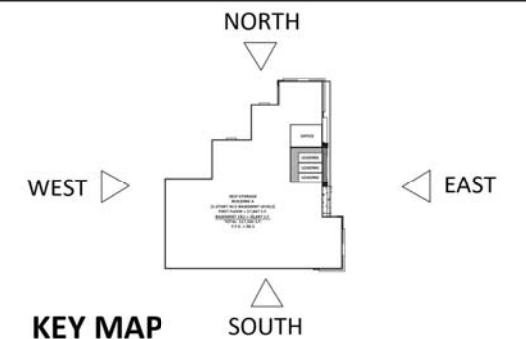
SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

MATERIALS	
1	STOREFRONT KAWNEER ANODIZED CLEAR
2	SUPERLITE BLOCK SMOOTH FACE INTEGRAL COLOR PURPLE HART
3	METAL PANELS FIRESTONE CITYSCAPE
4	ROLL-UP DOOR WITH VISION WINDOW CORNELL RAL 7035 LIGHT GREY
5	MBCI AWNINGS PAINTED DUNN EDWARDS DE6392 MINK
6	PARAPET/TRIM DUNN EDWARDS DE6392 MINK
7	FINE FINISH STUCCO DUNN EDWARDS DEC791 CLOUD
8	SUPERLITE BLOCK SMOOTH FACE INTEGRAL COLOR CHARCOAL GRAY
9	SUPERLITE BLOCK SMOOTH FACE INTEGRAL COLOR MISSION WHITE



KEY MAP
SCALE: N.T.S.

PROPOSED SELF STORAGE
SWC TATUM BOULEVARD AND DYNAMITE BOULEVARD
PHOENIX, ARIZONA
DATE: 09-07-2018 (PRELIMINARY NOT FOR CONSTRUCTION)



© 2017 RKAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RKAA ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

EL-1

RKAA# 17189.50





NORTH ELEVATION

SCALE: 1/8"=1'-0"



SOUTH ELEVATION

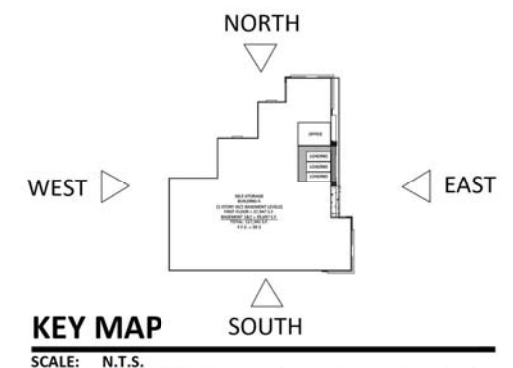
SCALE: 1/8"=1'-0"

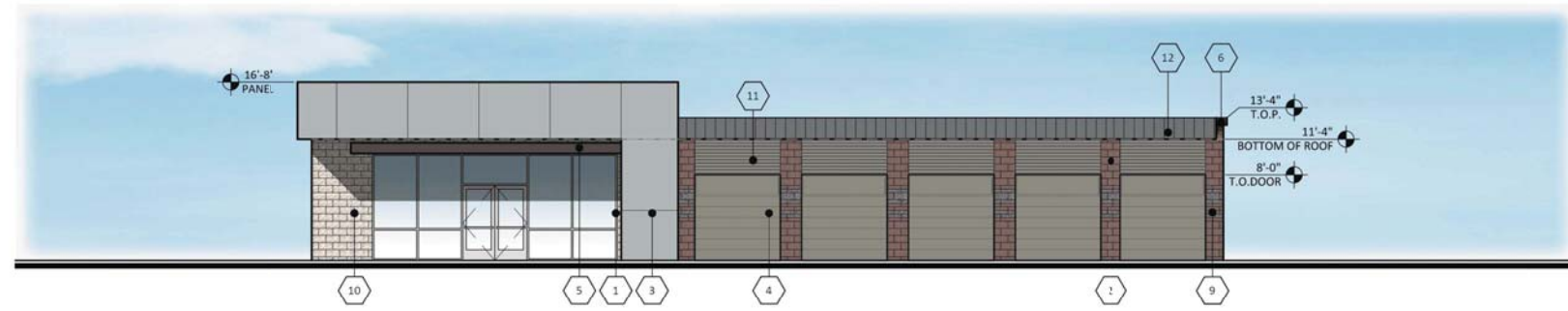
MATERIALS	
1	STOREFRONT KAWNEER ANODIZED CLEAR
2	SUPERLITE BLOCK SMOOTH FACE INTEGRAL COLOR PURPLE HART
3	METAL PANELS FIRESTONE CITYSCAPE
4	ROLL-UP DOOR WITH VISION WINDOW CORNELL RAL 7035 LIGHT GREY
5	MBCI AWNINGS PAINTED DUNN EDWARDS DE6392 MINK
6	PARAPET/TRIM DUNN EDWARDS DE6392 MINK
7	FINE FINISH STUCCO DUNN EDWARDS DEC791 CLOUD
8	SUPERLITE BLOCK SMOOTH FACE INTEGRAL COLOR CHARCOAL GRAY
9	SUPERLITE BLOCK SMOOTH FACE INTEGRAL COLOR MISSION WHITE

PROPOSED SELF STORAGE
 SWC TATUM BOULEVARD AND DYNAMITE BOULEVARD
 PHOENIX, ARIZONA
 DATE: 09-07-2018 (PRELIMINARY NOT FOR CONSTRUCTION)



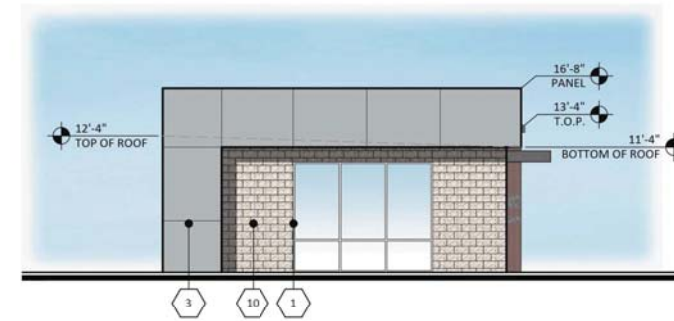
© 2017 RKAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RKAA ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
EL-2
 RKAA# 17189.50





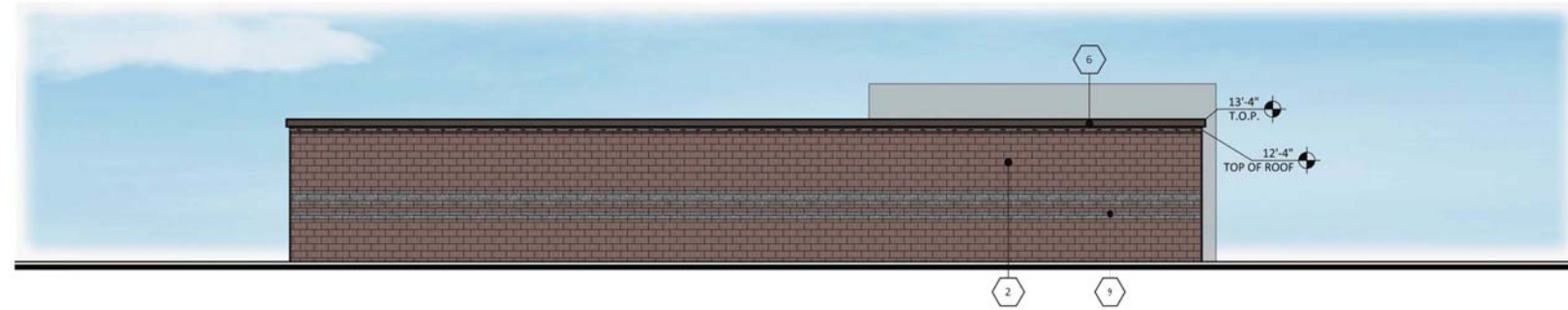
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



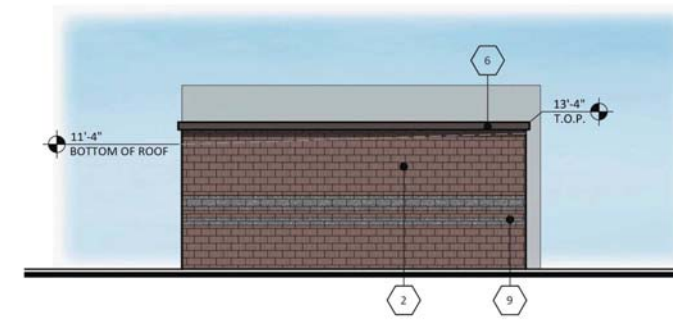
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

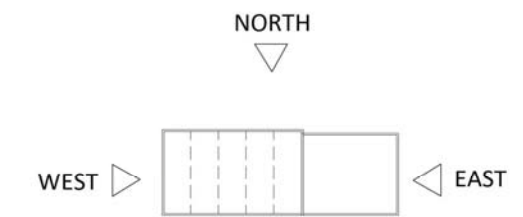
SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

MATERIALS	
1	STOREFRONT KAWNEER ANODIZED CLEAR
2	SUPERLITE BLOCK SPLITFACE INTEGRAL COLOR PURPLE HART
3	METAL PANELS FIRESTONE CITYSCAPE
4	ROLL-UP DOOR JANUS SILHOUETTE GRAY
5	MBCI AWNINGS PAINTED DUNN EDWARDS DE6392 MINK
6	PARAPET/TRIM DUNN EDWARDS DE6392 MINK
7	NOT USED
8	NOT USED
9	SUPERLITE BLOCK INTEGRAL COLOR CHARCOAL GRAY
10	TRENDSTONE GROUNDFACE MASONRY UNITS SEASHELL WHITE
11	JANUS CORRUGATED METAL HEADER SILHOUETTE GRAY
12	AEP SPAN STANDING SEAM METAL ROOF OLD TOWN GRAY



KEY MAP
SCALE: N.T.S.

