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**CITY OF PHOENIX**

**11/18/2022**

**Planning & Development  
Department**



## MODERA KIERLAND

**CASE NO. Z-44-21-2**

LOCATED AT THE SOUTHWEST CORNER OF  
PARADISE LANE AND SCOTTSDALE ROAD

DATE OF INITIAL SUBMISSION: June 28, 2021

2ND SUBMITTAL: September 10, 2021

HEARING DRAFT: October 29, 2021

CITY COUNCIL ADOPTED: February 2, 2022

1ST MINOR AMENDMENT SUBMISSION: September 14, 2022

1ST MINOR AMENDMENT APPROVED: November 2, 2022

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.



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## A. APPROVED AMENDMENTS TO THIS PUD

1st Minor Amendment Submission: September 14, 2022  
1st Minor Amendment Approved: November 2, 2022

Approved Change

During the drafting of the PUD narrative a minor Scribner's error in the PUD narrative occurred. The narrative, in Design Guidelines Section E1.a stated that the standard for the elevations is a "Minimum amount of stucco: 54%". The intent of this design guideline is to ensure use of high-quality building materials within the development by limiting the use of stucco. A minimum standard would force use of stucco, which is contrary to the design intent of the PUD. This provision now reads "Maximum amount of stucco: 54%".

## B. PURPOSE AND INTENT

### B1: Project Overview and Goals

Modera Kierland is a six (6) story (includes private rooftop mezzanines) luxury rental residential and retail community that will add high quality dwelling units along the Scottsdale Road Corridor in a unique mixed-use development. The goal of the project is to provide a quality modern urban living experience for future residents, to create a pedestrian friendly, walkable retail environment streetscape along Paradise Lane, and to draw the broader community to the new public outdoor community garden space at the heart of the development—all for the benefit of the larger community.

The community will include two (2) distinct living opportunities for future residents, including apartment homes sized for traditional urban living, as well as larger homes for families, down-sizers, and people who work from home, creating living opportunities for the broadest cross section of area residents.

Modera Kierland is located on 6.8 gross acres (5.69 net acres) at the southwest corner of the intersection of Scottsdale Road and Paradise Lane, which is the northernmost neighborhood of the Kierland masterplan development. Currently developed with a 1999 era retail showroom and furniture store building with associated surface parking, this prominent location in the Kierland area is now underdeveloped in the context of the surrounding newer high-density residential developments. The project provides an opportunity to redevelop a simple, 1-story retail building with a high-quality residential development that includes a street activating, outdoor community garden space as well as walkable retail, which will benefit the larger community.

### B2: Overall Design Concept

The overall design concept for the project is focused around several key elements that make Modera Kierland unique, including:

- 1) An open public garden and gathering space that is designed for small events, family picnics, and outdoor dining opportunities. This public green space will feature shade trees, lighting, and European style hardscape, which will attract area residents and become the front yard for the broader community.
- 2) Retail and restaurant space to anchor the north edge of the building and the north edge of the larger Kierland area. Currently, residents in the area must walk south to Kierland Commons to enjoy retail amenities. The project will incorporate neighborhood serving retail along Paradise Lane, providing area residents more choices for dining and shopping in this walkable neighborhood.
- 3) The design of Modera Kierland will consist of three architectural languages to help break down the scale of the overall project.

The east half of the site will consist of a contemporary architectural expression with modern interpretations of traditional residential elements.

The west side of the project will consist of a more transitional architecture that has incorporated classical proportions into the façade, as well as a clear expression of the base, middle and top of the building. This creates a modern architecture grounded in tenants of classical architecture.

The area fronting the public open space to the north that connects the two main architectural languages, will take on a more subtle tone that will face into the background and allow the retail and plaza take the focus of that space.

All portions of the design will consist of quality materials complementing the surrounding built environment of those recent development projects south of the subject property. The project will feature quality pedestrian edges and will result in the elimination of surface parking areas. The result will be an emphasis on quality design that has visual interest within the pedestrian realm and to the broader community.

In order to support this design concept, the project has completely wrapped the parking garage with residential units to minimize the visibility of the parking garage from the adjacent rights-of-way, with the exception of a small portion of the garage that will be exposed to the interior lot line to the south. This section of the garage will be designed in a way to screen headlights and garage lighting from the adjacent property.

Ground level dwelling units will be provided on the east, west, and south sides of the project. The majority of the ground level units will be provided with a direct, exterior access with a patio or stoop to activate the street and bring more life and interest to the pedestrian realm.

In addition, the building design steps down from the intensity of the intersection to create visual and physical transition in the elevation, from the retail uses to the north to the primarily residential uses to the south.

In summary, the project results in a building that (i) reinvents the entrance experience for those traveling southbound into the Kierland area (ii) reinforces a strong pedestrian environment by providing a community public green space and street level retail experiences, (iii) conceals vehicle parking for the project, and (iv) preserves the high-quality design and architecture styles that have been established within the Kierland area through the use of a rich blend of materials and colors combined with a contemporary design that further reinforces Kierland as the primer place in the City to live, work and play.



## C. LAND USE PLAN

### C1: Proposed Land Use Categories

Moderia Kierland is a luxury mixed-use multifamily development comprised of up to 438 dwelling units (a maximum of 65 du/ac) with associated private residential amenities located on an approximately 6.8-acre (gross) site. The development will also include ground floor commercial spaces, which will be an added amenity not only for the residents but also the surrounding community.

### C2: Conceptual Site Plan Summary

The following provides an overview of the conceptual site plan provided with this PUD:

Ground Level consists of a mix of uses that wrap the centrally located parking structure. These uses include retail, residential lobbies and leasing offices, and residential dwelling units. The north side of the site includes a publicly accessible open space, which will be wrapped by retail and residential lobbies on the east, south, and west. The north frontage along Paradise Lane from the public plaza to Scottsdale road will also incorporate retail uses. The remaining frontages along the east, west and south façades will consist of residential dwelling units.

Level Two consists primarily of residential uses as well as the upper portion of the double-height retail and lobby uses.

Levels Three and Four consist primarily of residential uses and amenities that wrap the centrally located parking garage, as well as residential amenities on the north side of the building fronting the public open space.

Level Five consists of residential units that wrap the centrally located parking structure.

Level Six consists of residential premium units that wrap the centrally located parking structure, along with smaller rooftop amenities and supporting indoor spaces. The premium units are to be double-height mezzanine units, some of which will have interior mezzanine loft space while others will have private roof top terraces at the mezzanine level.

Roof Level will house the HVAC equipment serving the building, align with elevator overruns, and stair accesses that serve the roof from a maintenance standpoint. Except for the units with private roof top terraces, no resident or occupant functions are planned for the roof.

## D. LIST OF USES

Note: The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in Section C, List of Uses, as authorized by Zoning Ordinance Section 307.A.3.

### D1: Permitted Uses

- Multifamily residential dwelling units
- C-2 uses as permitted by Section 623 of the City of Phoenix Zoning Ordinance

### D2: Temporary Uses

- All temporary uses shall comply with Section 708 of the City of Phoenix Zoning Ordinance

### D3: Prohibited Uses

The following land uses are not permitted:

- All Special Permit uses otherwise permitted in the C-2 Zoning District are prohibited
- Auto Title Loan Establishments
- Automobile Parts and Supplies, Retail and Wholesale
- Boats, Retail Sale
- Car Wash
- Compressed Natural Gas Retail Sales
- Gas Stations
- Garage, Repair
- Hospital
- Motorcycles, Repair and Sales
- Non-Profit Medical Marijuana Dispensary Facility
- Pawn Shop
- Service Stations, Automobile
- Single-Family Residential
- Tobacco Oriented Retailers
- Veterinarian Offices

- Veterinarian Hospitals
- Window Glass Installation Shop

## E. DEVELOPMENT STANDARDS

E1: Development Standards Table

The following development standards apply to any multifamily development of the property (including mixed-use); in the event that stand-alone non-multifamily development occurs, the development standards applicable to such development shall be those of Ordinance Section 623, the C-2 General Commercial, Zoning District.

Development Standards	Proposed PUD
<b>a. Density (Maximum)</b>	438 Dwelling Units 64.45 Dwelling Units per Gross Acre (6.8 Acres)
<b>b. Minimum Lot Width/Depth</b>	No Minimum
<b>c. Minimum Building Setbacks<sup>1</sup></b>	
North (Paradise Lane)	8' (Minimum), (45' Average)
East (Scottsdale Road)	15' (Minimum), (21' Average)
South (Interior)	28' (Minimum)
West (71 <sup>st</sup> Street)	8' (Minimum), (17' Average)
<b>d. Building Height (Maximum)</b>	75'
<b>e. Lot Coverage (Maximum)</b>	70% of Total Net Site Area
<b>f. Commercial Area (Minimum)</b>	12,500 Gross square feet of commercial space (No commercial space shall front onto 71 <sup>st</sup> Street)
Minimum Landscape Standards	
<b>a. Minimum Landscape Setbacks<sup>2</sup></b>	
North (Paradise Lane)	8' (Minimum)
East (Scottsdale Road)	15' (Minimum)
South (Interior)	Not Required <sup>3</sup>
West (71 <sup>st</sup> Street)	8' (Minimum)
<b>b. Streetscape - Adjacent to Paradise Lane (North Property Line)</b>	<p><u>Public Sidewalk:</u> Replace existing attached sidewalk with a new detached sidewalk, minimum 5-foot-wide as per X-E Street Section.</p> <p><u>Landscape Strip:</u> Provide a minimum 8' landscape area between back of curb and sidewalk, as per X-E Street Section.</p> <p>A mix of the following trees to be included:</p> <ul style="list-style-type: none"> <li>• Min. 3-inch caliper (25% of required trees)</li> </ul>

E2: Landscape Standards Table

<sup>1</sup> Open balconies and first floor pedestrian shade elements may encroach into the required setback by no more than 4', to be in general conformance to the locations shown in [Exhibit 11](#).

<sup>2</sup> Ground floor patios (inclusive of patio walls of no higher than 3 feet), open balconies and first floor pedestrian shade elements may encroach into the required setback by no more than 4', to be in general conformance to the locations shown in [Exhibit 11](#).

<sup>3</sup> Due to shared drive aisle, there is no base standard requirement. Area between building and property line not otherwise occupied by drive aisles or sidewalks shall be landscaped. See Section D.2.e.

	<ul style="list-style-type: none"> <li>• Min. 2-inch caliper or multi-trunk tree (75% of required trees)</li> </ul> <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. Minimum of (5) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24 inches tall at maturity). Shrubs and accents shall be planted to achieve 75% total living groundcover coverage at maturity.</p>
<p><b>c. Streetscape - Adjacent to Scottsdale Road (East Property Line)</b></p>	<p><u>Public Sidewalk:</u> Replace existing attached sidewalk with a new minimum 8' wide detached sidewalk.</p> <p><u>Landscape Strip:</u> Provide a minimum of 7' wide landscaped area with a mix of the following trees:</p> <ul style="list-style-type: none"> <li>• Min. 2-inch caliper (75% of required trees)</li> <li>• Min. 3-inch caliper or multi-trunk tree (25% of required trees)</li> </ul> <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. Minimum of (5) 5-gallon drought-resistant shrubs per tree (maximum 24 inches tall at maturity). Shrubs and accents shall be planted to achieve 75% total living groundcover coverage at maturity inclusive of shrubs.</p> <p><u>On-Site Landscaping:</u> For those areas adjacent to residential units, from back of sidewalk to building façade and/or hardscaped areas, provide a mix of the following:</p> <ul style="list-style-type: none"> <li>• Min. 2-inch caliper (50% of required trees)</li> <li>• Min. 3-inch caliper or multi-trunk tree (25% of required trees)</li> <li>• Min. 4-inch caliper or multi-trunk tree (25% of required trees)</li> </ul> <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. A mix of drought-resistant vegetation to include accent plants, shrubs and ground cover plants shall be planted to achieve 75% living groundcover coverage.</p>



	<p>At minimum, 75% of the plants shall be five (5) gallon in size, 25% shall be one (1) gallon in size.</p>
<p><b>d. Streetscape - Adjacent to 71<sup>st</sup> Street (West Property Line)</b></p>	<p><u>Public Sidewalk:</u> Replace existing attached sidewalk with a new detached sidewalk, minimum 5-foot-wide as per X-E Street Section.</p> <p><u>Landscape Strip:</u> Provide a minimum 8' landscape area between back of curb and sidewalk, as per X-E Street Section.</p> <ul style="list-style-type: none"> <li>• Min. 2-inch caliper (75% of required trees)</li> <li>• Min. 3-inch caliper or multi-trunk tree (25% of required trees)</li> </ul> <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. Minimum of (5) 5-gallon drought-resistant shrubs per tree (maximum 24 inches tall at maturity). Shrubs and accents shall be planted to achieve 75% total living groundcover coverage at maturity inclusive of shrubs.</p> <p><u>On-Site Landscaping:</u> From back of sidewalk to building façade and/or hardscaped areas, provide a mix of the following:</p> <ul style="list-style-type: none"> <li>• Min. 2-inch caliper (50% of required trees)</li> <li>• Min. 3-inch caliper or multi-trunk tree (25% of required trees)</li> <li>• Min. 4-inch caliper or multi-trunk tree (25% of required trees)</li> </ul> <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. A mix of drought-resistant vegetation to include accent plants, shrubs and ground cover plants shall be planted to achieve 75% living groundcover coverage.</p>
<p><b>e. Perimeter Property Lines – Not Adjacent to Public Right-of-Way (South Property Line)</b></p>	<p>Minimum of (1) 2" caliper tree planted 20' on center or in equivalent groupings. Minimum of (5) 5-gallon drought-resistant shrubs per tree (maximum 24 inches tall at maturity). The landscape strip shall be a minimum of 5 feet in width to support trees. For areas narrower than 5 feet, trees and shrubs shall be replaced as follows:</p>

	<p>1. If the strip is less than 4' wide (2' to 4') the strip shall be planted with 5-gallon drought resistant shrubs for each required tree.</p> <p>2. If the strip is less than 2 feet, two (2) 1-gallon groundcover plants and/or vines shall be planted for each required tree.</p> <p>Shrubs, groundcover and vines shall be planted to achieve 75% living groundcover coverage.</p>
<b>f. Minimum Common Open Spaces</b>	<p>Outdoor courtyards with private common open space amenities shall be provided. Said amenities shall be a minimum of 10% of total gross lot area. 25% shade to be provided.</p> <p>See <u>Section E2.c</u> for landscape design guidelines.</p>
<b>g. Entry Court and Event Lawn</b>	<p>Minimum 7,500 square foot entry court and event lawn to be located near main entrance of the building at grade and have no permanent occupiable buildings or structures on it. See Section E2 for requirements.</p>
<b>h. Minimum Total Open Space</b>	<p>Minimum of 15% of total net site acreage.</p>
<b>Parking Standards</b>	
<b>a. Minimum Parking Standards</b>	
<p><b>Residents</b> 1.53 spaces per dwelling unit</p> <p><b>Unreserved Retail/Restaurant /Visitor</b> 58 spaces</p> <p><b>Compact Spaces</b> Maximum 5% of total parking</p> <p><b>Bicycle Parking</b> 60 bicycle parking spaces</p>	
<b>b. Parking Location, Automotive</b>	<p>All parking areas shall be located within a garage structure, except for any on-street parking depicted on the Site Plan. See Section E1.e for garage screening requirements. Ordinance Section 702.B.2.b.(5) does not apply.</p>
<b>c. Parking Location, Bicycle</b>	<p>To be installed in conformance with Ordinance Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided and (ii) secure resident bike storage shall be located within the parking garage.</p>
<b>d. Loading Bay</b>	<p>One (1) off-street loading space shall be provided.</p>

**E4: Fences/Walls**

Fences and walls shall comply with Ordinance Section 703.

**E5: Shade**

Shading, which may be architectural, vegetative or any combination thereof, shall be provided at a minimum of 75% for all public sidewalks and private pathways. All shade calculations shall be based on the summer solstice at noon.

**E6: Lighting Plan**

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

Pedestrian lighting to be provided along public and private sidewalks that comply with the standards of Section 1304.D and Section 1304.H.5.

