

**CITY OF PHOENIX**

**DEC 20 2021**

**Planning & Development  
Department**

# CHRISTOWN SPECTRUM

**SEC 19th Avenue &  
Bethany Home Road**

**KIMCO™  
REALTY**



**Planned Unit Development  
Land Use & Standards Narrative**

**Case Number: Z-10-21-5**

**3rd Submittal**

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## PLANNED UNIT DEVELOPMENT DISCLAIMER

### *Regulatory Provisions*

This PUD has been prepared pursuant to Section 671 of the Zoning Ordinance of City of Phoenix, Arizona (Planned Unit Development) to establish the regulatory framework for the *Christown Spectrum PUD* development by utilizing the City of Phoenix Zoning Ordinance Chapter 13, Walkable Urban Code (“WU”), Transect District: T5:5 development standards to fit future development(s) within the context of the area.

This PUD is a stand-alone document comprised of project specific zoning regulations, including permitted uses, conditions/limitations, development standards, building heights, landscaping, outdoor storage, parking (e.g., bicycle and automobile) standards, and signage. Zoning provisions not specifically regulated by this PUD are governed by the Zoning Ordinance of the City of Phoenix, Arizona. In the event of a conflict between a provision of this PUD and a provision of the Zoning Ordinance of the City of Phoenix, then this PUD prevails. This PUD does not modify other City Code provisions or requirements.

Specific site plan(s) for an individual development project or for the entire PUD property will be processed in the future through the City of Phoenix site plan review process.

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## A. PURPOSE & INTENT

### 1. Project Overview and Goals

The *Christown Spectrum PUD* represents the evolution of this property from a large regional suburban mall to a central core area that is envisioned to have high density multi-family housing, employment, retail, entertainment, and enhanced transit opportunities.

This PUD shall follow the City of Phoenix Zoning Ordinance Chapter 13, Walkable Urban Code, Transect District: T5:6, except as amended by the proposed Modified Walkable Urban Standards District (**MWUSD**) contained in the PUD. Existing land uses at the Christown Spectrum Mall comply with the City of Phoenix Zoning Ordinance, Chapter 6, Section 637, Planned Shopping Center District (**PSCD**). A primary goal of the PUD is to transition existing building zoning and uses from the **PSCD** zoning to the proposed **MWUSD** zoning and development standards contained in the PUD by encouraging tenants and owners to opt-in to the **MWUSD** to take advantage of the regulatory incentives described in Section D: Development Standards in the PUD, as well as requiring that all new construction at the Christown Spectrum Mall comply with the proposed **MWUSD** zoning and development standards contained in the PUD.

The land parcels included in the proposed *Christown Spectrum PUD* zoning is shown on Master Plan exhibit Figure F. The location of the exist **PSCD** land use and proposed **MWUSD** land use is shown on Figure G.

The primary goals of this PUD are to:

1. Facilitate development of the proposed mixed-use development that complies with the proposed **MWUSD** zoning and development standards in the PUD.
2. Expand development options.
3. Create flexible and appropriate development standards that promote the city's goals/policies.
4. Increase employment and economic growth opportunities.

This PUD accomplishes these goals by creating a “primary” core for the Alhambra Village by encouraging new development/redevelopment to be compatible with the surrounding area both currently and in the future; making the area more walkable/accessible for pedestrians; providing/encouraging multimodal transportation options; encouraging greater intensity/density/height; providing for a greater mix of uses; enhancing signage and creating a sense of place and easily identifiable district for the Alhambra Village.

The *Christown Spectrum PUD* is created to capitalize on the property's location within the regional transportation corridors adjacent to the light rail station, expand on the city's planning and infrastructure investments, and act as a catalyst for future development and economic growth opportunities.

The PUD is compatible with the Solano Transit Oriented District Policy Plan goals, objectives and Master Plan with modifications to address the existing conditions, leases and agreements at the Christown Spectrum Mall.

The PUD is also compatible with the policies, goals and objectives of the 19 North Transit Oriented Development Policy Plan.

## **2. Overall Design Concept**

This PUD will enable *Christown Spectrum* to transform in phases over 25-30 years into a dynamic environment by integrating vibrant activity zones for social interactions, outdoor dining, shopping, entertainment, residential, offices and leisure activities. The network of existing retail/commercial buildings and new urban style residential, mixed-use buildings, entertainment, restaurants, offices, activity plazas, open spaces, lifestyle amenities, and shaded pedestrian connections that link all the elements together to establish the unique district.

The PUD utilizes the WU Code Transect District: T5:6, to achieve the objective to locate high intensity/density, mid-rise buildings in a transit-oriented development near the light rail station to support light rail usage in this growing urban area of Phoenix.

The design concept is to break the superblock into a network of smaller streets and blocks with pedestrian connections and blocks internal to the site and include pedestrian paseos from parking areas to the new Spine Street. Paseos will connect parking areas behind buildings to the Spine Street.

The Spine Street, district gateways and paseos are described in detail in the Land Use Section B.

Section C of the PUD describes the existing **PSCD** and proposed **MWUSD** land uses.

Section D of the PUD includes Development Standards, tables and regulations for site development, frontages, building design, parking requirements, landscaping, open spaces and shade requirements.

Section E of the PUD provides extensive Design Guidelines for design principles, site design, open space, landscape design, shade requirements, architectural design and building materials. These will ensure design continuity, and placemaking through several phases of development by using unifying design features such as artwork, landscaping, color and material palettes throughout the site. Moreover, the Design Guidelines will assist the Site Planning Division of the Planning and Development Department to review projects to ensure compliance with the PUD design concept.

Section G identifies Sustainability standards and practices.

Section H discussed Infrastructure, and Section I includes Comparative Zoning Standards Tables for the **PSCD** and **MWUSD** zoning standards.

The Master Plan exhibits which illustrate the overall design and development standards are included in the last section of the PUD.

## B. LAND USE PLAN

This *Christown Spectrum PUD* includes the existing PSCD land uses and proposed MWUSD land uses that integrates retail, commercial, residential, office, entertainment, restaurants, activity plazas, open spaces and shaded paseos into transit oriented, mixed-use development that will re-establish the *Christown Spectrum Mall* as a high quality district that will once again be the iconic core of the Alhambra Village. The PUD includes development standards and design guidelines that will ensure design continuity and unifying design elements as it goes through several phase of development over the next 25 to 30 years.

### 1. Land Use Category

The land use categories include the existing PSCD and the proposed MWUSD which will combine existing retail and commercial uses with new residential, office, entertainment, and restaurant uses with activity plazas, open spaces, paseos and parking areas.

### 2. Conceptual Land Use Plan

The following exhibits illustrate the existing conditions and land use plan for the proposed redevelopment of the **MWUSD** area of the *Christown Spectrum PUD*.

- Figure A: Existing Conditions.
- Figure B: Phase 1 Buildout. The Phase 1 Development Block A is located at the northeast corner of Montebello Avenue and 17<sup>th</sup> Avenue and contains 324 residential units with approximately 324,000 square feet of residential building area wrapped around a 5-level residential parking structure.
- Figure C: Phase 2 Buildout. The Phase 2 Development Block B is located at the northwest corner of Montebello Avenue and 15<sup>th</sup> Avenue and contains 540 residential units with approximately 540,000 square feet of residential building area wrapped around a 5-level residential parking structure.
- Figure D: Full Buildout – Ground Level illustrates the full buildout of the **MWUSD** area with ground floor retail shops in the central portion of the site fronting the new north-south oriented Spine Street aligned with 17<sup>th</sup> Avenue.
- Figure E: Full Buildout – Upper Level illustrates the full building of the **MWUSD** area with residential units and a cinema/ entertainment space above the ground floor retail at the center of the site. One office building is located on 19<sup>th</sup> Avenue north of the light rail station and another located at the northwest corner of Montebello Avenue and 17<sup>th</sup> Avenue.

The following elements are guiding principles to govern the incremental redevelopment of the site.

### District gates

Gateways to the new district gates shall occur on all edges of the site corresponding with cardinal directions. Gateways at the north and south edges of the site, at the intersections of the new Spine Street with Bethany Home Road and Montebello Avenue, will be framed by buildings at the corners, with enhanced architecture such as ornamental details or changes in building massing to include corners, chamfers, and tower elements. All buildings at gateways shall have active and occupiable areas at the corners. Gateways to the east and west, at N 19<sup>th</sup> and n 15<sup>th</sup> Avenues, will be framed by either building architecture or an enhanced sidewalk with ornamental landscaping and to draw attention to the entrance to the site. All gateways shall include sidewalks leading to the new Spine Street and crosswalks connecting the new development to the existing neighborhood.

### North-South Spine Street

A new Spine Street running north to south through the site will connect the project gateways at Bethany Home Road and Montebello Avenue. This street will be a direct connection that's implemented in phases as the site develops. The Spine Street shall be a multi-modal street, designed to facilitate vehicular, bicycle, and pedestrian traffic in equal measure. Sidewalks shall be lined with shade trees and landscaped areas, with sidewalks immediately adjacent buildings which will form a defined street wall. Sidewalks along buildings with retail storefront shall be designed to accommodate sidewalk cafes; benches, planters, trash receptacles will be part of the streetscape design in all areas. Light fixtures, furniture, and paving materials will be consistent along the entire length of the street to promote a consistent aesthetic and continuity of design. The plans and street sections of the new Spine Street are illustrated on exhibit Figures R and S.

### East-West paseos

The redevelopment of Christown Spectrum Mall will break the superblock into a network of smaller streets and blocks with pedestrian connections and blocks internal to the site will include pedestrian paseos from parking areas to the spine street. A minimum of two paseos developed to the provisions of Section 1304.G and H (Paseo) and Table 1310.1 Public Space Type Guidelines shall be provided that run east-west connecting parking behind buildings to the Spine Street. At least one paseo will be located on each side of the Spine Street. The paseos will be paved and will be at least seventy-five percent shaded.

### North-South paseos

The redevelopment of Christown Spectrum Mall will break the superblock into a network of smaller streets and blocks with pedestrian connections and blocks internal to the site will include pedestrian paseos from parking areas to the spine street. A minimum of two paseos developed to the provisions of Section 1304.G and H (Paseo) and Table 1310.1 Public Space Type Guidelines shall be provided that run north-south connecting parking behind buildings to an internal road with a direct connection to the Spine Street. At least one paseo will be

located on each side of the Spine Street. The paseos will be paved and will be at least seventy-five percent shaded.

The office and commercial sub-areas can accommodate commercial and office buildings up to six (6) stories in height and are intended to capitalize on the nearby freeway and light-rail accessibility for high intensity opportunities. Special attention of incorporating visual hierarchy into the design of the development creates a unique and high-quality mixed-use image while providing for the diverse needs of the market. Building heights and setback are provided on Development Standards Figures L, M, N1, N2 and O. The office buildings themselves vary in floor plate size and shape to provide for the varying needs of the office user. The working population at this site will be served by the retail, urban housing, entertainment and even hotel components of the project.

A maximum of two Residential Development Blocks depicted on Figures D and E for the Full Buildout of the *Christown Spectrum PUD* may be substituted for a hotel use that shall meet or exceed the standards to qualify as “Upper Midscale” as promulgated by Smith Travel Research (STR), or if the STR rating system is no longer available then another similar source of hotel rating. The STR Upper Midscale hotel shall be operated by major nationally branded hotel flags such as Hilton, Hyatt, Marriott, Fairfield, La Quinta or similar quality hotel brands.

The urban residential components are an important element to attaining the proper balance of this live, work, and shop mixed-use environment. Public areas that are pedestrian-oriented and intended to foster an interactive urban atmosphere shall be created through the use of architecture, landscaping, signage, lighting, shape, color and materials. Residential urban living components have been incorporated into the master plan for balance and sustainability. Residential units are planned within several development blocks in the area adjacent to Montebello Avenue and the new Spine Street. The PUD allows for retail to be located within the ground-floor in these mixed-use structures based upon market demand. These urban living units are for people who want to live in a high energy environment with nearby employment opportunities, retail services, open space elements, restaurants and night life venues with excellent arterial, light-rail and freeway access.

## C. LIST OF USES

Existing land uses at the Christown Spectrum Mall comply with the City of Phoenix Zoning Ordinance, Chapter 6, Section 637, Planned Shopping Center District (**PSCD**), Section 637B for Permitted Uses.

The *Christown Spectrum PUD* will follow the City of Phoenix Zoning Ordinance Chapter 13, Walkable Urban Code, Transect District: T5:6, and legislation passed through December 2, 2020, except as amended by the proposed Modified Walkable Urban Standards District (**MWUSD**) contained in the PUD and allow all uses in the Walkable Urban Code Section 1306 Land Use Matrix.

A goal of the PUD is to transition existing building zoning and uses from Planned Shopping Center District (**PSCD**) zoning to the Walkable Urban Code, Transect District: T5:6, Section 1306 Land Uses as amended by the proposed Modified Walkable Urban Standards District (**MWUSD**) contained in the PUD by encouraging tenants and owners to opt-in to the **MWUSD** and requiring it as new buildings are constructed at the Christown Spectrum Mall.

## D. DEVELOPMENT STANDARDS

Existing land uses at the Christown Spectrum Mall comply with the City of Phoenix Zoning Ordinance, Chapter 6, Section 637, Planned Shopping Center District (**PSCD**). The *Christown Spectrum PUD* will follow the City of Phoenix Zoning Ordinance Chapter 13, Walkable Urban Code, Transect District: T5:6, and legislation passed through December 2, 2020, except as amended by the proposed Modified Walkable Urban Standards District (**MWUSD**) contained in the PUD.

The *Christown Spectrum PUD* will also follow the City of Phoenix Transit Oriented Development Strategic Policy Framework requirements for Medium Urban Centers.

The proposed **MWUSD** development standards provides significant advantages for tenants and owners to transition from their existing **PSCD** zoning to the **MWUSD** development standards. Those advantages include the following regulatory incentives:

- Greater variety of land uses.
- Greater intensity of uses.
- Increased density and building area.
- Increased building heights.
- Reduced parking requirements.

Based on these advantages and regulatory incentives all existing tenants at the mall, particularly large format store tenants such as Target and Walmart, are encouraged, but not required, to transition to the proposed **MWUSD** development standards in the PUD. Any tenant or owner within the PUD area can choose to opt-into the proposed **MWUSD** to take advantage of the regulatory incentives would opt-out of their existing **PSCD** zoning and development standards to transition their build use and operation to comply with the proposed **MWUSD** development standards.

However, all existing large scale commercial/retail users may be enlarged, expanded, extended, reconfigured, or altered and shall continue to conform with the development regulations associated with the existing **PSCD** zoning and/or city approvals associated with the property until they choose to opt-into the **MWUSD** development standards. When a tenant or owner chooses to construct a new building, the building shall comply with the **MWUSD** development standards, with the exception of building reconstruction or replacement for buildings which are damaged by fire, natural disaster or act of God.

The proposed **MWUSD** Development Standards for this PUD are listed below. The design guidelines, images, and exhibits provided herein and attached hereto are intended to represent

the high-level quality of design and communicate the design principles for this project. The final design for each new building shall comply with the development standards, design guidelines and exhibits in the PUD. All other standards in the City of Phoenix Zoning Ordinance (not otherwise addressed herein) shall apply to this development.

<b>TABLE D.1: DEVELOPMENT STANDARDS TABLE for MWUSD.</b>		
<b>WU CODE SECTION</b>	<b>TITLE</b>	<b>APPLICABILITY &amp; AMENDMENTS</b> (Modifications and additions are shown in bold text)
1301	<b>Code Administration</b>	No Changes. The PUD shall meet the requirements of this section.
1302	<b>Transect Districts</b>	No Changes. The PUD shall be developed per Transect T5:6.
1303	<b>Transect Lot Standards</b>	<p>The PUD shall be developed per Transect T5.6 with the following amendments:</p> <p>Section 1303.B, Table 1303.2 Transect T5, Parking Setbacks h - Primary Frontage: 25-foot or behind building, <b>exclusive of parallel or head-in parking stalls along the new spine street.</b></p> <p>Section 1303.B, Table 1303.2 Transect T5, Lot Requirements, Lot Coverage: 80% maximum <b>for overall PUD property.</b></p> <p>Section 1303.B, Table 1303.2 Transect T5, Main Building Setbacks: <b>Where ground level retail uses are present, building setbacks and build to dimensions may be increased up to 30 feet for outdoor seating and patio dining areas, and up to 20 feet for outdoor retail sales and display areas.</b></p> <p>Section 1303.B, Table 1303.2 Transect T5, Building Stepbacks: <b>A 20-foot building setback shall be required for buildings that exceed 48 feet in height, when located within 100 feet of properties which are zoned single family residential and currently have single family residential uses on them or within 100 feet from historical property districts.</b></p>
1304	<b>General Site Development Standards</b>	<p>The PUD will meet the requirements of this section with the following amendments:</p> <p>Section 1304.F.1: <b>A minimum of 75% of new sidewalks, paseos and pedestrian ways shall be shaded.</b></p> <p>Section 1304.G.2.d.(2).(A): Pedestrian ways/paseo for circulation should be provided at: (A) Any point along a <b>public right-of-way</b> frontage that is more than <b>500 feet</b> from a thoroughfare intersection or existing pedestrian way.</p> <p><b>Section 3 of the PUD Design Guidelines provides design principles and guidelines for site design.</b></p>

**TABLE D.1: DEVELOPMENT STANDARDS TABLE for MWUSD.**

WU CODE SECTION	TITLE	APPLICABILITY & AMENDMENTS (Modifications and additions are shown in bold text)
1305	Frontage Standards	<p>The PUD will meet the requirements of this section with the following amendments:</p> <p>Section 1305.B.3.c.: Buildings on arterials <b>may orient either primary or secondary frontage</b> to the arterial frontage. The preferred arrangement is to front facades directly adjacent to the sidewalk.</p> <p>Section 1305.B.6: <b>Subject to existing leases and agreements at the Christown Spectrum Mall</b>, corner lots abutting an arterial street and along the Light Rail Corridor should enhance the pedestrian and transit oriented environment through at least one of the following:</p> <ol style="list-style-type: none"> <li>Distinctive massing, angled or rounded building corners, courtyards and plazas;</li> <li>Architectural features, colors and materials, public art;</li> <li>Public entrances should be defined by the use of distinctive materials and colors, and architectural elements;</li> <li>Primary entrances should be at the corner or facing both streets.</li> </ol> <p><b>The PUD Design Guidelines provides design principles and guidelines for the following: Section 3.1 Building Orientation and Section 3.1a Frontages.</b></p> <p><b>The PUD Exhibits, Figure H: Proposed Frontage Implementation shows the locations of Primary Mixed-Use Frontages, Primary Public Right-Of-Way Frontages, Secondary Frontages, Side and Rear Frontages for all Development Blocks within the MWUSD areas of the PUD.</b></p>
1306	Land Use Matrix	<p>No Changes. The PUD shall meet the requirements of this section.</p>
1307	Parking Standards	<p>The PUD will meet the requirements of this section with the following amendments:</p> <p>Section 1307.B.1.c: <b>Vehicle parking must be sufficient to accommodate existing retail leases and shared parking agreements.</b></p> <p>Section 1307.G.6: <b>Parking structures are permitted along a street provided their frontage on the street does not exceed 200 feet and the structure is integrated with a primary land use.</b></p> <p><b>The PUD requires the following minimum vehicular parking:</b></p> <ul style="list-style-type: none"> <li>-General Retail Sales, Office, Professional Uses, Theaters and/or Entertainment - 1/300 SF or 1/375 SF depending on the proximity to the light rail station as shown on PUD Exhibit Figure K: Parking Demand.</li> <li>- Dining &amp; Drinking Establishment - 1/100 SF</li> <li>- Hotel - 0.5 spaces per room</li> <li>- Multifamily Residential - 1 space per efficiency unit and 1.5 spaces per 1 or 2 bedroom unit and 2 spaces per 3 or more bedroom unit</li> </ul> <p><b>Reduction for Multifamily Residential - An additional 10% - 25% reduction allowance depending on the proximity to the light rail station as shown on PUD Exhibit Figure K: Parking Demand.</b></p> <p><b>A PUD Shared Parking Study was provided to share parking between uses and reduce parking due to proximity to the light rail station.</b></p> <p><b>Sections 3.2, 3.3 and 5.3 of the PUD Design Guidelines provides guidelines for circulation, parking and parking structures.</b></p>

**TABLE D.1: DEVELOPMENT STANDARDS TABLE for MWUSD.**

WU CODE SECTION	TITLE	APPLICABILITY & AMENDMENTS (Modifications and additions are shown in bold text)
1308	Signage Standards	<p>The PUD will meet the requirements of this section with the following amendments:</p> <p><b>A Comprehensive Sign Program exists for the Christown Spectrum Mall which will be amended in the future to accommodate new development and land uses in the PUD. The Amended Comprehensive Sign Program shall include a wider variety of signage types for retail and commercial tenants, residential and commercial uses, project identification signs, and wayfinding signage.</b></p>
1309	Landscape Standards	<p>The PUD will meet the requirements of this section with the following amendments:</p> <p>Section 1309.E.1.a: <b>Artificial turf may be used in plazas, open spaces, and recreation/leisure spaces, but is prohibited in setback areas.</b></p> <p><b>The new landscape standards in Section 1309 of the WU Code shall apply to parking lots which are redeveloped as part of a new Development Block as shown on PUD Exhibit Figure T: Proportionate Site Improvements.</b></p> <p><b>Existing trees in parking lots that are damaged may be replaced with trees of a similar type and spacing utilizing the existing tree wells and shall not be required to meet the Section 1309 landscape standards.</b></p> <p><b>Sections 4 of the PUD Design Guidelines provides design principles and guidelines for landscaping.</b></p>
1310	Open Space Improvements	<p>The PUD will meet the requirements of this section with the following amendments:</p> <p>Section 1310.A.1.a: <b>At least 5% of the total aggregated lot area within the PUD shall be provided as open space.</b></p> <p>Section 1310.A.2.b: <b>A minimum of 75% of all accessible public and private open space areas shall be shaded, of which 50% of the shade shall be provided by trees or trellised vines. A minimum of 75% of the following areas shall be shaded:</b></p> <ul style="list-style-type: none"> <li><b>A. New open space areas.</b></li> <li><b>B. New outdoor seating areas.</b></li> <li><b>C. New outdoor dining areas.</b></li> <li><b>D. New outdoor retail display/sales areas.</b></li> <li><b>E. New Spine Street and its pedestrian spaces and boulevards.</b></li> </ul> <p>Section 1310.A.4: Alternative paving materials should be <b>encouraged</b> on private property to reduce urban heat island effect, and to allow natural drainage and filtration.</p> <p><b>Section 4 of the PUD Design Guidelines provides design principles and guidelines for open space and shading.</b></p>
1311	Design Development Considerations	<p>No Changes. The PUD shall meet the requirements of this section.</p>
1312	Character Areas	<p>The PUD will meet the requirements of this section with the following amendments:</p>

		Section 1312.E.2.b: <b>Where ground level retail uses are present, building setbacks and build to dimensions may be increased up to 30 feet for outdoor seating and patio dining areas, and up to 20 feet for outdoor retail sales and display areas.</b>
1313	<b>Design and Standards Alternatives</b>	No Changes. The PUD shall meet the requirements of this section.

The following Table D.2 Development Standards includes the land uses, sizes and density of the existing **PSCD** shown on Exhibit Figure A, and the proposed **MWUSD** for Phase 1 shown on Figure B, Phase 2 shown on Figure C, the Full Buildout – Ground Level shown on Figure D, and the Full Buildout – Upper Level shown on Figure E.

<b>TABLE D.2: DEVELOPMENT STANDARDS TABLE</b>			
<b>EXISTING PSCD</b>			
<b>DEVELOPMENT AREA</b>	<b>LAND USE</b>	<b>RESIDENTIAL UNITS</b>	<b>SIZE SF</b>
CHRISTOWN SPECTRUM MALL	Retail/Commercial	0	1,090,627
<b>PROPOSED MWUSD</b>			
<b>PHASE 1</b>			
<b>DEVELOPMENT BLOCK</b>	<b>LAND USE</b>	<b>RESIDENTIAL UNITS</b>	<b>SIZE SF</b>
BLOCK A	Residential	324	324,000
<b>PHASE 2</b>			
<b>DEVELOPMENT BLOCK</b>	<b>LAND USE</b>	<b>RESIDENTIAL UNITS</b>	<b>SIZE SF</b>
BLOCK B	Residential	540	540,000
<b>REMAINDER of PROPOSED MWUSD</b>			
<b>DEVELOPMENT BLOCK</b>	<b>LAND USE</b>	<b>RESIDENTIAL UNITS</b>	<b>SIZE SF</b>
BLOCK C	Residential	285	285,000
	Retail		33,800
BLOCK D	Residential	284	284,000
	Retail		32,700
BLOCK E	Residential	225	225,000
BLOCK F	Residential	370	370,000
	Retail		16,900

BLOCK G	Retail		22,200
	Entertainment Cinema		46,000
BLOCK H	Residential	277	277,000
	Retail		25,300
BLOCK I	Residential 170	170	170,000
BLOCK J	Office		150,000
BLOCK K	Office		150,000
<b>TOTAL PROPOSED MWUSD</b>		<b>2,475</b>	<b>2,843,000</b>
<b>EXISTING RETAIL COMMERCIAL TO BE REMOVED</b>			<b>(440,362)</b>
<b>TOTAL EXISTING + PROPOSED AREA</b>		<b>2,475</b>	<b>3,493,200</b>

Buildings in the **MWUSD** will comply with the WU Code Transect T5.6 and the City of Phoenix Transit Oriented Development Strategic Policy Framework for Medium Urban Centers with a maximum of six (6) stories and a maximum building height of eighty (80) feet.