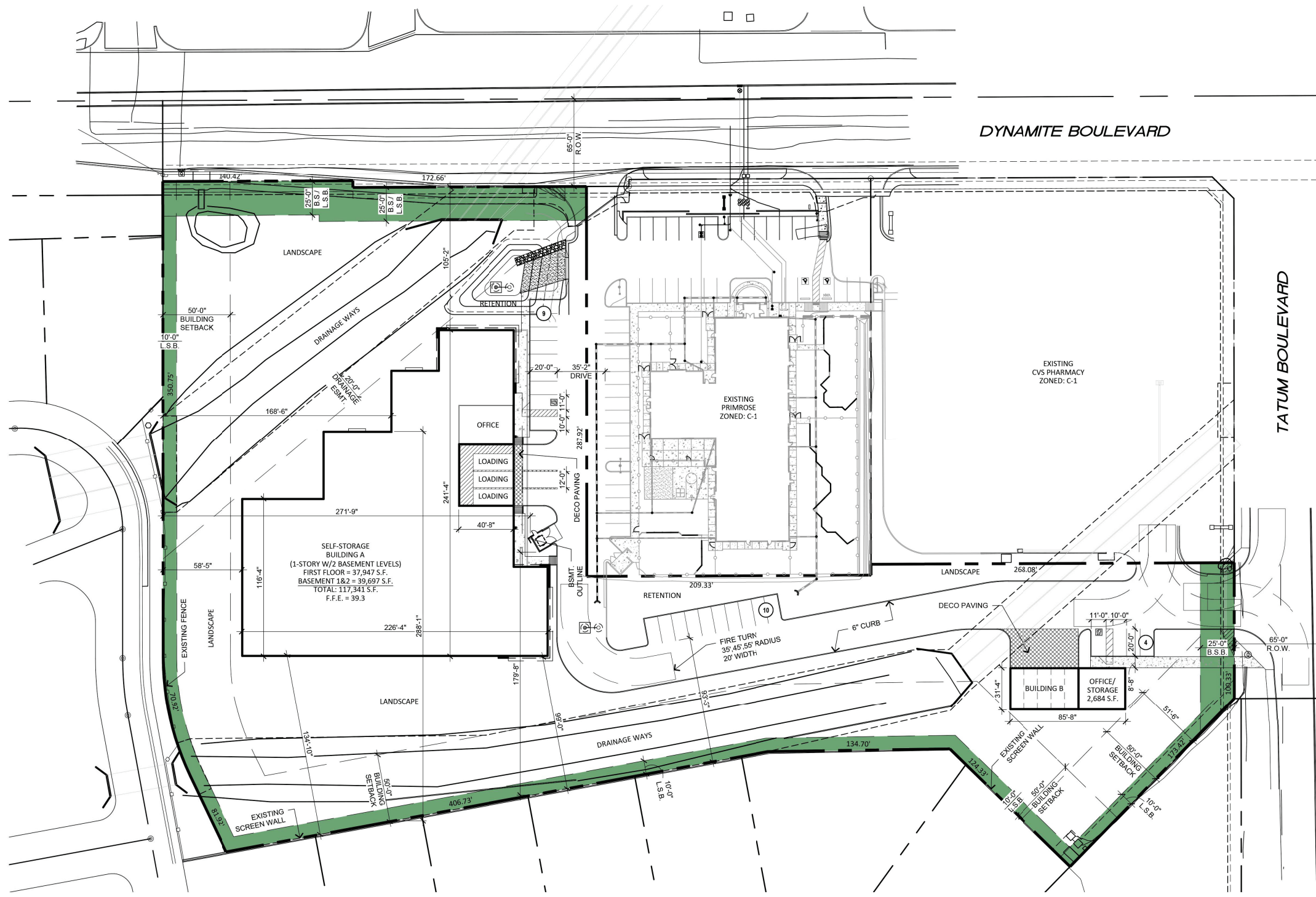
PROPOSED SELF STORAGE
SWC TATUM BOULEVARD AND DYNAMITE BOULEVARD
PHOENIX, ARIZONA
DATE: 08-09-2018 (PRELIMINARY NOT FOR CONSTRUCTION)



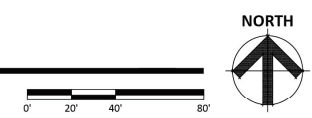
© 2018 R K A A
ARCHITECTS, INC. ALL
RIGHTS RESERVED.
THIS DRAWING IS AN
INSTRUMENT OF
SERVICE. IT IS THE
PROPERTY OF R K A A
ARCHITECTS, INC. AND
M A Y N O T B E
DUPLICATED, USED OR
DISCLOSED WITHOUT
WRITTEN PERMISSION
OF THE ARCHITECT.
EL-3
R K A A # 17189.50



EXHIBIT F
Building and Landscaping Setbacks



SITE PLAN - LANDSCAPE SETBACK REQUIRED
 SCALE: 1" = 40'-0"



PROPOSED SELF STORAGE
 SWC TATUM BLVD. AND DYNAMITE BLVD.
 PHOENIX, ARIZONA
 DATE: 09-27-2018 (PRELIMINARY NOT FOR CONSTRUCTION)

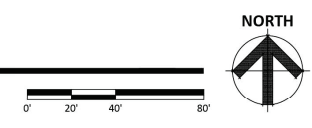
© 2017 R K A A
 ARCHITECTS, INC. ALL
 RIGHTS RESERVED.
 THIS DRAWING IS AN
 INSTRUMENT OF
 SERVICE. IT IS THE
 PROPERTY OF R K A A
 ARCHITECTS, INC. AND
 M.A.Y. N.O.T. B.E.
 DUPLICATED, USED OR
 DISCLOSED WITHOUT
 WRITTEN PERMISSION
 OF THE ARCHITECT.

**SETBACK
 EXHIBIT-LA-1**
 R K A A # 17189.50





SITE PLAN - LANDSCAPE SETBACK PROVIDED
 SCALE: 1" = 40'-0"

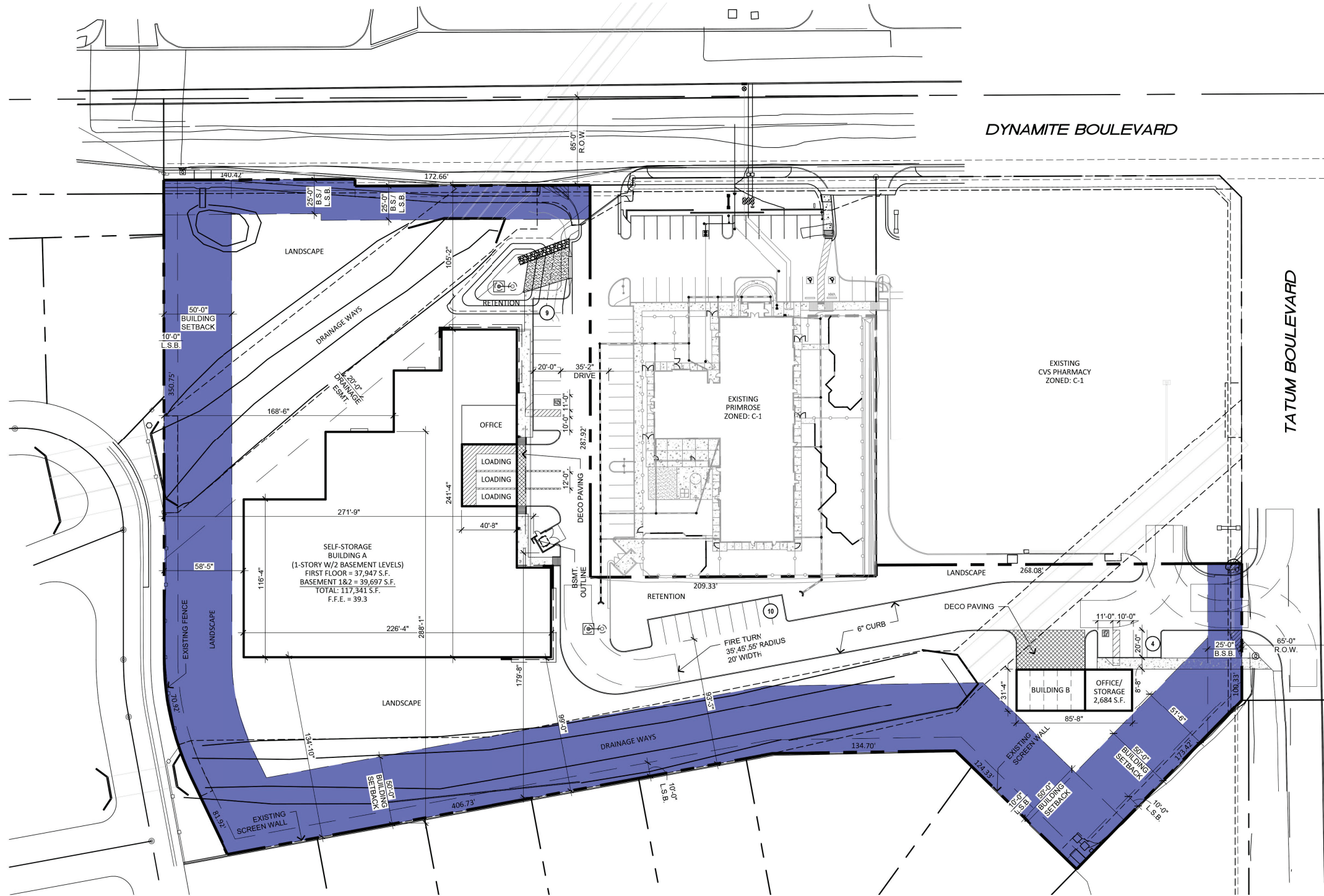


PROPOSED SELF STORAGE
 SWC TATUM BLVD. AND DYNAMITE BLVD.
 PHOENIX, ARIZONA
 DATE: 09-27-2018 (PRELIMINARY NOT FOR CONSTRUCTION)

© 2017 R K A A
 ARCHITECTS, INC. ALL
 RIGHTS RESERVED.
 THIS DRAWING IS AN
 INSTRUMENT OF
 SERVICE. IT IS THE
 PROPERTY OF R K A A
 ARCHITECTS, INC. AND
 M.A.Y. N.O.T. B.E.
 DUPLICATED, USED OR
 DISCLOSED WITHOUT
 WRITTEN PERMISSION
 OF THE ARCHITECT.