## F. DESIGN GUIDELINES

F1: Design Guidelines

The following design guidelines shall be provided for in the final plans for a multifamily structure (including mixed-use), (those standards not addressed herein, and for non-residential development, shall comply with Ordinance Section 507 Tab A):

E1. Design Guidelines	
<b>a. Exterior Materials</b>	<p>Façade to include:</p> <ul style="list-style-type: none"> <li>• A minimum of 10% Brick Masonry, Fiber Cement, &amp; Composite Panel</li> <li>• A maximum of 54% Stucco</li> <li>• 30% Glazing Total: <ul style="list-style-type: none"> <li>(i) Minimum 25% glazing for residential portions of the project</li> <li>(ii) Minimum 60% glazing for retail portions of the project</li> </ul> </li> </ul>
<b>b. Color Palette</b>	Warm earth tones and warm grey tones ranging from light to dark.
<b>c. Private Balconies</b>	A minimum of 90% of all residential units shall contain at least one (1) private balcony or patio space (including all ground level units that face the public right of way), measuring a minimum of 40 square feet with a depth of 5 feet.
<b>d. Screen Walls</b>	Architectural detailing consistent or complementary to the building facade.
<b>e. Garage Screening</b>	Any portion of the parking garage visible from the public right-of-way or an off-site building shall be screened. Garage shall be wrapped on a minimum of 3 sides by the residential and retail buildings on site. Screening shall include a minimum of 40% perforated metal panels
<b>f. Building Massing</b>	The primary massing of the building shall step down from the north to the south.
<b>g. On-Site Pedestrian Circulation</b>	Enhanced surfacing materials, such as stamped or colored concrete or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles.

The following requirements apply to multifamily residential development (those standards not addressed herein, and for non-residential development, comply with Section 507 Tab A):

<b>E2. Landscape Design Guidelines</b>	
<b>a. Uniform Streetscape Design</b>	<p>On the adjacent public rights-of-way, the following shall be included:</p> <p>The landscape strip located between sidewalk and back of curb along 71<sup>st</sup> Street, Paradise Lane and Scottsdale Road will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover to buffer the street from the detached sidewalk. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• A minimum of (60%) 2" and (40%) 3" caliper trees to be planted 20' on center or in equivalent groupings, except where utility conflicts exist. Five (5) 5-gallon drought-resistant shrubs per tree (maximum 24 inches tall at maturity). Retain existing trees and shrubs to the extent practical.</li> <li>• Mesquite, Palo Verde, Oak, or similar trees, meeting or exceeding the Landscape Standards set forth in Sections D2/b through d</li> <li>• 3 different shrub species</li> <li>• 3 different accent species</li> <li>• 1 different groundcover species</li> <li>• Minimum 75% living groundcover coverage.</li> </ul> <p>On-site landscaping located between the sidewalk and the building envelope will provide a shade canopy of street trees and a colorful mix of shrub, accents, and groundcover. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• A minimum of (60%) 2" and (40%) 3" caliper trees to be planted 20' on center or in equivalent groupings, except where utility conflicts exist. Minimum of five (5) 5-gallon drought-resistant shrubs per tree to be planted at grade. 75% living groundcover coverage. Retain existing trees and shrubs to the extent practical.</li> <li>• Mesquite, Palo Verde, Oak, or similar trees, meeting or exceeding the Landscape Standards set forth in Sections D2/b through d</li> <li>• 3 different shrub species</li> <li>• 3 different accent species</li> <li>• 1 different groundcover species</li> <li>• Minimum 75% living groundcover coverage.</li> </ul>



<p><b>b. Uniform Perimeter Design</b></p>	<p>The south property line will provide colorful mix of shrubs, accents, and groundcover to buffer the adjacent properties, as well as the private accessway from the project to the extent practical. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• Mesquite, Palo Verde, Oak, or similar trees, meeting or exceeding the Landscape Standards set forth in Sections D2/e</li> <li>• 2 different shrub species</li> <li>• 2 different accent species</li> <li>• 1 different groundcover species</li> <li>• Minimum of 75% living groundcover coverage for areas not otherwise paved or utilized for drive aisle</li> </ul>
<p><b>c. Minimum Common Open Spaces</b></p>	<p>The outdoor courtyards will include a shade canopy of trees (where possible) and colorful mix of shrubs, accents, and groundcover to provide visual interest and a comfortable seating environment. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• Mesquite, Chitalpa, Oak, or similar low water-use trees, low litter species, meeting or exceeding the Landscape Standards set forth in Sections D2</li> <li>• 4 different shrub or groundcover species min.</li> <li>• 3 different accent species min.</li> </ul> <p>The outdoor courtyards will include a shade canopy of trees and a mix of shrubs, accents, and groundcover to provide visual interest and a comfortable seating environment.</p>
<p><b>d. Entry Court and Event Lawn<sup>4</sup></b></p>	<p>The Entry Court (public amenity space) shall include a minimum 7,500 square foot area to be located near the main building entrance with at least two (2) of the following:</p> <ul style="list-style-type: none"> <li>• Seating/bench(es)</li> <li>• Shaded outdoor dining area</li> <li>• Public art feature</li> <li>• Shade canopy</li> <li>• Decorative pavers</li> <li>• Trellis/landscaped area(s)</li> </ul> <p>The Event Lawn shall include a minimum 1,500 square foot area with a shade canopy of palms/trees to provide visual interest and a comfortable</p>

<sup>4</sup> For the purposes of calculating shade pursuant to Section D5, the entry court and event lawn areas are not considered public or private sidewalks regardless of final surfacing materials and/or presence of pathways.

	<p>seating environment. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• Palms, Oak, Pistache, Evergreen Elm, or similar upright tree species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c.</li> </ul> <p>Amenities within the Event Lawn shall include at least two (2) of the following:</p> <ul style="list-style-type: none"> <li>• Water feature</li> <li>• Seating/bench(es)</li> <li>• Moveable dining tables and chairs</li> <li>• Shaded outdoor dining area</li> <li>• Shade canopy</li> <li>• Decorative pavers</li> </ul> <p>The Entry Court and Event Lawn should be designed to allow for restriction of vehicular access from time to time in order to function as flexible event space for residents.</p>
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F3: Amenities

<b>E3. Amenities</b>	
<p><b>a. Resident Amenities</b></p>	<p>Residential amenities (private amenities) shall include a minimum of three of the following:</p> <ul style="list-style-type: none"> <li>• Resident lounge/clubhouse no less than 3,000 square feet</li> <li>• Fitness center no less than 2,000 square feet</li> <li>• Dog park</li> <li>• Swimming pool and/or spa with at least three (3) of the following:             <ul style="list-style-type: none"> <li>○ Lounge deck</li> <li>○ Shaded outdoor dining area(s)</li> <li>○ Water feature(s)</li> <li>○ Barbeque grill(s)</li> <li>○ Fire feature(s)</li> <li>○ Seating node(s)</li> <li>○ Trellis areas (to provide shaded seating zones)</li> </ul> </li> <li>• One bicycle repair station (“fix it station”) shall be provided and maintained along the 71st Street frontage.</li> </ul>

<b>b. Implementation</b>	<p>To implement the above, amenities standards are provided below, where applicable:</p> <ul style="list-style-type: none"><li>• Lounge decks shall include sufficient space for permanent or placed seating, tables, and/or reclining sun chairs for a minimum of 10 persons</li><li>• Shaded outdoor dining area shall be an area for the location of no less than four (4) table and chair sets under a cover (structural and/or vegetative) and shall have an enclosure element to separate the space from other areas, which may be a wall, planters or other feature to delineate the area.</li><li>• Water features should be designed to limit loss of water by evaporation by avoiding placement in locations that experience long periods of direct sunlight and using non-spraying fountains (i.e. water features that move water via gravity, not larger pump driven fountains). Also see 507 Tab A.11.3.4.1.</li><li>• Barbeque grill(s) shall incorporate a “built-in” design with base materials that are consistent with or complementary to the building materials</li><li>• Fire feature shall be designed as a gathering space that includes sufficient clear area around for seating and/or a built-in seating area around the feature (i.e. a fire pit with large border for sitting on).</li><li>• Seating Node areas shall be areas that are separated from other areas via wall, planters or other features to delineate the space.</li><li>• The bicycle repair station (“fix it station”) shall be provided in an area of high visibility and separated from vehicular maneuvering areas, where applicable. The repair station shall include: standard repair tools affixed to the station; a tire gauge and pump affixed to the base of the station or the ground; and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.</li></ul>
--------------------------	--

## G. SIGNS

Signage shall comply with Section 705 of the Zoning Ordinance. Signage shall also comply with the existing Kierland Comprehensive Sign plan and any amendments thereto.

## H. SUSTAINABILITY

### H1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- As encouraged by Reimagine Phoenix, recycling receptacles will be provided in the refuse room. These will be commercial bins, serviced by private solid waste provider.
- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged, particularly along Scottsdale Road, Paradise Lane and 71<sup>st</sup> Street.

### H2: Developer Enforced Standards

The following are sustainability practices that are highly encouraged and planned to be utilized but which are not enforceable by the City:

- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
- Lower flow toilets and showerheads.
- Energy Star Rated appliances.
- Reduce heat island effect through ample open space, desert adapted landscaping and vegetation to include, shrubs etc.
- Use of synthetic turf (outside of any landscape setback) on podium. Provide as much shade as practical.
- Recycling services will be provided for tenants.
- Tenant invoicing and billing services will be paperless.



## I. INFRASTRUCTURE

### I1: Grading and Drainage

The existing site consists of a commercial furniture store with the east half consisting of a public show room and the west half being used for inventory. The building structure is surrounded by surface parking on all sides. The site is graded such that water flows away from the building and towards the southwest corner of the site. The roof drains into multiple down spouts to underground conduits that feed drainage bubblers on the north, west, and south parking lots. Existing onsite stormwater in the east parking lot flows in curb and gutter to a scupper on the southeast corner of the property that feeds an existing channel and carries flows to the south. The remainder of the site stormwater is conveyed through curb and gutter within the site and discharged at an inlet on the southeast corner of the property into the public storm drain system that crosses 71<sup>st</sup> Street. Existing offsite pavement run-off flows from the northeast corner of the site, in curb and gutter to the west along Paradise Lane and then south on 71<sup>st</sup> St to a public storm drainage catch basin inlet near the southwest corner of the site. Offsite run-off from Scottsdale Road flows toward the south by curb and gutter. The adjoining parcel to the south directs its run-off toward the south of their property.

The proposed site design consists of a 6-story building with a parking garage in the center that is wrapped with residential housing. Retail uses and residential amenities are located on the north side of the first floor. A private drive on the south edge of the site provides access to the parking garage from 71<sup>st</sup> Street. There is an existing bus stop on Scottsdale Road that will be reconstructed to City standards. An emergency access only driveway will be constructed on the southeast corner of the property. There are two driveways providing access to the parking garage from Paradise Lane on the north side of the site. The proposed drainage for the 3 courtyards and the front lawn area will be collected and stored in underground storage located under a drive aisle in the garage. The roof drainage will be collected and conveyed into a storm drainage system on the south side of the property, under the private drive, that will convey flows underground into the existing public storm drainage system at the southwest corner of the site. The roof and pavement drainage flows will be channeled through a stormceptor treatment facility before being conveyed into the public system.

### I2: Water and Wastewater

Public water infrastructure exists in the adjacent public roads and is assumed to be of sufficient capacity to service the proposed development. New private domestic and fire suppression services will be provided as necessary onsite per current City development codes and policies. Existing services will be evaluated for reuse by the new development as appropriate. Water service will be provided on the west side of the property by a 3" service line tapped into an existing 12" line within 71<sup>st</sup> Street. A 1" irrigation service line will also be connected to the same existing 12" line. Existing fire hydrants on the southwest corner and the north side of the property will be reused. The existing fire hydrant on the southeast corner will be relocated to facilitate the new construction. A new fire line loop will connect to the existing water main in Paradise Lane and run along the east and south sides of the site and connect to the existing main in 71<sup>st</sup> Street.

The existing sewer connection to the sewer main in 71<sup>st</sup> St is assumed to not have the capacity for the proposed building. A new 12" sewer will be constructed in 71<sup>st</sup> Avenue from approximately 300' south of Tierra Buena Drive, north to the Modera Kierland site. A new 8" service connection will be constructed on the north side of the new buildings and connect to the new 12" in 71<sup>st</sup> St.

New grease traps for proposed restaurant use will be installed and connected to the existing manhole in Paradise Lane.

### I3: Circulation Systems

According to the traffic generation statement that was conducted for the project (filed under separate cover), it was determined that the proposed use of the site would generate 1,506 weekday trips, with 131 trips (37 in, 94 out) during the AM peak hour and 158 trips (111 in, 47 out) during the PM peak hour. Overall, compared to the existing commercial/retail land use, the proposed development is anticipated to generate 1,676 fewer daily trips, with a net of 46 more trips (17 fewer in, 63 more out) during the AM peak hour and 152 fewer trips (38 in, 114 out) during the PM peak hour.

The adjacent public roadways (Scottsdale Road, 71st Street, and Paradise Lane) are built to full public standards and are at their final build out sizes and configurations. No changes are proposed for these roadways.

The project will have three (3) access points—one (1) full-movement driveway onto 71st Street, one (1) entrance driveway off of Paradise Lane, and one (1) driveway onto Paradise Lane. An additional access point will be provided along Scottsdale Road for emergency access vehicles only.

### I4: Complete Streets

In 2018, the City of Phoenix adopted its Complete Streets Design Guidelines with the goal of promoting health and safety through active streetscapes. The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users and more vulnerable modes (walking, bicycling, transit). See Section E1.g: Pedestrian Circulation, “Enhanced surfacing materials, such as stamped or colored concrete or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles, as approved by the Planning and Development Department.”
- Shade should be a primary technique in projects to reduce ambient temperatures and reduce direct sunlight exposure for pedestrians and cyclists. See Section D5: Shade, “Shading, which may be architectural, vegetative or any combination thereof, shall be provided at a minimum of 75% for all public sidewalks.”
- Streets should be designed to expand the availability of public seating and bicycle racks. See Section D2.g Entry Court and Event Lawn, “Minimum 7,500 square foot entry court and event lawn to be located near main entrance of the building” and Section E2.d, Entry Court and Event Lawn, “The Event Lawn shall include a minimum 1,500 square foot area with a shade canopy of palms/trees to provide visual interest and a comfortable seating environment.”