The following exhibits illustrate the existing conditions and design for the proposed redevelopment of the **MWUSD** area of the *Christown Spectrum PUD*.

- Figure A: Existing Conditions.
- Figure B: Phase 1 Buildout. The Phase 1 Development Block A is located at the northeast corner of Montebello Avenue and 17<sup>th</sup> Avenue and contains 324 residential units with approximately 324,000 square feet of residential building area wrapped around a 5-level residential parking structure.
- Figure C: Phase 2 Buildout. The Phase 2 Development Block B is located at the northwest corner of Montebello Avenue and 15<sup>th</sup> Avenue and contains 540 residential units with approximately 540,000 square feet of residential building area wrapped around a 5-level residential parking structure.
- Figure D: Full Buildout – Ground Level illustrates the full buildout of the **MWUSD** area with ground floor retail shops in the central portion of the site fronting the new north-south oriented Spine Street aligned with 17<sup>th</sup> Avenue.
- Figure E: Full Buildout – Upper Level illustrates the full building of the **MWUSD** area with residential units and a cinema/ entertainment space above the ground floor retail at the

center of the site. One office building is located on 19<sup>th</sup> Avenue north of the light rail station and another located at the northwest corner of Montebello Avenue and 17<sup>th</sup> Avenue.

The following exhibits illustrate additional development standards which apply to the **MWUSD** area of the *Christown Spectrum PUD*.

- Figure F: Proposed Zoning illustrates the property at the Christown Spectrum Mall that is included in the PUD.
- Figure G: Proposed Land Use illustrates the existing/transitional **PSCD** and proposed **MWUSD** land use areas of the site.
- Figure H: Proposed Frontage Implementation illustrates the locations of primary mixed-use frontages, primary public right-of-way frontages, secondary frontages, and side and rear frontages of the buildings in the **MWUSD**.
- Figure I: Proposed Circulation illustrates the on and off-site vehicular circulation including the proposed north-south oriented new Spine Street which aligns with 17<sup>th</sup> Avenue.
- Figure J: Proposed Landscape and Open Areas illustrates the location of the shaded paseos connecting the four entry gateways to the new Spine Street, the community plaza/green adjoining the new Spine Street, the pocket park adjacent to the office building on 19<sup>th</sup> Avenue, and the open space courtyards of the residential buildings.
- Figure K: Proposed Parking Demand illustrates the parking proposed for each building with reduced parking requirements based on proximity of the buildings to the light rail station.
- Figure L: Development Standards for new buildings fronting 19<sup>th</sup> Avenue.
- Figure M: Development Standards for new buildings fronting Bethany Home Road.
- Figures N1 and N2: Development Standards for new buildings fronting 15<sup>th</sup> Avenue.
- Figure O: Development standards for new buildings fronting Montebello avenue.
- Figure P: View of the Community Plaza/Green located at the center of the site adjoining the new Spine Street.
- Figure Q: View of the Pocket Park adjacent to the proposed office building on 19<sup>th</sup> Avenue.
- Figure R: New Spine Street plan and roadway section illustrating the linear open space, pedestrian walkways, retail and outdoor dining areas along retail section of the new Spine Street.

- Figure S: New Spine Street plan and roadway section illustrating the linear open space, pedestrian walkways and outdoor dining areas along residential section of the new Spine Street.
- Figure T: Proportionate Site Improvements.

#### Required Construction of a Proportionate Share of Site Improvements for each New Building

The PUD required that a proportionate share of new site improvements shall be constructed with each new building constructed in the MWUSD. These site improvements shall include internal street improvements, such as portions of the new Spine Street, paseos, shaded sidewalks and open spaces, landscaping, site furnishings, and parking areas or parking structures. Implementing these required site improvements will help to make Christown Spectrum a more complete community with shaded sidewalks, open spaces, amenities and services available to residents and retail customers. The area of required proportionate share of improvements that shall be constructed with each new building in the MWUSD is shown on exhibit Figure T with color shaded site areas corresponding to each new building block.

#### Crosswalk Improvements to the Light Rail Station

Enhanced paving materials shall be added to the two pedestrian crosswalks between the light rail station on 19<sup>th</sup> Avenue to the Christown Spectrum Mall. The purpose of the enhanced materials shall be to better define the crosswalks to improve safety for pedestrians crossing the street.

#### Master Plan

A master plan will be required to ensure compliance with key design elements throughout the incremental redevelopment of the Christown Spectrum superblock. The Master Plan shall identify the specific parcel being redeveloped and its related building and site improvements. The master plan shall be provided to the City and shall be amended with each phase of development as an administrative process with the City that shall not require amendments to the PUD.

#### New development within 100 feet of a public street

All redevelopment of blocks directly adjacent to one of the surrounding streets, Bethany Home Road, Montebello Avenue, N 19<sup>th</sup> Avenue, and N 15<sup>th</sup> Avenue shall include the renovation of the existing sidewalk. Pedestrian areas shall be a minimum of eight feet wide and shall be separated from the adjacent road by a planting area at least five feet wide. Renovated sidewalks shall be shaded by two rows of large caliper shade trees off set on each side of the sidewalk to provide shading at a minimum of seventy-five percent (75%). Light fixtures, furniture, and paving materials will be consistent with those on internal streets to promote a consistent aesthetic and continuity of design. New development within 100 feet of a public street shall screen vehicular parking behind the building, and the building shall exhibit the building frontage type illustrated on Figure H: Proposed Frontage Implementation and described in Sections 3.1a and 5.2A in the Design Guidelines of the PUD.

## E. DESIGN GUIDELINES

### 1 INTRODUCTION

These Design Guidelines apply to all new buildings constructed in the **MWUSD** areas shown on Exhibit Figure G: Proposed Land Use of the PUD, but do not apply to modifications, renovations, or repositioning of existing buildings in the existing/transitional **PSCD** areas of the Christown Spectrum mall.

These Design Guidelines outline a set of design principles and standards by which those principles are achieved and have been created to guide new development in the **MWUSD** and to ensure a high quality of design. The intent of these Design Guidelines is to promote a visually cohesive, livable, pedestrian-oriented, and economically viable mixed-use development for the *Christown Spectrum PUD*, and to promote a clear and consistent process for design development.

The Design Guidelines are organized into six distinct sections – 1. Introduction, 2. Design Principles, 3. Site Design Guidelines, 4. Open Space & Shade Guidelines, and 5. Architectural Design Guidelines. Design Principles communicate the expectations for new development in the **MWUSD** and the individual sections reinforce those principles with specific details. Site Design Guidelines outline design criteria focusing on the ground plane of the project, while Space & Shade Guidelines, provide guidance focusing on the experience and enjoyment of living, working, or visiting the Christown Spectrum Mall. Architectural Design Guidelines outline the design criteria for the vertical and three-dimensional components of new buildings in the **MWUSD**.

As an attachment to the PUD submittal, a series of figures depict graphically proposed zoning and land use standards. For the purposes of these Design Guidelines, a full buildout scenario is depicted on Figures D and E that assumes a circulation configuration, open space network, parking areas, and a series of proposed frontages. This buildout scenario depicts the proposed configuration although the final constructed program and layout may vary. Where appropriate, the character of these figures is represented in the Design Guidelines.

Unless specifically modified herein, the *Christown Spectrum PUD* shall conform to the City of Phoenix Zoning Ordinance Design Guidelines, Section 507, Tab A: Guidelines for Design Review.

### 2 DESIGN PRINCIPLES

The Design Principles set the expectations for the character of new development at the *Christown Spectrum* mall. These guidelines establish baseline standards for the urban form and character of the neighborhood, the function, connectivity, and comfort of the public realm, quality and character of buildings and their role in establishing a cohesive aesthetic for the neighborhood, and for ensuring that all residents and guests can intuitively find their way throughout the property. The criteria by which these guidelines are achieved are discussed in more detail in each of the following sections. The four fundamental sections of the design principles are:

- **SITE DESIGN:** The pedestrian and public realm will be framed by buildings which create street walls that define open spaces, and it is the arrangement of these buildings and spaces that determines the quality of the urban form.
- **OPEN SPACE AND SHADE:** The open spaces will be connected by wide, shady sidewalks that promote pedestrian activity to form a network that provides opportunities for a variety of activities and experiences.
- **ARCHITECTURE:** Building massing should be appropriate and sensitive to the human scale, and the design should be complementary to create a distinct but consistent neighborhood that is harmonious with the local architectural context.

### 3 SITE DESIGN GUIDELINES

The Site Design Guidelines delineate the basic variety in urban form expected for the ground plane of *Christown Spectrum*. These guidelines are integral to the building and site planning of a successful urban place which conforms to the following principle:

**The pedestrian and public realm will be framed by buildings which create street walls that define open spaces, and it is the arrangement of these buildings and spaces that determines the quality of the urban form.**

Figures D and E depict the proposed *Christown Spectrum* buildout divided into new development blocks which include retail, residential, service, basic commercial, general office, entertainment, and cultural functions. An internal street network will be provided to allow vehicular and pedestrian access to each development block.

- 3.0.1 *Christown Spectrum* is a mixed-use development located in the transit-oriented Solano neighborhood, and reflects this context as well as the arid setting and climate of the desert.
- 3.0.2 New development in the MWUSD shall be implemented in several phases and is divided by pedestrian or vehicular rights-of-way into development blocks.

Site Design Guidelines identify building siting, active building frontages, build-to lines; setbacks from the public right-of-way; parking and service access; building entries; open space; landscape; and the public realm that will make *Christown Spectrum* a memorable, destination, and unique part of the Solano neighborhood and compatible with the desert environment.

#### 3.1 BUILDING ORIENTATION

New buildings in the **MWUSD** shall be sited so that the vertical architecture creates defined spaces and street walls within the ground plane. The positioning of buildings on their parcels shall consider pedestrian and driver visibility, ensure pedestrian comfort and human scale, provide connectivity of uses; provide a hierarchy of intensive land uses; and create an overall sense of an orderly district.

### 3.1A FRONTAGES

Figure H depicts how building frontages intend to define development blocks in the **MWUSD**. Each development block will be provided with several building frontage types to provide enhanced architectural design along public rights-of-way, maintain attractive and safe pedestrian and vehicular connections, and achieve an intensive mixed-use character for the property.

3.1a.1 Building frontages for new development blocks define requirements for the ground plane, streetscape, open space, as well as the architectural character of buildings.

3.1a.2 Existing buildings at *Christown Spectrum* shall continue to comply to the **PSCD** frontage standards until the existing building is replaced by new construction.

**Frontage Types:** Locations of frontage types are shown on Figure H.

3.1a.3 **Primary Frontage (New Spine Street & Mixed-Use Areas):** This frontage type represents the most intensive mixed-use character, with wide sidewalks, provision for wide landscape buffers or outdoor dining, retail and dining land uses, parallel parking, and residential and office building entries.

3.1a.4 **Primary Frontage (Public ROW):** This frontage allows for a standard condition along the perimeter of *Christown Spectrum*, providing an attractive and functional interface with its surroundings. This frontage type allows retail storefronts and building entries as well as sensitivity to the surrounding single-family residential communities in the form of wide setbacks and stepbacks as shown on Figures N1 and N2.

3.1a.5 **Secondary Frontage:** This frontage type reflects a building design character that's appropriate for internal side streets. Though a variety of building uses, and configurations are permitted (including parking garage exposures and service access), these uses should be expressed in the architectural design of buildings on secondary frontages.

3.1a.6 **Side + Rear Frontage:** This frontage type represents a 'back of building' condition, allowing for a variety of configurations, including the greatest allowance for parking garage exposure and service access. Side and Rear frontages should still maintain a safe condition for users of *Christown Spectrum*. All buildings should be oriented toward a public or private, pedestrian or vehicular right of way. Main building entrances and primary frontages should be oriented towards public rights-of way and along the new Spine Street (17<sup>th</sup> Avenue extension).



- 3.1.1 A coordinated street wall an edge that respects the street and sidewalk, should be provided. Features such as forecourts, yards, open spaces, and chamfered and inset building corners should be accommodated to announce building entrances, welcome pedestrians, and allow more expressive building facades. These measures in combination should not take up more than 30% of primary frontages.
- 3.1.2 Street wall conditions should be provided when two or more development sites face each other along rights-of-way within the site. Street wall conditions are required along the new spine street. A single-sided street wall condition is permitted along the edges of the project facing surrounding streets, to define the space.



- 3.1.3 Buildings on the site should be sited to maximize daylighting opportunities and view corridors, minimize the heat island effect, and collect natural light and air within courtyards and interior spaces. Buildings should also be situated and massed to provide shade to open spaces.



- 3.1.4 Locate and mass buildings to frame and define outdoor spaces, including sidewalks, pedestrian walkways, paseos, and public plazas.



- 3.1.5 Buildings should orient their massing to minimize or eliminate exposure of attached

parking garages. Parking garage exposure is not permitted along primary building frontages but is acceptable along secondary and on side and rear frontages.

- 3.1.6 Common residential entries, or those that provide direct access to the dwelling unit shall only be located along primary and secondary frontages. All residential entries shall be well-lit and clearly visible from the street.
- 3.1.7 To screen parking garage visibility along primary and secondary frontages, parking facilities may be lined with active uses or conveniences other than parking (such as bicycle lockers or bike-sharing facilities). Garage elevator and stair access should be located on primary and secondary frontages.
- 3.1.8 If a parking garage is located along a primary building frontage, it shall be screened from view using architectural design features, decorative screens, or landscaping.

### 3.2 VEHICULAR, PEDESTRIAN, & BICYCLE CIRCULATION + PARKING

On-site circulation and site access should provide for the safe, efficient, convenient, and functional movement of multiple modes of transportation both on and off the site to prevent pedestrian, bicycle, or vehicle conflicts.

#### 3.2a CIRCULATION STRATEGY

The light rail transit orientation of *Christown Spectrum* should be prioritized. A convenient and accessible pedestrian and bicycle network shall connect the Montebello/19th Ave light rail station to new development blocks oriented along the new Spine Street extending north and south from N 17th Avenue.

- 3.2a.1 When new development blocks are constructed along the new Spine Street, the existing mall configuration should be adapted to promote through access and porosity for different transportation modes.
- 3.2a.2 A grid of vehicular rights-of-way, organized around a new Spine Street, and corresponding to the adjacent orthogonal street network of the Solano neighborhood, should be integrated with pedestrian and bicycle modes for safe and efficient access throughout the site.

To define existing and proposed rights-of-way, refer to Figure I for a potential layout of the road network at *Christown Spectrum*. Though the buildout configuration is for illustrative purposes only, the street categories in the exhibit currently exist or are proposed to provide vehicular, bicycle and pedestrian circulation to new development blocks.

#### **Street Categories:**

- 3.2a.3 **Public Rights-Of-Way:** These roadways currently exist along the perimeter of *Christown Spectrum*:
  - **Major Arterial (and Valley Metro Rail ROW):** N 19th Avenue;
  - **Arterial:** W Bethany Home Road;
  - **Collector:** N 15th Avenue;

- **Minor Collector:** W Montebello Avenue, which divides the main mall parcels from the library parcels; and
- **Street:** These rights-of-way intersect with arterials and connectors along the perimeter of the site.

3.2a.4 **Private Rights-of Way:** These private roadways exist or are proposed at *Christown Spectrum*:

- **New Spine Street:** This roadway, which shall extend from N 17<sup>th</sup> Ave through the site, is the focus of intense new development blocks. Wide sidewalks, tree canopy, and parallel parking should be accommodated on this street, especially in concert with ground floor retail and public areas of residential, hotel, or office uses. Portions of this street may incorporate a wide median strip as an open space amenity. The spine street shall be a primary street for mixed-use building frontages.
- **New/Enhanced Mixed-Use Street:** This street type is a secondary right-of way and are the roads that separate ground-up development blocks. These streets shall have an urban character, with lush tree canopy, street furniture, and landscape buffers comparable to a primary street but with less activity. Some mixed-use streets may be adapted from the existing internal mall circulation and surface parking network. The mixed-use street may feature either primary or secondary building frontages.
- **New/Existing Service Driveway:** These service driveways are the means to access new parking garages and service as well as existing service areas at the property. These streets may feature either secondary or side/rear frontages.
- **Existing Mall Access Driveway:** These existing access driveways currently facilitate the circulation network within the mall and connect to public arterials and connectors. Driveways shall be converted into mixed-use streets when adjacent new development blocks are constructed.
- **Parking Aisle:** These roadways provide access to surface parking and will continue to do so until redevelopment of the parcel on which they are located occurs.

3.2a.5 Enhanced Streetscape refers to 8'-0" minimum sidewalks offset from the adjacent street, a landscaped area at least 8'-0" wide, tree canopy providing a minimum of 75% shade, and pedestrian and bicycle amenities. In addition to providing these amenities along the new spine street and mixed-use street, enhanced streetscape should be provided along existing access driveways and along public rights-of-way to upgrade pedestrian conditions along the perimeter of the site and to improve pedestrian comfort and access.

3.2.1 New streets shall create an urban district with compact street widths and utilizing traffic calming techniques while ensuring adequate accommodation for service vehicles and emergency vehicles. On-street parking should be provided where practical along the new Spine Street to further calm traffic and to provide separation between vehicular and pedestrian movements. Vehicular rights-of-way within the mall shall conform to the City of Phoenix Street Planning and Design Guidelines.

3.2.2 A shared realm should be created that prioritizes, separates, and protects pedestrians

over vehicles. Drop-off and vehicular driveways should be paved to contrast with the material and pattern of sidewalks and plazas.



- 3.2.3 Provide clear wayfinding that highlights bicycle and pedestrian routes connecting to the light rail station. This can be done with wider sidewalk width and signed bicycle facilities, wayfinding signage, lighting, changes in paving, or unique or additional landscaping treatments in enhanced streetscape areas.



- 3.2.4 A usable pedestrian network shall be constructed with adjoining new development blocks. The pedestrian network shall connect existing outparcel pad buildings and existing parking lots to the rights-of-way and open spaces within the property. This network should utilize hardscape and landscape to create a coordinated identity. Additional shade trees shall be provided in surface parking areas as proportionate site improvements are constructed with the new development blocks as shown on Figure T.
- 3.2.5 Some rights-of-way may feature side or rear frontages that require additional surveillance. If there is a need for the additional security, ensure clear sight lines, improve lighting, and install emergency telephones and electronic surveillance devices.
- 3.2.6 Gateway entrances shall occur at major entrances to the site and each of the cardinal directions on the perimeter. These intersections within the site shall be enhanced through the incorporation of signage, accent paving, landscaping, lighting, and enhanced architecture.



- 3.2.7 Include canopy trees for shade and cooling along streets, pedestrian paths, and within surface parking lots and landscaped parking strips. Trees should be compatible with ground floor retail uses and should not significantly block visibility of retail tenant signage or entrances. Primary streets, secondary streets, and open spaces and paseos shall be shaded to a minimum of 75%.



- 3.2.8 Parallel parking should be located in highly visible areas along primary and secondary streets.

- 3.2.9 Provide secure bicycle lockers and/or racks within 100 feet of all building entrances in new development blocks. Facilities should be in convenient and visible areas close to primary entrances. Convenient access to bicycle facilities should be provided for new inline retail or food and beverage uses. Bicycle facilities should not impede the flow of pedestrian traffic.



### 3.3 SERVICE AND LOADING FACILITIES

New service and loading areas should be designed and located to adequately provide for retail, hotel, entertainment, residential, and office uses without impacting the visual character of *Christown Spectrum*.

- 3.3.1 Locate service, trash, recycling, and loading areas so that they are not visible from areas with high pedestrian traffic, such as public and private rights of way and connections to the light rail station.
- 3.3.2 Loading vehicle access shall not be located on primary frontages and should be located either to the side or rear of buildings. Service areas should be aggregated to serve more than one building wherever possible.
- 3.3.3 Loading should be located along new mixed-use streets or service driveways, the latter being similar to those that service the existing mall structures. There should not be curb cuts located within 100 feet of each other, though when loading and parking entries are within 30 feet to each other they should share a common curb cut.
- 3.3.4 Service for retail from street curbs or pedestrian concourses is allowed but shall be prohibited between the hours between 10 PM and 7AM, to minimize noise and disruption to residents.
- 3.3.5 Screen service areas, parking, loading, and storage areas with landscape and/or architectural treatments. Along rights-of-way, walls, fencing, or landscaping shall be provided to screen parking and should be at least 40 inches in height. Exposed loading areas along rights-of-way shall be screened with a wall of at least 6 feet in height.



- 3.3.6 Screen ground level mechanical equipment and trash receptacles from view with landscape and/or architectural treatments. Screening for trash enclosures shall be 6 feet high.



### 3.4 ACCESSIBILITY

*Christown Spectrum* shall comply with all Federal and State ADA requirements, and should be accessible as possible for users of all abilities and mobility levels.

3.4.1 All public and private rights of way and buildings shall be accessible for all users.

3.4.2 All sidewalk and related site design shall comply with the requirements of the most current Americans with Disabilities Act Accessibility Guidelines (ADAAG).

3.4.3 Accessible travel ways cannot exceed a 2% cross slope, or a 5% running slope. Slopes greater than 5% must be designed as ramps per ADAAG requirements. If handrails are provided, slopes of up to 8.33% may be accommodated.

3.4.4 Accessible routes through a parking lot must comply with ADA slope requirements. Parking lots and garages may have up to 10% grade, but accessible routes are limited to 5% running slope, 2% cross slope, and 8.33% slope if provided with handrails.

3.4.5 When ramps are not feasible, 24-hour publicly accessible elevators within the building envelope shall be provided, which shall be clearly marked with wayfinding signage.



3.4.6 Provide accessible seating and rest areas along vehicular and pedestrian rights-of-ways when constructing adjoining new development blocks.



## 4 OPEN SPACE & SHADE GUIDELINES

The design of open space in new development blocks should strive to create a distinctive public realm featuring inviting and comfortable outdoor environments that distinguish *Christown Spectrum* from other similar developments and make it a memorable place in the

Solano neighborhood. A vibrant outdoor destination will be achieved by adhering to the following fundamental design principle:

**The open spaces will be connected by wide, shady sidewalks that promote pedestrian activity to form a network that provides opportunity for a variety of activities and experiences.**

For the purposes of the *Christown Spectrum* PUD, rights-of-way such as streetscapes and paseos in new development blocks shall be considered open spaces and shall conform to the following guidelines.

- 4.0.1 The open space system should offer a variety of programs and functions for residents, visitors, and neighbors.
- 4.0.2 New development blocks shall incorporate a network of open spaces of different shapes and sizes united by common materials and furnishings. The design of streetscapes, paseos, and open spaces should enrich the public realm, achieve spatial enclosure, offer shade and pedestrian comfort, and provide visual appeal.
- 4.0.3 Placemaking elements shall be integrated into the overall design of new development blocks. Key open spaces should incorporate public art, environmental graphics, special landscape, and/or water features. Placemaking features should serve as focal points of plazas and open spaces.
- 4.0.4 On-site parks and open spaces should complement and support the overall pedestrian network to provide convenience and comfort to residents and neighbors. An effective and safe pedestrian connection to nearby Solano Park shall be implemented.

#### **4.1**      [STREETSCAPES + PASEOS](#)

Streets and paseos shall be an integral part of the physical and visual landscape in *Christown Spectrum*, and these linear spaces will be an important feature of the project. The project's rights-of-way, specifically those with enhanced streetscape, are envisioned as a system of landscaped corridors, and shall accommodate multiple modes of travel to provide a safe and inviting experience for pedestrians and bicycles. Figures R and S, also shown in Design Guidelines Section 4.1 Streetscapes + Paseos, depict two typical pedestrian conditions along the new Spine Street that adhere to the following guidelines.

- 4.1.1 All vehicular rights-of-way within the site, excluding service driveways, mall access driveways, and surface parking fields shall have a minimum landscaping zone of 8 feet. Along primary and secondary building frontages, this buffer may include areas for active outdoor uses, such as outdoor dining, retail displays, special events, and areas of pedestrian comfort located adjacent to retail, food and beverage, or building entrances.
- 4.1.2 Where parallel parking is present, provide a 1-2-foot-wide curb zone to allow safe entry

and exits from parked vehicles.

- 4.1.3 New development blocks shall include streetscape amenities, such as site furniture, pedestrian lighting, wayfinding signage, and special paving. Along primary frontages promote the use of outdoor dining areas that provide activity zones along streets and sidewalks, retail storefronts, restaurants, entertainment, and residential uses. A common aesthetic should be used to provide a continuity of design and unify the district.



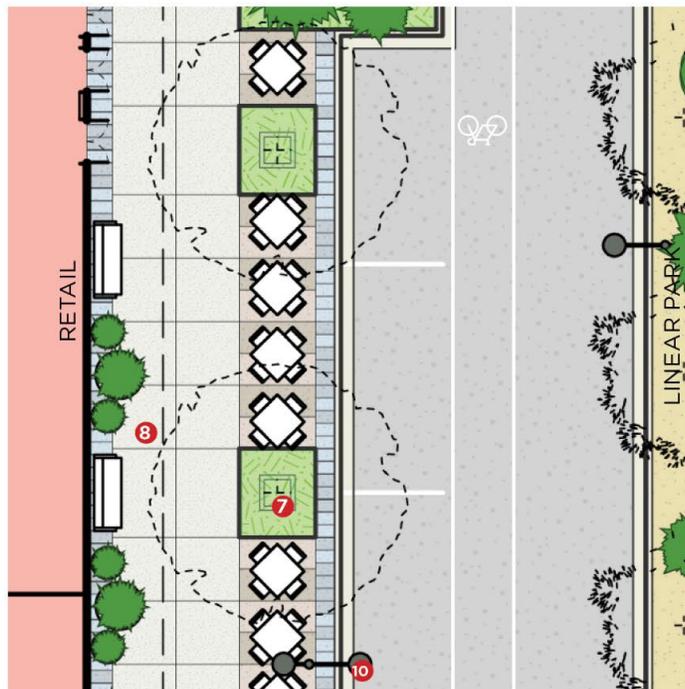
- 4.1.4 Locate streetscape amenities, street furniture, and landscape buffers in a zone adjacent to or near the curb to serve as a physical and psychological barrier to vehicular traffic.