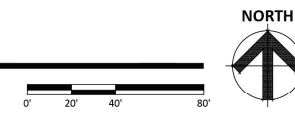
**SETBACK
 EXHIBIT-LA-2**
 R K A A # 17189.50





SITE PLAN - BUILDING SETBACK REQUIRED

SCALE: 1" = 40'-0"

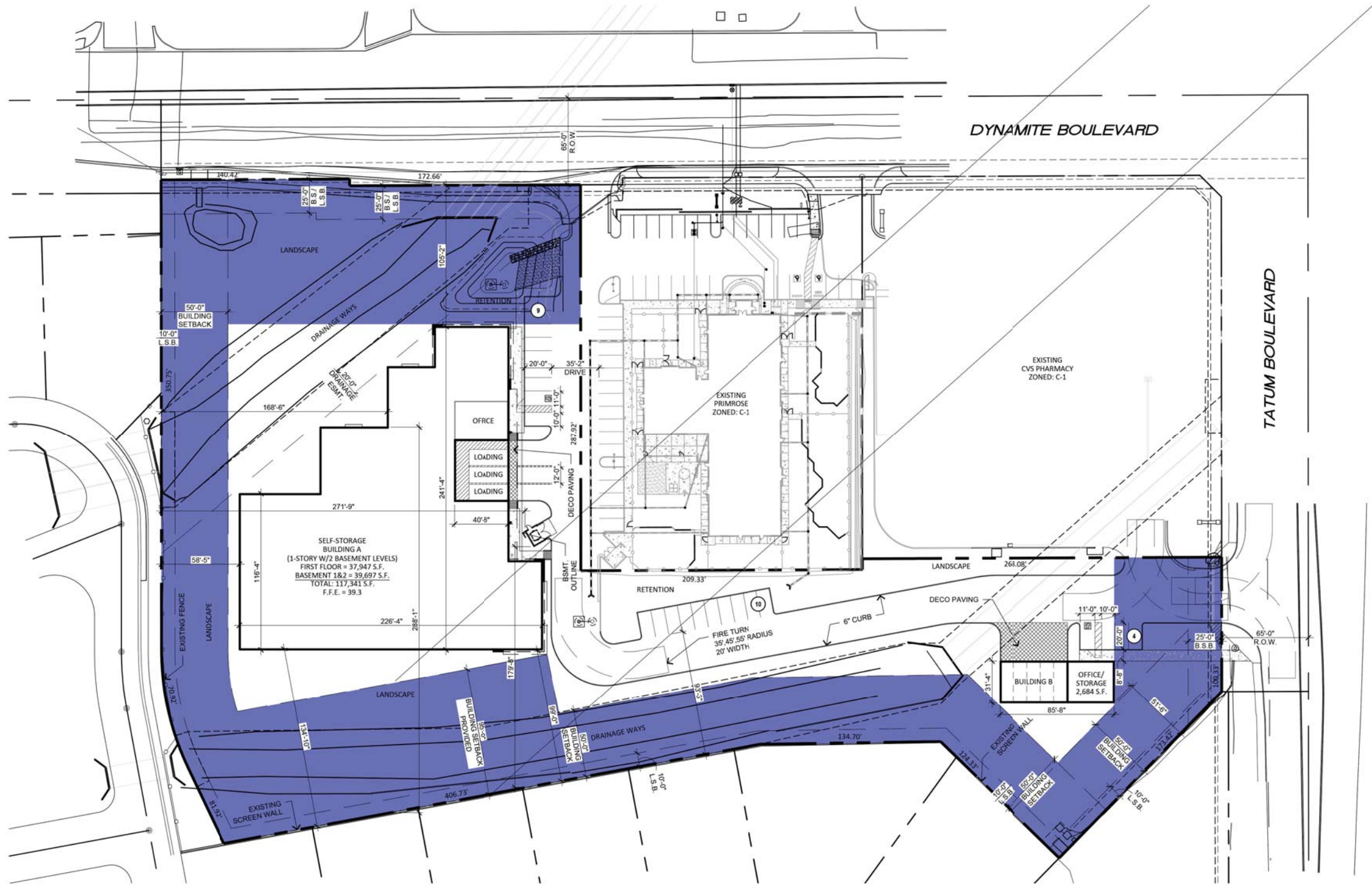


PROPOSED SELF STORAGE
 SWC TATUM BLVD. AND DYNAMITE BLVD.
 PHOENIX, ARIZONA
 DATE: 09-27-2018 (PRELIMINARY NOT FOR CONSTRUCTION)

© 2017 R K A A
 ARCHITECTS, INC. ALL
 RIGHTS RESERVED.
 THIS DRAWING IS AN
 INSTRUMENT OF
 SERVICE. IT IS THE
 PROPERTY OF R K A A
 ARCHITECTS, INC. AND
 M.A.Y. N.O.T. B.E.
 DUPLICATED, USED OR
 DISCLOSED WITHOUT
 WRITTEN PERMISSION
 OF THE ARCHITECT.

SETBACK
EXHIBIT-BLDG.1
 R K A A # 17189.50





SITE PLAN - BUILDING SETBACK PROVIDED
 SCALE: 1" = 40'-0"

PROPOSED SELF STORAGE
 SWC TATUM BLVD. AND DYNAMITE BLVD.
 PHOENIX, ARIZONA
 DATE: 09-27-2018 (PRELIMINARY NOT FOR CONSTRUCTION)

© 2017 RCAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RCAA ARCHITECTS, INC. AND MAY NOT BE REPRODUCED, COPIED, Duplicated, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

SETBACK EXHIBIT-BLDG.2
 RCAA# 17189.50



EXHIBIT G
Renderings



VIEW 1

PROPOSED SELF-STORAGE
SWC TATUM BLVD. AND DYNAMITE BLVD.
PHOENIX, ARIZONA
DATE: 09-11-2018 (PRELIMINARY)

© 2018 RKAA
ARCHITECTS, INC. ALL
RIGHTS RESERVED.
THIS DRAWING IS AN
INSTRUMENT OF
SERVICE. IT IS THE
PROPERTY OF RKAA
ARCHITECTS, INC. AND
MAY NOT BE
DUPLICATED, USED OR
DISCLOSED WITHOUT
WRITTEN PERMISSION
OF THE ARCHITECT.

VIEW 1



RKAA
ARCHITECTS, INC

RKAA# 17189.50



VIEW 2

PROPOSED SELF-STORAGE
SWC TATUM BLVD. AND DYNAMITE BLVD.
PHOENIX, ARIZONA
DATE: 09-11-2018 (PRELIMINARY)

© 2018 RKAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RKAA ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

VIEW 2



RKAA
ARCHITECTS, INC

RKAA# 17189.50



VIEW 3

PROPOSED SELF-STORAGE
SWC TATUM BLVD. AND DYNAMITE BLVD.
PHOENIX, ARIZONA
DATE: 09-10-2018 (PRELIMINARY)

© 2018 RKAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RKAA ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

VIEW 3



RKAA
ARCHITECTS, INC

RKAA# 17189.50

EXHIBIT H
Grading and Drainage Plan

EXHIBIT I
Existing and Proposed Zoning Map

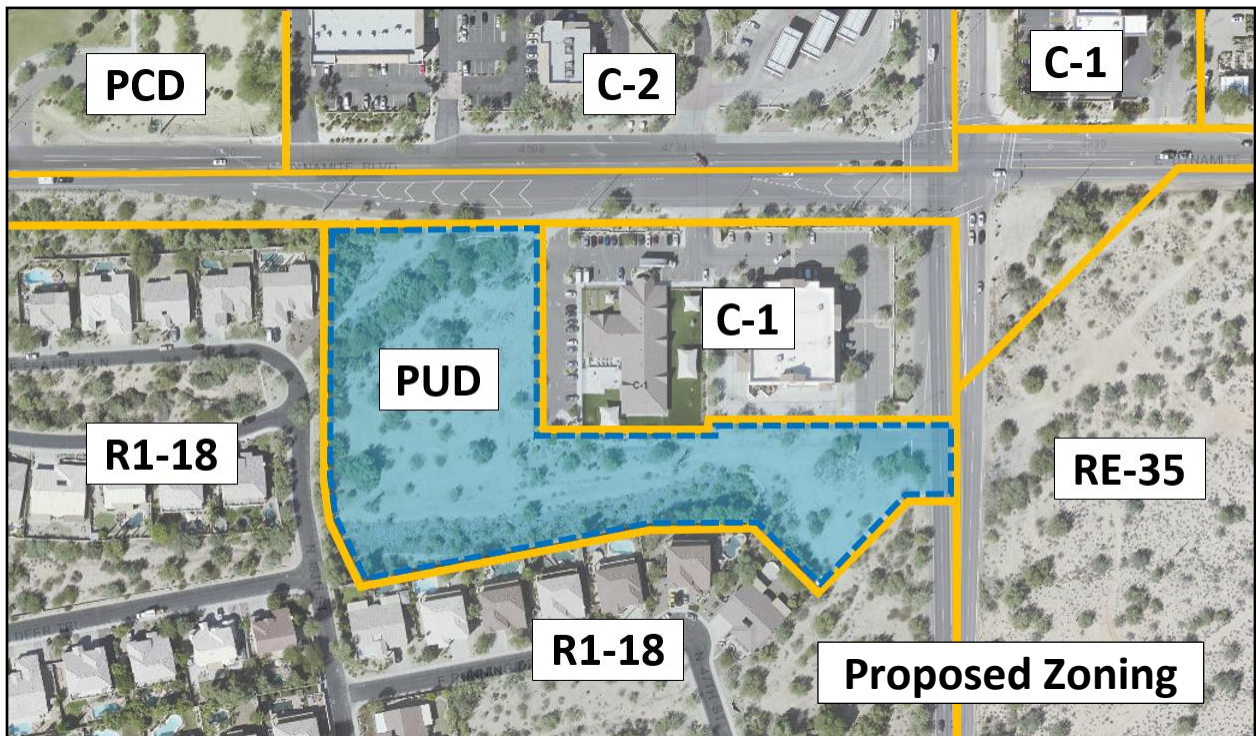
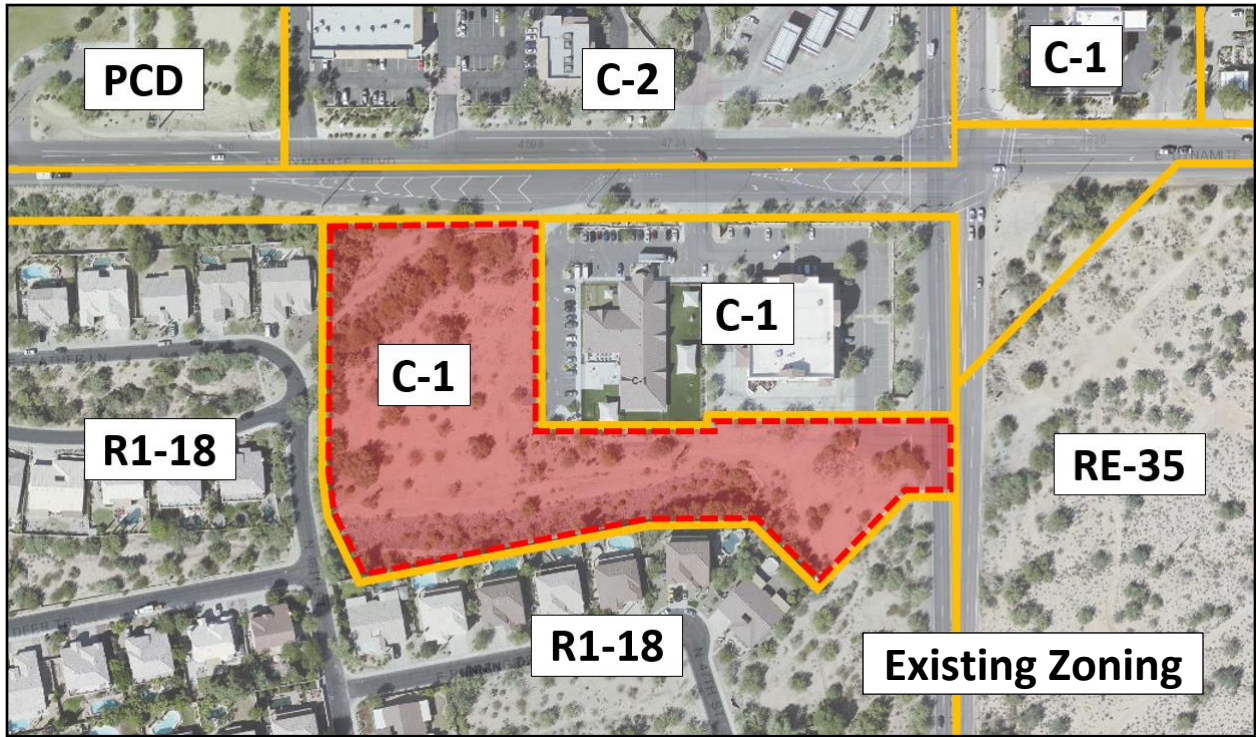