## J. COMPARATIVE ZONING STANDARDS

J: Comparative Zoning Standards Table

Standards	C-2 Standards (References to R-3 for Multifamily)	Proposed PUD Standards
<b>a. Maximum Building Height</b>	2 stories or 30' up to 4 stories or 48' with a "height waiver" (623.E.1.b)	75'
<b>b. Lot Coverage</b>	45%	70%
<b>c. Dwelling Unit Density (Units/Gross Acre)</b>	References to Section 615 (R-3) (Min 14.5 du/acre) ("Density Waiver" Option Up to 43.5 du/ac 623.E.1.b) = 97 to 291 Units	438 Dwellings 65 Dwelling Units/Acre
<b>e. Building Setbacks</b>		
<b>North (Side):</b>	30' (Average)	8' (Minimum) 45' (Average)
<b>South (Side):</b>	No Standard	28' (Minimum)
<b>East (Front):</b>	30' (Average)	15' (Minimum), 21' (Average)
<b>West (Rear):</b>	30' (Average)	8' (Minimum), 17' (Average)
<b>f. Landscape Standards</b>		
<b>North (Side):</b>	30' (Average)	8' (Minimum)
<b>South (Side):</b>	No Standard	No Standard
<b>East (Front):</b>	30' (Average)	15' (Minimum)
<b>West (Rear):</b>	30' (Average)	8' (Minimum)

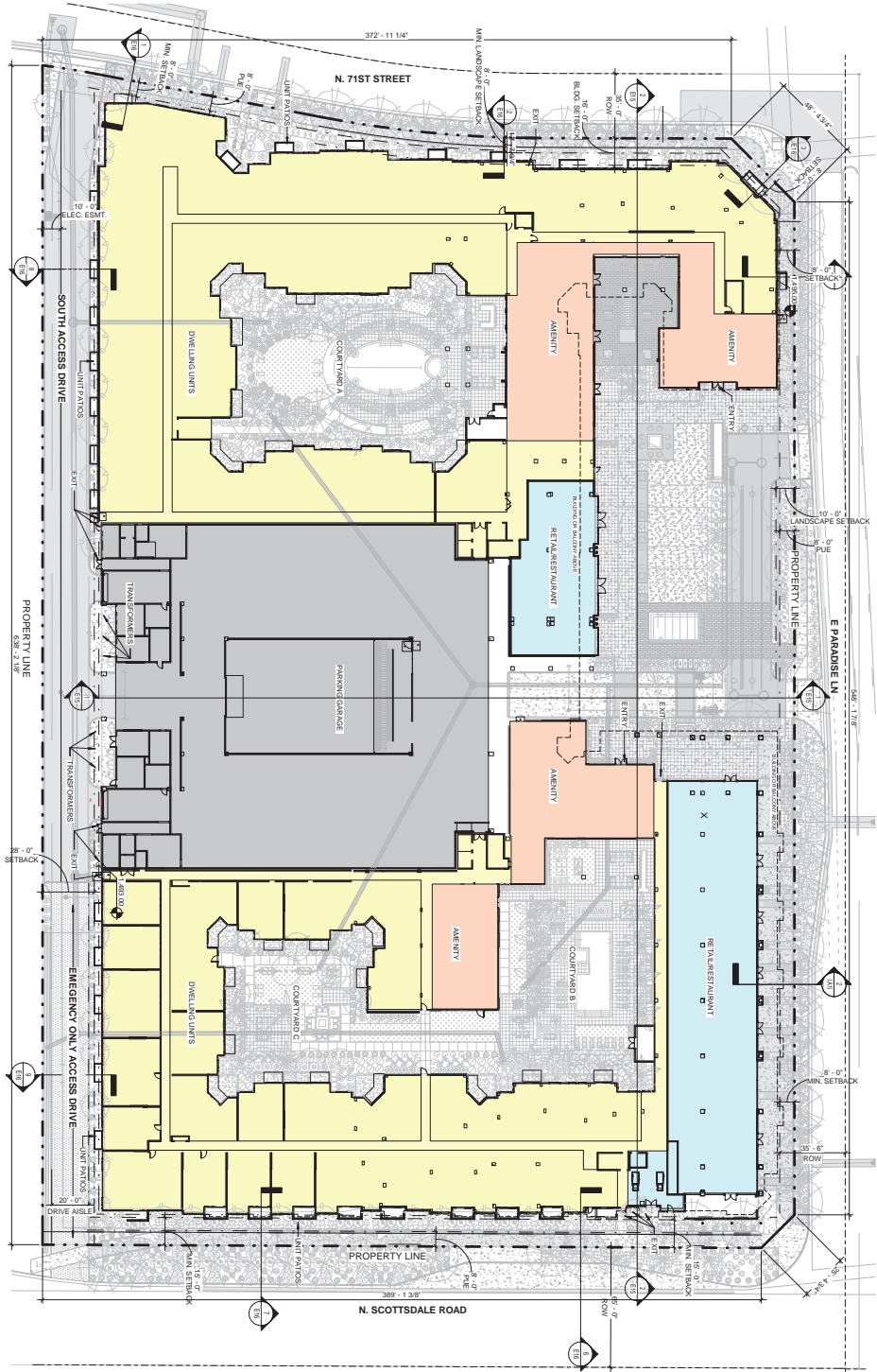
## K. LEGAL DESCRIPTION

K. Legal Description

LOT 4, AS SHOWN ON THAT CERTAIN PLAT OF KIERLAND PARCELS 4C & 6B, ACCORDING TO BOOK 468, PAGE 47, RECORDS OF MARICOPA COUNTY, ARIZONA.

## **Exhibit 1**

# MODERA KIERLAND PLANNED UNIT DEVELOPMENT



1 CONCEPTUAL SITE PLAN

## DEVELOPMENT INFORMATION

SUBJECT SITE: MODERA KIERLAND  
1000 N. SCOTTSDALE RD  
PHOENIX, AZ 85254  
PROPOSED ZONING: R10

LOT AREA: 294,209 SF / 6.8 ACRES  
NO. OF BUILDING UNITS: 419  
CONDOMINIUM PLAT ANTICIPATED: N/A  
(OWNERSHIP OR RENTAL)

OPEN SPACE: 49,254 SF (15.7%)  
MIN. SETBACK INFORMATION FOR PROPOSED DEVELOPMENT:  
WEST N. 71ST STREET: 36'-0" MIN.  
EAST N. SCOTTSDALE RD: 15'-0" MIN.

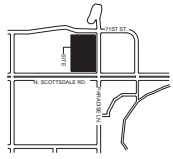
ACTUAL SETBACKS PROVIDED:  
WEST N. 71ST STREET: 32'-0" (AVERAGE)  
EAST N. SCOTTSDALE RD: 21'-8" (AVERAGE)

MINIMUM HEIGHT:  
STORIES: 6-7 TOWERS + LOFT  
MEZZANINE: 8'5" DOWN  
N. SOUTHERN TOWERS:  
STORIES: 4-LOFT  
MEZZANINE: 8'0"

PARKING PROVIDED IN GARAGE: 745 SPACES TOTAL  
GARAGE TO BE 1.51 PER DWELLING UNIT  
BICYCLE PARKING: 145 SPACES TOTAL  
GROSS BUILDING AREA: 879,000 SF  
GARAGE: 270,000 SF  
RETAIL/RESTAURANT: 19,000 SF

SEE TABLE FOR PARKING BREAKDOWN, 15 OF 17 ACCESSIBLE SPACES ENTERED FROM THE PLANNED UNIT DEVELOPMENT (PARKING)

PARKING SCHEDULE (BY USE)		
TYPE	REQUIREMENTS	COUNT
RESIDENT	1.51 PER UNIT	863
COMMERCIAL	1.5 PER 100 SF	103
ACCESSIBLE	1.5 PER 100 SF	103
TOTAL	100% OF 1.51 PER UNIT	745



VICINITY MAP

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254

## CONCEPTUAL SITE PLAN



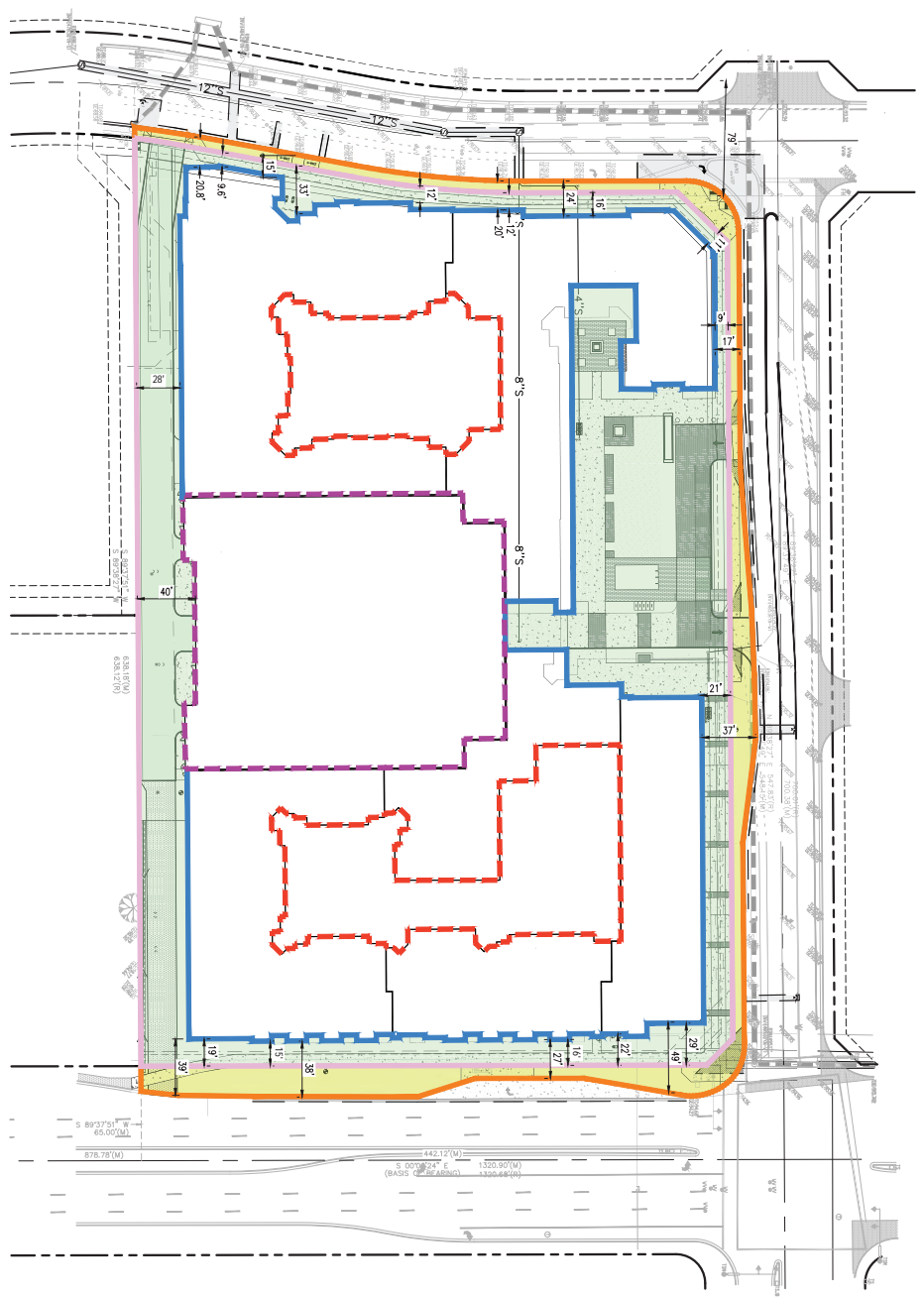
PROJECT NO.:  
SHEET DATE:  
02/16/22  
SHEET NUMBER:  
E2



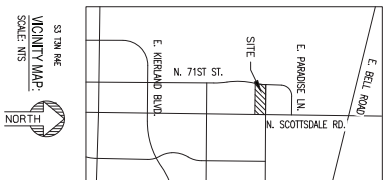
DAVIS  
PARTNERSHIP  
ARCHITECTS  
1000 N. SCOTTSDALE RD.  
PHOENIX, AZ 85254  
TEL: 602.955.1234  
WWW.DAVISARCHITECTS.COM

## **Exhibit 2**

**MODERA KIERLAND  
 PLANNED UNIT DEVELOPMENT**  
 16000 N. SCOTTSDALE ROAD, PHOENIX, AZ.



- PROPERTY LINE
- FACE OF CURB
- BUILDING FOOTPRINT
- GARAGE FOOTPRINT
- COMBINED MEANS
- RIGHT OF WAY AFTER FACE OF CURB
- SETBACK WITHIN PROPERTY



**SETBACK EXHIBIT**

MODERA KIERLAND PLANNED UNIT DEVELOPMENT

PROJECT NO: 21198.00  
 DATE: 02/15/2022  
 SHEET NUMBER: EXHIBIT

16000 N SCOTTSDALE RD  
 PHOENIX, AZ 85254





## **Exhibit 3**











MODERNA  
KRALAND

TRIST

TRIST

TRIST



MODERA KIERRLAND  
 PLANNED UNIT DEVELOPMENT



**DAVIS**  
 PARTNERSHIP  
 ARCHITECTS

2115 S. GILBERT AVENUE  
 SUITE 100  
 PHOENIX, AZ 85004  
 TEL: 602.998.8888  
 WWW.DAVISPARTNERSHIPARCHITECTS.COM

16000 N SCOTTSDALE RD  
 PHOENIX, AZ 85254

CONCEPTUAL RENDERINGS

E 11

MODERA KIERRLAND - PLANNED UNIT DEVELOPMENT

PROJECT NO. 21158.00  
 DATE 10/28/21  
 SHEET NUMBER

**MODERA KIERLAND**  
 PLANNED UNIT DEVELOPMENT



16000 N SCOTTSDALE RD  
 PHOENIX, AZ 85254

**DAVIS**  
 PARTNERSHIP  
 ARCHITECTS

16000 N SCOTTSDALE RD  
 PHOENIX, AZ 85254  
 TEL: 602.998.8888  
 WWW.DAVISPARTNERSHIPARCHITECTS.COM

**CONCEPTUAL RENDERINGS**

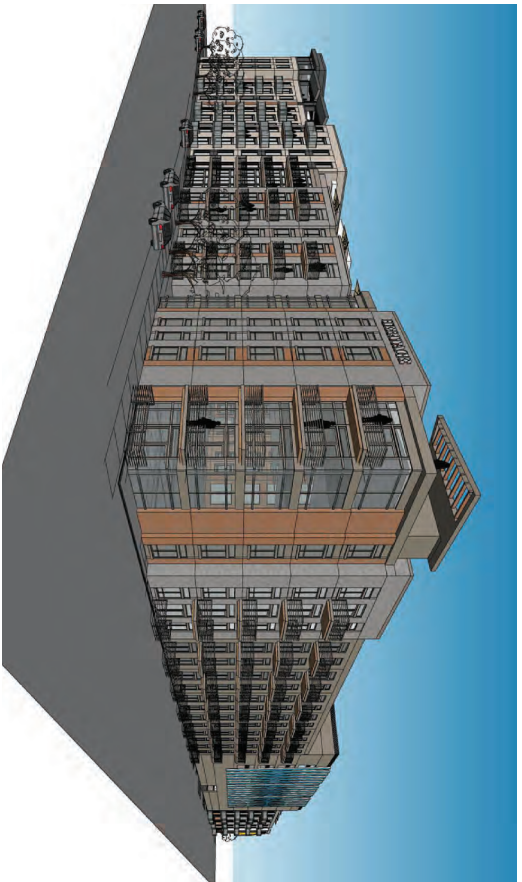
**E 12**

MODERA KIERLAND - PLANNED UNIT DEVELOPMENT

PROJECT NO. 211955.00  
 DATE 10/2/2021  
 SHEET NUMBER



**MODERA KIERRLAND**  
 PLANNED UNIT DEVELOPMENT



16000 N SCOTTSDALE RD  
 PHOENIX, AZ 85254

**DAVIS PARTNERSHIP ARCHITECTS**  
 ARCHITECTS  
 1000 N CENTRAL AVENUE, SUITE 1000  
 PHOENIX, ARIZONA 85004  
 TEL: 602.442.1000  
 FAX: 602.442.1001  
 WWW.DAVISPARTNERSHIPARCHITECTS.COM

**CONCEPTUAL RENDERINGS**

PROJECT NO. 21195L00  
 DATE 10/2/2021  
 SHEET NUMBER E13

MODERA KIERRLAND - PLANNED UNIT DEVELOPMENT

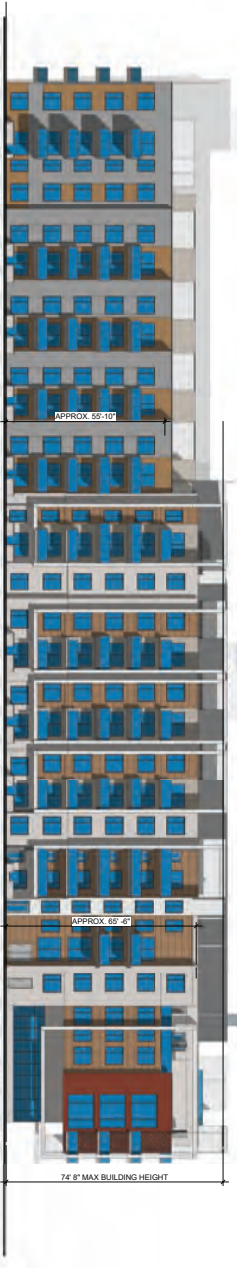
## **Exhibit 4**



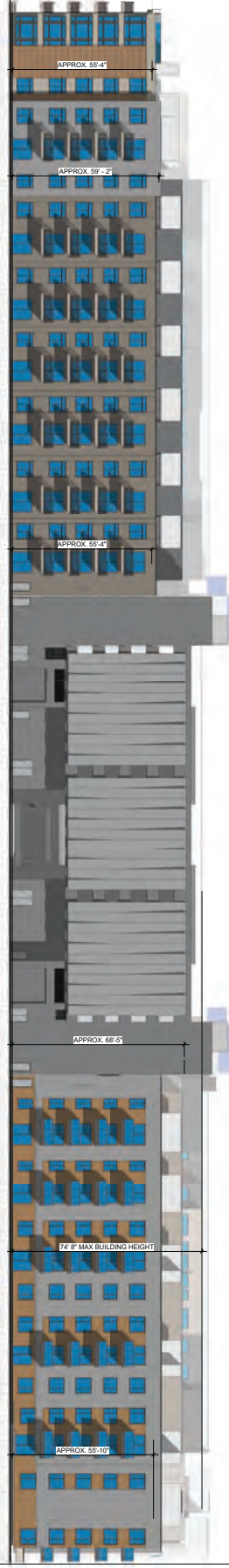
MODERA KIERRLAND  
PLANNED UNIT DEVELOPMENT