- 4.1.5 Include traffic calming measures such as curb bulb-outs, enhanced crosswalks, landscaped strips or tree wells with canopy tree planting, and on-street parking in new development block areas.
- 4.1.6 Utilize curb extensions (i.e., bulb-outs) at intersections in combination with on-street parking, to slow vehicular traffic and decrease the crossing distance for non-vehicular traffic.
- 4.1.7 All sidewalks and paseos shall maintain clear sight lines to minimize hidden areas that could provide a security hazard.



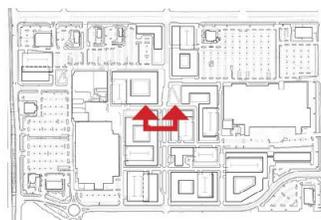
- 4.1.8 Select a palette of street furniture that enhances project identity and reinforces the hierarchy of streets, as well as the connection to the rail station. Street furniture should be made with durable materials and finishes. All street furniture is not required to be identical but should employ a common aesthetic and materials to unify the district.

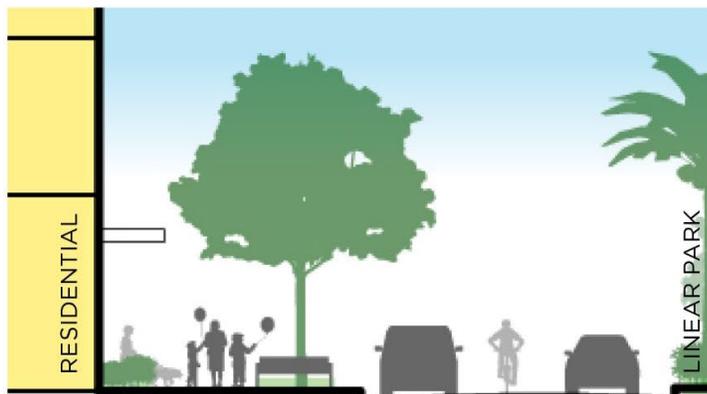


**FIGURE R:  
NEW SPINE STREET**

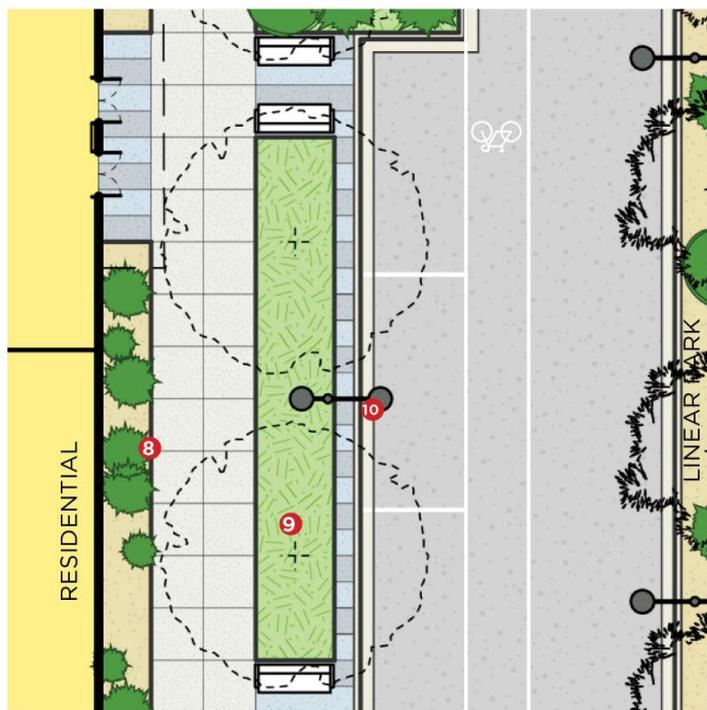
*Retail Sidewalk Zones*

- 1 Storefront Zone (±1-2'):**  
Provide a paving pattern to denote activity near the building edge.
- 2 Pedestrian Zone (±8-12'):**  
Provide sidewalk paving with the potential to provide amenities such as store displays or outdoor dining. Provide a minimum of 6' for pedestrian clearance.
- 3 Amenity Zone (±8' minimum):**  
Provide landscape that includes tree canopy for shade. Along retail land uses, place trees in planters and provide additional paved surfaces for street furniture or outdoor dining.
- 4 Curb Zone (±1-2'):**  
In concert with parallel parking, provide a distinct paving area that allows safe entry/exit from parked vehicles.
- 5 Parallel Parking (±7-8'):**  
Provide parallel parking and/or spaces for curbside pickup/drop-off along active storefronts and building entries.
- 6 Bicycle Lane (±5'):**  
Provide striped area dedicated to bicycle traffic.
- 7 Vehicular Travel Lane (±11'):**  
Separated by a linear park, provide 1 lane in each direction that facilitates vehicular traffic.
- 8** Provide building canopy for additional shade.
- 9** Canopy Trees should be at least 25' minimum on center.
- 10** Street lighting should illuminate the sidewalk as well as the street.



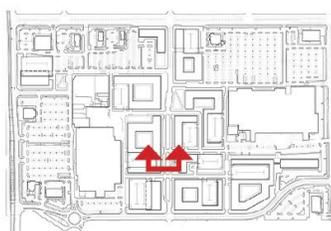


1 Storefront Zone  
2 Pedestrian Zone  
3 Landscape Zone  
4 Curb Zone  
5 Parallel Parking  
6 Bicycle Lane  
7 Shared Use Lane



**FIGURE S:**  
**NEW SPINE STREET**  
*Residential Sidewalk Zones*

- 1 Landscape Buffer (±4'):**  
Provide a lush mix of planting, with consideration for native or adapted, drought tolerant species.
- 2 Pedestrian Zone (±8'):**
- 3 Amenity Zone (±8' minimum):**  
Provide landscape that includes tree canopy for shade. Though turf is permitted, consider the use of xeriscaping in this zone, as well as native or adapted, drought tolerant species. Provide gaps in the amenity zone to allow access to the sidewalk from parked vehicles.
- 4 Curb Zone (±1-2'):**  
In concert with parallel parking, provide a distinct paving zone that allows safe entry/exit from parked vehicles.
- 5 Parallel Parking (±7-8'):**  
Provide parallel parking and/or spaces for curbside pickup/drop-off along active storefronts and building entries.
- 6 Bicycle Lane (±5'):**  
Provide striped area dedicated to bicycle traffic.
- 7 Vehicular Travel Lane (±11'):**  
Separated by a linear park, provide 1 lane in each direction that facilitates vehicular traffic.
- 8** Provide building canopy at building entrances.
- 9** Canopy Trees should be at least 25' minimum on center.
- 10** Street lighting should illuminate the sidewalk as well as the street.



4.1.9 New development blocks should incorporate wayfinding features for pedestrians and vehicles that reinforce the connection between the project core and the light rail station and unify the district. Wayfinding should demarcate pedestrian accessible areas, transit modes, open

spaces, paseos, points of interest adjacent to the project, and retail anchors and/or zones.

- 4.1.10 Demarcate gateways at each of the cardinal directions with distinctive landscape treatment, paving, and light fixtures that establishes a precedent for the design of building architecture and the public realm, including hardscape, planting, and lighting.



#### 4.2a STREETS

- 4.2a.1 All vehicular rights-of way shall have asphalt surfacing.
- 4.2a.2 There shall be a concrete apron delineating vehicular rights-of-way from curb cuts.
- 4.2a.3 The use of durable permeable materials for sidewalk, pavers, or driveway surfacing is encouraged.



#### 4.2B SIDEWALKS

Sidewalk conditions along public rights-of-way are depicted on Figures L, M, N, and O.

- 4.2b.1 Within new development blocks, sidewalks along primary frontages shall have a minimum width of 8 feet. These shall be present along all major internal streets within the project, including along the north-south spine and along the primary connection from the light rail station. Wide sidewalks should also be included along major open spaces and gateways.



- 4.2b.2 Sidewalks along secondary, side, and rear building frontages shall have a minimum width

of 6 feet.



4.2b.3 Active areas near building entries, retail storefronts, along parallel parking, and/or amenity or landscape zones may be differentiated by a change in paving materials. All paving materials should allow for easy maintenance and economical repair. A common material palette should be used throughout the project to reinforce the and unify the district



4.2b.4 Sidewalks should be designed to allow visibility around sharp corners. Avoid tall fences, inset corners, and overgrown vegetation at corners to maintain visibility and safety. 4.2b.5 Wider sidewalks may have different types of paving to denote different zones for amenities and pedestrian activity.

4.2b.5 When located adjacent to mature planting, sidewalks may be located to accommodate the existing landscape. Strategies may include widening the required landscaping strip, winding the sidewalk along the perimeter of the mature planting, or increasing building setbacks along mature planting areas to a maximum of 30 feet.



4.2b.6 All sidewalks at intersections shall provide curb cuts and detectable warning strips. Bollards creating curb less sidewalks adjacent may be provided at crosswalks and intersections within the project.



4.2b.7 Detectable warning strips made of durable materials and a highly visible color shall be provided at every intersection. Colors selected for crosswalk materials and pavers shall be similar to adjacent paving accents.



### 4.3 OPEN SPACES

Key to successful urban place-making, outdoor spaces should serve as a counterpart to the streetscape environment, further enriching the public realm by offering various places for different groups of people to congregate. Comprised of parks, plazas, pocket parks, paseos, and gateways, open spaces should be designed for human activities and should be conceived as outdoor rooms.

#### 4.3A OPEN SPACE GENERAL GUIDELINES

The following guidelines apply to all proposed open spaces:

- 4.3a.1 Design functional outdoor spaces comfortable for human occupation. To encourage social interaction and provide comfort utilize decorative paving, plants, site furniture, shade, and natural lighting to shape, embellish and give purpose to these spaces.
- 4.3a.2 All open spaces should be designed with a clear purpose. Unused and unusable “dead spaces” shall be avoided. The size of open spaces should correlate to the intended function and projected programming.
- 4.3a.3 Design should define and contain open spaces through a combination of building and landscaping. 75% of open spaces shall be shaded, and nearby buildings and structures may also be utilized as sources of shade. Open spaces should be designed with the character of “outdoor rooms” that complement the streetscape as well as nearby buildings.



4.3a.4 Within open spaces, shade trees shall be employed to regulate sun and shade and to provide pedestrian comfort at all times of the year.

4.3a.5 Movable seating, shading devices, and planters may be provided in open spaces where flexibility is desired.



4.3a.6 Within open spaces, provide signage that indicate hours of operation, as well as contact information for emergency services and maintenance issues. Signs should be located at decision points, such as the intersection of paths or primary park entrances.

4.3a.7 Water features shall be designed in a way that maximizes efficiency and minimizes water consumption. Fixtures that recycle and recirculate water are preferred.



4.3a.8 Open spaces shall be designed with safety in mind to allow observation from adjacent buildings, pathways, or streets. All open spaces shall be fronted or overlooked by active uses such as retail, housing, hotel, or office.



4.3a.9 Within open spaces, introduce decorative, pedestrian-scaled light fixtures that emit warm lighting. Special accent lighting such as landscape lighting, overhead fixtures, twinkle lights, etc. may be employed. Lighting fixtures are not required to be identical but should conform to a common aesthetic throughout to unify the district. All fixtures should be designed at a human scale.

#### 4.4 LANDSCAPING

Landscaping in new development areas of *Christown Spectrum* shall utilize the Phoenix AMA Low Water Use/Drought Tolerant Plants list of approved low water use plants. This list will provide a starting point for new development and may be supplemented and modified as approved by the Planning and Development Department.

##### 4.4A LANDSCAPING TYPOLOGIES

In addition to providing landscaping in open spaces, a hierarchy of landscape types, depicted in Figure J and defined below, is proposed in areas with enhanced streetscape areas as well as within the existing mall areas:

- 4.4a.1 **Enhanced Streetscape:** Landscape in these areas is commensurate with the creation of a mixed-use, pedestrian focused environment.
- 4.4a.2 **Boulevard Landscape:** The highest level of landscape quality in these enhanced streetscape areas should be focused on the new Spine Street, though a larger concentration of hardscape may be appropriate in retail-focused areas to provide for outdoor dining and pedestrian amenities.
- 4.4a.3 **Arterial Landscape:** Landscaping and tree canopy in these enhanced streetscape areas should provide an attractive edge condition, facilitating pedestrian amenities and comfort along the public rights-of way and supporting project gateway conditions.
- 4.4a.4 **Mixed-Use Landscape:** This landscape is intended for primary and secondary frontages as well as mixed use streets. Sidewalks in these areas promote connectivity and facilitate pedestrian movement instead of lingering, and landscaping will be more robust in these areas.
- 4.4a.5 **Existing Tree Canopy:** Maintain the existing orchard-style mall tree canopy in existing parking fields. Large existing shade trees should be retained wherever possible.

#### 4.4B GENERAL LANDSCAPING GUIDELINES

The following guidelines apply to all proposed landscaping in open spaces and in streetscape areas:

4.4b.1 The palette of selected plants should consist of a mixture of shade trees, ornamental flowering trees, shrubs, and groundcovers that require minimal maintenance and water requirements.

4.4b.2 Landscape design should employ a coordinated palette of landscape materials throughout the district including native and adapted plants to provide scale, texture, and color.



4.4b.3 Landscaping should be a diverse mix of plant specimens to avoid monoculture and ensure seasonal interest. Similar materials and techniques should be used throughout to unify the district.



4.4b.4 Shrubs and ground cover should be planted in masses of a single species or cultivar in sufficient numbers to create beds of plants, with at least 50% coverage.



4.4b.5 Plants should be selected based upon their ultimate height, width, and growth habit in relation to the space where they will be planted.

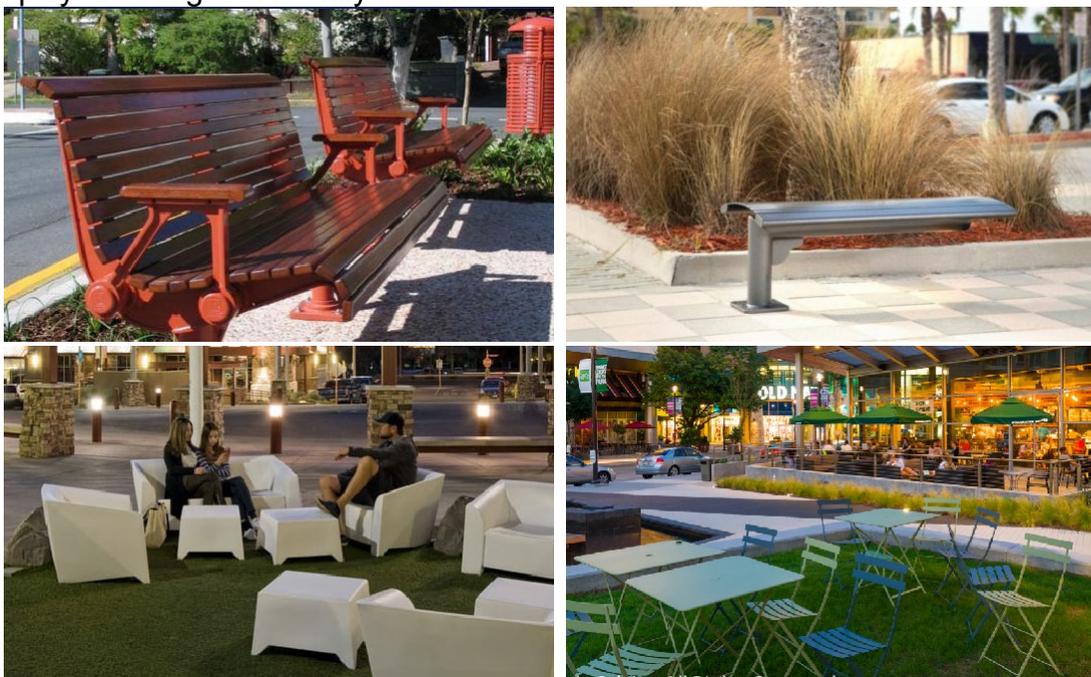
4.4b.6 When planted adjacent to new and existing development, plantings shall not obscure retail or building signage.

4.4b.7 All landscaping shall be trimmed adequately to maintain unobstructed lighting.

4.4b.8 Provide landscaping adjacent to building areas that feature high levels of solar heat gain.

## 4.5 SITE FURNISHINGS

4.5.1 All public realm furnishings may vary in design, but shall complement and coordinate with one another in style, material, and color. A common design aesthetic and material palette should be employed throughout to unify the district.



4.5.2 Furnishings should be placed at strategic locations to maximize opportunity for pedestrian comfort. These include but are not limited to bus stops, open spaces, and high pedestrian traffic areas in enhanced streetscapes.

4.5.3 Street furniture shall be accessible to people of all mobility levels.

## 5 ARCHITECTURAL DESIGN GUIDELINES

The design of new development blocks at *Christown Spectrum* should promote a diversity of building uses and expressions that are characteristic of great urban environments, while reinforcing the aesthetic of a unified district through adherence to the following design principle: By adherence to the following design principle:

**Building massing should be appropriate and sensitive to the human scale, and the design should be complementary to create a distinct and consistent neighborhood that is harmonious with the local architectural context.**

This vision, supported by careful material and color choices as well as design criteria, will distinguish the community and define its character

### 5.0 BUILDING MASSING + FORM

The building height, massing, and scale of new development blocks shall relate to pedestrian scale in the immediate vicinity and facilitate a hierarchical aesthetic throughout the district.

5.0.1 Architectural styles should be employed at *Christown Spectrum* that are compatible with the Solano neighborhood. A variety of styles may be employed to maintain visual interest and to prevent boxy, bulky, and elongated massing, but the design of all buildings should include complementary materials and details.

5.0.2 Buildings shall contain 3 parts; a base, a midsection, and a top, to reflect and respect the human scale. The different parts shall be expressed through varied detailing of the facade and discernible vertical and horizontal offsets shall be provided to reduce the visual mass of the building.



5.0.3 Architectural elements such as entries, porticoes, cornices, and awnings shall be compatible in scale with the massing of the building and its neighbors and shall not be exaggerated or made to appear as a caricature of a historic architectural style.



5.0.4 Reasonable accommodation for individual tenant identity may be permitted for all retail or food and beverage tenants. See Section 4.2F for tenant design guidelines.

5.0.5 Organize massing to emphasize certain parts of the building such as entries and, corners. Entrances should be identifiable by an accompanying modulation in massing, which may include a portion of the building with a differing building or parapet height (above or below) and/or with a projected or recessed building massing.



5.0.6 Ensure that separate development parcels are compatible and complementary in scale and massing but retain diversity typically characteristic of urban environments.



5.0.7 Building height and massing shall be respectful of *Christown Spectrum's* single-family context and should provide massing and scale transitions adjacent to these areas. For buildings over 48 feet in height, a 20-foot wide setback shall be required for new buildings within 100' of single-family residential zoned parcels where residential as the primary land use. Within this setback, the maximum height of buildings is limited to 48 feet. Figures L, M, N, and O depict setback and stepback conditions along public rights-of-way, with Figures N1 and N2 showing required stepbacks for new buildings adjoining 15<sup>th</sup> Avenue.

## 5.1 ARCHITECTURAL CHARACTER

Preferred three-dimensional architectural characteristics, such as building features, materials, glazing, screening, parking garages, and retail storefronts are provided in this section.

### 5.2A BUILDING FRONTAGES

As previously discussed in Design Guidelines Section 3.1A Frontages, each phase of new development blocks includes one or more frontage types to provide an attractive condition along public rights-of-way, maintain attractive and safe pedestrian and vehicular connections, and maintain an intensive mixed-use character at the center of *Christown Spectrum*. These frontages will maintain the architectural character of new buildings and are further described below:

5.2a.1 **Primary Frontage (New Spine Street & Mixed-Use Frontage):** This frontage type represents the most intensive mixed-use character, with retail and/or dining storefronts, and residential and office building entries. Facades along these frontages should be read as the 'front' of the building.

5.2a.2 **Primary Frontage (Public ROW):** Facades along these frontages may be read as a 'front' of the building and should allow for retail storefronts and building entries but be sensitive to the surrounding single-family residential communities in the form of wide building setbacks and stepbacks in building height.

5.2a.3 **Secondary Frontage:** This frontage type reflects the condition for local streets. Though a variety of configurations are permitted (including parking garage exposures and service access), an attractive mixed-use character should be provided which is representative of residential-focused mixed-use development.

5.2a.4 **Side + Rear Frontage:** Although this frontage type typically represents a 'back of building' condition, measures should be taken to provide an attractive building facade, prioritizing safety and minimizing conflict between vehicles and pedestrians.

Throughout the remainder of Design Guidelines Section 5, references to "primary", "secondary", and "side and rear" frontages refer to the frontage types for new development blocks as depicted in Figure H. If no frontage types are referenced, the guidelines refer to general conditions that should be represented throughout the building exterior.

### 5.2B BUILDING FACADES

Building facades should be articulated to provide human scaled architecture, and walls should be of quality materials such as brick, stone, stucco, panels, glass, mullions (metal or wood), precast materials, or wood. Additional guidelines concerning materials can be found in Section 4.4.

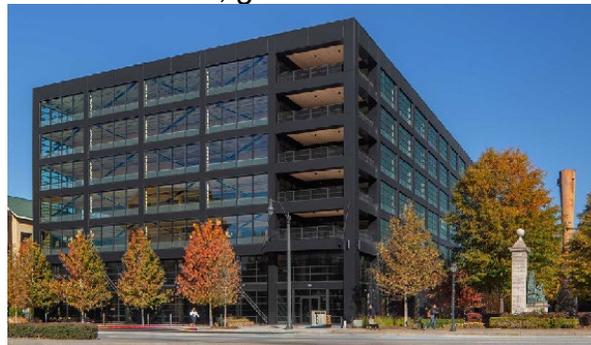
5.2b.1 A minimum of 20 percent of the public-facing facade of each floor shall be glazing or openings.

5.2b.2 New buildings shall employ brick/stone veneer, paneled, or stucco facades along primary frontages.



5.2b.3 Glass shall be minimized or shaded in zones of the greatest solar intensity, such as south-facing elevations.

5.2b.4 The use of glass on office buildings is permitted, but its use should be regulated to minimize heat gain. If utilized as a curtain wall, glass should not be heavily tinted or mirrored.



5.2b.5 All building facades (excluding inline retail or food and beverage land uses) should not use more than 3 primary materials (i.e., stone/brick veneer on the ground floor, stucco on the second through fourth floors, and panelized materials on the fifth floor). When each are used, they should create articulation with patterns.



5.2b.6 Other exterior walls may be of brick, wood siding, masonry siding, stone (cultured stone), plaster, stucco cementitious material, or combinations thereof.



5.2b.7 When materials turn the corner from a primary frontage, the materials and detailing should be consistent with the primary facade for a minimum distance of 30 feet along the secondary or rear frontage.

5.2b.8 Side and rear frontages, such as those elevations that face interior courtyards, service lanes, or parking structures (except as noted above) should be brick, architectural concrete block, precast concrete, or cast stone on the ground level.

5.2b.9 Mechanical systems on residential buildings shall not be inset and not stacked along multiple floors of the building facade.

5.2b.10 Exposed foundation walls, should be faced with brick, architectural veneer, or stone veneer.



5.2b.11 Piers and columns should be of precast concrete, brick, Cementous paneling, or simulated wood.



5.2b.12 Arches used shall have a distinctive thickness (on both the inside and outside surfaces) and shall have a minimum width of 6 inches. All keystones shall have sides radial to the arch.

5.2b.13 Service, delivery and curbside pick-up, storage, trash pick-up, vehicle entries, and loading areas and doors should be Incorporated into the overall building form. Excluding delivery and curbside pickup zones, these areas should only be located on secondary or side and rear frontages.



5.2b.14 A coordinated palette of colors should be used on all new ground-up development buildings. Inline retail or food and beverage uses are permitted separate palettes of complementary colors. Buildings within the neighborhood are not required to use an identical color palette, but colors should be complementary between buildings to create a unified identity.



## 5.2C WINDOWS

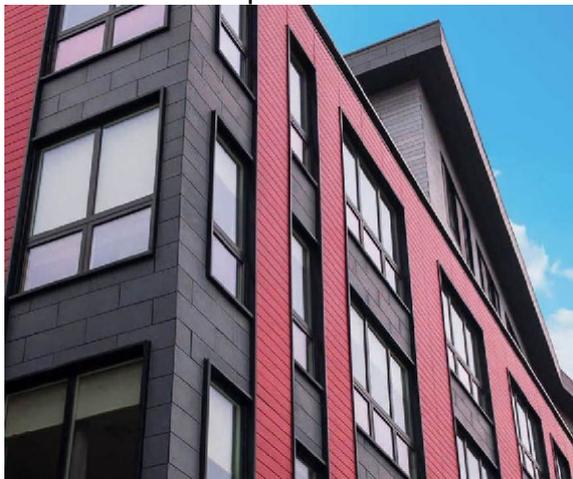
New buildings shall incorporate windows and doors with well-designed trims, recesses and details as character defining features to reflect an architectural style or theme consistent with other facade elements and building architecture.