EXHIBIT J General Plan Land Use Map

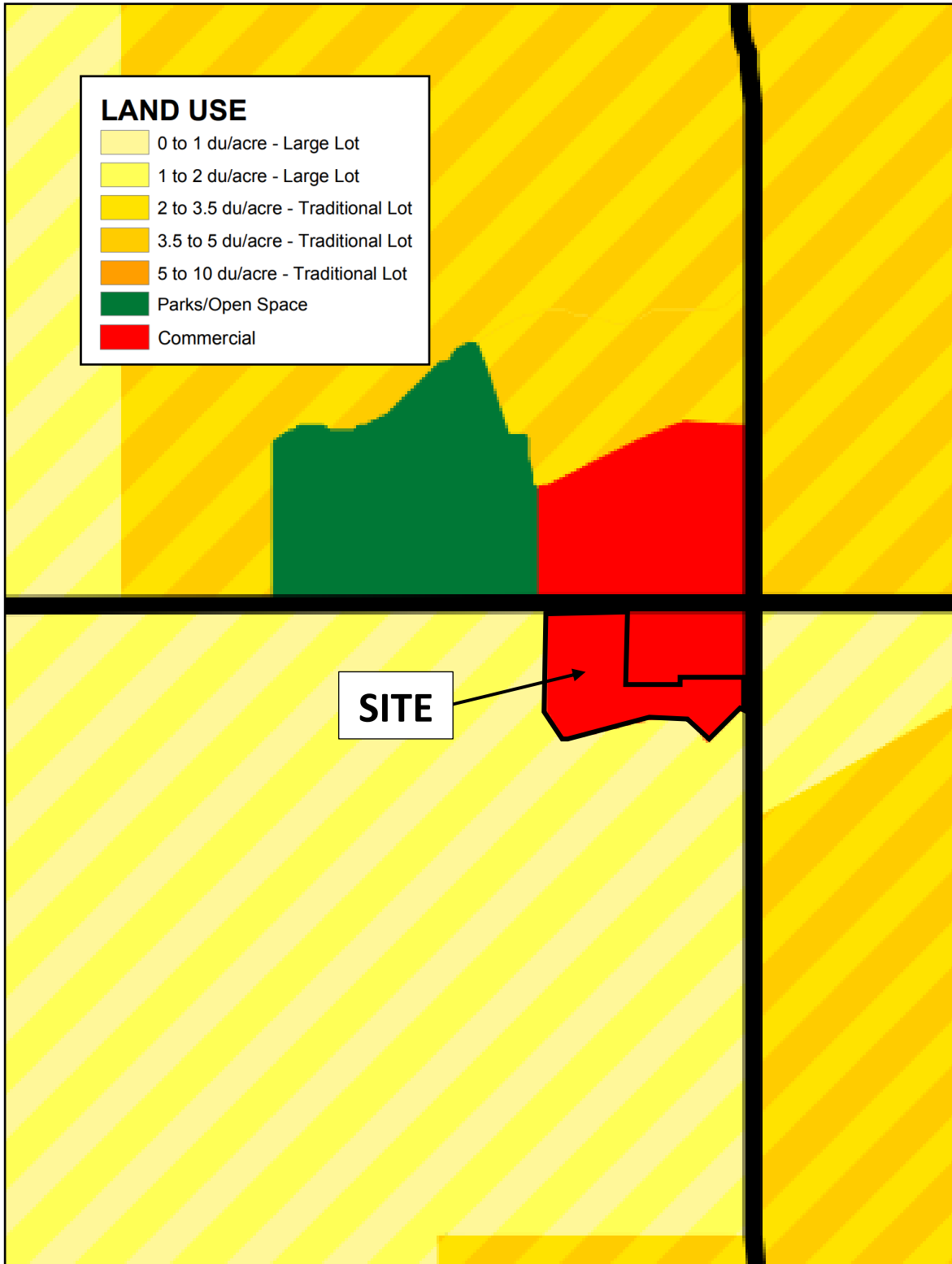


EXHIBIT K

Comparative Standards Zoning Table

Please refer to Exhibit C for illustrative clarification of the standards noted below.

LOT DEVELOPMENT STANDARDS

STANDARD	C-1 ZONING	PROPOSED	DIFFERENCE
Maximum Height (Building A)	Maximum 30 feet	Maximum 16 feet ⁽¹⁾	-14 feet
Maximum Height (Building B)	Maximum 30 feet	Maximum 13 feet ⁽¹⁾	-17 feet
Maximum Lot Coverage	Max. 50 percent	Max. 25 percent	-25 percent
Maximum Building Size (Building A)	None	120,000 square feet	N/A
Maximum Building Size (Building B)	None	2,800 square feet	N/A
Building Setbacks			
North (Streetscape)	Average 25 feet	Minimum 100 feet	+75 feet
East (Streetscape)	Average 25 feet	Minimum 80 feet	+55 feet
South (Building A)	Minimum 50 feet	Minimum 95 feet	+45 feet
South (Building B)	Minimum 50 feet	Minimum 50 feet	+0 feet
West	Minimum 50 feet	Minimum 55 feet	+5 feet

Note⁽¹⁾: Building height shall be measured as defined by the City of Phoenix Zoning Ordinance.

LANDSCAPING STANDARDS

STANDARD	C-1 ZONING	PROPOSED	DIFFERENCE
Landscape Setbacks			
North (Streetscape)	Average 25 feet	Minimum 100 feet	+75 feet
East (adjacent to Tatum Blvd.)	Average 25 feet	Minimum 25 feet	+0 feet
South	Minimum 10 feet	Minimum 50 feet	+40 feet
West	Minimum 10 feet	Minimum 55 feet	+45 feet

STANDARD	C-1 ZONING	PROPOSED
Minimum Planting Sizes – Streetscape		
Trees	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper (25% of required trees) Min. 4-inch caliper (25% of required trees)	Min. 2-inch caliper (50% of required trees) Min. 4-inch caliper (50% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree	Min. five (5) 5-gallon shrubs per tree
Minimum Planting Sizes – Adjacent to Building or Perimeter Property Lines		
Trees	Min. 1-inch caliper (40% of required trees) Min. 2-inch caliper (60% of required trees)	Min. 2-inch caliper (50% of required trees) Min. 4-inch caliper (50% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree	Min. five (5) 5-gallon shrubs per tree
Minimum Planting Sizes - Parking Lot Area		
Trees	Min. 1-inch caliper (40% of required trees) Min. 2-inch caliper (60% of required trees)	Min. 2-inch caliper (50% of required trees) Min. 4-inch caliper (50% of required trees)
Shrubs	Min. five (5) 5-gallon shrubs per tree	Min. five (5) 5-gallon shrubs per tree

STANDARD	C-1 ZONING	PROPOSED
Parking Lot Area		
Interior Surface Area (exclusive of perimeter landscaping and all required setbacks)	Minimum 10%	Minimum 10%
Landscaped Planters (single row parking)	Minimum 120 square feet and at ends of each row of parking approximately every 110 feet	Minimum 120 square feet and at ends of each row of parking approximately every 90 feet
Adjacent to Building		
Building facades within 100' of public right-of-way or adjacent to public entry to building	Minimum 25% of exterior wall length shall be treated with either a landscaped planter min. 5' in width or an arcade or equivalent feature	Minimum 25% of exterior wall length shall be treated with a landscaped planter min. 5' in width

EXHIBIT L
Traffic Impact Statement



September 27, 2018

Ms. Michelle Bach
RCAA Architects, Inc.
2233 East Thomas Road
Phoenix, AZ 85016

Re: SWC Tatum Boulevard and Dynamite Boulevard – Traffic Impact Statement, Phoenix, Arizona

Dear Ms. Bach:

This letter outlines our findings regarding the trip generation of the ±5.0-acre site proposed for a 950-unit self-storage facility to be located at the southwest corner of the intersection of Tatum Boulevard and Dynamite Boulevard in Phoenix, Arizona.

Access to the site is to be provided by one (1) existing driveway on the west side of Tatum Boulevard south of Dynamite Boulevard and by one (1) existing driveway on the south side of Dynamite Boulevard west of Tatum Boulevard. A copy of the proposed site plan is attached. The first site driveway is located approximately 375 feet south of Dynamite Boulevard and is a full-movement driveway. The second site driveway is located approximately 550 feet west of Tatum Boulevard and is a full-movement driveway.

The trip generation rates and equations published by the *Institute of Transportation Engineers' (ITE) Trip Generation Manual, 10th Edition* were used for the trip generation characteristics of the development. The trip generation characteristics of the proposed land use assumptions are summarized in **Table 1**.