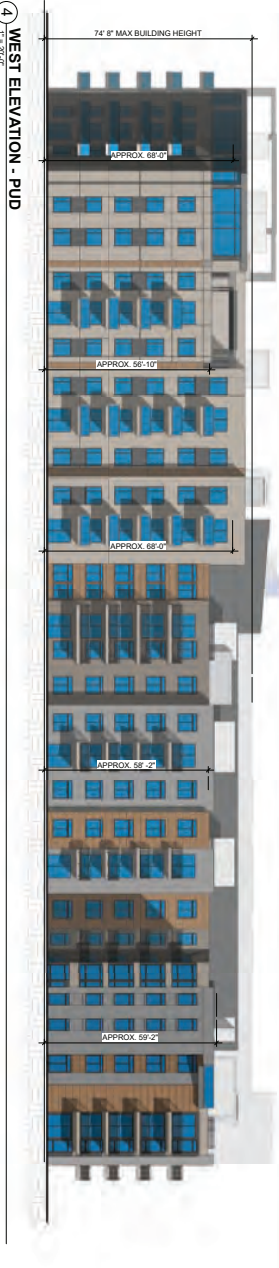
① NORTH ELEVATION - PUD  
1" = 20'-0"



② EAST ELEVATION - PUD  
1" = 20'-0"



③ SOUTH ELEVATION - PUD  
1" = 20'-0"



④ WEST ELEVATION - PUD  
1" = 20'-0"

CONCEPTUAL ELEVATIONS

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254

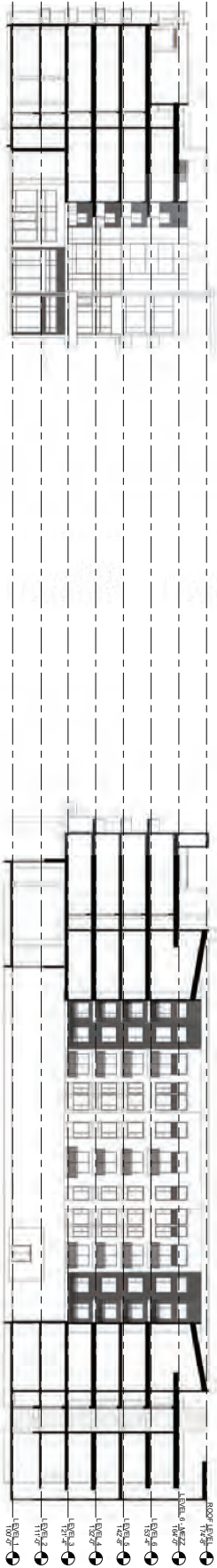
**DAVIS PARTNERSHIP ARCHITECTS**  
 ARCHITECTS  
 1000 N. CENTRAL AVENUE, SUITE 1000  
 PHOENIX, ARIZONA 85004  
 TEL: 602.441.1111  
 WWW.DAVISPARTNERSHIPARCHITECTS.COM

PROJECT NO. 21195.00  
 DATE: 10/2/2021  
 SHEET NUMBER: E14

MODERA KIERRLAND - PLANNED UNIT DEVELOPMENT

## **Exhibit 5**

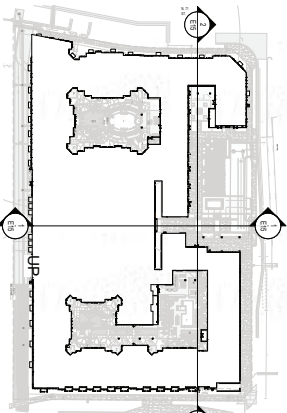
MODERA KIERRLAND  
PLANNED UNIT DEVELOPMENT



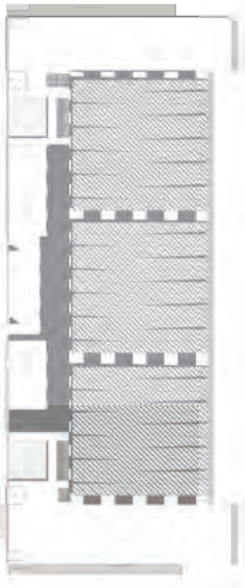
2 EAST-WEST - PUD SITE SECTION  
1" = 20' 0"



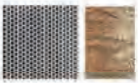
1 NORTH-SOUTH - PUD SITE SECTION  
1" = 20' 0"



3 SITE KEY PLAN  
1" = 100' 0"



4 GARAGE SOUTH ELEVATION SCREENING  
1" = 20' 0"



PRE-FINISHED SHEET METAL  
SCREENING AND WOOD PANELING  
DESIGN FOR COORDINATED  
AND APPROXIMATELY DOWN TO  
THE LEFT SAMPLES SHOWN TO

SITE SECTIONS

E 15

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254



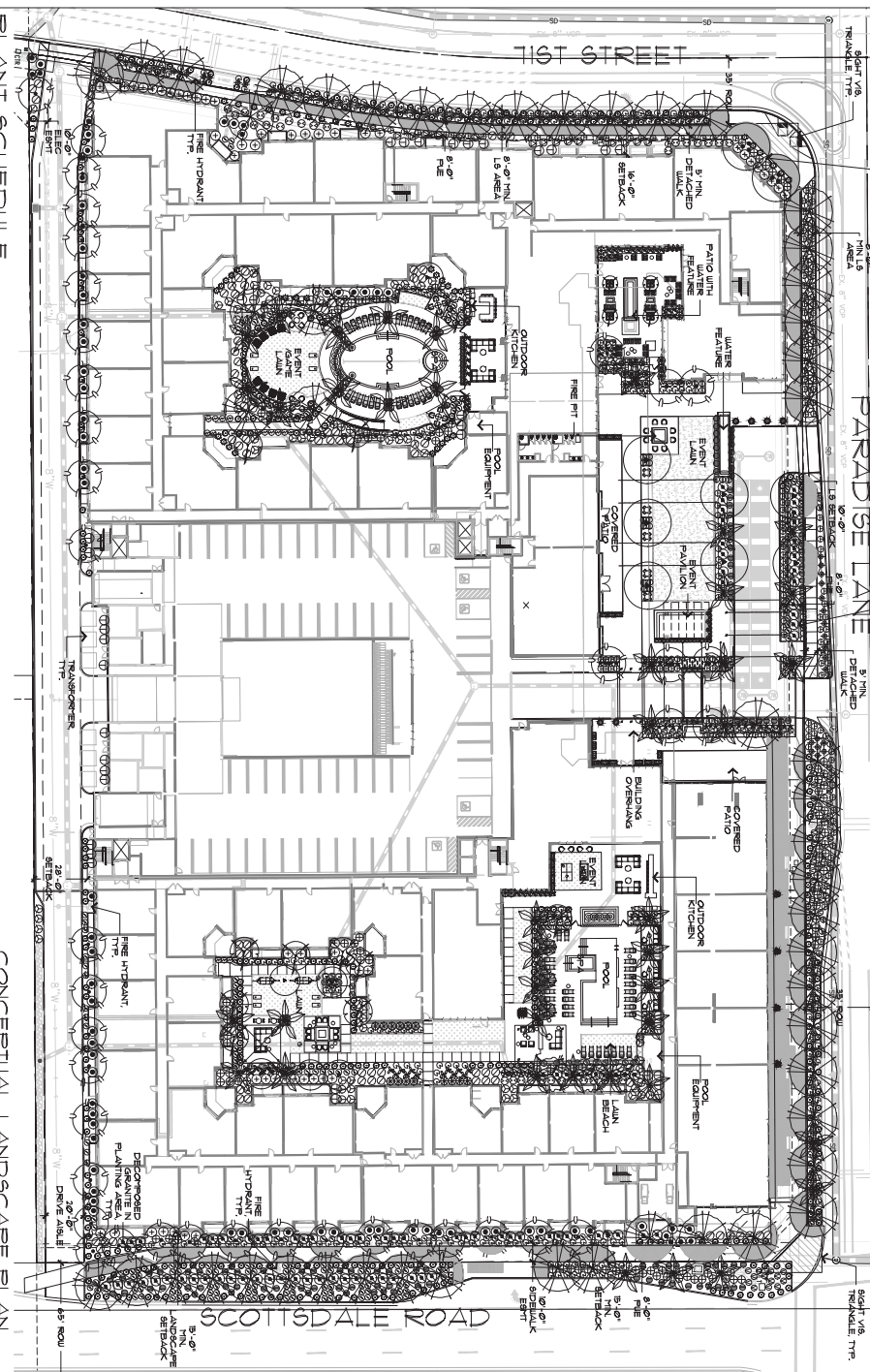
## **Exhibit 6**



REPAIR TOOLS, FIRE GARDLE  
PIPE AND STRAND.

YOU'VE MET SIDA

MODERA KIERLAND  
PLANNED UNIT DEVELOPMENT



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COTTON NAME	SIZE	QTY
⊙	Acacia saligna	Washing Acacia	2' Caliper	2
⊙	Lagotis indica x	Hakagee Orange Myrtle	2' Caliper	21
⊙	Parroti Thunbergii	Yellow Bird of Paradise	3' Caliper	41
⊙	Cassipouira glaberrima	Colombian Ficus	1" Caliper	20
⊙	Quercus virginiana	Southern Live Oak	3" Caliper	14
⊙	Acacia saligna	Washing Acacia	5 gal.	14
⊙	Agave vivipara	Walter's Agave	5 gal.	43
⊙	Bougainvillea	Vine Bougainvillea	5 gal.	48
⊙	Coccoloba	Sage Palm	5 gal.	4
⊙	Diapentem frutescens	Toothed Desert Spoon	5 gal.	11
⊙	Trichodesma	Beetlewing Red Yucca	5 gal.	107
⊙	Strelitzia reginae	Star Amaryllis	5 gal.	43
⊙	Strelitzia reginae	Tropical Bird of Paradise	5 gal.	13

CONCEPTUAL LANDSCAPE PLAN

SYMBOL	BOTANICAL NAME	COTTON NAME	SIZE	QTY
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	60
⊙	Encyrtanthe x Hybrid	Tropical Bird of Paradise	5 gal.	30
⊙	Dodonaea viscosa	Winged Paperbark	5 gal.	14
⊙	Protea	Purple Impatiens Bush	5 gal.	33
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	24
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	100
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	3
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	32
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	95
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	11
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	89
⊙	Encyrtanthe x Hybrid	Adventure Bougainvillea	5 gal.	49

LANDSCAPE CALC'S

STREET	STREET FRONTAGE LENGTH	REQUIRED STREET TREES	PROVIDED TREES
SCOTTSDALE ROAD	349 LN. FT.	100, 20 TREES REQUIRED	100, 20 TREES PROVIDED
PARADISE LANE	549 LN. FT.	100, 20 TREES REQUIRED	100, 20 TREES PROVIDED
1ST STREET	37 LN. FT.	100, 20 TREES REQUIRED	100, 20 TREES PROVIDED

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254

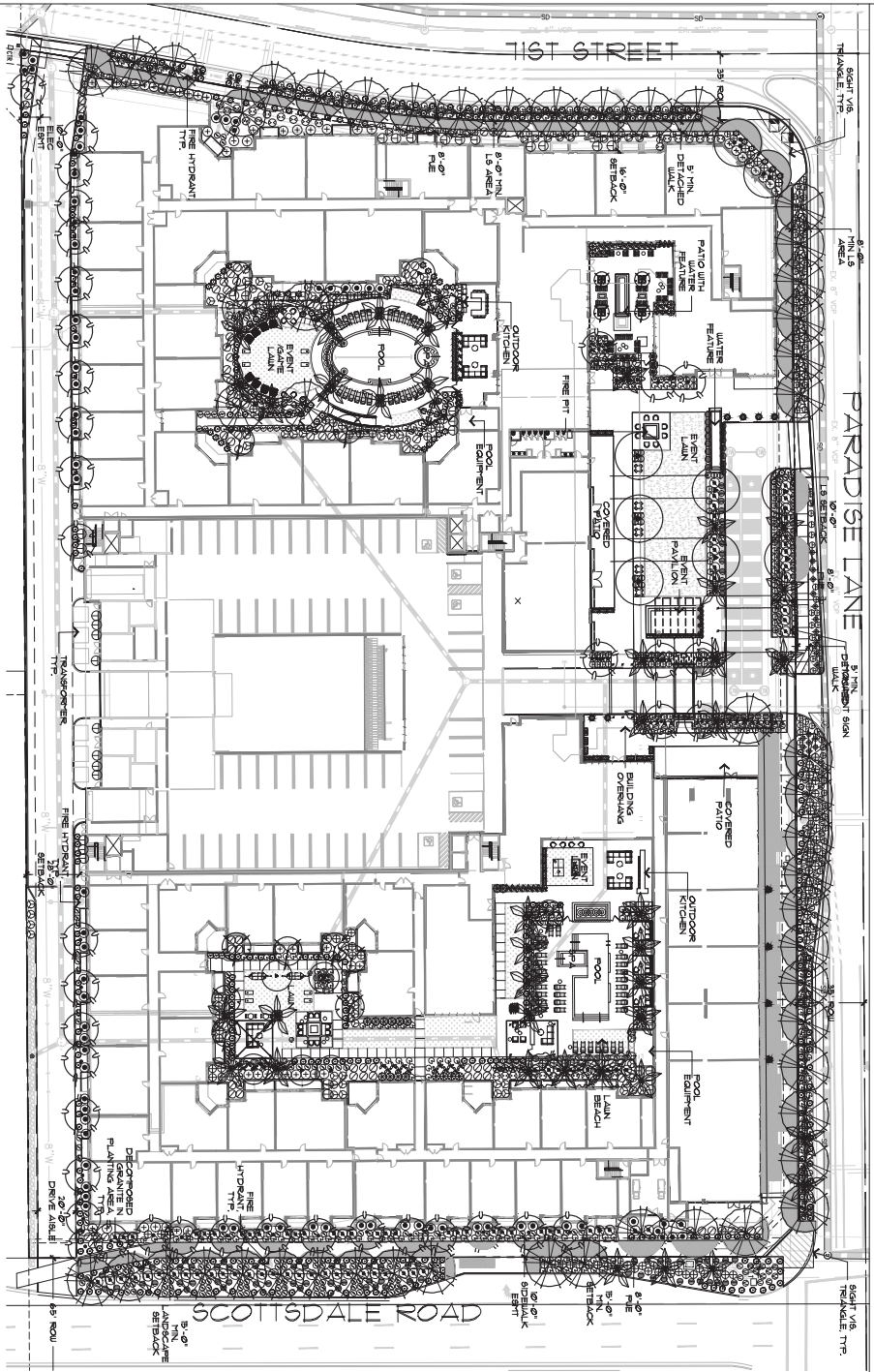
DAVIS PARTNERSHIP ARCHITECTS

PROJECT NO. 2119500

SHEET NUMBER: CLS-1

## **Exhibit 7**

# MODERA KIERLAND PLANNED UNIT DEVELOPMENT



CONCEPTUAL SHADE STUDY

SCALE: 1" = 30'-0"



SHADE STUDY LEGEND	
Public Walk	7340 SQ. FT.
Public Walk with Landscaping	9337 SQ. FT.
Shaded Walk Coverage %	15% (15% REQ.)
Bus Stop	433 SQ. FT.
Bus Stop with Shade	211 SQ. FT.
Shaded Walk Coverage %	50% (50% REQ.)