5.2c.1 At least 30% glazing shall be required on all primary and secondary frontages of new buildings, except retail or entertainment land uses over 20,000 SF. For retail or food and

beverage tenants along primary frontages, at least 75% glazing is required along the ground floor of the primary frontage. These glazing requirements do not apply to parking garages.

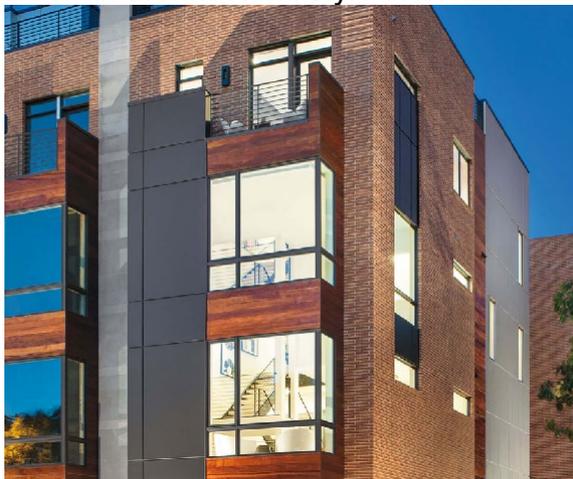
5.2c.2 Window frames and mullions shall be made of wood, vinyl-clad wood, metal, vinyl, or extruded aluminum.

5.2c.3 Windows should be recessed to develop shadow lines.



5.2c.4 For residential buildings, windows should be either single, double, triple-hung, or casement style.

5.2c.5 Windows should not be closer than 2 feet to the corners of the building unless the window wraps the corner as part of an architectural style or element.



5.2c.6 Openings, windows, and window sashes should be rectangular with a vertical or square proportion.



## 5.2D ROOF FORMS + MATERIALS

Building rooftops shall contribute to the unified appearance of *Christown Spectrum*. Visually clean, high albedo rooftops for diffuse reflection of solar radiation with mechanical and service facilities kept screened, green roofs that are energy efficient, or rooftops with photovoltaics are all acceptable roof forms and materials.

5.2d.1 Roofs may be either flat or pitched for all new development.



5.2d.2 Diffuse reflection of solar radiation and utilize high albedo roof and paving materials which mitigate the heat-island effect. Roof materials should have an SRI (solar reflectance index) of 80 for 75%,

5.2d.3 Roof materials and assemblies which utilize or capture stormwater are encouraged, such as green roof, featuring drought and heat tolerant plantings to reduce cooling and heating costs.



5.2d.4 Rooftop photovoltaic solar panel systems are encouraged for both buildings and parking garages, but these systems shall be set back a minimum of 25 feet from the parapet and should have a maximum height of 12 feet.

5.2d.5 A combination of roof lines such as pitched and flat roofs, modulated building heights, and/or setbacks is permitted.

5.2d.6 An architectural cornice or similar roof treatment shall accompany any flat roof over an entry portico and porch.



5.2d.7 When used as a secondary roof set against the wall of the main building, shed roofs (roofs which pitch in one direction) are permissible.

### 5.2E ENTRIES + DOORS

Articulation of entries for new buildings should communicate clear points of entry and contribute to the overall visual aesthetic and accessibility of each building.

5.2e.1 All building entrances, storefronts, and other openings should provide overhead architectural features, such as awnings, canopies, trellises or cornice treatments that provide shade, weather protection, and reduce daytime heat gain.

5.2e.2 Doors shall be made of fiberglass, metal, or wood. All public doors should have glass, raised panels, or both. Doors to service rooms, storage areas, access stairwells, emergency exits, and electrical, mechanical and fire sprinkler rooms may be a single, flat panel.

5.2e.3 All building entries shall be clearly identified from rights-of-way. Utilize measures such as lay-bys, drop-offs, canopies, porches, projections, recessions, or signage.



5.2e.4 Individual building addresses and, if applicable, names shall be visible from the street and not less than 6 inches in height.



## 5.2F RETAIL STOREFRONTS

As a legacy land use of *Christown Spectrum*, the design of new retail storefronts should reinforce the overall design of the project as well as their individual tenant brand. Retail storefronts should include unique details, dynamic window displays, and a welcoming entry.

5.2f.1 Retail storefronts should occur along primary and secondary frontages, though the expression of the storefront facade may continue onto the side and rear frontages.

5.2f.2 Retail storefronts should be compatible with the architectural style of the base building, but individual identity for each tenant is encouraged. All storefronts are to be contained within the building envelope formed by fixed elements of the base building. Projecting elements into the right-of way are permitted if do not impact the minimum sidewalk width or landscaping/amenity zones.



5.2f.3 In addition to window glazing, up to three primary materials are permitted for individual tenant storefronts. Provide quality, durable materials that have a natural appearance for all tenant storefronts. Metal, stone, brick, cast stone, concrete, and plaster are recommended materials.



5.2f.4 Retail storefronts shall take both daytime and nighttime visibility into account to enhance recognition. Storefronts may incorporate external lighting as design elements in addition to illumination from within the store. Lighting from retail storefronts and signage shall not trespass into the floors above.



5.2f.5 The choice of color palette may reflect the tenant’s unique personality but should be complimentary to the base buildings. Flexibility and variety in tenant colors create vibrant streetscapes found in great mixed-use environments.



5.2f.6 Existing air intake and exhaust louvers shall be clear of any solid obstructions that may affect ventilation. Louvers shall not be located below 12 feet of the wall or window opening.



5.2f.7 All doors shall be compatible with, and complementary to, the overall storefront design.

5.2f.8 Utilize canopies along active storefronts to indicate inline retail or food and beverage as well as to provide shade and shelter from the elements. Canopy roof materials for retail storefront should provide shade but should be of a lightweight construction. Canopies may project up to 10 feet into the required setback on primary frontages and secondary frontages.



## 5.2G DETAILS + ORNAMENTATION

Building details and ornamentation should enrich the pedestrian experience of new development by providing a level, grounded facade that relates to human scale.

5.2g.1 Details and ornamentation should enhance the building architecture by creating shadows and texture.

5.2g.2 A selection of architectural details and devices such as vertical and horizontal recesses and projections, bays, balconies, changes in height, floor levels, roof forms, parapets, cornice treatments, window reveals and form, color, and location of garage entries, are permitted as appropriate to each building.



5.2g.3 All new building facades should be provided with a consistent level of architectural detail and articulation to create a unified district. All elevations should be architecturally detailed to avoid the appearance of being the “back of the building”.



5.2g.4 Provide shelter from the sun for pedestrians within the site, where the buildings meet the sidewalk. Extend overhead cover across sidewalks or provide architecturally integrated awnings, arcades, colonnades, and canopies. Shading devices may project up to 10 feet into the required setback on primary frontages and 6 feet on secondary frontages.

5.2g.5 Building ornamentation should provide texture to the street. Balconies, awnings, canopies and bay, shadow boxes, or bow windows that provide articulation to the street wall are encouraged.



5.2g.6 Brackets, spandrels, finials, and other ornamentation are permitted.

### 5.2H SCREENING ELEMENTS

The design of new buildings shall mitigate the visual impacts of utilities, mechanical equipment, and other utilities that are visually obtrusive. Measures to screen unsightly utilities, parking structures, and service areas include:

5.2h.1 Locate and/or screen rooftop equipment via parapets or roof forms, so that it is not visible from adjacent streets.



5.2h.2 Utilize rooftop screening through parapets or louvers integral to the building's form.

5.2h.3 Use landscape features and wall art to screen parking structures. Trees, shrubbery, planter boxes, climbing plants, vines, green walls, or berms may be used to soften views from the public right-of-way and art to create visual interest.



5.2h.4 Utilize window wells to soften landscape screening when visible from primary and secondary frontages.

5.2h.5 Use Green-Screen or green walls and trellises to reduce excessive radiant heat in pedestrian areas and to soften hard surfaces used for screening.

5.2h.6 Minimize exposed garage facades with landscaping screening techniques, when visible from primary and secondary frontages.



### 5.3 PARKING STRUCTURES

Parking structures should be complimentary to multistory building design and not impact the massing, order, and visual reading of the overall building.

5.3.1 Parking garage expression is permitted on secondary and side and rear frontages of office- and residential buildings. Parking garage expression is permitted for no more than 30% of secondary frontages on residential buildings.

5.3.2 Design parking structure facades with attractive entrances, varied building materials, canopies, and/or screening to provide visual interest. When connected to a base building, these treatments shall be compatible with the overall design of the building. Parking garages shall be visible only on secondary or rear frontages.



5.3.3 Screen parked cars with railing in lieu of solid walls. Railings shall have a minimum height of 42 inches. The first floor should have minimum 40-inch-high walls to screen headlights.



5.3.4 Exterior elevations of parking structures should have an open-air design to allow for natural visibility to and from adjacent streets and nearby buildings. Sheer panels are permitted.

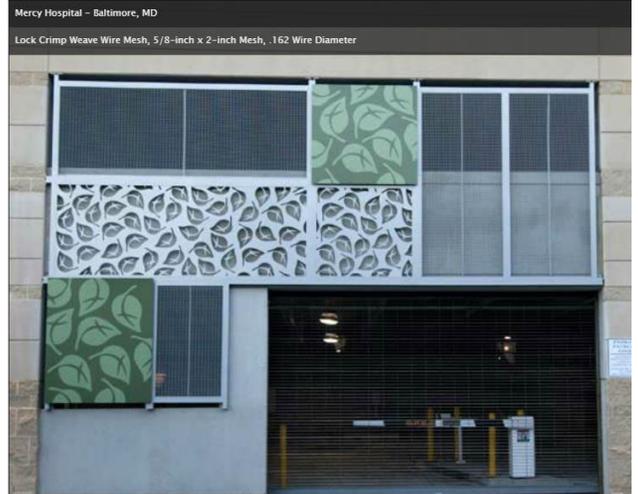
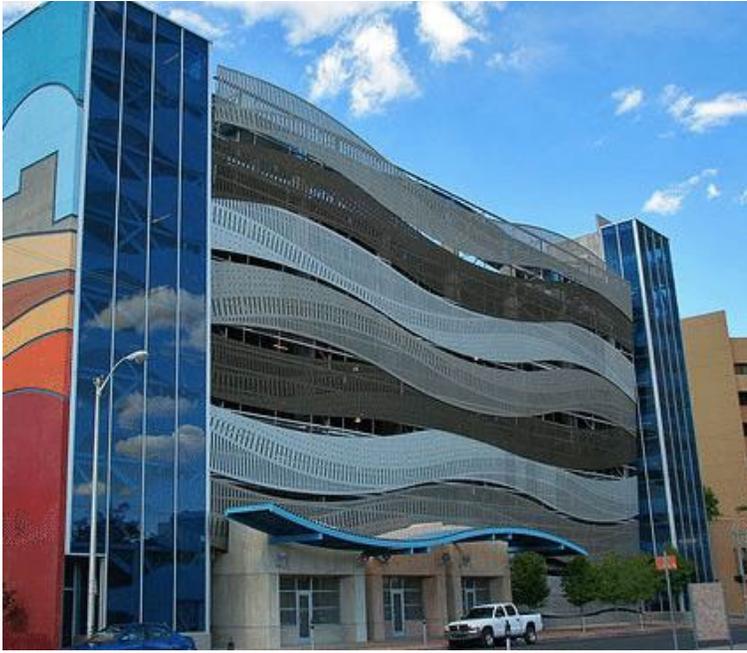


- 5.3.5 The design of parking structures should integrate high quality, permanent materials, with integrated elevator and stair towers.
- 5.3.6 Parking ramps on primary and secondary frontages should be avoided.
- 5.3.7 Landscaping may be provided throughout all levels of the parking structure via a green screen or green wall. If directly fronting a sidewalk, features such as trees, shrubbery, planter boxes, climbing plants, vines, green walls, or berms should be placed along the street level or ground level portion of any parking structure to screen or buffer views of that ground level from the public right-of-way where practicable.
- 5.3.8 Lighting fixtures and photovoltaic panels are permitted on parking garage roofs. These fixtures shall be set back a minimum of 25 feet from the garage edge and shall have a maximum height of 12 feet. Within parking lots, the use of more low-wattage fixtures to adequately distribute light is encouraged.



- 5.3.9 Parking structures visible from public rights-of-way, or large portions of the site, or that extend above the height of adjacent buildings shall be screened with decorative building materials, decorative lighting, landscape green screen or green wall, or large-scale decorative design motifs.





## 5.4 MATERIALS

Building materials for shall be of a high quality and should be consistent and complimentary to the desert and urban context. Materials shall create formal hierarchy within the building massing and create an aesthetic which unifies the community. Primary building facades with frontage on streets, rights-of-way, or amenity spaces should be brick/stone veneer, stucco, cast stone, precast, glass, high end rain-screens and/or panelized materials.

5.4.5 *Christown Spectrum* should feature materials that complement the Solano neighborhood and are compatible with the urban and desert environment.

### 5.4A MASONRY

Masonry grounds the building mass and to brings texture and pattern to the streets and pedestrian rights-of-way.

5.4a.1 Masonry, such as brick/stone veneer and pre-cast concrete is permitted and should be used as a primary material for new buildings.



5.4a.2 Mortar joints shall complement the masonry color. Masonry units shall have butt joints at outside corners with a minimum 4-inch overlap. Bricks may be coursed in common, running bond, herringbone, Flemish, basket weave, or horizontal patterns.

5.4a.3 Mortar joints may be weathered, concave or V-shaped, but joints shall not be greater than one-half inch ( $\frac{1}{2}$ " ) in dimension.

5.4a.4 Masonry (excepting concrete blocks) shall have a natural color or finish. Concrete blocks and precast concrete should be painted or stained as appropriate to the design character.

5.4a.5 A variety of brick colors and textures are encouraged; glazed, faced, and painted brick are permitted as appropriate to the design character.

5.4a.6 Patterned brick detailing and special brick shapes are permitted as accents.

5.4a.7 Precast concrete and cast stone masonry units may be used in common, stacked, or running bond. Precast concrete and cast stone masonry units shall have a smooth, ground, or molded finish resembling natural stone. Rustication is permitted to provide texture at the base of the building.

### 5.4B STUCCO

Stucco, a commonly used material in the desert climate, is allowed, but its use should not overwhelm a building facade. Used in concert with stone/brick and other materials, a variety of contemporary building styles can be created.

5.4b.1 Stucco is permitted as a primary material at *Christown Spectrum*.



5.4b.2 Where more than one material is used in a facade, heavier materials such as stone/brick veneer should be located below lighter materials such as stucco. The change in material should occur along a horizontal line at the floor level.

5.4b.3 Stucco may provide detail, such as a texture and pattern.

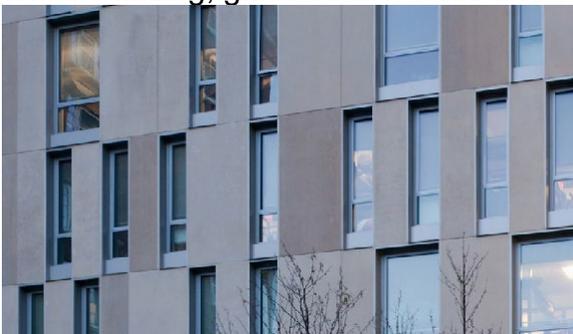
5.4b.4 Stucco may be painted.

5.4b.5 Synthetic systems simulating stucco or plaster are permitted only higher than 12 feet above grade.

### 5.4C PANELIZED MATERIALS

Panelized materials may be used to break up massing and to promote a varied design. These materials lend themselves to modern applications, higher off the ground, and are ideal for taller buildings.

5.4c.1 Panelized materials (metal panels, rain-screens, cementitious panels, precast panels, wood cladding, glass curtain walls and storefronts) are permitted.



5.4c.2 Panelized materials may be used in a smooth or textured finish.

#### 5.4D EIFS/VINYL CLADDING

5.4d.1 EIFS and vinyl cladding shall be used minimally as accents, or along secondary frontages or rear frontages.



5.4d.2 The use of EIFS on any facade is permitted only higher than 12 feet above grade.

## F. SIGNS

The main objective of the signage program for *Christown Spectrum PUD* is to allow for adequate identification and wayfinding signage. When proposed, the sign program for this PUD shall conform to Section 705 of the Phoenix Zoning Ordinance with amendments needed to address existing conditions at the *Christown Spectrum Mall* and ensure economic viability of the *Christown Spectrum PUD*. If it is determined to be necessary and/or appropriate, approval of an amendment to the Comprehensive Sign Plan (“CSP”) will be sought.

A key component of successful placemaking for *Christown Spectrum* should be to establish a clear project identity through signage. Signage within *Christown Spectrum* should be designed at a human scale with clarity and should be free of confusion and visual clutter.

Project signage, provided with coordinated landscape and hardscape treatments and building massing, should all combine to create a memorable point of arrival and a distinctive project identity within the site. Additionally, retail signage should offer a great opportunity to further enrich the environment, enhance the character of buildings, foster an active streetscape, and further contribute to the sense of place.

A Comprehensive Sign Plan currently exists for *Christown Spectrum*. However, with the forthcoming phased implementation of new development in the **MWUSD**, new signage criteria that includes provision for a wider variety of signage types, tenant signage guidelines, project signage, and wayfinding will need to be created. When required, the Comprehensive Sign Plan will be

updated to accommodate new development in the **MWUSD**. Therefore, all signage criteria shall be subject to the Comprehensive Sign Plan amendment and is excluded from this document.

## G. SUSTAINABILITY

Energy efficiency will be particularly important for the success of this project. By following best practices for new construction, this development should enjoy an economically sustainable, enjoyable, contemplative, active, and peaceful environment that will last for many decades. In this way, this project will constitute, and therefore meet one, of the City's Sustainability Objectives, a "Sustainable Neighborhood" that provide a variety of housing opportunities within the same community.

The following list is organized by the goal statements of the PUD ordinance for sustainability:

1. Standards that are measurable and enforceable by the city during the site plan review and inspection process; and,
2. Practices or techniques for which the applicant/developer will be responsible.

### ***City Enforced Standards***

The list below addresses the City's Sustainability Objective of **Energy Efficiency in Design and Long-Term Operation** and thus indirectly also meet another objective, that being to **Provide Thermal Comfort for all Users**.

1. A minimum of 50% of common amenities areas shall be shaded.
2. A minimum of one two-inch caliper shade tree should be provided for every ten vehicular parking spaces, and 20-feet on center or equivalent grouping within setbacks.
3. Shade a minimum of seventy-five (75%) of the public sidewalks, excluding driveways, with trees or other means. Other means of shading may include, but are not all inclusive, the buildings themselves or shade structures. Shade structures may be within the right-of-way only upon issuance of an encroachment permit as administered by the city of Phoenix, and if applicable, approval from affected public utility companies by the city. Compliance with the percentage shading shall be measured at noon (12:00 p.m.) of the June/Summer Solstice and based on the tree's maturity.
4. Use roofing materials that specify a high Solar Reflectance Index for a minimum of 75% of the roof surface.
5. Fresh air ventilation and low VOC materials that promote indoor air quality and limits moisture problems will be utilized.
6. Recycling collection areas shall be identified on the site plan at the time of site plan review process.
7. Encourage shared/reciprocal parking to reduce the overall number of parking spaces. Use and implementation of shared parking strategies should be considered whenever possible using the requirements provide through the City of Phoenix Zoning Ordinance Section 702.E. 2 (Shared Parking Model).

8. Provide a minimum of permeable paving, structured soil/grass, open grid paving or similar material which allows for water to permeate the surface to promote natural drainage and filtration. The calculation shall include on-site pedestrian walkways, private surface driveways and parking stalls. Shall not include loading areas.

### ***Developer Enforced Standards***

1. The “Leadership in Energy and Environmental Design” (LEED) Green Building Rating System is presently a voluntary standard for developing high-performance sustainable buildings. Developers within this PUD area are strongly encouraged to incorporate current LEED standards wherever possible.
2. The provision of recycling collection area(s) onsite shall be identified on the site plan at the time of the site plan review process.
3. Design for the capture of gray water discharge from buildings for reuse for landscape irrigation.
4. Incorporate “Smart” irrigation control systems into the landscape design.

### **Location & Transportation**

1. Provide Curbside Pickup.
2. Provide Electric Vehicle (EV) Charging.

### **Sustainable Sites**

1. Utilize light color roofs to help reduce the heat island effect.
2. Provide recreational amenities sports, fitness facilities, & swimming pool in residential projects.
3. Control the lighting system to provide safety lighting from dusk to dawn and allow decorative lighting fixtures to be turned off or significantly dimmed after curfew hours.
4. Utilize underground storage tanks to reduce storm water run-off and protect the local ecosystem.
5. Use decomposed granite as mulch to retain water and minimize dust.
6. Use “green” construction when possible.
7. Encourage the use of solar energy.
8. Encourage LEED environmental design and building efficiency.

### **Water Efficiency**

1. Use water efficient (low flow) plumbing fixtures including; faucets, shower facilities.
2. Utilize bottle fillers, along with drinking fountains to minimize plastic bottle waste.
3. Separate domestic and landscape water to minimize the impact on public sewers.
4. Landscaping shall utilize the ADWR Low Water Use/Drought Tolerant Plants list.
5. Minimize the use of turf; utilize "no-mow" turf.
6. Incorporate wind and rain sensors into the drip irrigation system (smart controllers).
7. Where applicable, incorporate water harvesting techniques into landscape areas to capture and collect stormwater runoff for supplemental irrigation water.

### **Energy & Atmosphere**

1. Use double pane low E glass for all windows and doors.
2. Maximize the use of LED light fixtures throughout interior common areas.
3. Add occupancy sensor-controllers for corridors
4. Utilize LED light fixtures in the parking garage, with motion sensors.

5. Minimize air infiltration for residential building efficiency but allow for resident control of their environment.
6. Limit lamp wattage in decorative sconces at main entrances to not exceed 60-watts to minimize glare.
7. Use Energy Star appliances for residences (refrigerators, dishwasher, and clothes washers).

### **Indoor Environmental Quality**

1. Avoid the use of high VOC Paint and glues.
2. Provide resident monitoring for accident and illness alerts.
3. Provide "machine run less" elevators there are more efficient and do not require heavy plunger oil for operation.
4. No or low mercury lighting systems (LED only no CFL).

## **H. INFRASTRUCTURE**

The Fact-Finding Summary issued for this PUD, provided for this application under separate cover, confirmed that existing utilities are present to serve the site. Any future development will of course provide evidence that the additional demands of the new construction can be provided by the existing infrastructure or that certain extensions or upgrades may be necessary.

### ***1. Grading and Drainage***

This project has been designated as a Redevelopment and/or is located within the Infill Development area. Consequently, this project is permitted to provide retention for the greater volume determined by two methods: "pre-vs-post" or "first flush".

- "Pre-vs-post" means that you must provide retention for the difference between pre-development and post-development runoff for the 100-year, 2-hour storm.
- For environmental reasons, the "first flush" of storm water runoff shall always be retained on-site (or treated in an equivalent manner). This volume must be greater or equal to 0.5 inches of runoff.

Plans specific to any new construction will be submitted as part of the Planning and Development Department Site Plan submittal. Retention for future development may be provided on individual parcels and/or within common retention areas servicing large portions of the development or the overall PUD. Necessary agreements with multiple property owners will be required if utilizing common retention areas. Retention areas may be either by surface basins or underground storage.

A Cross Retention and Drainage Agreement is required when adjacent properties desire, or are required to, provide a perpetual, non-exclusive, mutual cross retention and drainage easement for the purposes of storm water retention and drainage.

The maximum retaining wall height within the subdivision is to be three (3) feet (4) inches with no surcharge. All other retaining walls are to be reviewed, permitted, and inspected by the Building Safety Branch of the Planning & Development Department.

Accessible Americans with Disabilities Act (ADA) routes must meet ADA requirements for slopes. All accessible routes including ramps must meet ADA standards; 1:50 (2%) maximum cross slopes and 1:12 maximum longitudinal slopes. Accessible parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 (2%) in all directions.

## **2. Water and Wastewater**

The project site is served by the existing City of Phoenix water and wastewater systems.

A public water main extension shall be required within Montebello Ave from 19th Ave to 15th Ave. Per City Code Chapter 37-33, a water main extension and pipe appurtenances shall be required in the right-of-way and/or a private accessway. All bounding streets must have water main frontage to the proposed development. For water quality purposes, a looped connection is preferred by the Water Services Department (WSD). The design of the new water main shall comply with the P&D's Water Checklist and the WSD Design Standards Manual for Water & Wastewater Systems (DSM).

City Maps shows sewer mains are within the property, but whether capacity issues exist, is dependent on what kind of developments will occur.

The onsite water distribution system, including fire protection, will be a private system, owned and maintained by the property owner(s) or association. The system will be reviewed and inspected by the Building Safety Section of the Planning and Development Department and is subject to the Phoenix Plumbing Code.

The sanitary sewer collection system within this project will be a private system, owned and maintained by the property owner(s) or association. The system will be reviewed and inspected by the Building Safety Section of the Planning and Development Department. These lines are subject to the Phoenix Plumbing Code, or the Arizona Department of Environmental Quality (ADEQ) Aquifer Protection Program (APP) General Permit 4.01 in accordance with Arizona Administrative Code Title 18, Chapter 9, Section E301 (AAC R18-9-E301), whichever is applicable.