Table 1 – Trip Generation (Proposed Use)

Land Use	ITE Code	Qty	Units	Daily Total	AM Peak			PM Peak		
					In	Out	Total	In	Out	Total
Mini-Warehouse	151	950	Storage Units	172	7	6	13	10	9	19
Total Trips				172	7	6	13	10	9	19

Under the proposed development plan land use assumptions, the site would be expected to generate 172 daily trips, of which 13 trips would occur in the AM peak hour and 19 trips would occur in the PM peak hour. Detailed calculations are also attached to this document.

In addition to the proposed self-storage land use, two (2) additional land use alternatives were evaluated for trip generation comparison purposes. These alternative land uses are a 4,500 s.f. bank with drive thru lanes and a 10,000 s.f. retail pad. Trip generation results are summarized in **Table 2**.

Table 2 – Trip Generation (Alternative Uses)

Land Use	ITE Code	Qty	Units	Daily Total	AM Peak			PM Peak		
					In	Out	Total	In	Out	Total
Drive-In Bank	912	4,500	Square Ft.	452	25	18	43	46	46	92
Shopping Center	820	10,000	Square Ft.	1,256	98	60	158	47	52	99

As summarized in **Table 1**, the volume of Daily, AM, and PM trips expected to be generated by the proposed Mini-Warehouse development is very low, and falls below the threshold needed to warrant further analysis.

If you have any further questions, please feel free to contact me at (602) 944-5500.

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.



Charles R. Wright, P.E.

KK:\PHX_Traffic\291002004 - Tatum and Dynamite\2018-09-27_Tatum and Dynamite_Traffic Impact Statement.doc



PROJECT DIRECTORY

DEVELOPER:
1784 CAPITAL HOLDINGS
8777 N. GAINIEY CENTER DRIVE, SUITE 191
SCOTTSDALE, ARIZONA 85258
CONTACT: KELLY MCKONE
PHONE: (602) 885-2552
E-MAIL: kmckone@1784holdings.com

ARCHITECT:
ROBERT KUBICEK ARCHITECTS & ASSOCIATES
2233 EAST THOMAS ROAD
PHOENIX, ARIZONA 85016
CONTACT: ROBERT KUBICEK
PHONE: (602) 955-3900
FAX: (602) 955-0496
E-MAIL: rkubicek@rkaa.com

SITE DATA

EXISTING ZONING:	C-1
PROPOSED ZONING:	PUD
GROSS SITE AREA:	5.1 ACRES (224,604 S.F.)
NET SITE AREA:	5.0 ACRES (217,949 S.F.)

PROPOSED USE:	SELF-STORAGE
MAX HEIGHT BUILDING A:	16 FEET
MAX HEIGHT BUILDING B:	13 FEET

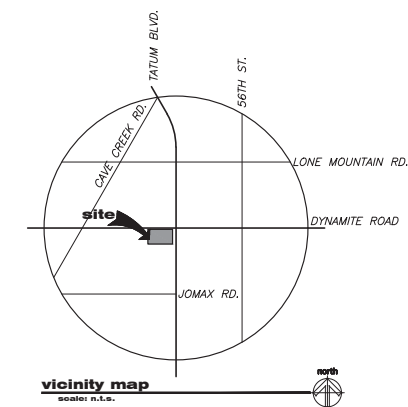
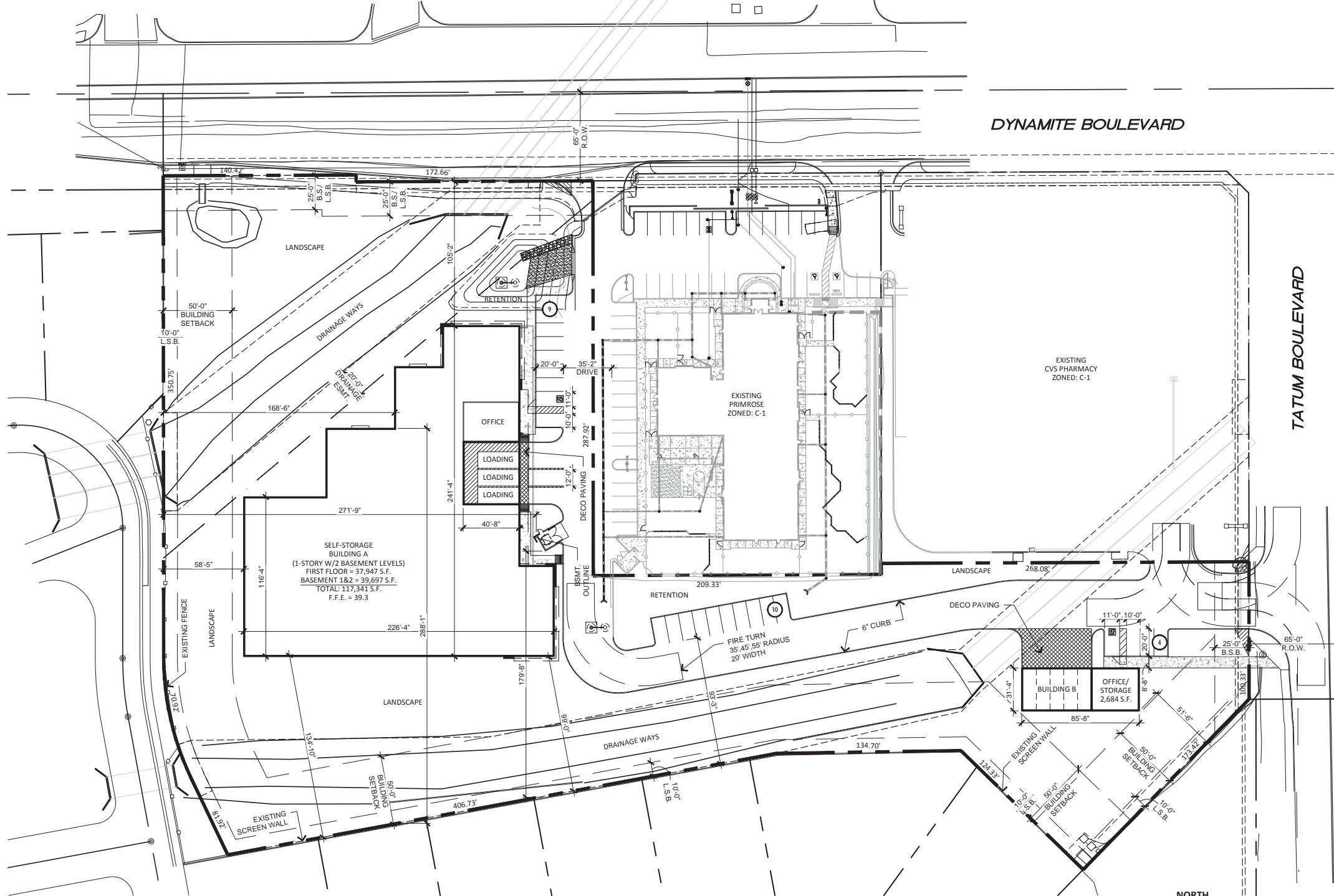
BUILDING AREA:	
SELF-STORAGE BLDG. A (1 UP/2 DOWN):	117,341 S.F.
OFFICE/BUILDING B:	2,684 S.F.

TOTAL:	120,025 S.F.
SITE COVERAGE:	19%

TOTAL PARKING PROVIDED:	23 SPACES
-------------------------	-----------

ACCESSIBLE SPACES REQUIRED:	1 SPACES
ACCESSIBLE SPACES PROVIDED:	2 SPACES

INTERIOR LOADING PROVIDED:	3 SPACES
----------------------------	----------



SITE PLAN

SCALE: 1" = 40'-0"

CITY OF PHOENIX SITE PLAN NOTES

- a. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
- b. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICES AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
- c. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
- d. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAYS ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- e. STRUCTURES AND LANDSCAPING WITH A TRIANGLE MEASURING 33'X33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
- f. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
- g. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
- h. THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE PHOENIX CONSTRUCTION CODE PRIOR TO USE.
- i. AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PDD PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 262-6981 AND REQUEST A DESIGN REVIEW INSPECTION.
- j. ALL ROOFTOP EQUIPMENT AND SATELLITES DISHES SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST EQUIPMENT.
- k. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
- l. BARBED, RAZOR, OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT TO BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
- m. ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.
- n. SMOKE, GAS AND ODOR EMISSIONS SHALL COMPLY WITH REGULATION III OF THE MARICOPA COUNTY AIR POLLUTION CONTROL RULES AND REGULATIONS.
- o. THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT.
- p. THE AVERAGE NOISE LEVEL, MEASURED AT THE PROPERTY LINE, SHALL NOT EXCEED 55dB (1dn) WHEN MEASURED ON AN "A WEIGHTED" SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.
- q. ALL NEW SANITARY SEWER LINES WITHIN THE SITE ALL BE PRIVATE PLUMBING LINES SUBJECT TO THE PHOENIX PLUMBING CODE OR THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AQUIFER PROTECTION PROGRAM (APP) GENERAL PERMIT 4.01 IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE TITLE 18, CHAPTER 9, SECTION E301 (AAC R18-9-E301) WHICHEVER IS APPLICABLE.
- r. THE SANITARY SEWER COLLECTION SYSTEM WITHIN THIS PROJECT WILL BE A PRIVATE SYSTEM, OWNED AND MAINTAINED BY THE PROPERTY OWNER(S) OR ASSOCIATION. THE SYSTEM WILL BE REVIEWED AND INSPECTED BY THE BUILDING SAFETY SECTION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- s. ALL ON-SITE WATER LINES, SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE PHOENIX PLUMBING CODE.

PROPOSED SELF STORAGE

SWC TATUM BLVD. AND DYNAMITE BLVD.