## CONCEPTUAL SHADE STUDY

CLS-2

MODERA KIERLAND PLANNED UNIT DEVELOPMENT

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254

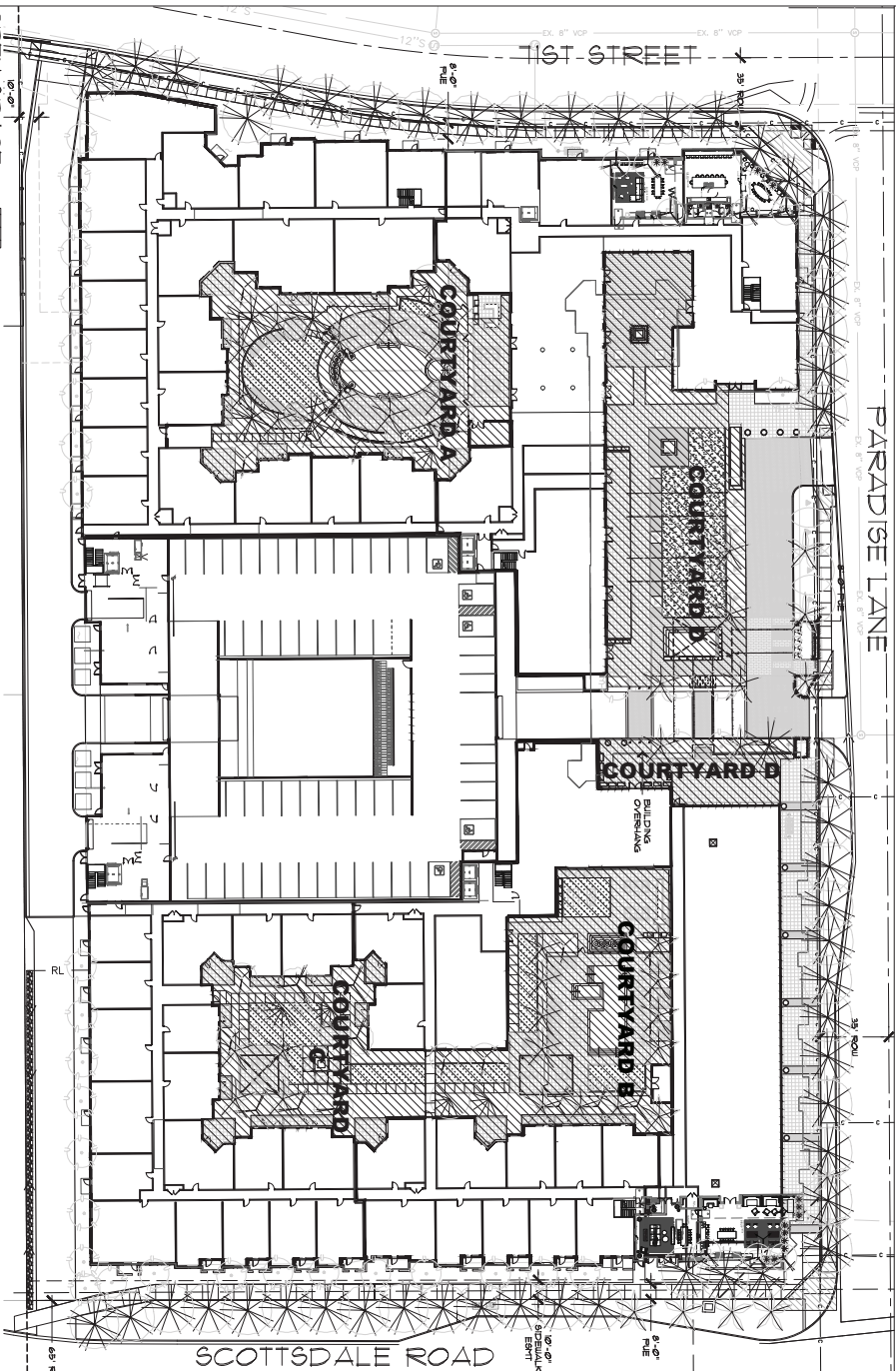
**DAVIS PARTNERSHIP ARCHITECTS**

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254  
TEL: 602.998.8888  
WWW.DAVISPARTNERSHIP.COM

## **Exhibit 8**



**MODERA KIERLAND  
PLANNED UNIT DEVELOPMENT**



**OPEN SPACE  
CALCULATIONS**

ITEM	QUANTITY	AREA (SQ FT)	% TOTAL
COURTYARD A	1	17,949 SF	5.7%
COURTYARD B	1	17,949 SF	5.7%
COURTYARD C	1	17,949 SF	5.7%
COURTYARD D	1	17,949 SF	5.7%
TOTAL	4	71,796 SF	22.8%

**CONCEPTUAL OPEN SPACE PLAN**



**PLANT PALETTE**

SYMBOL	BOTANICAL NAME	COTTON NAME	SIZE
	Papyrus	Papyrus	3' - 4'
	Desert Yucca	Desert Yucca	2' - 3'
	Orange	Orange	4'
	California poppy	California poppy	3'
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR

SYMBOL	BOTANICAL NAME	COTTON NAME	SIZE
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR

SYMBOL	BOTANICAL NAME	COTTON NAME	SIZE
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR
	Potted	Potted	22" CTR

**CONCEPTUAL OPEN SPACE PLAN**

SCALE: 1" = 30' - 0"

0 15 30 60

NORTH

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254

PROJECT NO.  
21195.00  
DATE: 08/11/2016  
SHEET NUMBER:  
CLS-3

**DAVIS PARTNERSHIP ARCHITECTS**  
 ARCHITECTS  
 1000 N. CENTRAL AVENUE, SUITE 100  
 PHOENIX, ARIZONA 85004  
 TEL: 602.442.1000  
 FAX: 602.442.1001  
 WWW.DAVISARCHITECTS.COM



## **Exhibit 9**

INDEX OF DRAWINGS

SHEET INDEX

Table with 4 columns: SHEET NO., DESCRIPTION, LAST DATE, MEMBER. Lists sheets 1-8 including Preliminary Grading & Drainage Cover Sheet & Keymap, Preliminary Grading & Drainage Plan, Preliminary Grading & Drainage Details, Preliminary Cross Sections, and Preliminary Cross Sections.

FILED FORCE INDICES PLAN IS INCLUDED WITH THIS SUBMITTAL

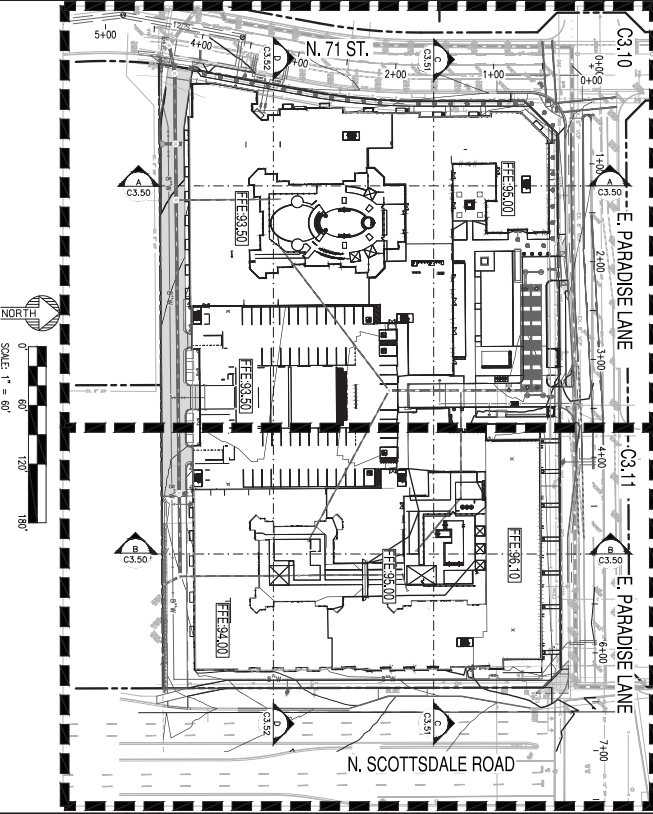
CITY OF PHOENIX GRADING AND DRAINAGE NOTES

- 1. A GRADING PLAN IS REQUIRED UNDER CHAPTER 22A OF THE PHOENIX CITY CODE... 2. EXISTING ELEVATIONS... 3. EXISTING CONDUITS... 4. FINISHED FLOOR ELEVATION... 5. FINISHED FLOOR ELEVATION... 6. FINISHED FLOOR ELEVATION... 7. FINISHED FLOOR ELEVATION... 8. FINISHED FLOOR ELEVATION... 9. FINISHED FLOOR ELEVATION... 10. FINISHED FLOOR ELEVATION... 11. FINISHED FLOOR ELEVATION... 12. FINISHED FLOOR ELEVATION... 13. FINISHED FLOOR ELEVATION... 14. FINISHED FLOOR ELEVATION... 15. FINISHED FLOOR ELEVATION... 16. FINISHED FLOOR ELEVATION... 17. FINISHED FLOOR ELEVATION... 18. FINISHED FLOOR ELEVATION... 19. FINISHED FLOOR ELEVATION... 20. FINISHED FLOOR ELEVATION... 21. FINISHED FLOOR ELEVATION... 22. FINISHED FLOOR ELEVATION... 23. FINISHED FLOOR ELEVATION... 24. FINISHED FLOOR ELEVATION... 25. FINISHED FLOOR ELEVATION... 26. FINISHED FLOOR ELEVATION... 27. FINISHED FLOOR ELEVATION...

PRELIMINARY GRADING AND DRAINAGE PLAN

COVER SHEET & KEYMAP

16000 N. SCOTSDALE ROAD, PHOENIX, ARIZONA, 85251



ABBREVIATIONS

Table listing abbreviations for materials and construction elements, such as AC/E (Asphalt Concrete), L.S. (Lime Set), W.G. (Waterproofing), etc.

QUANTITIES

Table listing quantities for grading and drainage materials, including descriptions like 'CONCRETE', 'GRAVEL', and 'ASPHALT' with corresponding units and quantities.

APPROVALS

AS-BUILT CERTIFICATION: I HEREBY CERTIFY THAT THE RECORD DRAWING MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

PROJECT TEAM

Table listing project team members including Developer (Mill Creek Residential), Architect (Davis Partners Architects), and Civil Engineer (Sustainability Engineering Group).

PROJECT INFO

PROJECT LOCATION: 16000 N. SCOTSDALE RD., PHOENIX, ARIZONA, 85251. PROJECT DESCRIPTION: THE PROJECT IS A REMEDIATION OF EXISTING STRUCTURES AND A CONSTRUCTION OF A NEW MULTI-FAMILY RESIDENTIAL DEVELOPMENT WITH RETAIL AND ON-SITE STORAGE RETAILMENT.

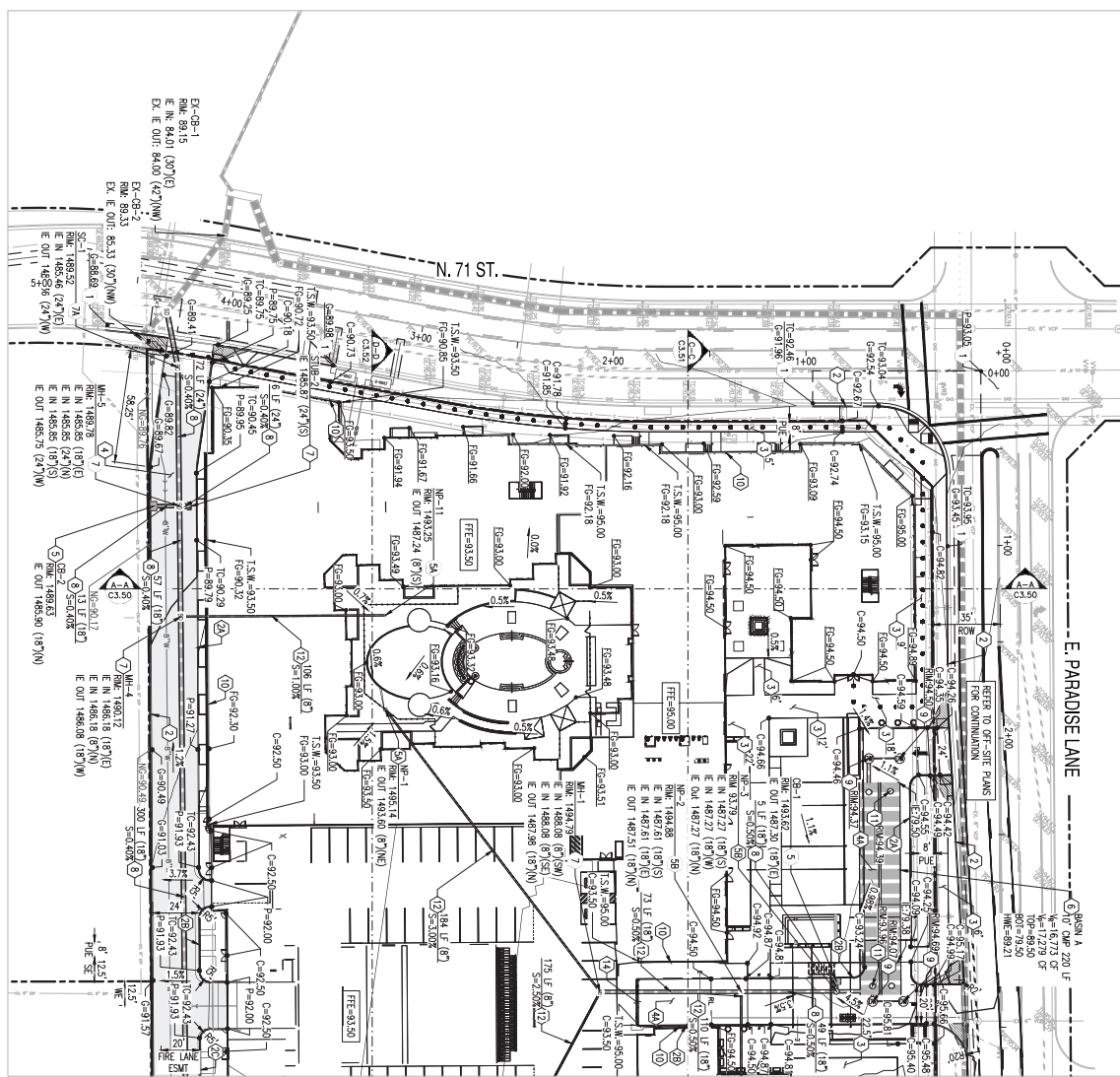
EARTHWORK

Table showing earthwork quantities: CUT (CY) 1,139, FILL (CY) 5,796, NET (CY) 4,657.



PRELIMINARY NOT FOR CONSTRUCTION. PROJECT: MILL CREEK, MOODERA KIERLAND. LOCATION: 16000 N. SCOTSDALE ROAD, SCOTSDALE, AZ.

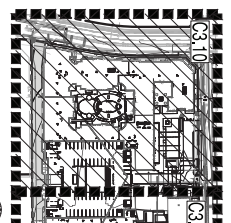




MATCHLINE - REFER TO SHEET C3.11

- PRELIMINARY GRADING CONSTRUCTION KEY NOTES**
- 1) MATCH EXISTING SURVEY CONTOURS TO REFER TO FIELD. ALL GRADERS PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
  - 2) 6" CONCRETE CURB AND GUTTER PER MAG STD. DET. 220-1 TYPE "B".
  - 3) 6" PERFORATED CURB.
  - 4) 6" BERBER CURB.
  - 5) CONCRETE SIDEWALK PER C.O.P. STD. DET. P120. WIDTH PER PLAN.
  - 6) NEW DIRT PAVEMENT PER DET. V/3.20.
  - 7) CONCRETE PAVEMENT PER DET. 4/3.20.
  - 8) INSTALL 2"x7" MUDSPILT DRAIN WITH STD. GATE PER DET. 6/3.21.
  - 9) INSTALL MUDSPILT DRAIN STD. GATE PER DET. 7/3.21.
  - 10) TO CLAY POLYMER COATED 100% CAP STAINLESS STEEL STORAGE SYSTEM PER PLAN. CONTRACTOR TO PROVIDE SPORED LENGTH AND SLOPE PER PLAN. CONTRACTOR TO PROVIDE SPORED LENGTH AND SLOPE PER PLAN. CONTRACTOR TO PROVIDE SPORED LENGTH AND SLOPE PER PLAN. CONTRACTOR TO PROVIDE SPORED LENGTH AND SLOPE PER PLAN.
  - 11) REINFORCING WITH 4# ANCHOR BARS PER C.O.P. STD. DET. P150 AND STD. DET. 522 WITH CONCRETE COLLAR PER MAG STD. DET. 422; COVER PER C.O.P. STD. DET. P149 AND 1424-1.
  - 12) INSTALL STAINLESS STEEL/SMD/OIL SEPARATOR.
  - 13) 8" WIDE DOUBLE WALL PIPE, CLASS 100 PER MATERIAL PER MAG SPECIFICATION. D36 LENGTH, SIZE AND SLOPE PER PLAN.
  - 14) INSTALL MANHOLE PLUS RIMWELL.
  - 15) SIDE WALL AT BUILDING PERMETER.
  - 16) INSTALL 3/4" CAP REBAR PER DET. 1/3.20.
  - 17) INSTALL 3/4" CAP REBAR PER DET. 1/3.20.
  - 18) INSTALL ROOF DRAIN CONNECTION.
  - 19) RIMWELL DRAIN, REFER TO DRAINAGE PLANS.