Any unused public water or sewer services serving this site must be abandoned.

A public fire hydrant (in the right-of-way) plan is required. Maximum fire hydrant spacing for commercial development is 300 feet and single family residential is 500 feet.

Fire flow shall meet the requirements of the 2012 IFC Section 507 and Appendix B.

## **3. Circulation System**

The Site is accessed from 19th Avenue, Bethany Road, Montebello Avenue and 15th Avenue. The primary entrances are from 19th Avenue and Bethany Home Road. An extensive sidewalk system

is provided along the frontage of all buildings to connect them and the various open spaces. Please refer to Exhibit I for an illustration of both vehicular and pedestrian routes on-site.

Provide clearly defined, accessible pathways constructed of decorative pavers, stamped or colored concrete, or other pavement treatments that visually contrast with the adjacent parking and drive aisles surfaces. Connect all building entrances and exits, public sidewalks, and the bus stop utilizing the minimum possible distance and providing the most direct route. Trees and shade structures should be placed to maximize shade coverage for pedestrian pathways and sidewalks.

Remove all unused driveways and replace any broken or out-of-grade curb, gutter, and sidewalk on all streets.

Provide sight visibility triangles at all intersections and driveways meeting the current City of Phoenix standards.

A plat will be required to remove existing platted lines, establish new property lines, and dedicate all necessary easements/right-of-way. Along both sides of all streets, adjacent to the right-of-way, an eight-foot public utility easement (PUE) shall be dedicated.

## I. COMPARATIVE ZONING STANDARDS TABLES

The existing zoning on the property is PSC (Planning Shopping Center) District and identified in the below Tables as “PSCD.” The proposed Modified WU Standards District are identified in the below Tables as “MWUSD.”

<b>Table I.1A: Development Standards</b>			
<b>Standard</b>		<b>Existing Planned Shopping Center District (PSCD)</b>	<b>Proposed Modified WU Standards District (MWUSD)</b>
<b>Building Setbacks</b>			
<b>Primary Frontage</b>		25 feet from PSC zoning boundary; 75 feet from residential district boundary	12-foot maximum
<b>Secondary Frontage</b>		25 feet from PSC zoning boundary; 75 feet from residential district boundary	10-foot maximum
<b>Side Lot Line</b>		0-foot minimum	0-foot minimum
<b>Rear Lot Line</b>		0-foot minimum	0-foot minimum

<b>Building setback when adjacent to single-family residential districts and historic properties or districts</b>		75 feet from residential district boundary	Stepback provision shall not exceed maximum 75-foot setback from rear and side property lines for building height <b>before maximum height allowed</b> ; 25-foot minimum setback from property line for buildings 40-80 feet; 30-foot minimum setback.
<b>Setback Special Consideration</b>			Where ground level retail uses are present, setbacks and build to dimensions may be increased up to <b>30 feet</b> for outdoor seating, patio dining, or 20 feet for retail sales and display areas.
<b>Surface Parking Setbacks</b>			
<b>Primary Frontage</b>		25 feet from PSC zoning boundary; 75 feet from residential district boundary	25-foot or behind building, <b>exclusive of parallel or head-in parking stalls along the internal spine roads.</b>
<b>Secondary Frontage</b>		25 feet from PSC zoning boundary; 75 feet from residential district boundary	20-foot minimum; 10-foot landscape setback from street right-of-way
<b>Side Lot Line</b>		0-foot minimum	0-foot minimum
<b>Rear Lot Line</b>		0-foot minimum	0-foot minimum
<b>Parking setback when adjacent to single-family residential districts and historic properties or districts</b>		Where the boundary of a planned shopping district is contiguous to the boundary of any residential district, there shall be provided a belt of landscaping along the site boundary which shall be planted and maintained in accordance with the requirements of the site plan as provided in Section 637.E.	Minimum 10-foot landscape setback; Trees shall be placed 25 feet on center or equivalent group.

**Table I.1B: Lot Standards**

Standard	Existing Planned Shopping Center District (PSCD)	Proposed Modified WU Standards District (MWUSD)
<b>Lot Coverage</b>	25% maximum	80% maximum <b>for overall development</b>
<b>Primary Building Frontage</b>	No Requirement	70% minimum
<b>Secondary Building Frontage</b>	No Requirement	50% minimum
<b>Block Size</b>	No Requirement	600 feet maximum block length internal to site

**Table I.1C: Building Standards**

Standard	Existing Planned Shopping Center District (PSCD)	Proposed Modified WU Standards District (MWUSD)
<b>Building Height</b>	The maximum building height shall be twenty-five (25) feet for any structure seventy-five (75) feet from a residential district. Such height may be increased by one (1) foot for each additional three (3) feet from the residence district beyond seventy-five (75) feet to a maximum of fifty-six (56) feet.	<b>80 feet</b> maximum for mixed use and for office towers. In no event can the height exceed the airport height limit in accordance with FAA height restrictions.
<b>Building Stepbacks</b>	No Requirement	At 48-foot height - Minimum 20-foot stepback <b>when within 100 feet of properties which are zoned with a single-family residential designation and have single-family residential use</b> or historical property districts.

**Table I.1D: Shade/Open Space Standards**

Standard	Existing Planned Shopping Center District (PSCD)	Proposed Modified WU Standards District (MWUSD)
<b>Shade</b>	A minimum of 50 percent of the sidewalk or pedestrian way should be shaded through the use of landscaping techniques, architectural projections, or other types of stand-alone structural shading devices. Shade calculations shall be based on the summer solstice at 12:00 p.m.	A minimum of 75 percent of the sidewalk or pedestrian way should be shaded through the use of landscaping techniques, architectural projections, or other types of stand-alone structural shading devices. Shade calculations shall be based on the summer solstice at 12:00 p.m.
<b>Open Space</b>	Section 703B4 – Active Open Space for Multifamily 5%	<ul style="list-style-type: none"> <li>-At least 5% of its aggregated lot area shall be provided as an open space available to the public</li> <li>-A minimum of 75 percent of all accessible public and private open space areas should be shaded, of which 50 percent of the shade should be provided by trees or trellised vines</li> <li>-Open space areas should be a minimum of <b>500 square feet with a minimum dimension of 20 feet.</b></li> </ul>
<b>Pedestrian Connectivity</b>	No Requirement	Pedestrian ways/paseo for circulation, access and connectivity should be provided at any point along a <b>public right-of-way</b> frontage that is more than <b>500</b> feet from a thoroughfare intersection or existing pedestrian way

The *Christown Spectrum PUD* has provided a shared parking study to both share parking between uses and reduce parking due to the existence of public transit/light rail.

**Table I.1E: Parking Standards**

Standard	Existing Planned Shopping Center District (PSCD)	Proposed Modified WU Standards District (MWUSD)
<b>Minimum Required Vehicular Parking</b>	Automobile parking space shall be provided at a ratio of 4.5 spaces per 1,000 SF over the entire PUD site	<ul style="list-style-type: none"> <li>- General Retail Sales, Office, Professional Uses, Theaters and/or Entertainment - 1/300 SF or 1/375 SF depending on proximity to light rail, refer to Exhibit K</li> <li>- Dining &amp; Drinking Establishment - 1/100 SF</li> <li>- Hotel - 0.5 spaces per room</li> <li>- Multifamily Residential - <b>1 space per efficiency unit</b> and 1.5 spaces per 1 or 2 bedroom unit and 2 spaces per 3 or more bedroom unit</li> </ul> Reduction for Multifamily Residential - An additional 10% - 25% reduction allowance based on Exhibit K.
<b>Parking Stall Sizing</b>	<ul style="list-style-type: none"> <li>-Minimum of nine and one-half (9.5) feet by eighteen (18) feet.</li> <li>- The depth of the parking space may be adjusted, as approved by the Planning and Development Department and in compliance with parking area dimension policies, for angled parking.</li> <li>- The combined depth of the parking space and the aisle width shall equal sixty-two (62) feet for a double loaded aisle and forty-four (44) feet for a single loaded aisle.</li> </ul>	<ul style="list-style-type: none"> <li>-Minimum of nine (9) feet by eighteen (18) feet.</li> <li>- The depth of the parking space may be adjusted, as approved by the Planning and Development Department and in compliance with parking area dimension policies, for angled parking.</li> <li>- The combined depth of the parking space and the aisle width shall equal sixty (60) feet for a double loaded aisle and forty-two (42) feet for a single loaded aisle.</li> </ul>
<b>Landscape within Parking Fields</b>	At ends of each row of parking and approximately every 100' feet. Additional landscape shall be provided to meet the 10% minimum requirement, evenly distributed throughout parking lot. 60% of the required trees shall be 2-inch caliper and 40% shall be 1-inch caliper.	A minimum of one two-inch caliper shade tree should be provided for every ten vehicular parking spaces, and 20 feet on center or equivalent grouping within setbacks per Table 1303.2
<b>Vehicular Screening</b>	An effective 3-foot visual screen is required in front of all parking	Vehicles should be screened by a <b>36-inch-high</b> decorative wall or solid evergreen hedge when adjacent to

	areas that are visible from a public street.	right-of-way or adjacent to single-family residential or historic preservation district.
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**Table I.1F: Landscape Standards**

<b>Standard</b>	<b>Existing Planned Shopping Center District (PSCD)</b>	<b>Proposed Modified WU Standards District (MWUSD)</b>
<b>Landscape Setback Requirement</b>	Where the boundary of a planned shopping district is contiguous to the boundary of any residential district, there shall be provided a belt of landscaping along the site boundary which shall be planted and maintained in accordance with the requirements of the site plan as provided in Section 637.E.	Minimum ten-foot landscape setback when fronting public ROW. No artificial turf or real turf/grass shall be allowed within setbacks.  Artificial turf may be used in landscape setback areas, plazas, open spaces and recreation and leisure spaces.
<b>Street Landscape Requirements (Front Setback and Right-of-Way)</b>	One (1) drought tolerant tree every 500 square feet and one shrub every 100 square feet in landscape setback adjacent to a street. Minimum 50% of trees shall be 2-inch caliper; minimum 25% of trees shall be 3-inch caliper; and minimum 25% of trees shall be 4-inch caliper; shrubs shall be 5-gallon minimum.	-Trees shall be 2-inch caliper minimum -Trees shall be placed 25-feet on center or equivalent groupings in right-of-way -Provide a minimum 2.5-foot radius clear of hardscape around base of tree -Minimum 30% of trees shall be 3-inch caliper -50% living vegetation coverage in landscape strip -Where possible double rows of trees should be placed parallel on either side of the sidewalk and where possible, staggered to provide maximum shade. Artificial turf may be used in plazas, open spaces and recreation and leisure spaces.
<b>Soil Volume for Shade Trees</b>	No Requirement	-Root paths, soil trenches, soil vaults, engineered soil solutions, and suspended sidewalk systems are permitted to meet soil volume requirements -Up to 20 percent of required soil volume may be fulfilled by structural soil
<b>Tree and Plant Removal</b>	-Removal of existing trees 4-inch caliper and greater should be minimized -Removal of native cacti 3-feet and taller or non-native cacti 6-feet and taller should be minimized	-Existing noxious or invasive plants species identified in Table 1309.3 should be removed -Removal of existing trees 4-inch caliper and greater should be minimized -Removal of native cacti 3-feet and taller or non-native cacti 6-feet and taller should be minimized

<b>Prohibited Plants</b>	No Requirement	<p>-Artificial plants except that artificial turf, artificial plants and trees may be used in interior spaces.</p> <p>-Noxious or invasive plants species as identified on the University of Arizona Nonnative Invasive Plants of Arizona list and Table 1309.3</p>
<b>Streetscape Standards</b>		
<b>Arterial Streets— Light Rail Corridor:</b>	Per City of Phenix standard street section.	<p>-Minimum sidewalk width: eight feet</p> <p>-Minimum landscape width: five feet (if no public utility conflict)</p>
<b>Arterial Streets with No Transit Rail Line or Stations:</b>	Per City of Phenix standard street section.	<p>-Minimum sidewalk width: six feet;</p> <p>-Minimum landscape width: five feet (if no public utility conflict)</p>
<b>Minor Collector and Local Streets:</b>	Per City of Phenix standard street section.	<p>-Minimum sidewalk width: five feet</p> <p>-Minimum landscape width: five feet (if no public utility conflict)</p>

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## J. LEGAL DESCRIPTION



### CHRISTOWN MALL PARCEL

LOCATED IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 2 NORTH, RANGE 3 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGINNING** AT A POINT MARKING THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF SECTION 18;  
 THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST, ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, AND BEING THE MONUMENT LINE OF BETHANY HOME ROAD, AS SHOWN ON MAP OF DEDICATION, ACCORDING TO BOOK 91 OF MAPS, PAGE 25, RECORDS OF MARICOPA COUNTY, ARIZONA, A DISTANCE OF 2,606.06 FEET TO A POINT MARKING THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER;  
 THENCE SOUTH 00 DEGREES 46 MINUTES 00 SECONDS EAST, ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, AND BEING THE MONUMENT LINE OF 15<sup>TH</sup> AVENUE, AS SHOWN ON MAP OF DEDICATION, ACCORDING TO BOOK 91 OF MAPS, PAGE 25, RECORDS OF MARICOPA COUNTY, ARIZONA, A DISTANCE OF 1,649.96 FEET;  
 THENCE DEPARTING SAID EAST LINE, SOUTH 89 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 612.84 FEET;  
 THENCE NORTH 00 DEGREES 07 MINUTES 14 SECONDS WEST, A DISTANCE OF 18.56 FEET;  
 THENCE NORTH 19 DEGREES 10 MINUTES 56 SECONDS WEST, A DISTANCE OF 30.00 FEET TO A POINT ON THE MONUMENT LINE OF MONTEBELLO AVENUE AS SET FORTH IN INSTRUMENT RECORDED AS DOCKET 10078, PAGES 1186 AND 1189, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID POINT MARKING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE TO THE NORTH, WITH A CHORD BEARING OF SOUTH 75 DEGREES 13 MINUTES 59 SECONDS WEST, A CHORD DISTANCE OF 46.96 FEET;  
 THENCE WESTERLY ALONG SAID MONUMENT LINE, AND ALONG SAID NON-TANGENT CURVE, HAVING A RADIUS OF 305.00 FEET, THROUGH A CENTRAL ANGLE OF 08 DEGREES 49 MINUTES 50 SECONDS, A DISTANCE OF 47.01 FEET;  
 THENCE SOUTH 10 DEGREES 21 MINUTES 05 SECONDS EAST, DEPARTING SAID MONUMENT LINE, A DISTANCE OF 30.00 FEET;  
 THENCE SOUTH 00 DEGREES 42 MINUTES 39 SECONDS EAST, A DISTANCE OF 5.43 FEET;

THENCE SOUTH 89 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 60.58 FEET;  
THENCE NORTH 00 DEGREES 01 MINUTES 12 SECONDS WEST, A DISTANCE OF 30.00 FEET TO THE AFOREMENTIONED MONUMENT LINE OF MONTEBELLO AVENUE;  
THENCE ALONG SAID MONUMENT LINE THE FOLLOWING COURSES AND DISTANCES:  
THENCE SOUTH 89 DEGREES 58 MINUTES 48 SECONDS WEST, A DISTANCE OF 1,365.29 FEET TO A POINT OF CURVE TO THE RIGHT;  
THENCE WESTERLY ALONG SAID CURVE, HAVING A RADIUS OF 303.00 FEET, THROUGH A CENTRAL ANGLE OF 20 DEGREES 47 MINUTES 37 SECONDS, A DISTANCE OF 109.96 FEET;  
THENCE NORTH 69 DEGREES 13 MINUTES 55 SECONDS WEST, A DISTANCE OF 100.16 FEET TO A POINT OF CURVE TO THE LEFT;  
THENCE WESTERLY ALONG SAID CURVE, HAVING A RADIUS OF 305.44 FEET, THROUGH A CENTRAL ANGLE OF 20 DEGREES 47 MINUTES 03 SECONDS, A DISTANCE OF 110.80 FEET;  
THENCE SOUTH 89 DEGREES 59 MINUTES 22 SECONDS WEST, A DISTANCE OF 215.34 FEET TO A POINT ON THE WEST LINE OF THE AFOREMENTIONED NORTHWEST QUARTER OF SECTION 18, BEING THE MONUMENT LINE OF 19<sup>TH</sup> AVENUE, AS SHOWN ON MAP OF DEDICATION, ACCORDING TO BOOK 91 OF MAPS, PAGE 25, RECORDS OF MARICOPA COUNTY, ARIZONA;  
THENCE NORTH 00 DEGREES 32 MINUTES 30 SECONDS WEST, ALONG SAID WEST LINE, AND ALONG LAST SAID MONUMENT LINE, A DISTANCE OF 1,545.58 FEET TO THE **POINT OF BEGINNING**.

**EXCEPT THEREFROM** THE FOLLOWING DESCRIBED PARCEL:

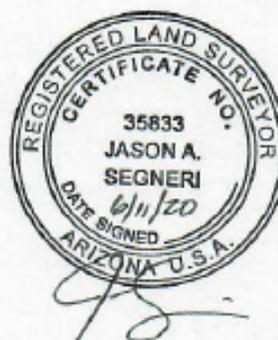
LOCATED IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 2 NORTH, RANGE 3 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

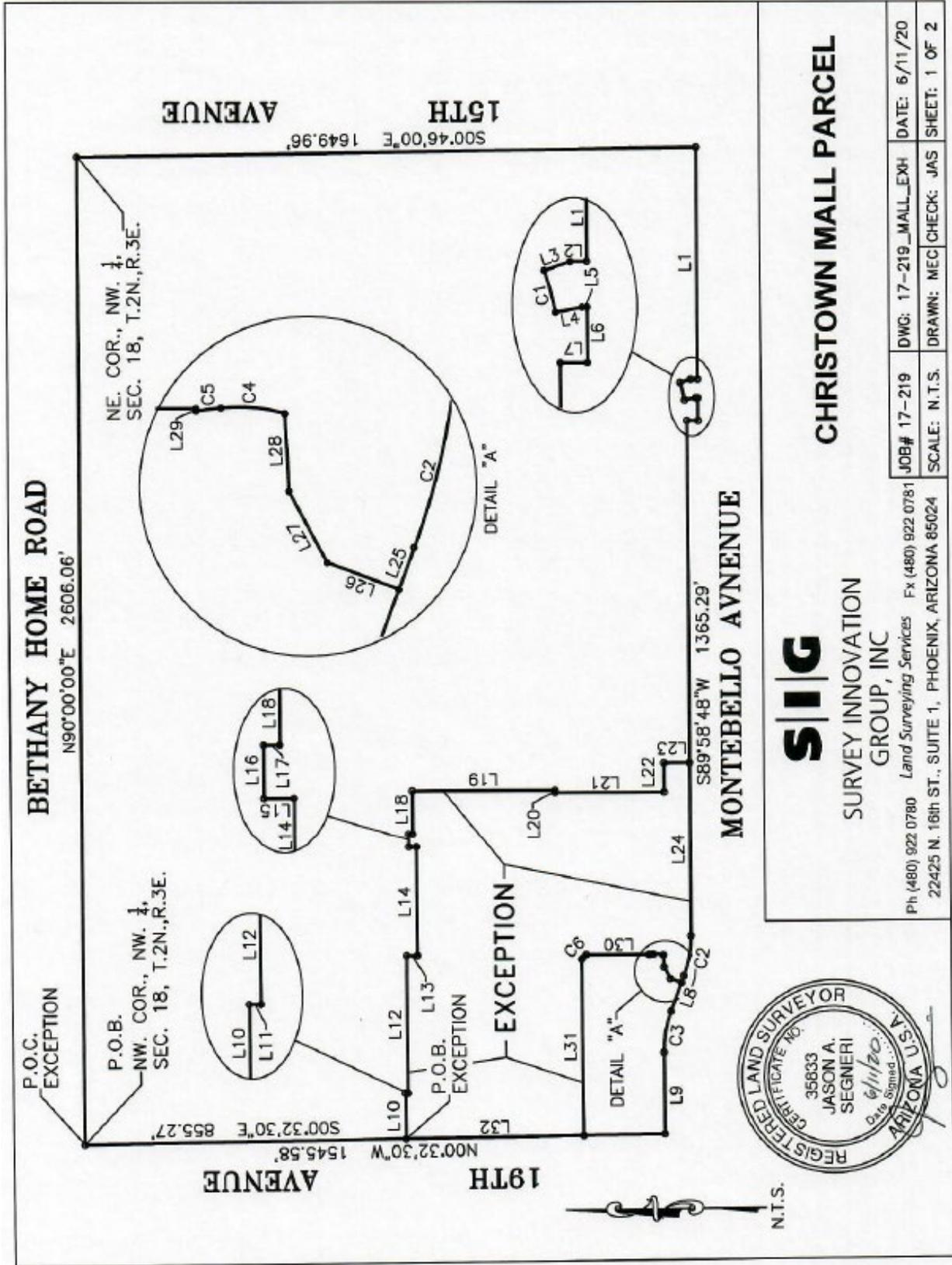
**COMMENCING** AT A POINT MARKING THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF SECTION 18;  
THENCE SOUTH 00 DEGREES 32 MINUTES 30 SECONDS EAST, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF SECTION 18, BEING THE MONUMENT LINE OF 19<sup>TH</sup> AVENUE, AS SHOWN ON MAP OF DEDICATION, ACCORDING TO BOOK 91 OF MAPS, PAGE 25, RECORDS OF MARICOPA COUNTY, ARIZONA, A DISTANCE OF 855.27 FEET TO THE **POINT OF BEGINNING**;  
THENCE DEPARTING SAID WEST LINE AND SAID MONUMENT LINE, NORTH 89 DEGREES 59 MINUTES 06 SECONDS EAST, A DISTANCE OF 120.42 FEET;  
THENCE SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST, A

DISTANCE OF 7.09 FEET;  
 THENCE NORTH 89 DEGREES 59 MINUTES 06 SECONDS EAST, A  
 DISTANCE OF 362.40 FEET;  
 THENCE SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST, A  
 DISTANCE OF 28.67 FEET;  
 THENCE NORTH 89 DEGREES 59 MINUTES 06 SECONDS EAST, A  
 DISTANCE OF 289.14 FEET;  
 THENCE NORTH 00 DEGREES 00 MINUTES 54 SECONDS WEST, A  
 DISTANCE OF 20.00 FEET;  
 THENCE NORTH 89 DEGREES 59 MINUTES 06 SECONDS EAST, A  
 DISTANCE OF 35.00 FEET;  
 THENCE SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST, A  
 DISTANCE OF 10.67 FEET;  
 THENCE NORTH 89 DEGREES 59 MINUTES 06 SECONDS EAST, A  
 DISTANCE OF 116.27 FEET;  
 THENCE SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST, A  
 DISTANCE OF 380.42 FEET;  
 THENCE SOUTH 89 DEGREES 59 MINUTES 06 SECONDS WEST, A  
 DISTANCE OF 6.00 FEET;  
 THENCE SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST, A  
 DISTANCE OF 289.94 FEET;  
 THENCE NORTH 89 DEGREES 59 MINUTES 06 SECONDS EAST, A  
 DISTANCE OF 77.20 FEET;  
 THENCE SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST, A  
 DISTANCE OF 68.61 FEET TO A POINT ON THE MONUMENT LINE OF  
 MONTEBELLO AVENUE AS SET FORTH IN INSTRUMENT RECORDED AS  
 DOCKET 10078, PAGES 1186 AND 1189, RECORDS OF MARICOPA  
 COUNTY, ARIZONA;  
 THENCE SOUTH 89 DEGREES 58 MINUTES 47 SECONDS WEST, ALONG  
 SAID MONUMENT LINE, A DISTANCE OF 463.15 FEET TO THE POINT OF  
 CURVE TO THE RIGHT;  
 THENCE WESTERLY ALONG SAID CURVE, AND ALONG SAID MONUMENT  
 LINE, HAVING A RADIUS OF 303.00 FEET, THROUGH A CENTRAL ANGLE  
 OF 20 DEGREES 47 MINUTES 37 SECONDS, A DISTANCE OF 109.96  
 FEET;  
 THENCE NORTH 69 DEGREES 13 MINUTES 37 SECONDS WEST, A  
 DISTANCE OF 19.01 FEET;  
 THENCE DEPARTING SAID MONUMENT LINE, NORTH 20 DEGREES 46  
 MINUTES 25 SECONDS EAST, A DISTANCE OF 32.51 FEET;  
 THENCE NORTH 62 DEGREES 05 MINUTES 11 SECONDS EAST, A  
 DISTANCE OF 34.18 FEET;  
 THENCE NORTH 87 DEGREES 07 MINUTES 09 SECONDS EAST, A  
 DISTANCE OF 32.49 FEET TO THE POINT OF A NON-TANGENT CURVE  
 CONCAVE TO THE WEST, WITH A CHORD BEARING OF NORTH 05  
 DEGREES 04 MINUTES 15 SECONDS EAST, A CHORD DISTANCE OF  
 27.18 FEET;

THENCE NORTHERLY ALONG SAID NON-TANGENT CURVE, HAVING A RADIUS OF 70.00 FEET, THROUGH A CENTRAL ANGLE OF 22 DEGREES 23 MINUTES 20 SECONDS, A DISTANCE OF 27.35 FEET TO A POINT OF COMPOUND CURVE TO THE LEFT;  
 THENCE NORTHERLY ALONG SAID CURVE, HAVING A RADIUS OF 1,010.00 FEET, THROUGH A CENTRAL ANGLE OF 00 DEGREES 36 MINUTES 01 SECONDS, A DISTANCE OF 10.58 FEET;  
 THENCE NORTH 88 DEGREES 19 MINUTES 13 SECONDS EAST, A DISTANCE OF 1.04 FEET;  
 THENCE NORTH 00 DEGREES 00 MINUTES 54 SECONDS WEST, A DISTANCE OF 166.90 FEET TO A POINT OF CURVE TO THE LEFT;  
 THENCE NORTHWESTERLY ALONG SAID CURVE, HAVING A RADIUS OF 12.50 FEET, THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, A DISTANCE OF 19.63 FEET;  
 THENCE SOUTH 89 DEGREES 53 MINUTES 15 SECONDS WEST, A DISTANCE OF 465.54 FEET TO A POINT ON THE AFORMENTIONED WEST LINE OF THE NORTHWEST QUARTER OF SECTION 18, AND THE AFOREMENTIONED MONUMENT LINE OF 19<sup>TH</sup> AVENUE;  
 THENCE NORTH 00 DEGREES 32 MINUTES 30 SECONDS WEST, ALONG SAID WEST LINE, AND ALONG SAID MONUMENT LINE, A DISTANCE OF 474.75 FEET TO THE **POINT OF BEGINNING**.