PHOENIX, ARIZONA

DATE: 09-27-2018 (PRELIMINARY NOT FOR CONSTRUCTION)

© 2017 R K A A ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF R K A A ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

SP-1

RKAA# 17189.50



Trip Generation Planner (ITE 10th Edition)



Weekday Trip Generation
Trips Based on Average Rates/Equations

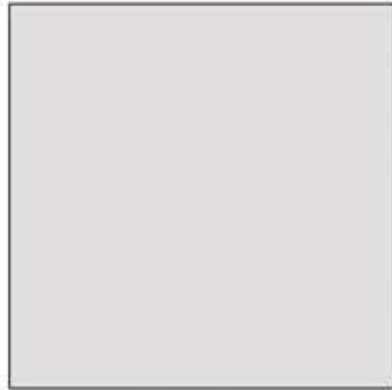
Project Name Tatum and Dynamite
Project Number 291002004

ITE Code	Land Use Description	Independent Variable	No. of Units	Avg Rate or Eq	Trip Rates			Total Trips								Net Trips after Pass-By Reduction							
					Daily Rate	AM Rate	PM Rate	Daily Trips	AM Trips	PM Trips	AM Trips In	AM Trips Out	PM Trips In	PM Trips Out	Daily Trips	AM Trips	PM Trips	AM Trips In	AM Trips Out	PM Trips In	PM Trips Out		
151	Mini-Warehouse	Storage Units (100s)	9.5	Avg	17.96	1.39	1.95	172	13	19	7	6	10	9	172	13	19	7	6	10	9		
820	Shopping Center	1,000 Sq Ft GLA	10	Eq	N/A	N/A	N/A	1256	158	99	98	60	47	52	1256	158	65	98	60	31	34		
912	Drive-In Bank	1,000 Sq Ft	4.5	Avg	100.03	9.50	20.45	452	43	92	25	18	46	46	452	43	49	25	18	24	25		

Notes:

- (1) AM and/or PM rates correspond to peak hour of generator
- A Trip generation data from ITE *Trip Generation, 9th Edition*
- B AM/PM rates correspond to peak of adjacent street traffic (if data available)
- C Includes weekday rates only
- D Total trips include pass-by trips w/ no internal capture
- E Pass-by rates from ITE *Trip Generation Handbook, 2nd Edition*
- F Internal capture rates from ITE *Trip Generation Handbook, 2nd Edition*
- G Worksheet is intended as a planning tool. Verify results w/ ITE *Trip Generation, 9th Edition*
- H Enter data only in green shaded cells

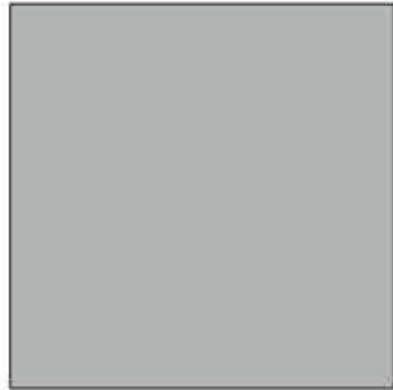
EXHIBIT M
Colors and Materials Board



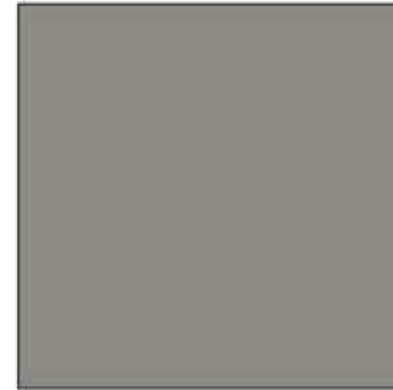
1 STOREFRONT
KAWNEER
ANODIZED CLEAR



2 SUPERLITE BLOCK SMOOTH FACE
INTEGRAL COLOR
PURPLE HART



3 METAL PANELS
FIRESTONE
CITYSCAPE



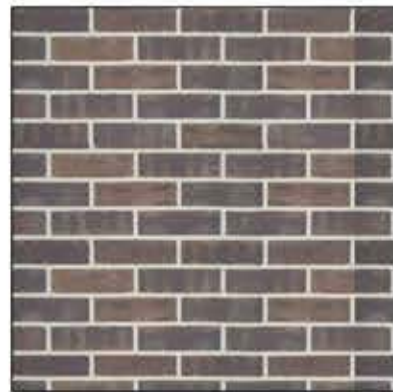
4 ROLL UP DOOR
JANUS
SILHOUETTE GRAY



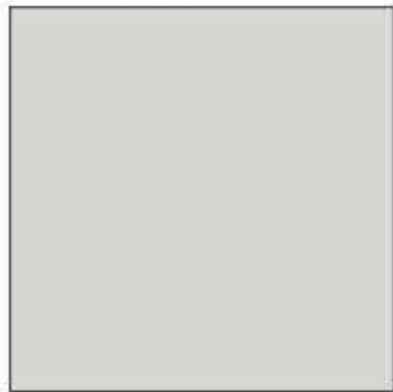
5 MBCI AWNINGS PAINTED
DUNN EDWARDS
DE6392 MINK



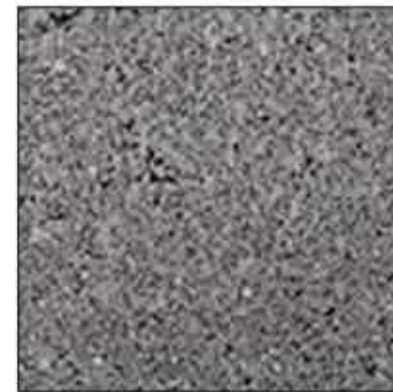
6 PARAPET/TRIM
DUNN EDWARDS
DE6392 MINK



7 SUMMIT BRICK
IRON MOUNTAIN



8 FINE FINISH STUCCO PAINTED
DUNN EDWARDS
DEC791 CLOUD



9 SUPERLITE BLOCK SMOOTH FACE
INTEGRAL COLOR
CHARCOAL GRAY



10 TRENDSTONE
GROUNDFACE MASONRY UNITS
SEASHELL WHITE

PROPOSED SELF STORAGE
SWC TATUM BOULEVARD AND DYNAMITE BOULEVARD
PHOENIX ARIZONA
DATE: 06-06-2018 (PRELIMINARY)

© 2018 RKAA
ARCHITECTS, INC. ALL
RIGHTS RESERVED.
THIS DRAWING IS AN
INSTRUMENT OF
SERVICE. IT IS THE
PROPERTY OF RKAA
ARCHITECTS, INC. AND
MAY NOT BE
DUPLICATED, USED OR
DISCLOSED WITHOUT
WRITTEN PERMISSION
OF THE ARCHITECT.

MB-1

RKAA# 17189.50



EXHIBIT N
Natural Grade Determination Report

Natural Grade Determination Report

For

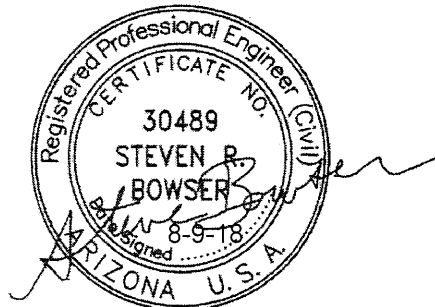
Southwest corner of Tatum / Dynamite

Phoenix, AZ

Kiva:
Job: 345
August 2018
Revised 8-9-18

Prepared by:

Steve Bowser, PE
Helix Engineering, LLC
3240 E. Union Hills Dr #112
Phoenix, AZ 85050
602-788-2616
sb@hxeng.com



EXP 9-30-20

**NATURAL GRADE DETERMINATION REPORT
FOR
Southwest corner of Tatum / Dynamite
Phoenix, Arizona**

1.0	INTRODUCTION	3
2.0	OBJECTIVES – PROJECT DEVELOPMENT AND BACKGROUND.....	3
3.0	EXISTING SITE CONDITIONS	3
4.0	METHODOLOGY	3
5.0	CONCLUSION	4
	Figure 1 – Vicinity	4
	Figure 2 – Zoning Code Definition.....	5
	Figure 3 – Grade Point Map.....	6
	Figure 4 – Summary Average Grades.....	7

1.0 INTRODUCTION

The proposed site is located at the Southwest corner of Dynamite Rd and Tatum Blvd in Phoenix. The site is situated within the Northeast quarter of Section 31, Township 5 North, Range 4 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. The site is an undeveloped site surrounded by commercial, residential and drainage improvements. This property is Lot 2 per the final plat of "Primrose Lots 1 and 2", Book 1131, lot 38. This Project has frontage on both Tatum Blvd and Dynamite Blvd.

2.0 OBJECTIVES – PROJECT DEVELOPMENT AND BACKGROUND

The purpose of this report is to Establish 'Natural Grade' as defined by the City of Phoenix Zoning Code. This is based on a 3" COP brass cap in hand hole, 0.45' down at the Intersection of Dynamite and Tatum, Elevation 1845.72 (NGVD-29)

3.0 EXISTING SITE CONDITIONS

The site is currently undeveloped, however several projects have constructed substantial improvements near and on the site.

Diamond Creek Subdivision: Platted in 1998, Single family subdivision developed on the south and west sides of the site. Diamond Creek subdivision was constructed with standard graded lots and engineered streets. Two drainageways crossing this lot cross into Diamond Creek Subdivision where they enter culverts under 46th Street. These drainageways continue west and exit the west side of the Diamond Creek Subdivision.

CVS: In approximately 2006, CVS constructed the Commercial Drugstore on the immediate corner. This project also constructed half street along Dynamite Road, culvert extension under Dynamite Road and Culvert Extension across CVS (capped, plan to extend to the northeast at a future date). This Project also constructed rip rap lined drainageways across this lot. This project also constructed substantial dry utility facilities at the east end of Lot 2.

Primrose: In approximately 2012, Primrose constructed the childcare building on Lot 1. This project Constructed fill along the east and north side of lot 2.

4.0 METHODOLOGY

This site is the last site in the development and has undergone substantial grading on all perimeter areas since 1998. Under City of Phoenix Zoning Code, due to the substantial grading, the existing grade cannot be determined, therefore it shall be determined by an average of off-site elevations at points taken around the boundary of the site.

An existing grade was established every 40' (evenly spaced) around the perimeter of the platted lot for two areas:

1. Perimeter of the Lot 2 platted area
2. Perimeter of the Lot 2 platted area west of Lots 1 (Primrose) and CVS.

These grades are based on existing grades (2018) or interpolated between existing grades.

Grades along streets are the prevailing pavement grades on both Dynamite and Tatum at the point closest to the site (at gutter of edge of pavement). (Sidewalk grades will be higher than these grades).

An average grade is then determined by the average of all grades. Equal spacing of grades is therefore equal weight of grades. The average of these grades is the established "Natural Grade" as defined by Phoenix Zoning Code.

5.0 CONCLUSION

STORMWATER RETENTION / SITE IMPROVEMENTS/OFFSITE FLOW CONVEYANCE

1. The Overall Platted Lot 2 has a Natural Grade of 36.9.
2. The Portion of Lot 2 west of Lots 1 and CVS has a Natural Grade of 34.4.