- PROPOSED LEGEND:**
- GUTTER ELEVATION.
  - G+0.5
  - P=XXXXX FINISHED ELEVATION
  - CONCRETE ELEVATION
  - PROPERTY LINE
  - SMOULT
  - CHUB AND GUTTER
  - RIBBLELINE
  - GRASS BREAK
  - LIMIT OF CONCRETE CONSTRUCTION
  - XX MAJOR CONTROLS
  - MINOR CONTROLS
  - FLOW ARROW
  - CATCH BASIN
  - STORM MANHOLE
  - STORM PIPE
  - DRINKWELL
  - CONCRETE PAVEMENT
  - HEAVY DUTY PAVEMENT
  - LIGHT DUTY PAVEMENT
  - RIP-RAP
- EXISTING LEGEND:**
- EX. MAJOR CONTROLS
  - EX. MINOR CONTROLS
  - EX. SPOUT ELEVATION
  - ESSENTIAL LINE AS NOTED
  - SEWER LINE
  - WATER LINE
  - WATER VALVE
  - FIRE HYDRANT
  - STORM DRAIN LINE
  - STORM CATCH BASIN
  - STORM MANHOLE
  - GAS LINE
  - VALVE
  - SIGN
  - FENCE
  - STREET LIGHT
  - TREE
  - RIBBLELINE
  - FIBER OPTIC LINE
  - COMMUNICATION LINE
  - FITTING LINE

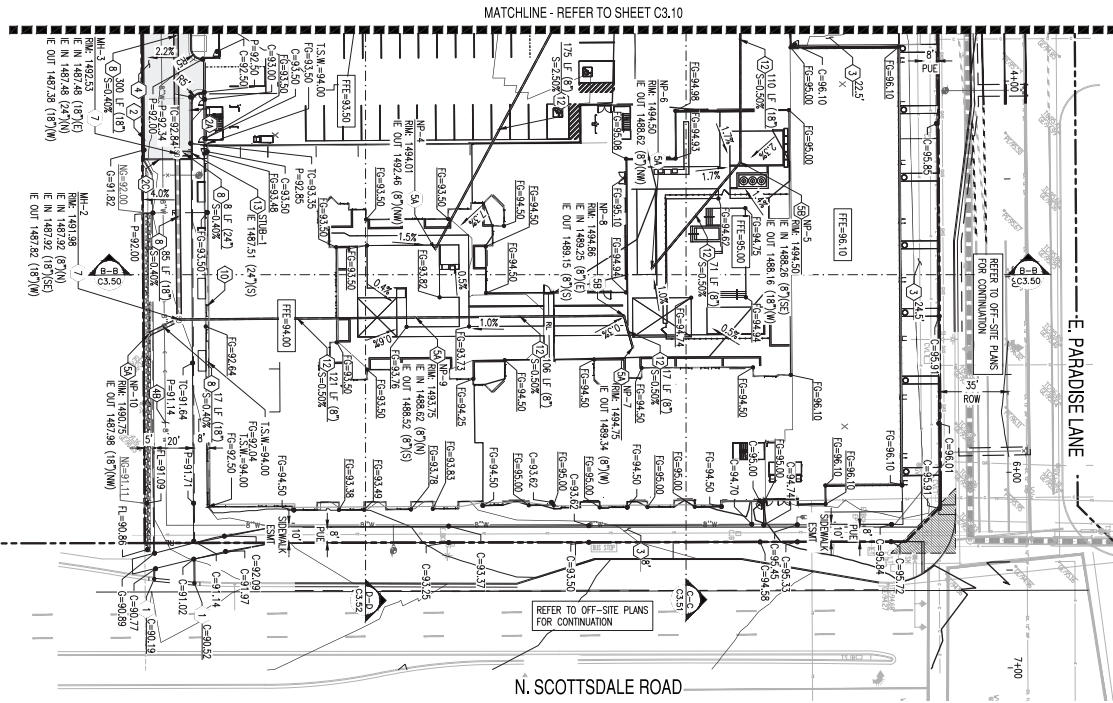


KEY MAP  
N.T.S.  
NORTH

SHEET NO.: <b>2 OF 8</b> <b>C3.10</b>	<b>PRELIMINARY GRADING &amp; DRAINAGE PLAN</b>	<p><b>MILL CREEK</b> PEOPLE · PLACES · RELATIONSHIPS</p>	<p><b>SEG</b> SUSTAINABILITY ENGINEERING GROUP</p>	PROJECT: MILL CREEK, MOOREA KIERLAND
	REVISION NO.: 210204			LOCATION: 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.
	DATE: 02/04/2022			DRAWN BY: AS

6280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL. 480.588.7226 FAX 480.259.3534

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MATCHLINE - REFER TO SHEET C3.10

N. SCOTTSDALE ROAD

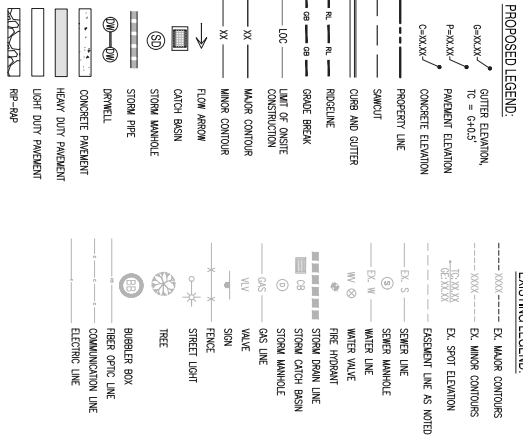
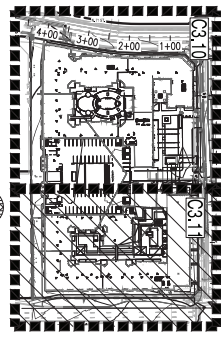
E. PARADISE LANE

REFER TO OFF-SITE PLANS FOR CONTINUATION



**PRELIMINARY GRADING CONSTRUCTION KEY NOTES**

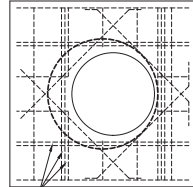
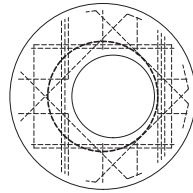
- 1 MATCH EXISTING GRADES, CONTRACTOR TO VERIFY IN FIELD ALL GRADES. REFER TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- 2 6" CONCRETE CURB AND GUTTER PER STD. DET. 220-1 TYPE "A".
- 3 VERTICAL CURB PER W.G. STD. DET. 222 TYPE "B".
- 4 FLUSH VERTICAL CURB.
- 5 REBORN CURB.
- 6 CONCRETE SPURWALL PER C.O.D. STD. DET. P1238. WIDTH PER PLAN.
- 7 HEAVY DUTY PAVEMENT PER DET. 3/C3.20.
- 8 SWALBED ACCESS ROAD PER LANDSCAPE PLANS.
- 9 PRECAST MANHOLE WITH 48" SLOPE BASE PER C.O.D. STD. DET. 7/C3.21.
- 10 PRECAST MANHOLE WITH 48" SLOPE BASE PER C.O.D. STD. DET. 7/C3.21.
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- 100 PRECAST MANHOLE WITH 48" SLOPE BASE PER C.O.D. STD. DET. 7/C3.21.



<p>PROJECT MILL CREEK, MOONRA KIERLAND</p>	<p>LOCATION 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.</p>			<p>SUSTAINABILITY ENGINEERING GROUP</p>	<p>PRELIMINARY NOT FOR CONSTRUCTION</p>
<p>DATE: 02/04/2022</p>	<p>DESIGNED BY: AS</p> <p>DRAWN BY: AS</p> <p>CHECKED BY: AS</p> <p>SCALE: 1" = 30'</p>	<p>PROJECT NO: 210204</p> <p>DATE: 02/04/2022</p>	<p>PROJECT NO: 210204</p> <p>DATE: 02/04/2022</p>	<p>PROJECT NO: 210204</p> <p>DATE: 02/04/2022</p>	<p>PROJECT NO: 210204</p> <p>DATE: 02/04/2022</p>

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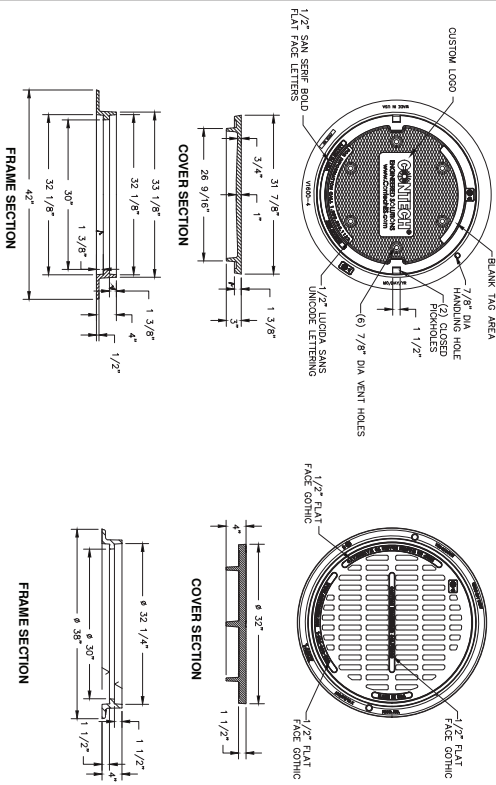
NO	CLIP RISER	A	B	REINFORCING	REINFORCING PRESSURE (PSF)
1	24"	48"	24"	#6 @ 10" O.C.	2,160
2	36"	48"	36"	#6 @ 10" O.C.	2,160
3	48"	48"	48"	#6 @ 10" O.C.	2,160
4	60"	48"	60"	#6 @ 10" O.C.	2,160
5	72"	48"	72"	#6 @ 10" O.C.	2,160
6	84"	48"	84"	#6 @ 10" O.C.	2,160
7	96"	48"	96"	#6 @ 10" O.C.	2,160
8	108"	48"	108"	#6 @ 10" O.C.	2,160
9	120"	48"	120"	#6 @ 10" O.C.	2,160



- NOTES:
- DESIGN IN ACCORDANCE WITH ASTM, 17TH EDITION AND A305.
  - DESIGN LOAD HS25.
  - EARTH COVER = 1' MAX.
  - CONCRETE STRENGTH = 4,000 psi
  - REINFORCING STEEL = ASTM A615, GRADE 60
  - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED. HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
  - TRIAL OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING. BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
  - PROTECTION TO BARS AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
  - DETAIL DESIGN BY DELTA ENGINEERS, ARCHITECTS AND LAND SURVEYORS, DOWELL, NY.

30"x4" REVERSIBLE FRAME & SOLID COVER

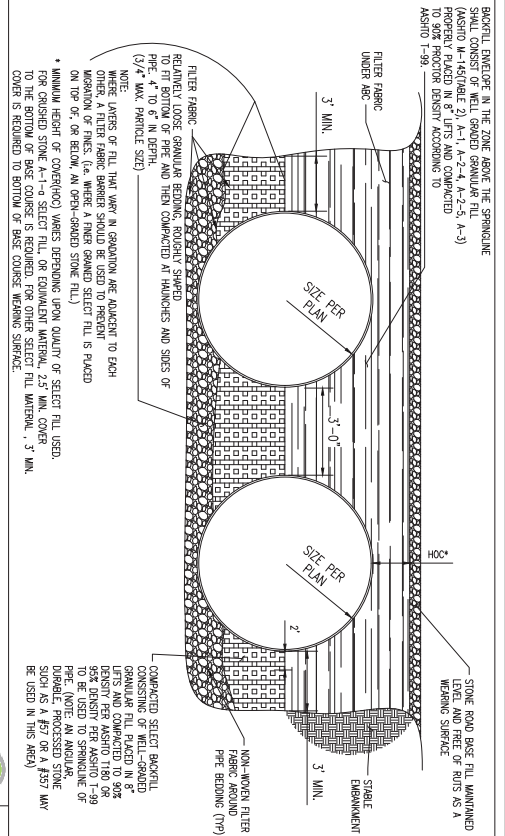
30"x4" REVERSIBLE FRAME & GRATE



RISE DETAIL



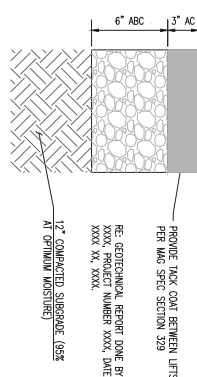
1



CHIP TRENCH DETAIL



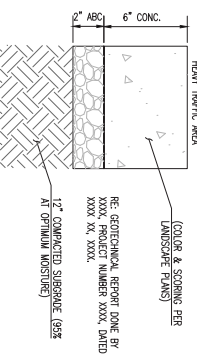
2



ASPHALT PAVEMENT SECTION



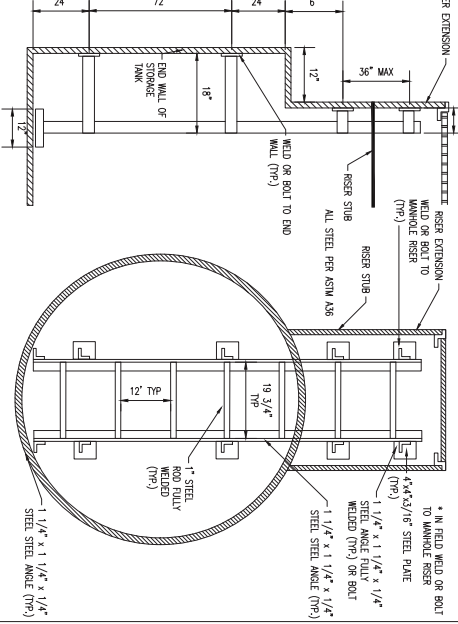
3



CONCRETE PAVEMENT SECTION



4



120\"/>



5

PRELIMINARY NOT FOR CONSTRUCTION

8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL. 480.588.7226 FAX 480.259.3534

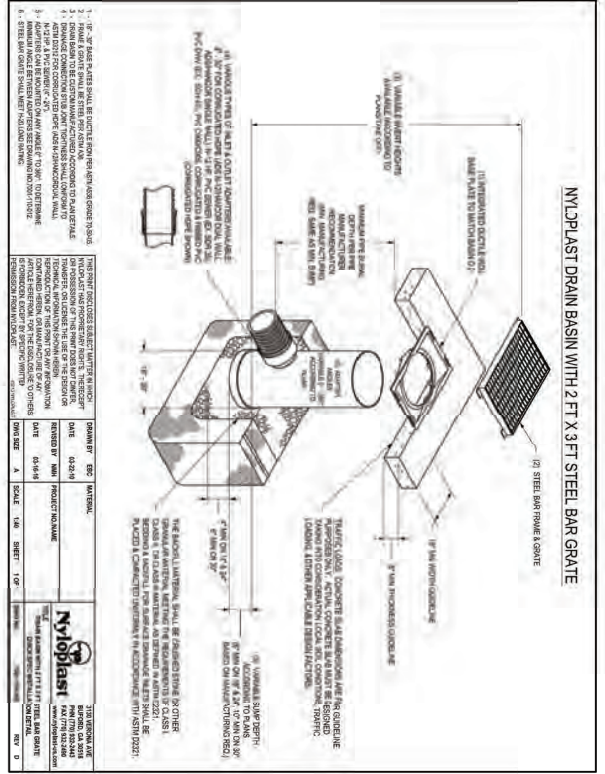
PROJECT: MILL CREEK, MOONRA KIERLAND  
LOCATION: 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.