SUBJECT PARCEL CONTAINS 3,663,751 SQUARE FEET OR 84.108 ACRES, MORE OR LESS.





CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING
C1	305.00'	47.01'	8°49'50"	S75°13'59"W
C2	303.00'	109.96'	20°47'37"	N79°37'24"W
C3	305.44'	110.80'	20°47'03"	N79°37'27"W
C4	70.00'	27.35'	22°23'20"	S05°04'15"W
C5	1010.00'	10.58'	0°36'01"	N06°25'25"W
C6	12.50'	19.63'	90°00'00"	N45°00'54"W

LINE	BEARING	DISTANCE
L1	S89°58'48"W	612.84'
L2	N00°07'14"W	18.56'
L3	N19°10'56"W	30.00'
L4	S10°21'05"E	30.00'
L5	S00°42'39"E	5.43'
L6	S89°58'48"W	60.58'
L7	N00°01'12"W	30.00'
L8	N69°13'55"W	100.16'
L9	S89°59'22"W	215.34'
L10	N89°59'06"E	120.42'
L11	S00°00'54"E	7.09'
L12	N89°59'06"E	362.40'
L13	S00°00'54"E	28.67'
L14	N89°59'06"E	289.14'
L15	N00°00'54"W	20.00'
L16	N89°59'06"E	35.00'
L17	S00°00'54"E	10.67'
L18	N89°59'06"E	116.27'
L19	S00°00'54"E	380.42'
L20	S89°59'06"W	6.00'
L21	S00°00'54"E	289.94'
L22	N89°59'06"E	77.20'
L23	S00°00'54"E	68.61'
L24	S89°58'47"W	463.15'
L25	N69°13'37"W	19.01'
L26	N20°46'25"E	32.51'
L27	N62°05'11"E	34.18'
L28	N87°07'09"E	32.49'
L29	N88°19'13"E	1.04'
L30	N00°00'54"W	166.90'
L31	S89°53'15"W	465.54'
L32	N00°32'30"W	474.75'

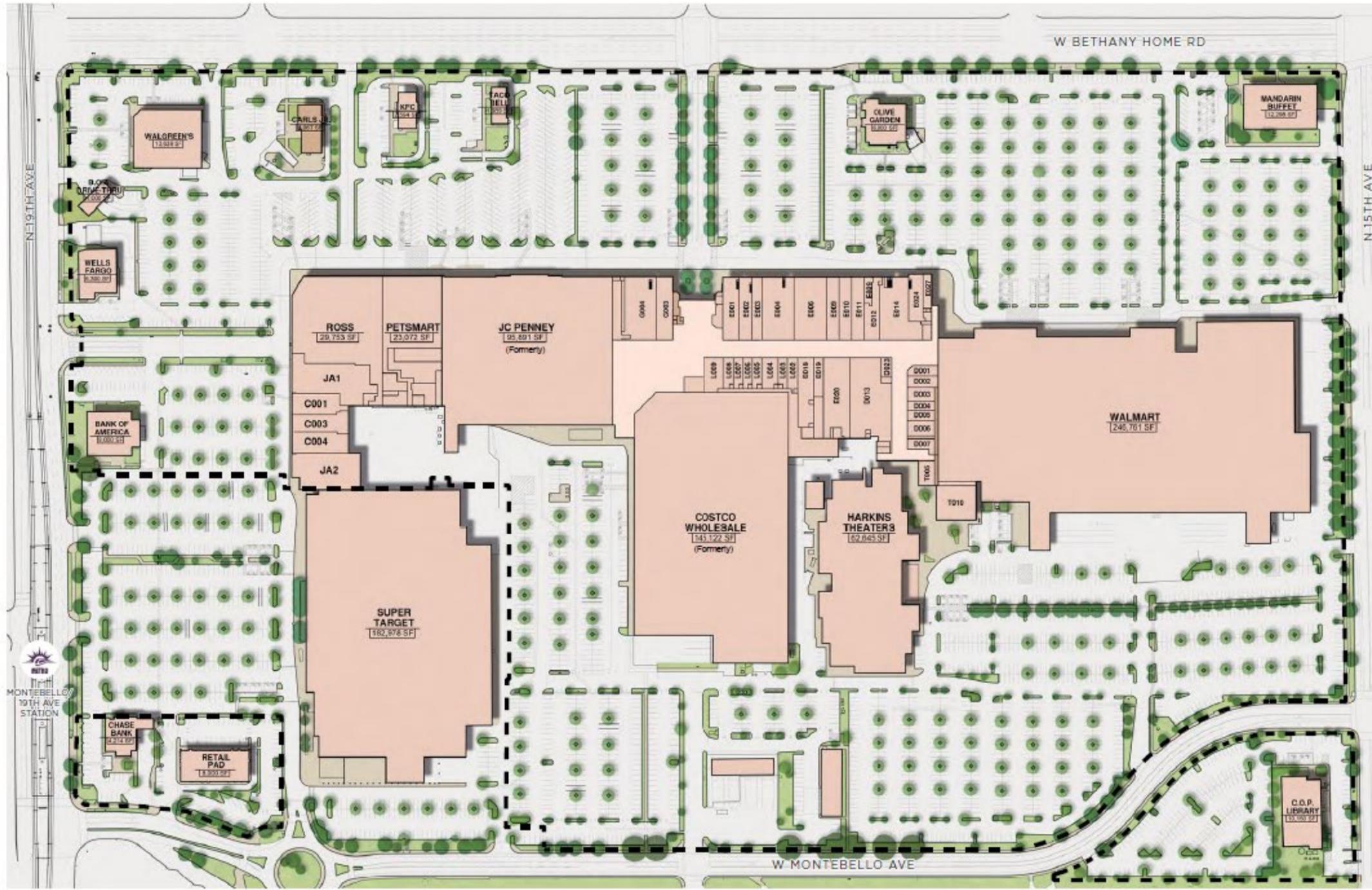


**SIG**  
SURVEY INNOVATION  
GROUP, INC

Ph (480) 922 0780 Land Surveying Services Fx (480) 922 0781  
22425 N. 16th ST., SUITE 1, PHOENIX, ARIZONA 85024

**CHRISTOWN MALL PARCEL**

JOB# 17-219	DWG: 17-219_MALL_EXH	DATE: 6/11/20
SCALE: N.T.S.	DRAWN: MEC	CHECK: JAS
		SHEET: 2 OF 2

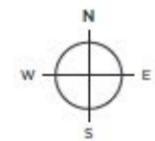


**EXISTING PROJECT**

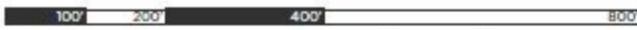
WALMART:	251,361 SF
JCPENNEY:	98,000 SF
SUPER TARGET:	182,978 SF
THEATER:	62,322 SF
COSTCO:	154,809 SF
MALL INLINE RETAIL:	359,075 SF
PUBLIC LIBRARY:	10,500 SF
RETAIL PADS:	80,082 SF

**TOTAL AREA:** 1,090,627 SF

**MALL COMMON AREA:** 57,382 SF



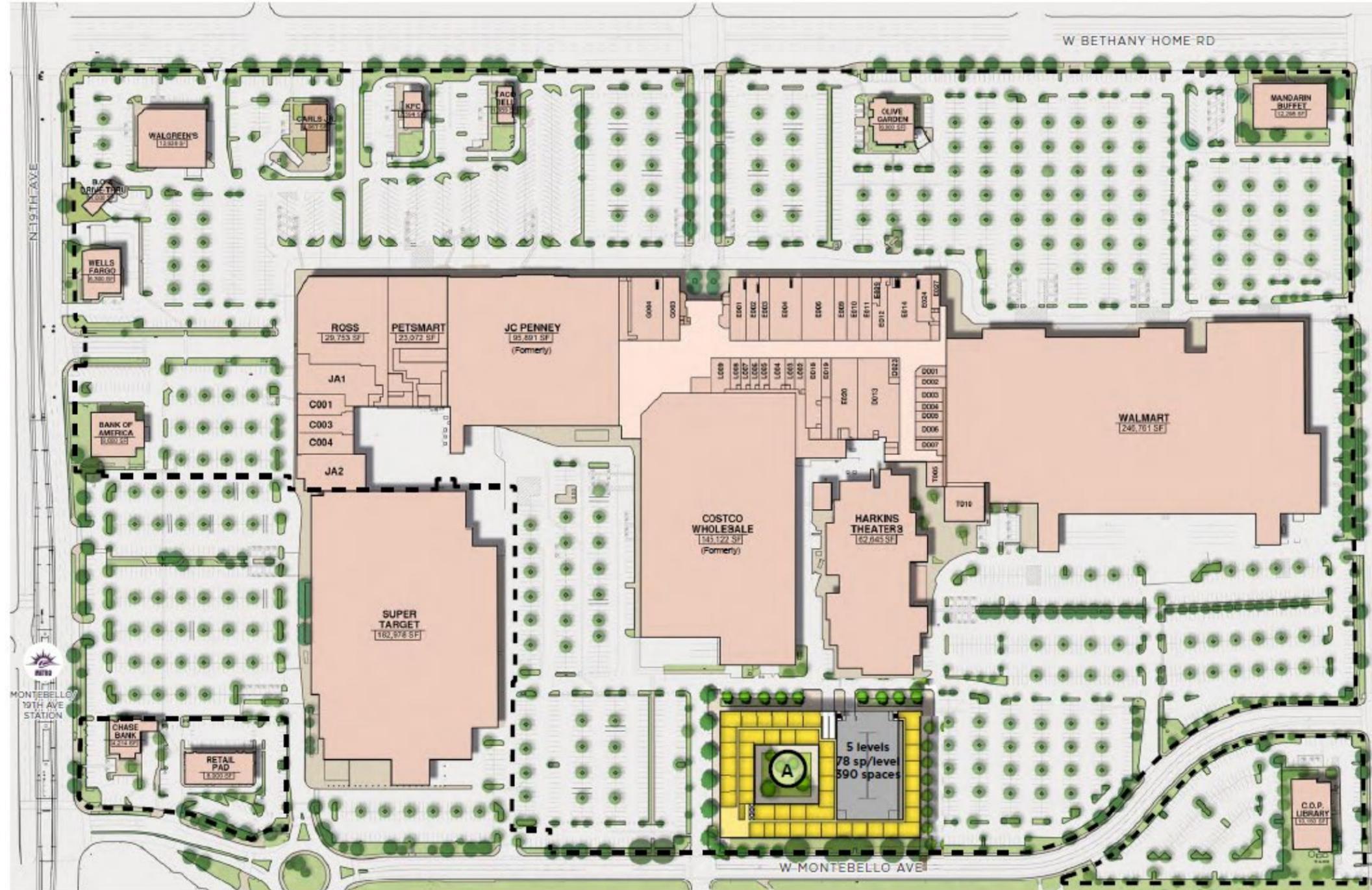
Existing Retail    Property Line



**FIGURE A: EXISTING CONDITION**

CHRISTOWN SPECTRUM MASTERPLAN

\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.



**EXISTING PROJECT**

WALMART:	251,361 SF
JCPENNEY:	98,000 SF
SUPER TARGET:	182,978 SF
THEATER:	62,322 SF
COSTCO:	154,809 SF
MALL INLINE RETAIL:	359,075 SF
PUBLIC LIBRARY:	10,500 SF
RETAIL PADS:	80,082 SF

**TOTAL AREA: 1,090,627 SF**

**PROPOSED AREA**

**BLOCK A:** 324 residential units  
(Phase 1) ±324,000 SF

Proposed Residential
  Existing Buildings
  Property Line



**FIGURE B: BUILDOUT SCENARIO - Phase 1**

CHRISTOWN SPECTRUM MASTERPLAN

*\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.*

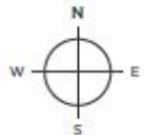
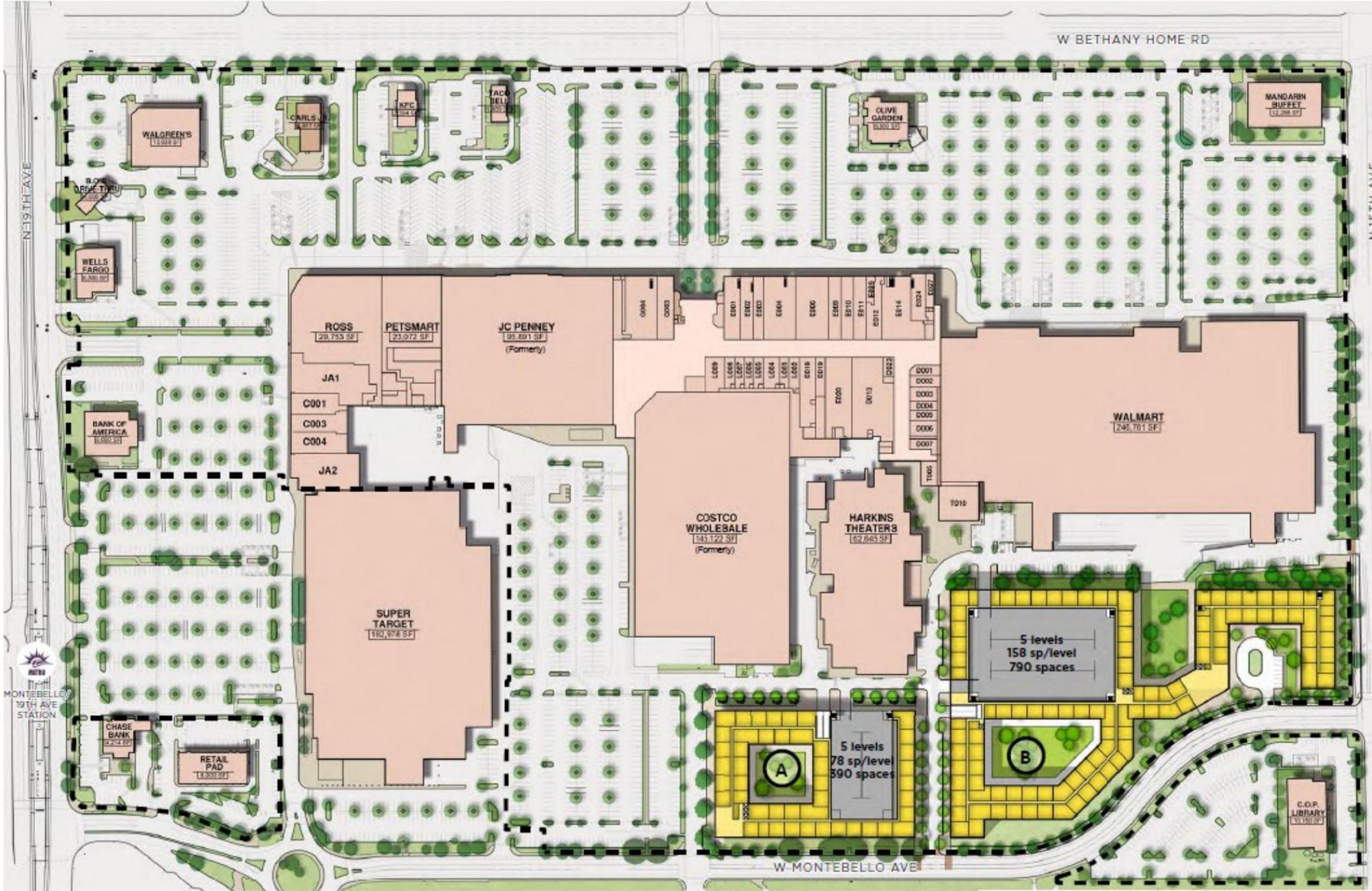
**EXISTING PROJECT**

WALMART:	251,361 SF
JCPENNEY:	98,000 SF
SUPER TARGET:	182,978 SF
THEATER:	62,322 SF
COSTCO:	154,809 SF
MALL INLINE RETAIL:	359,075 SF
PUBLIC LIBRARY:	10,500 SF
RETAIL PADS:	80,082 SF

**TOTAL AREA: 1,090,627 SF**

**PROPOSED AREA**

<b>BLOCK A:</b> (Phase 1)	324 residential units ±324,000 SF
<b>BLOCK B:</b> (Phase 2)	540 residential units ±540,000 SF



Proposed Residential
  Existing Buildings
  Property Line

100' 200' 400' 800'

**FIGURE C: BUILDOUT SCENARIO - Phase 2**

CHRISTOWN SPECTRUM MASTERPLAN

*\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.*

**EXISTING PROJECT**

WALMART:	251,361 SF
JCPENNEY:	0 SF
SUPER TARGET:	182,978 SF
THEATER:	0 SF
COSTCO:	0 SF
MALL INLINE RETAIL:	142,144 SF
PUBLIC LIBRARY:	10,500 SF
RETAIL PADS:	63,282 SF

**TOTAL AREA: ±650,200 SF**

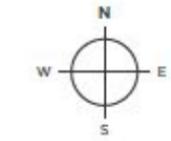
**PROPOSED AREA**

<b>BLOCK A:</b> (Phase 1)	324 residential units ±324,000 SF
<b>BLOCK B:</b> (Phase 2)	540 residential units ±540,000 SF
<b>BLOCK C:</b>	285 residential units ±285,000 SF 33,800 SF retail
<b>BLOCK D:</b>	284 residential units ±284,000 SF 32,700 SF retail
<b>BLOCK E:</b>	225 residential units ±225,000 SF
<b>BLOCK F:</b>	370 residential units ±370,000 SF 16,900 SF retail
<b>BLOCK G:</b>	22,200 SF retail 46,000 SF entertainment
<b>BLOCK H:</b>	277 residential units ±277,000 SF 25,300 SF retail
<b>BLOCK I:</b>	170 residential units ±170,000 SF
<b>BLOCK J:</b>	±150,000 SF office
<b>BLOCK K:</b>	±150,000 SF office

**TOTAL NEW DEVELOPMENT:  
±2,843,000 SF  
TOTAL AREA: ±3,493,200 SF**



Proposed Retail 131,000 SF
  Proposed Residential 2472 Units
  Proposed Office 300,000 SF
  Proposed Entertainment 46,000 SF
  Existing Buildings
  Property Line



**FIGURE D: FULL BUILDOUT - Ground Level**

CHRISTOWN SPECTRUM MASTERPLAN

*\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.*

**EXISTING PROJECT**

WALMART:	251,361 SF
JCPENNEY:	0 SF
SUPER TARGET:	182,978 SF
THEATER:	0 SF
COSTCO:	0 SF
MALL INLINE RETAIL:	142,144 SF
PUBLIC LIBRARY:	10,500 SF
RETAIL PADS:	63,282 SF

**TOTAL AREA: ±650,200 SF**

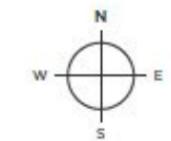
**PROPOSED AREA**

<b>BLOCK A:</b> (Phase 1)	324 residential units ±324,000 SF
<b>BLOCK B:</b> (Phase 2)	540 residential units ±540,000 SF
<b>BLOCK C:</b>	285 residential units ±285,000 SF 33,800 SF retail
<b>BLOCK D:</b>	284 residential units ±284,000 SF 32,700 SF retail
<b>BLOCK E:</b>	225 residential units ±225,000 SF
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<b>BLOCK H:</b>	277 residential units ±277,000 SF 25,300 SF retail
<b>BLOCK I:</b>	170 residential units ±170,000 SF
<b>BLOCK J:</b>	±150,000 SF office
<b>BLOCK K:</b>	±150,000 SF office

**TOTAL NEW DEVELOPMENT:  
±2,843,000 SF  
TOTAL AREA: ±3,493,200 SF**

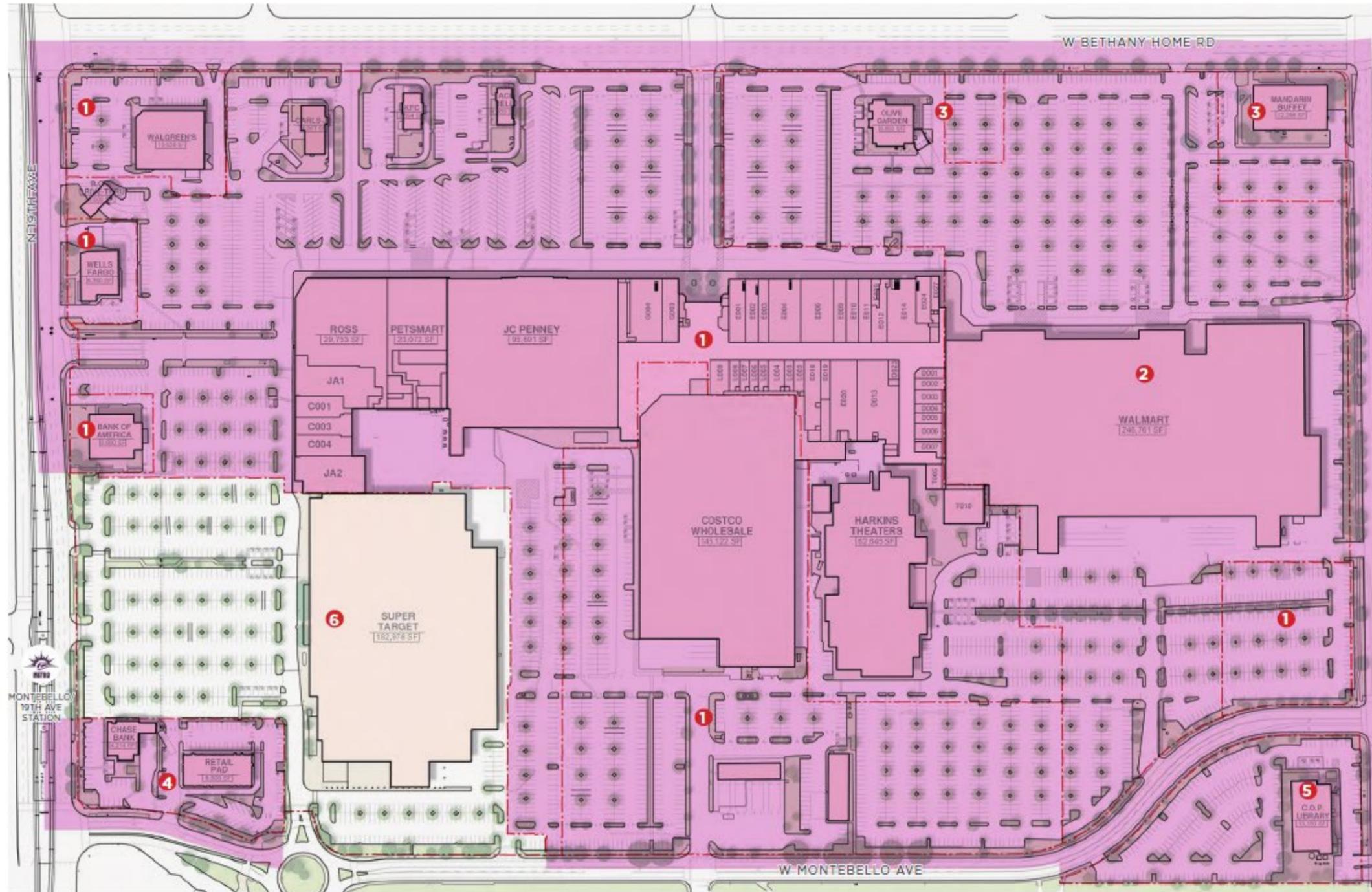


■ Proposed Retail 131,000 SF   
 ■ Proposed Residential 2472 Units   
 ■ Proposed Office 300,000 SF   
 ■ Proposed Entertainment 46,000 SF   
 ■ Existing Buildings   
 - - - Property Line



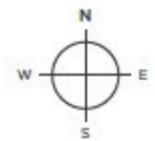
**FIGURE E: FULL BUILDOUT - Upper Level**

CHRISTOWN SPECTRUM MASTERPLAN



**PROPOSED ZONING**

- Christown Spectrum PUD
- Parcel Boundary
- 1** Christown Spectrum Mall, anchors, and outparcels  
46.67 Acres
- 2** Walmart  
21.39 Acres
- 3** Walmart Outparcels  
1.89 Acres
- 4** SW Mall Outparcels:  
1.78 Acres
- 5** City Of Phoenix Library:  
2.67 Acres
- TOTAL AREA OF PUD:**  
74.40 Acres
- Not Subject to PUD
- 6** Target:  
14.02 Acres