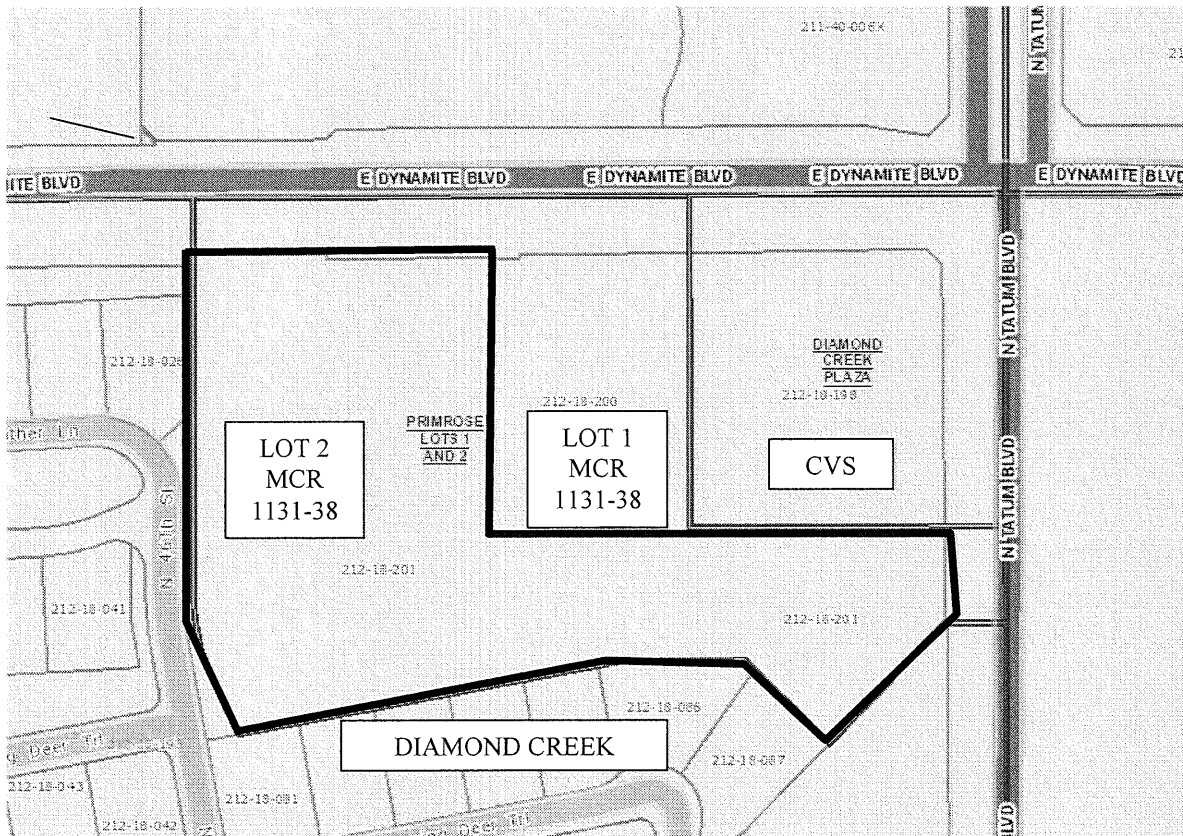
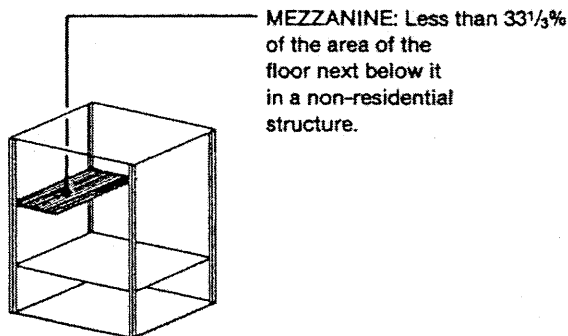
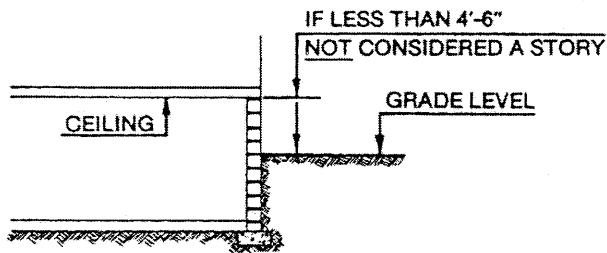


Figure 1-VICINITY MAP

Figure 2 - Zoning Code Definitions

Natural Grade: The elevation through any section of a site on an undisturbed lot at the time of adoption of this ordinance by City Council. On lots that have been disturbed previously, the natural grade is the pre-existing grade if it can be determined; otherwise it shall be determined by an average of off-site elevations at points taken around the boundary of the site. +1 *50

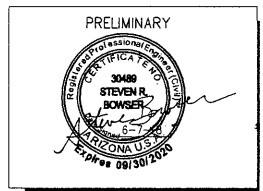
Story: That portion of a building included between the surface of any floor and the surface of the next floor above it, or if there is no floor above it, then the space between the floor and the ceiling next above it. A basement, the ceiling of which is less than four feet six inches (4'6") above the natural grade, shall not be considered a story. A mezzanine floor shall not be considered a story if it is less than thirty-three and one-third percent (33 1/3%) of the area of the floor next below it. *58



Building Height: The vertical distance measured from the higher of the natural grade level or the finished grade level established by the Planning and Development Department pursuant to the Floodplain or Grading and Drainage Regulations of the City to the highest level of the roof surface of flat roofs; or to the mean height between eaves and ridge of gable, gambrel, or hip roofs

Figure 3 - Grade Point Map

CLIENT:
 RKA Architects, Inc.
 2233 East Thomas Rd
 Phoenix, AZ 85016
 (602) 955-3900



Helix Engineering, LLC
 Engineering / Surveying / Consulting
 3240 E Union Hills
 Suite 112
 Phoenix AZ 85050
 (602) 788-2616
 www.hxeng.com

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF THE OWNER. IT IS PRODUCED SOLELY FOR USE BY THE OWNER AND ITS AFFILIATES. REPRODUCTION OR USE OF THIS DRAWING AND/OR THE INFORMATION CONTAINED IN IT IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE OWNER.

TWO WORKING DAYS BEFORE YOU DIG.
 CALL FOR THE BLUE STAKES
 1-800-782-5348
 BLUE STAKE CENTER

RELEASE	
DATE	
2-7-18	PRELIM ENGR
5-9-18	REV SP
6-6-18	REV SP

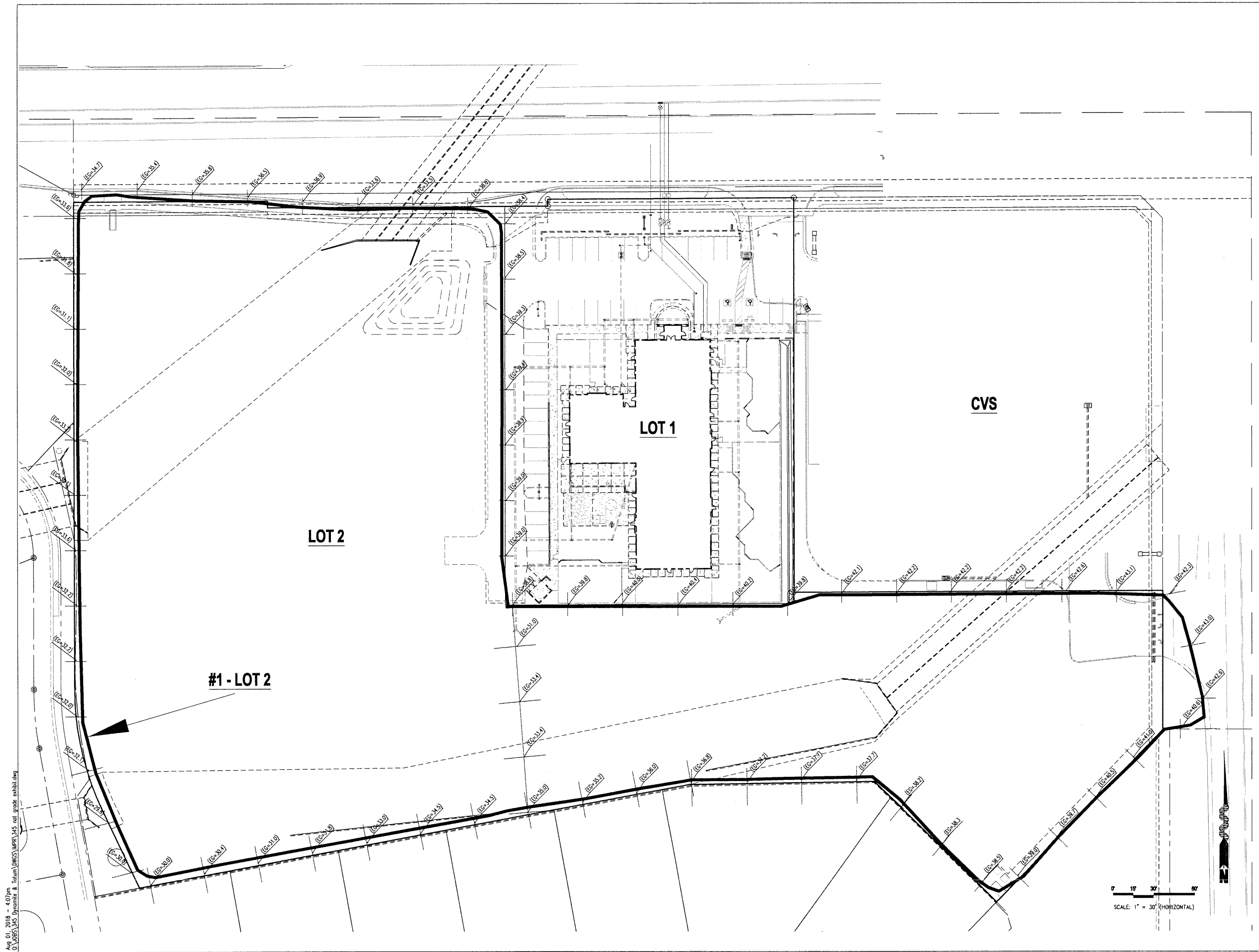
REVISIONS	
NO.	DATE

PROJECT NAME
 SELF STORAGE
 PROJECT ADDRESS
 DYNAMITE / TATUM
 PHOENIX, ARIZONA
 85331

PROJECT AREA
 SWC DYNAMITE / TATUM
 HELIX JOB NUMBER IN HOUSE
 345 DRAWN BY: MT
 SHEET TITLE CHECKED BY: SB

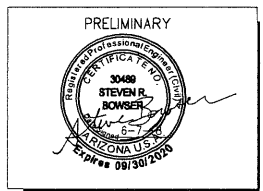
GRADE POINT MAP
 SHEET PAGE

FIGURE 3 OF
 PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"



Aug 01, 2018 - 4:07pm
 D:\005\345 Dynamite & Tatum\DWG\SWC\345 self storage exhibit.dwg

CLIENT:
 RKA Architects, Inc.
 2233 East Thomas Rd
 Phoenix, AZ 85016
 (602) 955-3900



Helix Engineering, LLC
 Engineering / Surveying / Consulting
 3240 E Union Hills
 Suite 112
 Phoenix AZ 85050
 602-788-2616
 www.hxeng.com

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF THE OWNER. IT IS PRODUCED SOLELY FOR USE BY THE OWNER AND ITS AFFILIATES. REPRODUCTION OR USE OF THIS DRAWING AND/OR THE INFORMATION CONTAINED IN IT IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE OWNER.