DATE: 02/04/2022  
ISSUED FOR: PRELIMINARY SITE PLAN SUBMITTAL

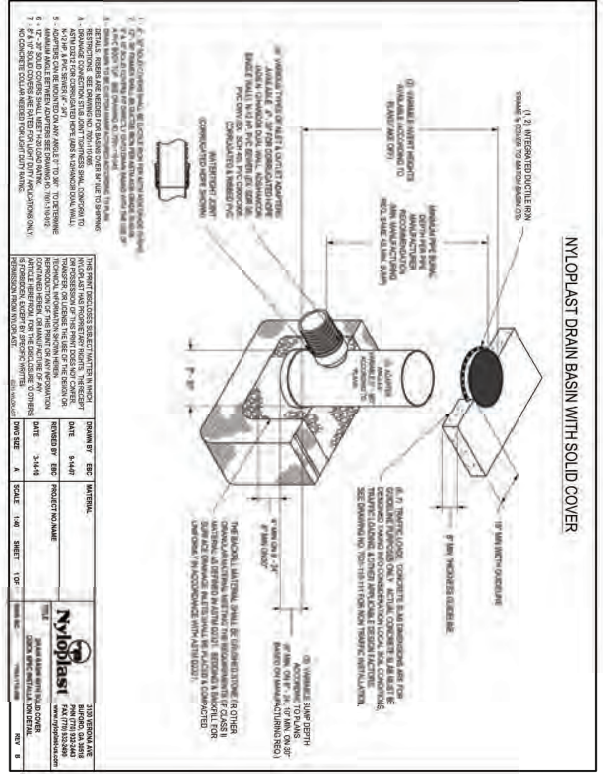
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C3.20

PRELIMINARY GRADING & DRAINAGE DETAILS

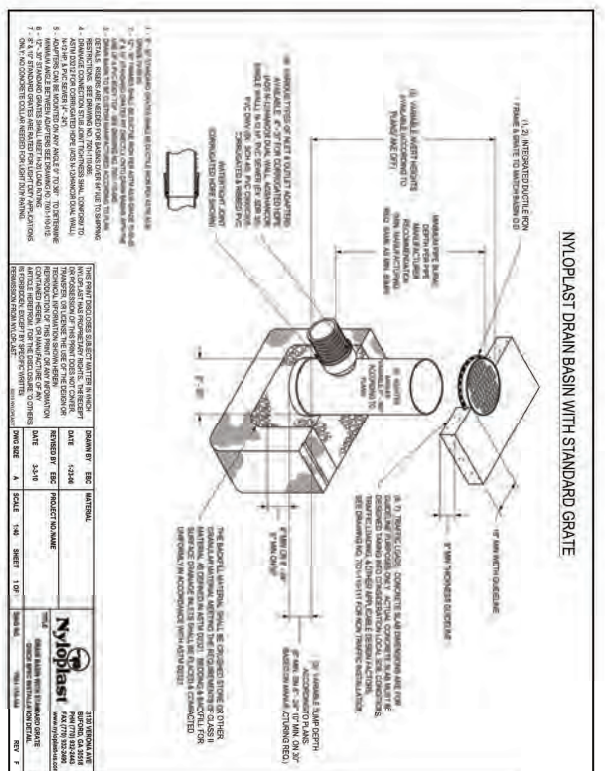




DESIGNED BY	DATE	PROJECT NO.	SHEET NO.	TOTAL SHEETS
ESG	1/14/2022	210204	6	8



DESIGNED BY	DATE	PROJECT NO.	SHEET NO.	TOTAL SHEETS
ESG	1/14/2022	210204	7	8



DESIGNED BY	DATE	PROJECT NO.	SHEET NO.	TOTAL SHEETS
ESG	1/14/2022	210204	8	8

NYLOPLAST 24\"/>



8

**PRELIMINARY NOT FOR CONSTRUCTION**

SEG SUSTAINABILITY ENGINEERING GROUP

8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL. 480.588.7226 FAX 480.259.3534

PROJECT: MILL CREEK, MOONRA KIERLAND

LOCATION: 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.

DATE: 02/04/2022

ISSUED FOR: PRELIMINARY SITE PLAN SUBMITTAL

SHEET NO.: 210204

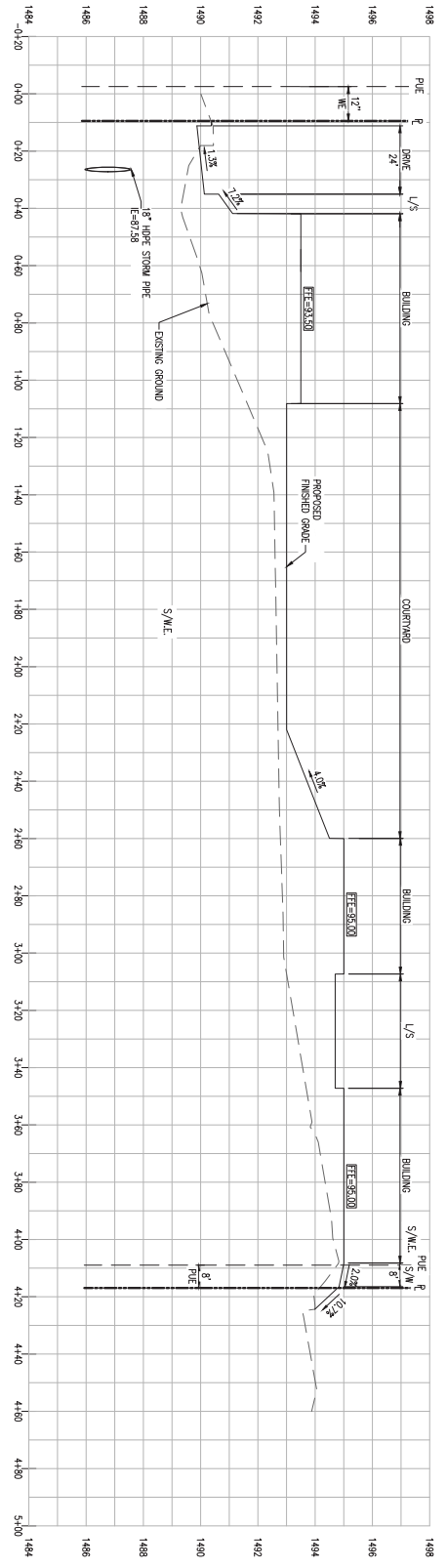
DRAWN BY: AS

CHECKED BY: AS

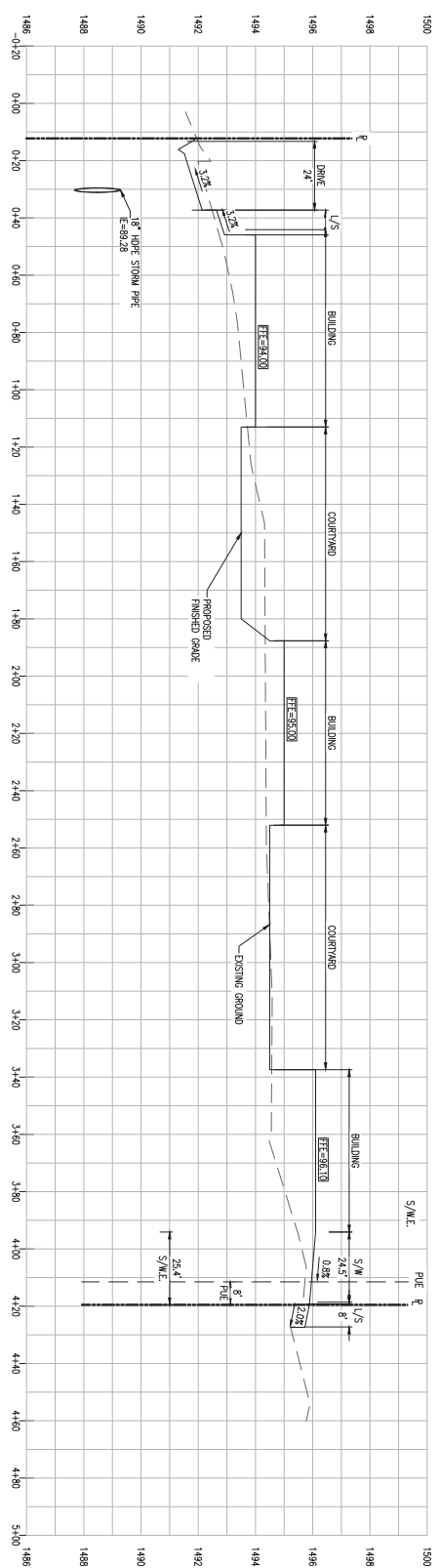
DATE: 02/04/2022

SCALE: 1/8\"/>

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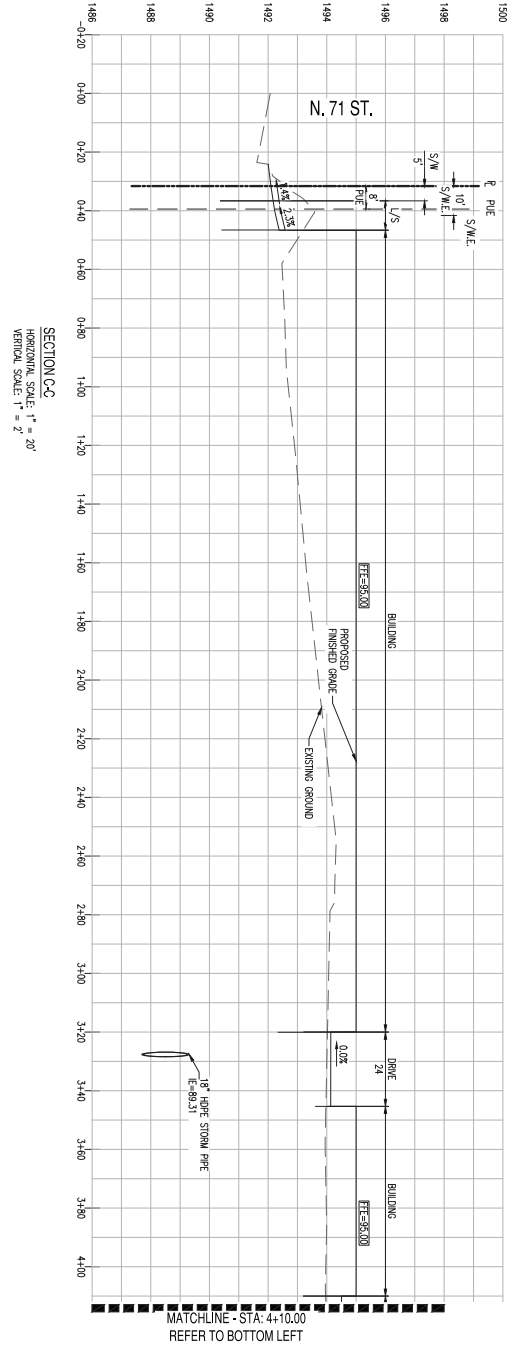
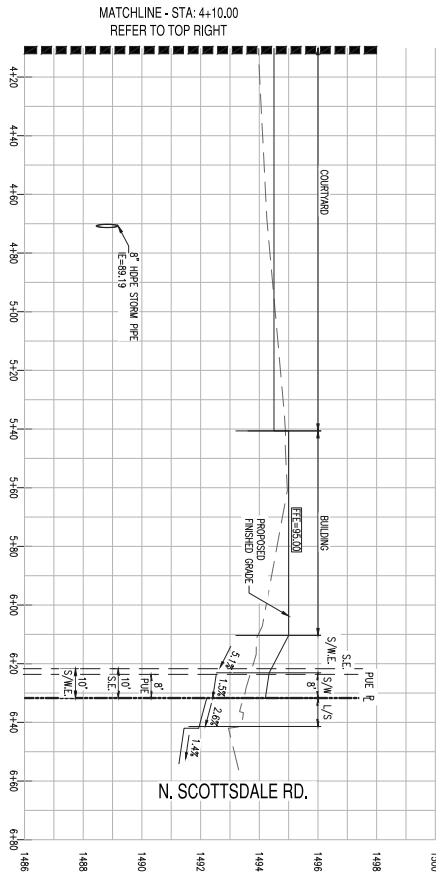
SECTION AA  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'



SECTION BB  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'

<p>PRELIMINARY CROSS SECTIONS</p> <p>6 OF 8</p> <p>C3.50</p>	<table border="1"> <tr> <td>PROJECT NO.</td> <td>210204</td> </tr> <tr> <td>SHEET NO.</td> <td></td> </tr> </table>	PROJECT NO.	210204	SHEET NO.		<p>PROJECT: MILL CREEK, MOONRA KIERLAND</p> <p>LOCATION: 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.</p> <p>DATE: 02/14/2022</p> <p>ISSUED FOR: PRELIMINARY SITE PLAN SUBMITTAL</p>		 <p>8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260          WWW.AZSEG.COM TEL 480.588.7226 FAX 480.259.3534</p>	<p>PRELIMINARY          NOT FOR          CONSTRUCTION</p>
PROJECT NO.	210204								
SHEET NO.									





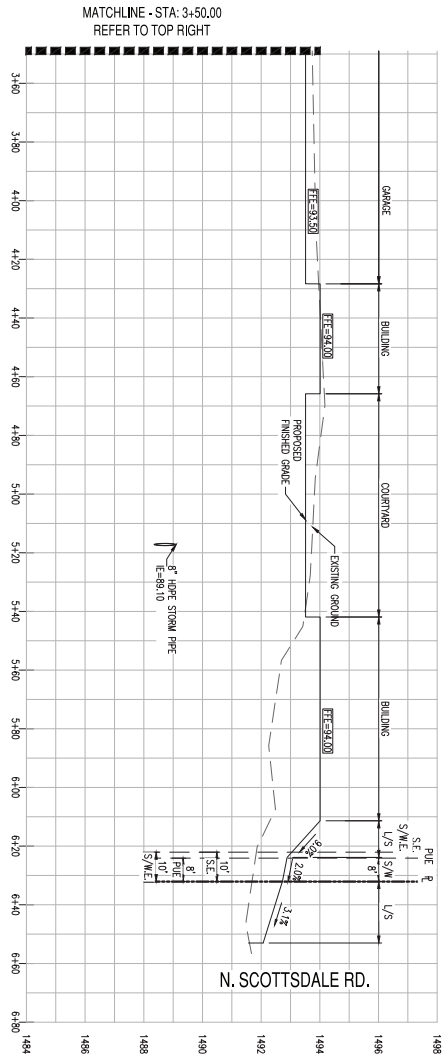
DATE: 02/14/2022  
DRAWN BY: AS  
CHECKED BY: JAS  
SCALE: AS  
DATE: 02/14/2022

PROJECT: MILL CREEK, MODERA KIERLAND  
LOCATION: 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.

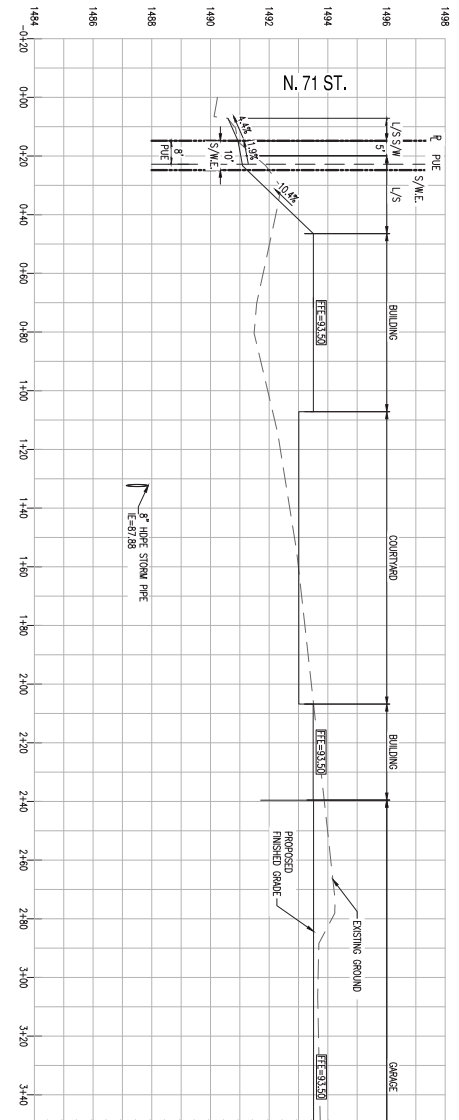
ISSUED FOR: PRELIMINARY SITE PLAN SUBMITTAL  
SHEET NO.: 210204



PRELIMINARY  
NOT FOR  
CONSTRUCTION



SECTION D-D  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'