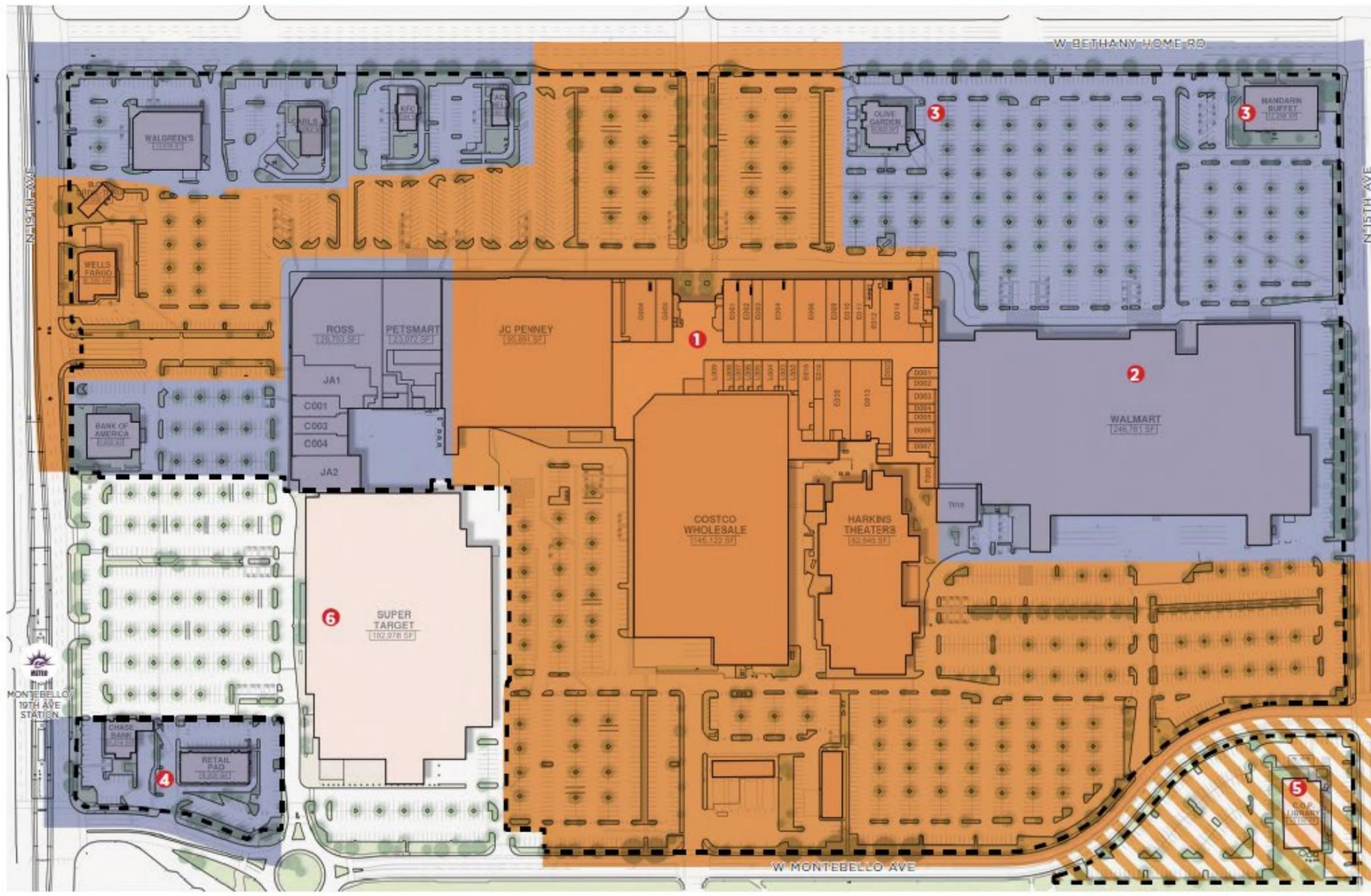


**FIGURE F: PROPOSED ZONING**

CHRISTOWN SPECTRUM MASTERPLAN

KIMCO REALTY streetsense.

December 10, 2021



**PROPOSED LAND USE**

-  **Christown Spectrum PUD**
-  **Modified Walkable Urban Standards District (MWUSD)**  
Areas may include retail, residential, service, and basic commercial, general office, entertainment, and cultural functions
-  **Existing/Transitional Planned Shopping Center District (PSCD)**  
Existing land uses to remain in these areas; governed by Section 637 until opt-in to MWUSD standards
-  **Modified Walkable Urban Standards District (MWUSD), later phase**  
Areas may include retail, residential, service, and basic commercial, general office, entertainment, and cultural functions developed at a later date
-  **1** Christown Spectrum Mall, anchors, and outparcels
-  **2** Walmart
-  **3** Walmart Outparcels
-  **4** SW Mall Outparcels
-  **5** City of Phoenix Library
-  Not Subject to PUD
-  **6** Target



**FIGURE G: PROPOSED LAND USE**

CHRISTOWN SPECTRUM MASTERPLAN

*\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.*

**PROPOSED FRONTAGE STANDARDS**

*PUD New Ground-Up Development*

-  Primary Mixed-Use Frontage
-  Primary Public ROW Frontage
-  Secondary Frontage
-  Side + Rear Frontage

*Existing Improvements/Future Additions/Building Modifications Standards*

-  PSC Frontage Standards continue to apply until parcel/block is redeveloped to Mixed-use

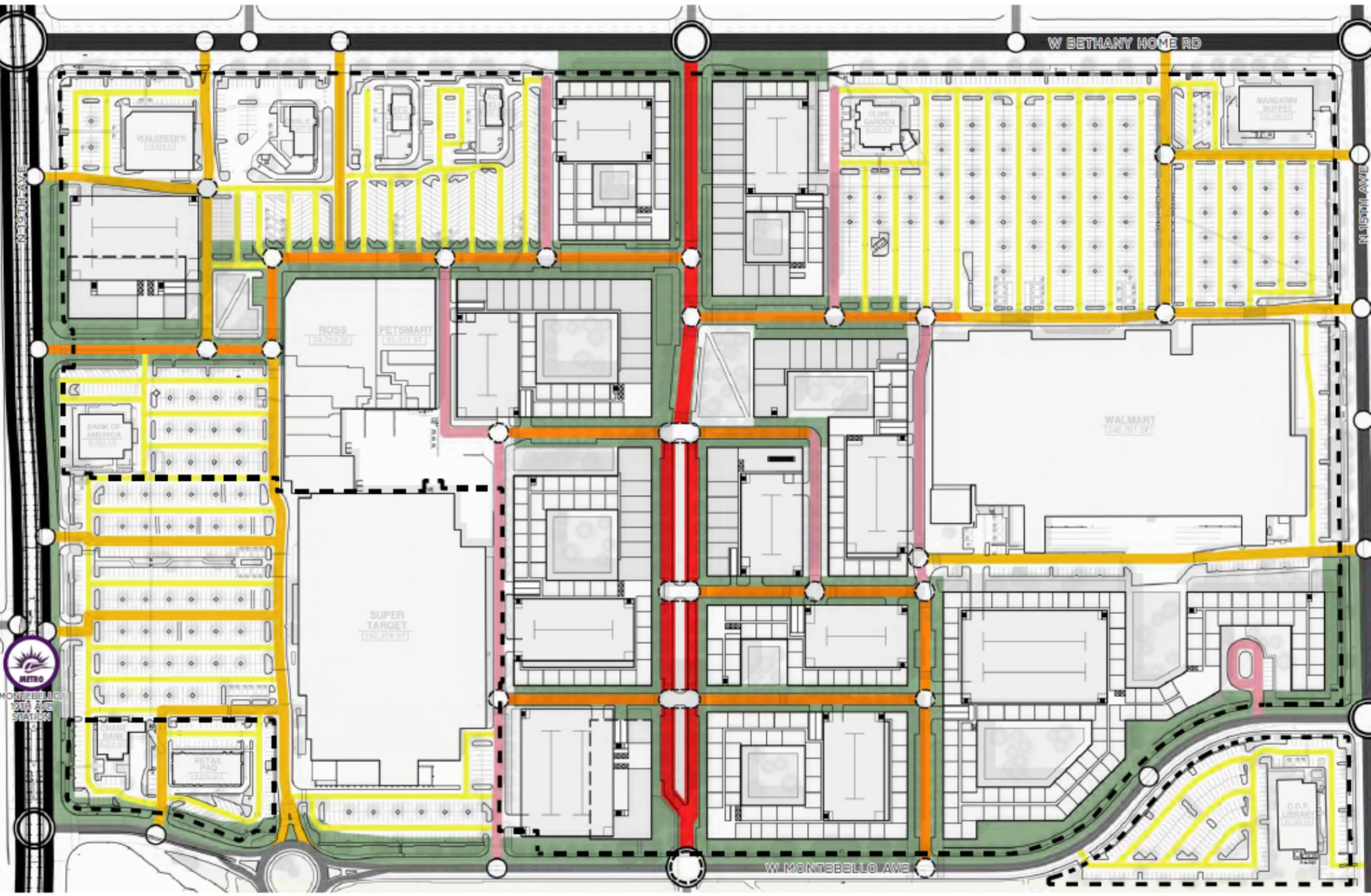
*Programmed Open Spaces*

-  Open Space
-  Christown Spectrum PUD



**FIGURE H: PROPOSED FRONTAGE IMPLEMENTATION**

CHRISTOWN SPECTRUM MASTERPLAN



*\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.*

**PROPOSED CIRCULATION**

**Public Right-of-Way**

- Valley Metro Rail / Station
- Major Arterial
- Arterial
- Collector
- Minor Collector
- Street

**Private Right-of-Way**

- New Spine Street
- New/Enhanced Mixed-Use Street
- New/Existing Service Driveway
- Existing Mall Access Driveway
- Parking Aisle
- Enhanced Streetscape

**Intersections**

- Signalized Intersection
- Existing Intersection
- Proposed/Enhanced Intersection
- Christown Spectrum PUD



**FIGURE I: PROPOSED CIRCULATION**

CHRISTOWN SPECTRUM MASTERPLAN

*\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.*

**LANDSCAPE**

-  Enhanced Streetscape
-  Boulevard Landscape
-  Arterial Landscape
-  Mixed-Use Landscape
-  Existing Tree Canopy

**OPEN SPACE**

-  Community Plaza/Green
-  Pocket Park
-  Linear Park
-  Private Open Space
-  Christown Spectrum PUD

**PRELIMINARY OPEN SPACE CALCULATION\***

Community Plaza/Green	±.51 acres
Pocket Park	±.84 acres
Linear Park	±.92 acres
Private Open Space	±2.35 acres
<b>*Total Open Space</b>	<b>±4.62 acres</b>
<i>(not including existing landscape or enhanced streetscape)</i>	

**Total Area of Christown Spectrum PUD:** 74.40 acres

**Percentage of Open Space** ±6.22%  
*(in buildout scenario):*



100' 200' 400' 800'

**FIGURE J: PROPOSED LANDSCAPE + OPEN SPACE**

CHRISTOWN SPECTRUM MASTERPLAN

KIMCO REALTY streetsense.

December 10, 2021

\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.

**PARKING DEMAND**

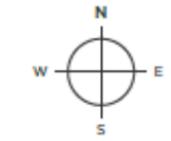
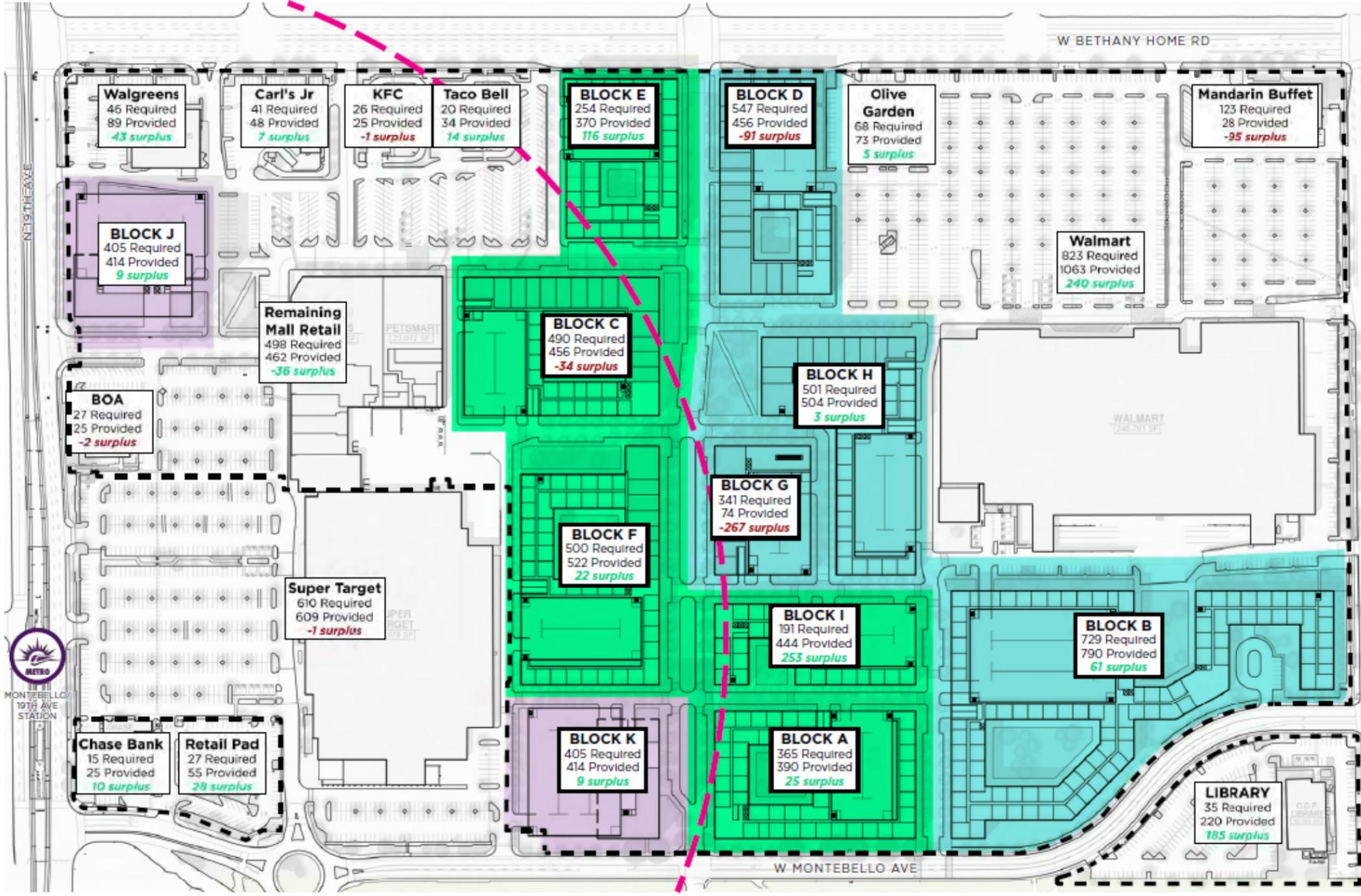
- 25% Mixed-Use Residential Reduction
- 10% Mixed-Use Residential Reduction
- Parking with no Reduction

1320' Radius from Montebello/19th Avenue Station  
(New ground-up development within this radius claim 25% parking reduction)

- Valley Metro Rail Station
- Christown Spectrum PUD

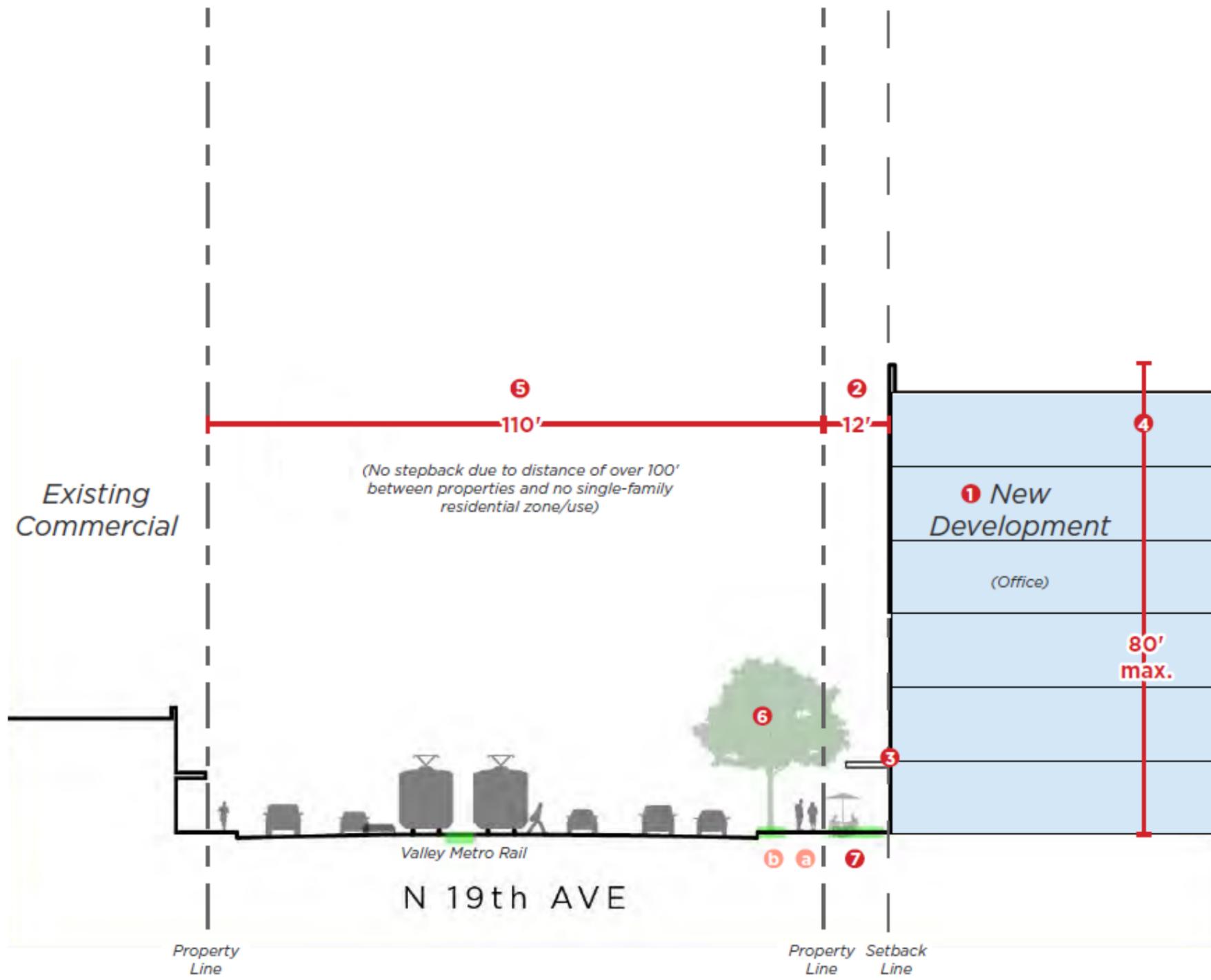
**TOTAL PARKING DEMAND**

<b>Existing Retail:</b>	2359 required	2756 provided	<b>397 surplus</b>
<b>New Ground-Up Development:</b>	4728 required	4834 provided	<b>106 surplus</b>
<b>OVERALL TOTAL:</b>	7087 required	7590 provided	<b>503 surplus</b>



**FIGURE K: PROPOSED PARKING DEMAND**

CHRISTOWN SPECTRUM MASTERPLAN



**N 19th AVE**  
*New Development Standards*

- 1 New Development along Primary Public ROW Frontage
- 2 Primary Frontage Setback: 12 foot maximum
- 3 Primary Frontage Coverage: 70% minimum (A minimum of 70% of the ground floor building facade shall be situated along the setback line.)
- 4 Building Height: 80 feet for office land use (measured from ground plane to roof parapet)
- 5 Building Stepbacks: None (stepbacks only occur when new development is within 100 feet of properties which are zoned with a single-family residential designation and have single-family residential land use.)
- 6 Shade: A minimum of 75 percent of the sidewalk or pedestrian way should be shaded.
- 7 Landscape Setback: Minimum 10-foot landscape setback from sidewalk when fronting public ROW.
- 8 Streetscape Standards:
  - a Minimum sidewalk width: eight feet
  - b Minimum planting width: five feet from curb (if no public utility or existing tree conflict)



**FIGURE L: DEVELOPMENT STANDARDS - N 19TH AVE**

CHRISTOWN SPECTRUM MASTERPLAN

### W BETHANY HOME RD New Development Standards

- 1 New Development along Primary Public ROW Frontage
- 2 Setback Line when adjacent to single-family zoned properties or districts: 25 feet from property line
- 3 Secondary Frontage Coverage: 50% minimum (A minimum of 50% of the ground floor building facade shall be situated along the setback line.)
- 4 Building Height: 80 feet maximum (measured from ground plane to roof parapet)
- 5 Building Stepbacks: None (stepbacks only occur when new development is within 100 feet of properties which are zoned with a single-family residential designation and have single-family residential land use.)
- 6 Shade: A minimum of 75 percent of the sidewalk or pedestrian way should be shaded.
- 7 Landscape Setback: Minimum 10-foot landscape setback from sidewalk when fronting public ROW.
- 8 Streetscape Standards:
  - a Minimum sidewalk width: six feet
  - b Minimum planting width: five feet from curb (if no public utility or existing tree conflict)

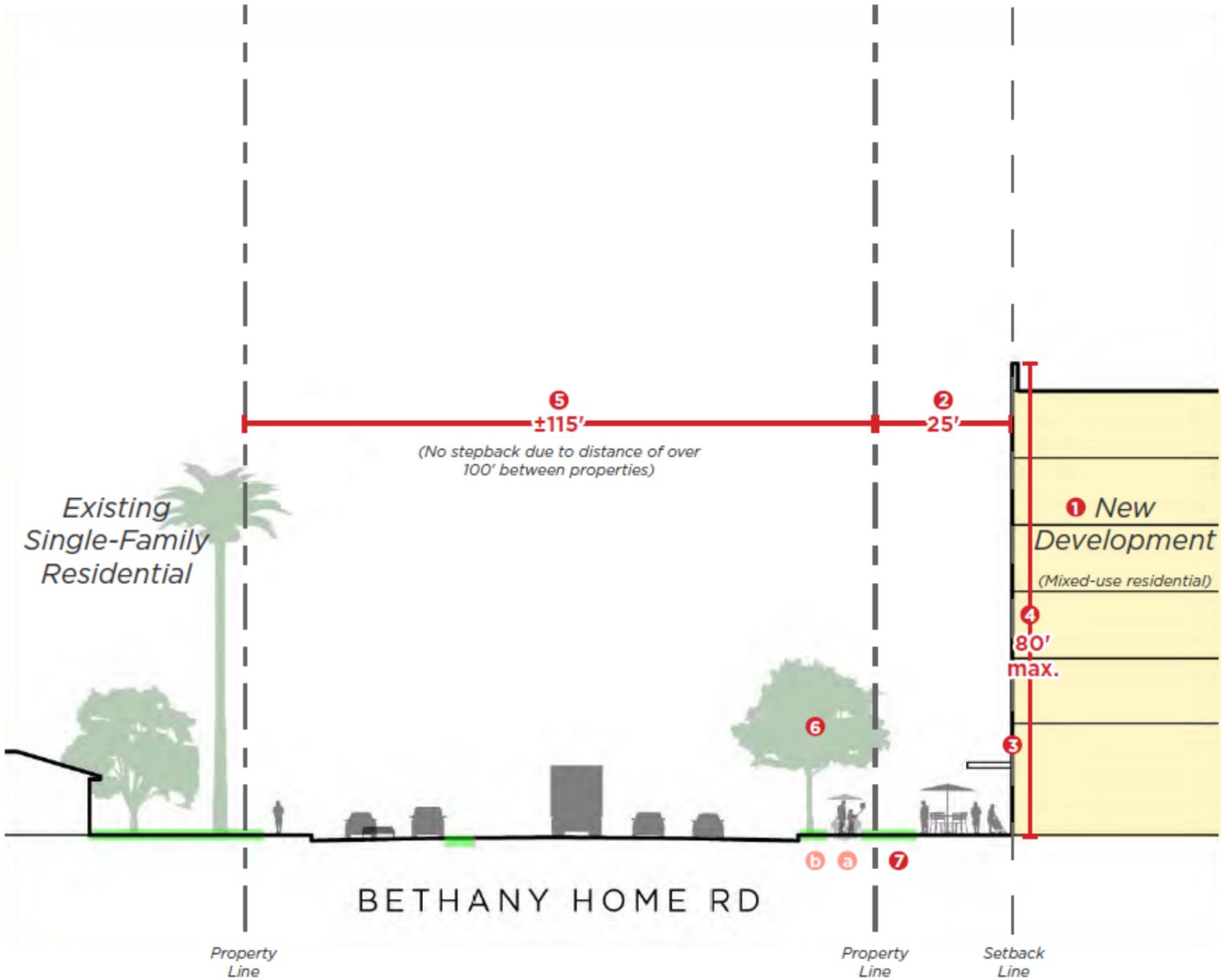
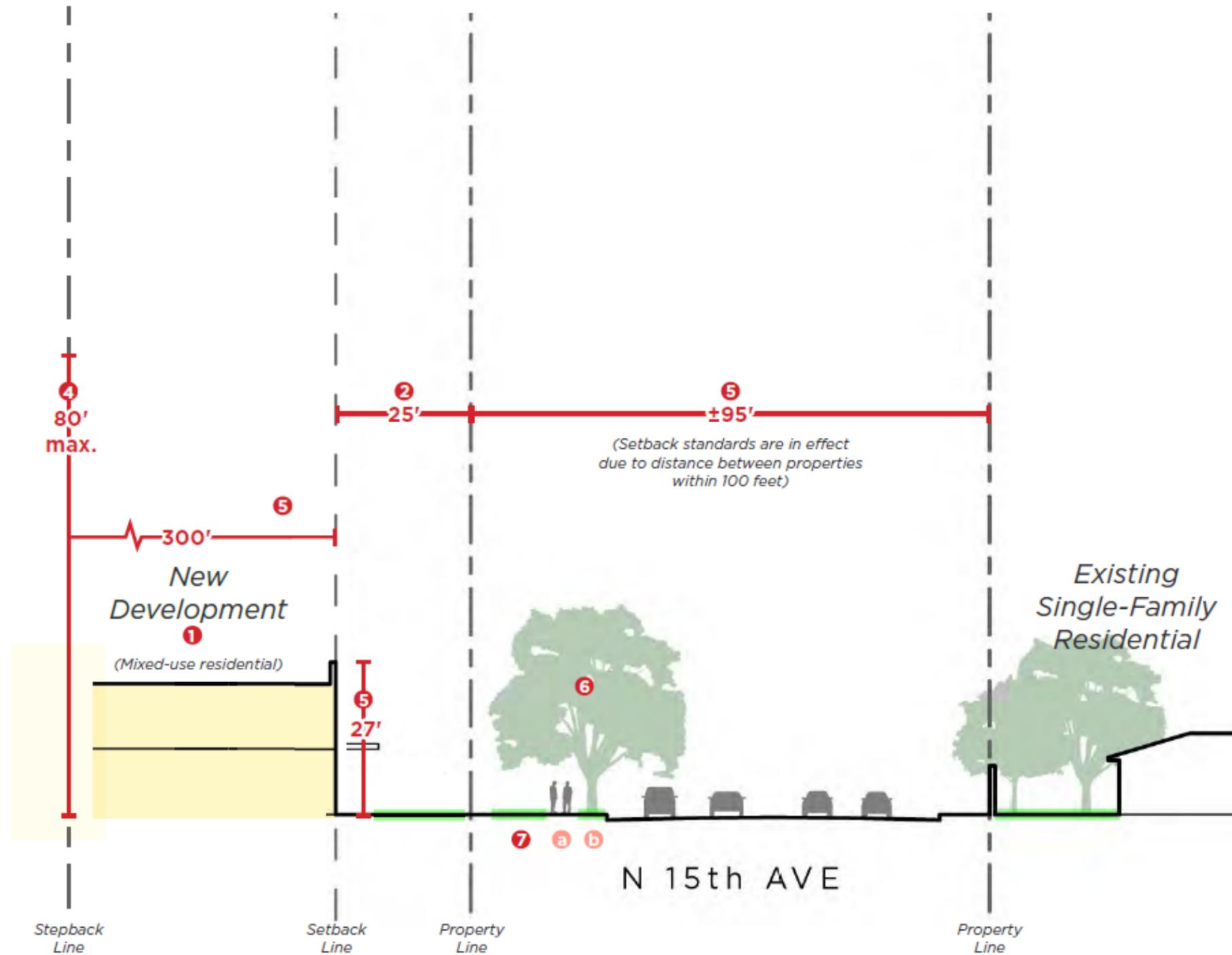