TWO WORKING DAYS BEFORE YOU DIG.
 CALL FOR THE BLUE STAKES
 1-800-782-5348
 BLUE STAKE CENTER

RELEASE	
DATE	
2-7-18	PRELIM ENGR
5-9-18	REV SP
8-6-18	REV SP

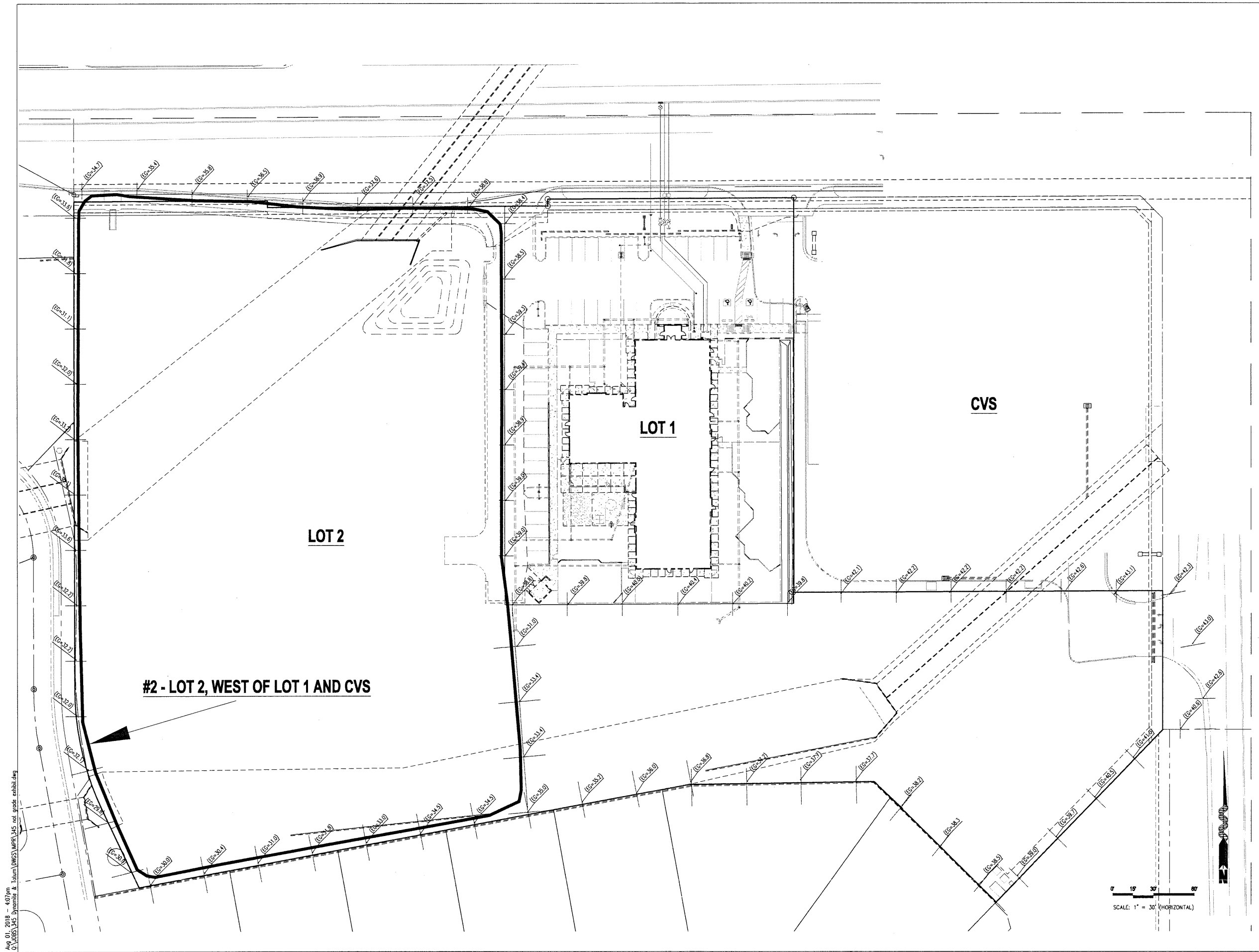
REVISIONS	
NO.	DATE

PROJECT NAME
 SELF STORAGE
 PROJECT ADDRESS
 DYNAMITE / TATUM
 PHOENIX, ARIZONA
 85331

PROJECT AREA
 SWC DYNAMITE / TATUM
 HELIX JOB NUMBER: 345
 IN HOUSE
 DRAWN BY: MT
 CHECKED BY: SB
 SHEET TITLE

GRADE POINT MAP
 SHEET PAGE

FIGURE 3 OF
 PLOT SCALE: 1:1 @ 24"x36"; 1:2.2 @ 11"x17"



Aug 01, 2018 - 4:07 pm
 D:\BBS\345 Dynamite & Tatum\DWG\SWC\WPP\345 self storage exhibit.dwg

Figure 4 - Summary / Average Perimeter Grades

Avg Elevation
"Natural Grade"

36.9

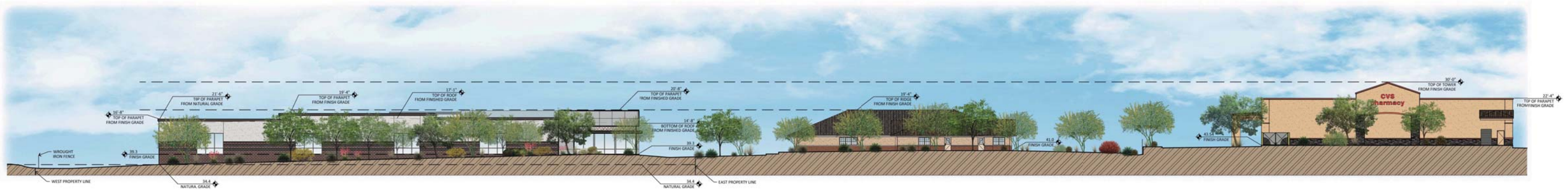
34.4

Points taken at even 40' spacing, therefore equal weighting

Benchmark: Brass Cap in HH - Tatum and Dynamite: 1845.72. Grades shown truncate 1800.00

Data Points	#1 - Lot 2	#2 - Lot 2 west of Lot 1 and CVS
1)	30.0	30.0
2)	29.6	29.6
3)	32.1	32.1
4)	32.0	32.0
5)	32.2	32.2
6)	32.2	32.2
7)	33.6	33.6
8)	30.1	30.1
9)	33.2	33.2
10)	32.0	32.0
11)	31.1	31.1
12)	31.8	31.8
13)	33.6	33.6
14)	34.7	34.7
15)	35.4	35.4
16)	35.8	35.8
17)	36.5	36.5
18)	36.9	36.9
19)	37.6	37.6
20)	37.5	37.5
21)	38.0	38.0
22)	38.4	38.4
23)	38.5	38.5
24)	39.3	39.3
25)	39.4	39.4
26)	38.9	38.9
27)	39.0	39.0
28)	39.0	39.0
29)	38.8	38.8
30)	39.8	33.4
31)	40.0	33.4
32)	40.4	31
33)	40.2	
34)	39.8	
35)	42.1	
36)	42.2	
37)	42.2	
38)	42.2	
39)	42.6	
40)	43.1	
41)	42.3	
42)	43.0	
43)	42.6	
44)	40.6	
45)	41.0	
46)	40.5	
47)	39.7	
48)	39.0	
49)	38.5	
50)	38.3	
51)	38.2	
52)	37.7	
53)	37.7	
54)	37.2	
55)	36.8	
56)	36.0	
57)	35.2	
58)	35.0	35.0
59)	34.5	34.5
60)	34.5	34.5
61)	33.0	33.0
62)	31.8	31.8
63)	31.0	31.0
64)	30.4	30.4
65)	30.0	30.0

EXHIBIT O
Cross Section



CROSS SECTION: OVERALL

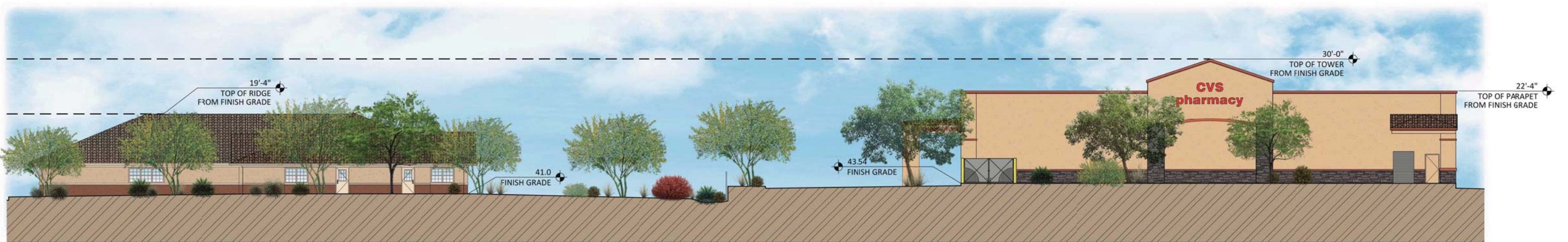
PROPOSED SELF STORAGE
 SWC TATUM BOULEVARD AND DYNAMITE BOULEVARD
 PHOENIX, ARIZONA
 DATE: 09-08-2018 (PRELIMINARY NOT FOR CONSTRUCTION)



© 2017 RKAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RKAA ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

CROSS SECTION
 RKAA# 17189.50





CROSS SECTION: ENLARGED

PROPOSED SELF STORAGE
 SWC TATUM BOULEVARD AND DYNAMITE BOULEVARD
 PHOENIX, ARIZONA
 DATE: 09-08-2018 (PRELIMINARY NOT FOR CONSTRUCTION)



© 2017 RKAA ARCHITECTS, INC. ALL RIGHTS RESERVED. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF RKAA ARCHITECTS, INC. AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

CROSS SECTION
 RKAA# 17189.50