FIGURE M: DEVELOPMENT STANDARDS - BETHANY HOME RD CHRISTOWN SPECTRUM MASTERPLAN



**N 15th AVE**  
*New Development Standards*

- 1 New Development along Primary Public ROW Frontage
- 2 Setback Line when adjacent to single-family zoned properties or districts: 25 feet from property line
- 3 Secondary Frontage Coverage: 50% minimum (A minimum of 50% of the ground floor building facade shall be situated along the setback line.)
- 4 Building Height: 80 feet maximum (measured from ground plane to roof parapet)
- 5 Building Stepbacks: Stepbacks are required when within 100 feet of properties which have a single-family residential zoning and land use designation. Minimum 300-foot stepback at 27 foot height if maximum height (80') is desired. Development higher than 27 feet within this stepback as long as the plane is not exceeded. See Figure N2 for additional illustration.
- 6 Shade: A minimum of 75 percent of the sidewalk or pedestrian way should be shaded.
- 7 Landscape Setback: Minimum 10-foot landscape setback from sidewalk when fronting public ROW.
- 8 Streetscape Standards:
  - a Minimum sidewalk width: six feet
  - b Minimum planting width: five feet from curb (if no public utility or existing tree conflict)

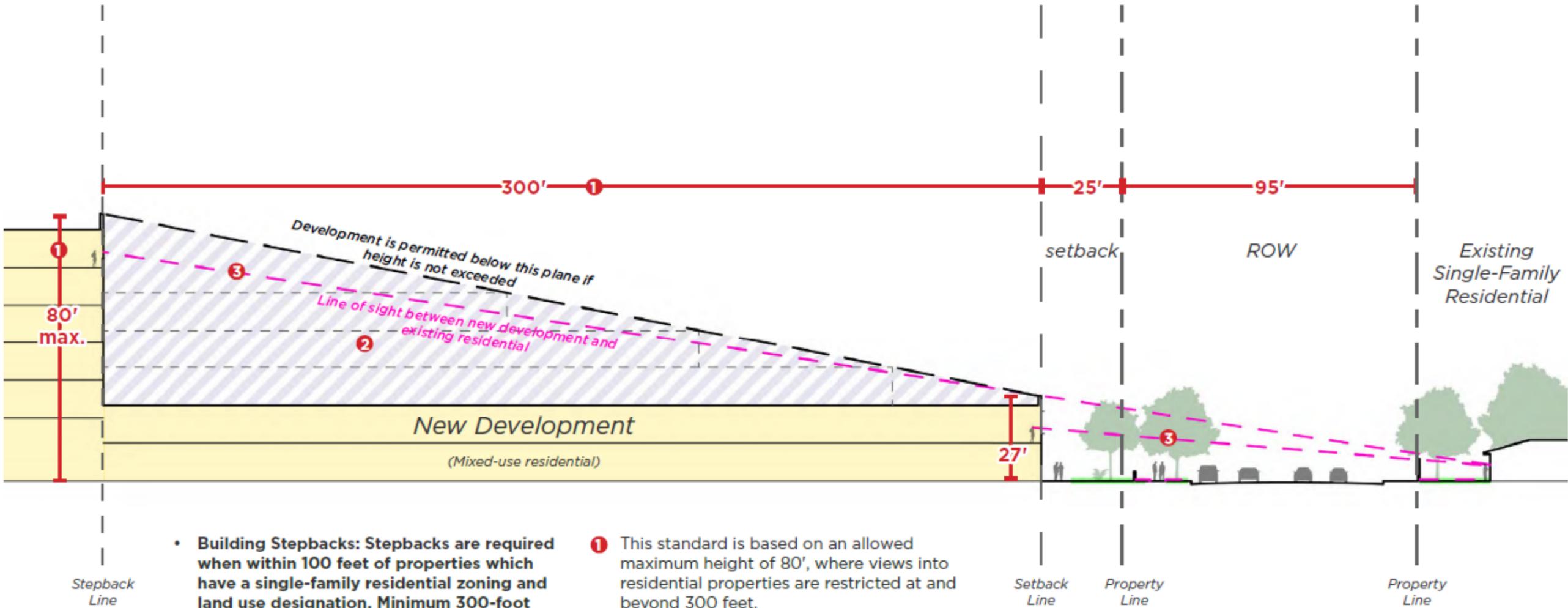


10' 20' 40' 80'

**FIGURE N1: DEVELOPMENT STANDARDS - N 15TH AVE**

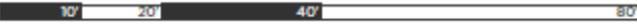
CHRISTOWN SPECTRUM MASTERPLAN

**N 15th AVE**  
Stepback Standard



- **Building Stepbacks:** Stepbacks are required when within 100 feet of properties which have a single-family residential zoning and land use designation. Minimum 300-foot stepback at 27 foot height if maximum height (80') is desired. Development higher than 27 feet within this stepback as long as the plane is not exceeded.
- This stepback is intended to minimize views into the residential properties on the east side of N 15th Avenue.

- 1 This standard is based on an allowed maximum height of 80', where views into residential properties are restricted at and beyond 300 feet.
- 2 Development is permitted in the hatched area, as long as their maximum height is located within the plane.
- 3 Line of sight is restricted into single-family residential properties.



**FIGURE N2: DEVELOPMENT STANDARDS - N 15TH AVE**

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### W MONTEBELLO AVE New Development Standards

- 1 New Development along Primary Public ROW Frontage
- 2 Setback Line when adjacent to single-family zoned properties or districts: 25 feet from property line (Solano Park is zoned as single-family residential)
- 3 Primary Frontage Coverage: 70% minimum (A minimum of 70% of the ground floor building facade shall be situated along the setback line.)
- 4 Building Height: 80 feet (measured from ground plane to roof parapet)
- 5 Building Stepbacks: None (stepbacks only occur when new development is within 100 feet of properties which are zoned with a single-family residential designation and have single-family residential land use.)
- 6 Shade: A minimum of 75 percent of the sidewalk or pedestrian way should be shaded.
- 7 Landscape Setback: Minimum 10-foot landscape setback from sidewalk when fronting public ROW.
  - a Minimum sidewalk width: five feet
  - b Minimum planting width: five feet from curb (if no public utility or existing tree conflict)
- 8 Streetscape Standards:
  - a Minimum sidewalk width: five feet
  - b Minimum planting width: five feet from curb (if no public utility or existing tree conflict)

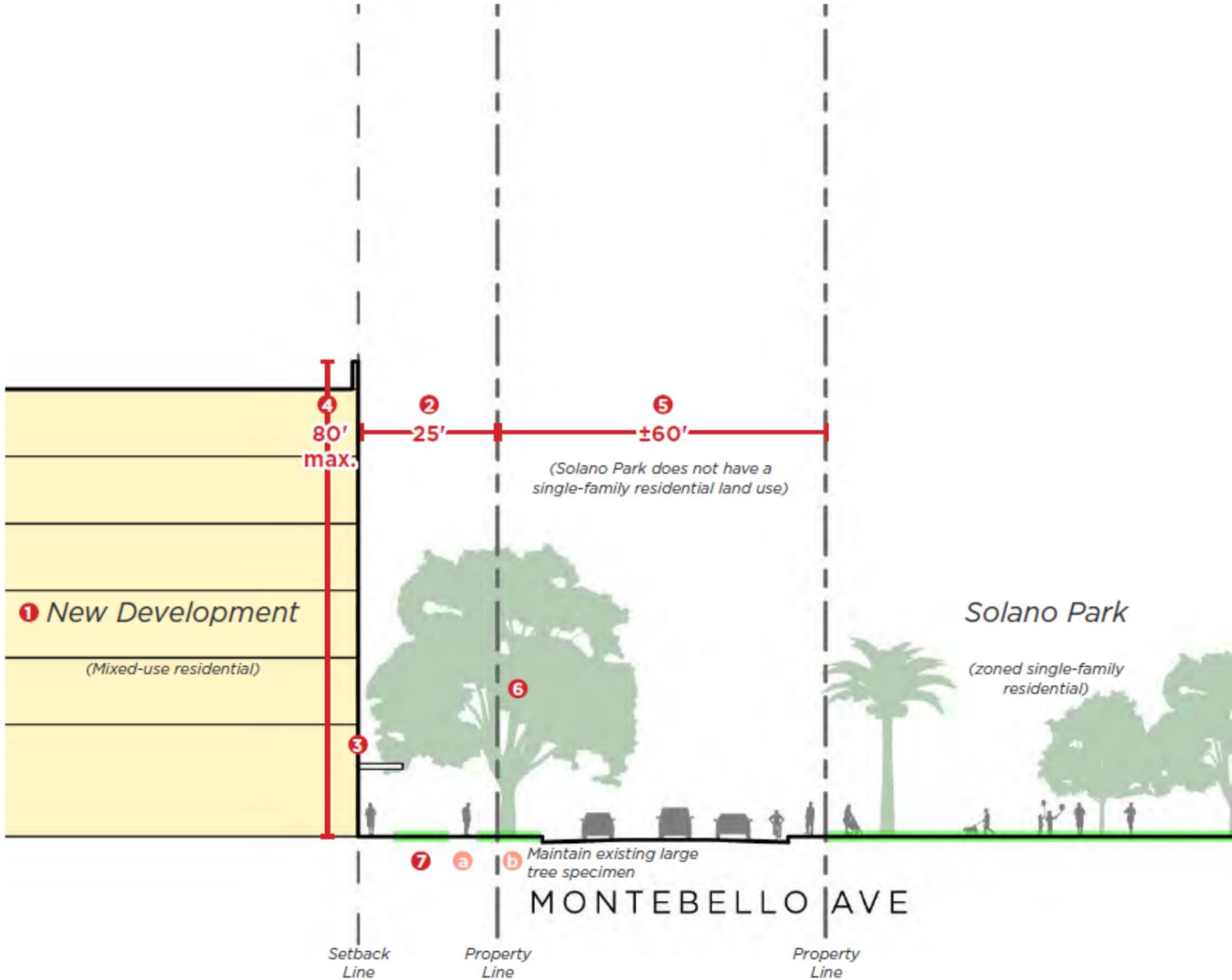


FIGURE O: DEVELOPMENT STANDARDS - MONTEBELLO AVE

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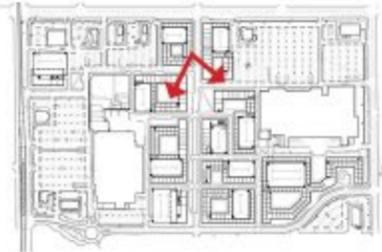


FIGURE P: VIEW OF COMMUNITY PLAZA/GREEN

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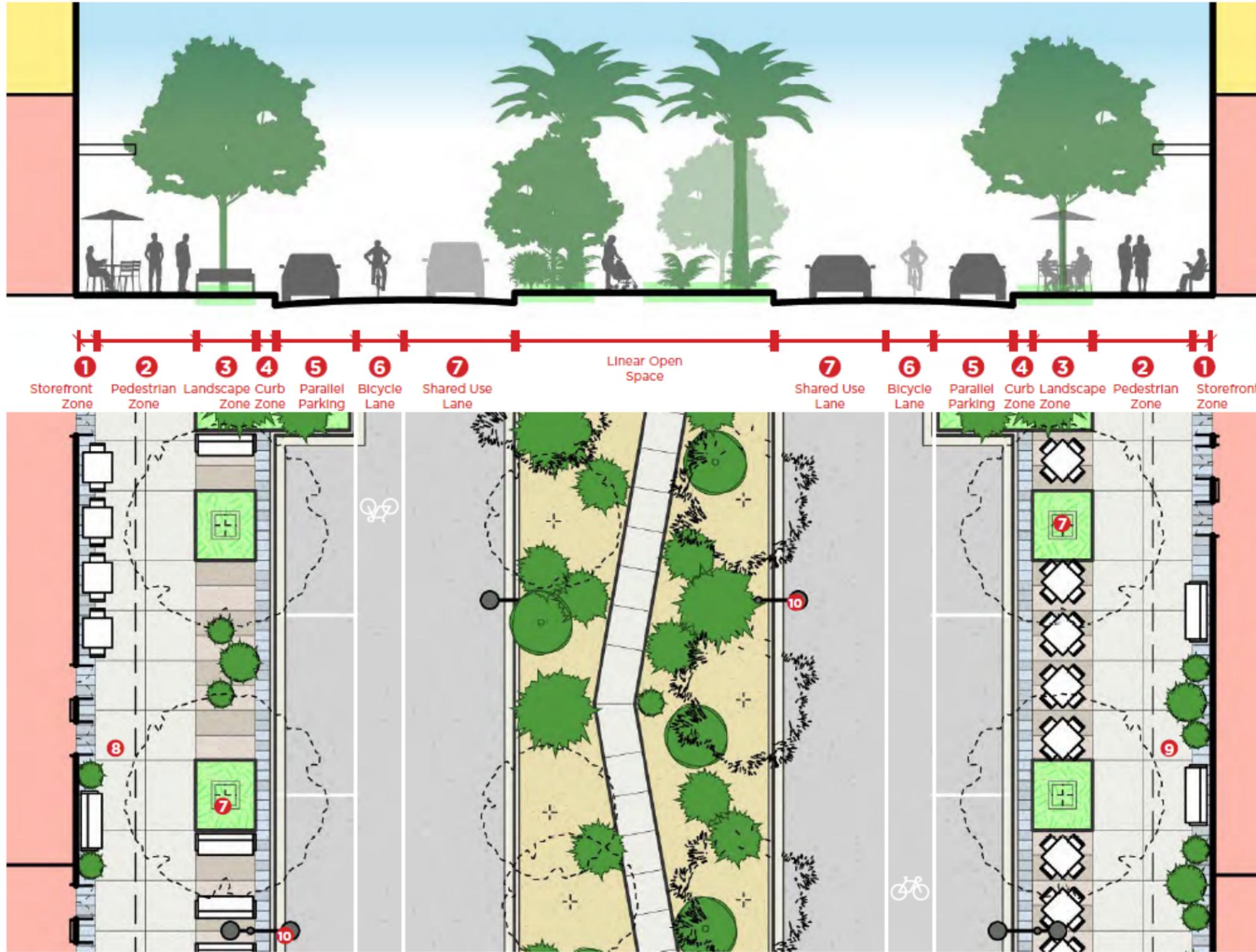
KIMCO REALTY streetsense.  
December 10, 2021



FIGURE Q: VIEW OF POCKET PARK

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KIMCO REALTY streetsense.  
December 10, 2021

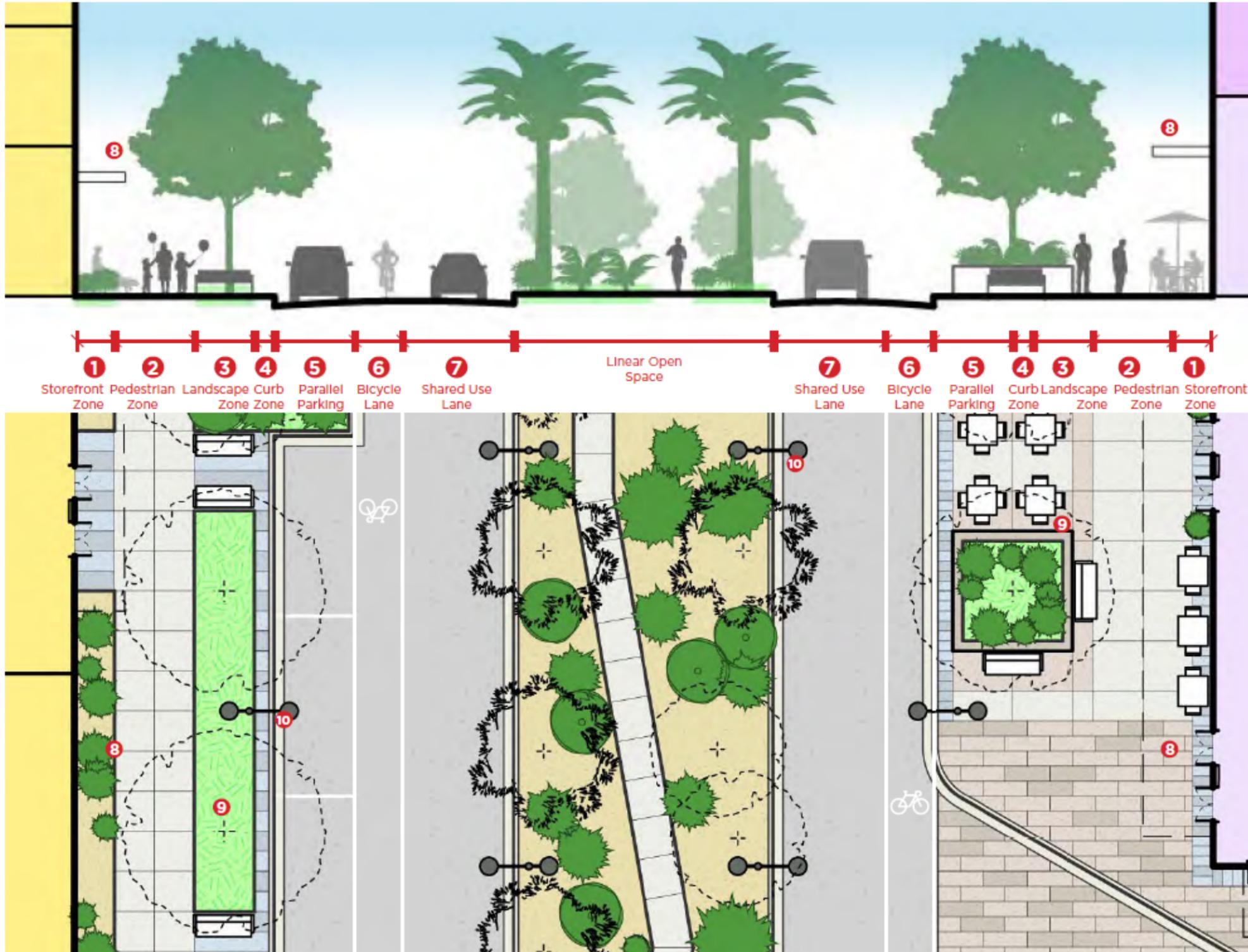


- 1 Storefront Zone (±1-2'):**  
Provide a paving pattern to denote activity near the building edge.
- 2 Pedestrian Zone (±8-12'):**  
Provide sidewalk paving with the potential to provide amenities such as store displays or outdoor dining. Provide a minimum of 6' for pedestrian clearance.
- 3 Amenity Zone (±8' minimum):**  
Provide landscape that includes tree canopy for shade. Along retail land uses, place trees in planters and provide additional paved surfaces for street furniture or outdoor dining.
- 4 Curb Zone (±1-2'):**  
In concert with parallel parking, provide a distinct paving area that allows safe entry/exit from parked vehicles.
- 5 Parallel Parking (±7-8'):**  
Provide parallel parking and/or spaces for curbside pickup/drop-off along active storefronts and building entries.
- 6 Bicycle Lane (±5'):**  
Provide striped area dedicated to bicycle traffic.
- 7 Vehicular Travel Lane (±11'):**  
Separated by a linear park, provide 1 lane in each direction that facilitates vehicular traffic.
- 8** Provide building canopy for additional shade.
- 9** Canopy Trees should be at least 25' minimum on center.
- 10** Street lighting should illuminate the sidewalk as well as the street.



FIGURE R: NEW SPINE STREET - RETAIL SIDEWALK ZONES

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- 1 Landscape Buffer (±4'):**  
Provide a lush mix of planting, with consideration for native or adapted, drought tolerant species.
- 2 Pedestrian Zone (±8'):**
- 3 Amenity Zone (±8' minimum):**  
Provide landscape that includes tree canopy for shade. Though turf is permitted, consider the use of xeriscaping in this zone, as well as native or adapted, drought tolerant species. Provide gaps in the amenity zone to allow access to the sidewalk from parked vehicles.
- 4 Curb Zone (±1-2'):**  
In concert with parallel parking, provide a distinct paving zone that allows safe entry/exit from parked vehicles.
- 5 Parallel Parking (±7-8'):**  
Provide parallel parking and/or spaces for curbside pickup/drop-off along active storefronts and building entries.
- 6 Bicycle Lane (±5'):**  
Provide striped area dedicated to bicycle traffic.
- 7 Vehicular Travel Lane (±11'):**  
Separated by a linear park, provide 1 lane in each direction that facilitates vehicular traffic.
- 8 Provide building canopy at building entrances.**
- 9 Canopy Trees should be at least 25' minimum on center.**
- 10 Street lighting should illuminate the sidewalk as well as the street.**



5 10 20 40

FIGURE S: NEW SPINE STREET - RESIDENTIAL SIDEWALK ZONES

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*\*This plan depicts a potential configuration and should be used for illustrative purposes only. The final program and layout may vary.*

**EXISTING PROJECT**

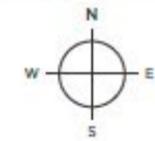
WALMART:	251,361 SF
JCPENNEY:	0 SF
SUPER TARGET:	182,978 SF
THEATER:	0 SF
COSTCO:	0 SF
MALL INLINE RETAIL:	142,144 SF
PUBLIC LIBRARY:	10,500 SF
RETAIL PADS:	63,282 SF

**TOTAL AREA: ±650,200 SF**

**PROPOSED AREA**

<b>BLOCK A:</b> (Phase 1)	324 residential units ±324,000 SF
<b>BLOCK B:</b> (Phase 2)	540 residential units ±540,000 SF
<b>BLOCK C:</b>	285 residential units ±285,000 SF 33,800 SF retail
<b>BLOCK D:</b>	284 residential units ±284,000 SF 32,700 SF retail
<b>BLOCK E:</b>	225 residential units ±225,000 SF
<b>BLOCK F:</b>	370 residential units ±370,000 SF 16,900 SF retail
<b>BLOCK G:</b>	22,200 SF retail 46,000 SF entertainment
<b>BLOCK H:</b>	277 residential units ±277,000 SF 25,300 SF retail
<b>BLOCK I:</b>	170 residential units ±170,000 SF
<b>BLOCK J:</b>	±150,000 SF office
<b>BLOCK K:</b>	±150,000 SF office

**TOTAL NEW DEVELOPMENT:  
±2,843,000 SF  
TOTAL AREA: ±3,493,200 SF**



--- Property Line



**FIGURE T: PROPORTIONATE SITE IMPROVEMENTS**

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