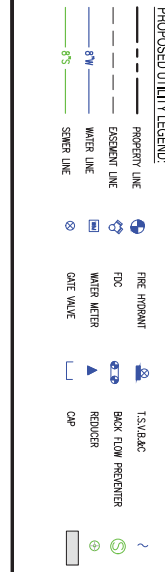
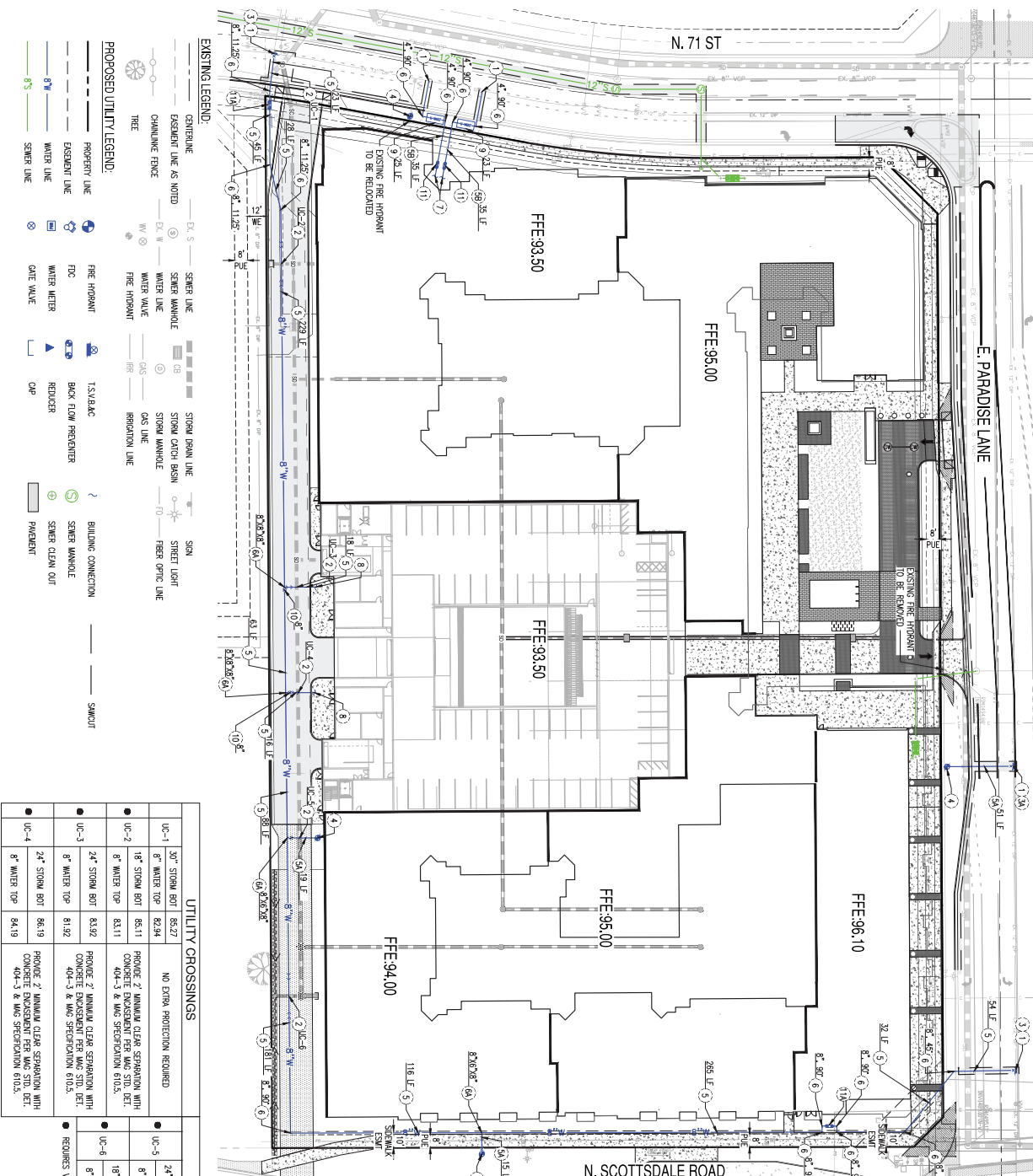


SECTION D-D  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 2'

<p>PROJECT MILL CREEK, MOODRA KIERLAND</p>	<p>LOCATION 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.</p>	<p><b>MILL CREEK</b> PEOPLE · PLACES · RELATIONSHIPS</p>	<p><b>SEG</b> SUSTAINABILITY ENGINEERING GROUP</p>	<p>PRELIMINARY NOT FOR CONSTRUCTION</p>
DRAWN BY: AS CHECKED BY: AS DATE: 02/14/2022 PREPARED BY: AS DATE: 02/14/2022	PROJECT NO.: 210204 SHEET NO.: 8 OF 8 SHEET TITLE: PRELIMINARY CROSS SECTIONS	PROJECT NO.: 210204 SHEET NO.: 8 OF 8 SHEET TITLE: PRELIMINARY CROSS SECTIONS	8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260 WWW.AZSEG.COM TEL. 480.588.7226 FAX 480.259.3534	PRELIMINARY NOT FOR CONSTRUCTION

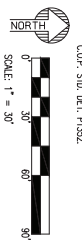
## **Exhibit 10**



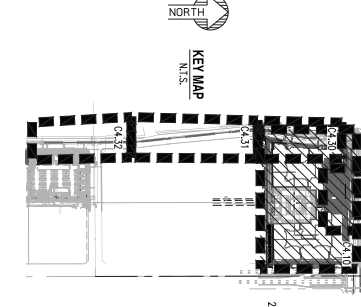


UTILITY CROSSINGS	
UC-1	30" STORM BOT 83.27 NO EXTRA PROTECTION REQUIRED
UC-2	18" WATER TOP 82.94 PROVIDE 2" MINIMUM CLEAR SEPARATION WITH CONCRETE ENCASEMENT PER MWG STD. DET. 404-3 & MWG SPECIFICATION 610.3.
UC-3	8" WATER TOP 83.11 PROVIDE 2" MINIMUM CLEAR SEPARATION WITH CONCRETE ENCASEMENT PER MWG STD. DET. 404-3 & MWG SPECIFICATION 610.3.
UC-4	24" STORM BOT 83.92 PROVIDE 2" MINIMUM CLEAR SEPARATION WITH CONCRETE ENCASEMENT PER MWG STD. DET. 404-3 & MWG SPECIFICATION 610.3.
UC-5	8" WATER TOP 83.19 REQUIRES VERTICAL RELOCATION PER MWG STD. DET. 370.
UC-6	18" STORM BOT 85.12 REQUIRES VERTICAL RELOCATION PER MWG STD. DET. 370.

UTILITY CROSSINGS	
UC-1	30" STORM BOT 83.27 NO EXTRA PROTECTION REQUIRED
UC-2	18" WATER TOP 82.94 PROVIDE 2" MINIMUM CLEAR SEPARATION WITH CONCRETE ENCASEMENT PER MWG STD. DET. 404-3 & MWG SPECIFICATION 610.3.
UC-3	8" WATER TOP 83.11 PROVIDE 2" MINIMUM CLEAR SEPARATION WITH CONCRETE ENCASEMENT PER MWG STD. DET. 404-3 & MWG SPECIFICATION 610.3.
UC-4	24" STORM BOT 83.92 PROVIDE 2" MINIMUM CLEAR SEPARATION WITH CONCRETE ENCASEMENT PER MWG STD. DET. 404-3 & MWG SPECIFICATION 610.3.
UC-5	8" WATER TOP 83.19 REQUIRES VERTICAL RELOCATION PER MWG STD. DET. 370.
UC-6	18" STORM BOT 85.12 REQUIRES VERTICAL RELOCATION PER MWG STD. DET. 370.



- 1. CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER LINE PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR TO VERIFY ALL OFFSETS AND CLEARANCE OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. REFER TO MWG STD. DET. 404-1 & 404-2 FOR MINIMUM WATER AND SANITARY SEWER SEPARATION.
- 3. 12"X6" TAPPING SLEEVE, VALVE, BOX AND COVER.
- 4. 12"X6" TAPPING SLEEVE, VALVE, BOX AND COVER.
- 5. FIRE HYDRANT ASSEMBLY COMPLETE WITH GATE VALVE, BOX & COVER PER COP. STD. DET. P1350, AND P1362.
- 6. 8" DUCTILE IRON PIPE, CLASS 50, LENGTH PER PLAN.
- 7. 6" DUCTILE IRON PIPE, CLASS 50, LENGTH PER PLAN.
- 8. 3" DUCTILE IRON PIPE, CLASS 50, LENGTH PER PLAN.
- 9. 8" DUCTILE IRON PIPE, CLASS 50, LENGTH PER PLAN.
- 10. BEAD WITH DESIGNATED JOINTS PER MWG STD. DET. 303, OR THROUST BLOCK PER MWG STD. DET. 303 & 304, SIZE AND ANGLE PER PLAN.
- 11. TEH WITH RESTRAINED JOINTS PER MWG STD. DET. 303, OR THROUST BLOCK PER MWG STD. DET. 303 & 304, SIZE AND ANGLE PER PLAN.
- 12. DOMESTIC CONNECTION TO BUILDING, REFER TO MEP PLAN FOR CONNECTION.
- 13. FIRE CONNECTION TO BUILDING, REFER TO MEP PLAN FOR CONNECTION.
- 14. 3" TYPE "K" COPPED DOMESTIC SERVICE CONNECTION, LENGTH PER PLAN, INSTALL 3" UTILITY VALVE BOX PER MWG STD. DET. 345-1, CONNECTION AND METER TO BE INSTALLED BY CITY FOREST.
- 15. DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY PER COP. STD. DET. P1391, TYPE "M", WITH LOOKING LD. SIZE PER PLAN.
- 16. GATE VALVE, VALVE BOX, COVER AND CONCRETE COLLAR PER COP. STD. DET. P1392, TYPE "M", WITH LOOKING LD. SIZE PER PLAN.
- 17. DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY PER COP. STD. DET. P1392.

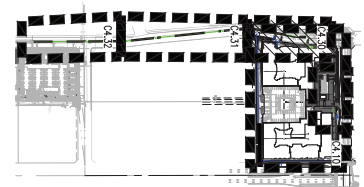
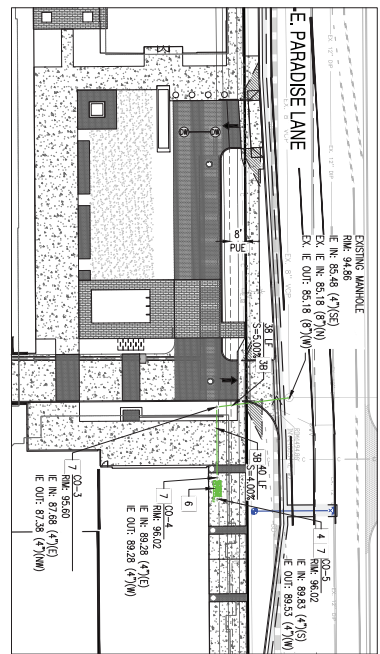
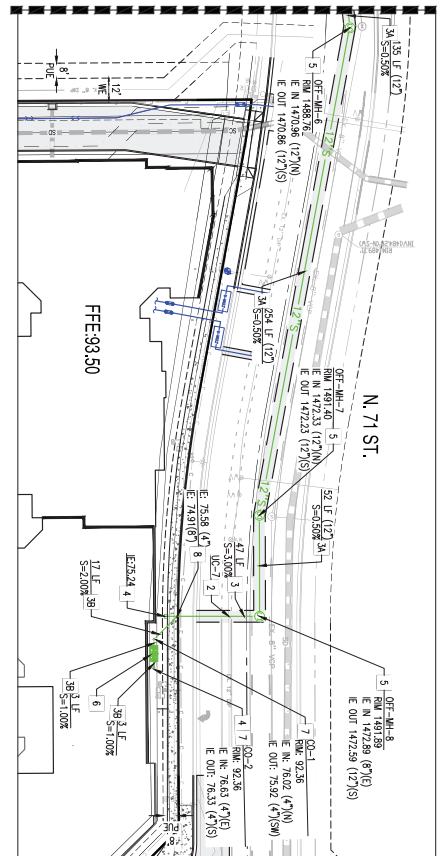


PROJECT <b>MILL CREEK,          MODERA KIERLAND</b>	LOCATION 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ	 <b>MILL CREEK</b> PEOPLE · PLACES · RELATIONSHIPS	 <b>SEG</b> SUSTAINABILITY ENGINEERING GROUP	PRELIMINARY NOT FOR CONSTRUCTION	PRELIMINARY WATER PLAN
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REFER TO SEWER PLAN VIEW 3, SH C4.31

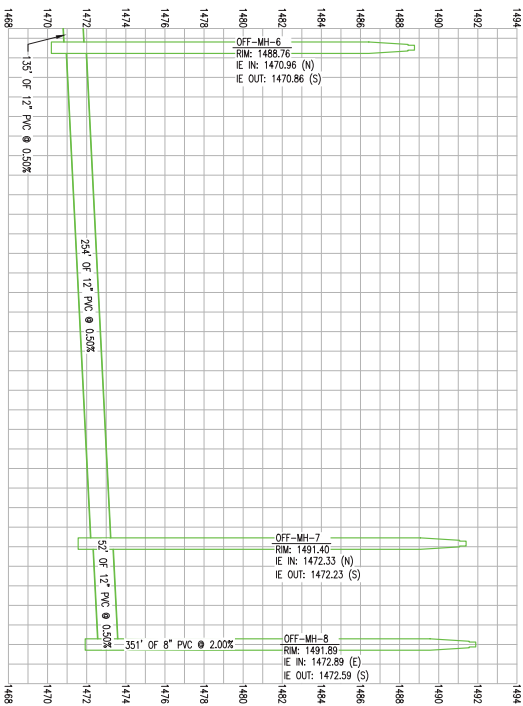


SEWER CONSTRUCTION KEY NOTES

- 1 CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SANITARY SEWER LINE BEFORE PROCEEDING WITH REINFORCING. CONTRACTOR SHALL CONTACT ENGINEER IF EXISTING SEWER ELEVATION IS HIGHER THAN PROPOSED IN AN INVERT PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 2 CONTRACTOR SHALL VERIFY ALL INVERTS AND CLEARANCE OF CROSSING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- 3 8" PVC SDR-35 SEWER LINE LENGTH AND SLOPE PER PLAN, MAINTAIN 4" MINIMUM COVER.
- 3A 12" PVC SDR-35 SEWER LINE LENGTH AND SLOPE PER PLAN, MAINTAIN 4" MINIMUM COVER.
- 3B 4" PVC SDR-35 SEWER LINE LENGTH AND SLOPE PER PLAN, MAINTAIN 4" MINIMUM COVER.
- 4 REFER TO BUILDING PLUMBING PLANS FOR CONTINUATION.
- 5 5" DIAMETER PRECAST CONCRETE SEWER MANHOLE.
- 6 GROUND INTERCEPTOR.
- 7 SEWER CLEAN-OUT.
- 8 4" PVC SDR-35 SEWER LINE CONNECTION PER IAS STD. DET. 440-1.

UTILITY CROSSINGS

DESCRIPTION	LOCATION	REMARKS
12" WATER BOT	871.0	NO EXTRA PROTECTION REQUIRED
8" SEWER TOP	74.03	REQUIRES VERTICAL REINFORCEMENT PER IAS STD. DET. 370.



- EXISTING LEGEND:**
- EX S CENTERLINE
  - EX W EASEMENT LINE AS NOTED
  - EX CHAINLINK FENCE
  - EX TREE
  - EX 5" SEWER LINE
  - EX 8" SEWER MANHOLE
  - EX WATER LINE
  - EX WATER METER
  - EX FIRE HYDRANT
  - EX 5" STORM DRAIN LINE
  - EX STORM CATCH BASIN
  - EX GAS LINE
  - EX FIBER OPTIC LINE
  - EX SON
  - EX STREET LIGHT
  - EX FIBER OPTIC LINE
- PROPOSED UTILITY LEGEND:**
- PROPERTY LINE
  - EASEMENT LINE
  - WATER LINE
  - SEWER LINE
  - FIRE HYDRANT
  - FIRE METER
  - DATE VALVE
  - TS&VAC
  - BACK FLOW PREVENTER
  - REDUCER
  - CP
  - SEWER MANHOLE
  - SEWER CLEAN OUT
  - PRECAST
  - BUILDING CONNECTION
  - SMOULT

PROJECT: MILL CREEK, MODERA KIERLAND

LOCATION: 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ

DATE: 08/31/2021

ISSUED FOR: 11/15/2021

DESIGNED BY: JAS

CHECKED BY: JAS

SCALE: 1" = 30'

MILL CREEK  
PEOPLE · PLACES · RELATIONSHIPS

SEG  
SUSTAINABILITY ENGINEERING GROUP

8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260  
WWW.AZSEG.COM TEL 480.588.7226 FAX 480.259.3534

REVISION NO. DATE

1 21/08/24

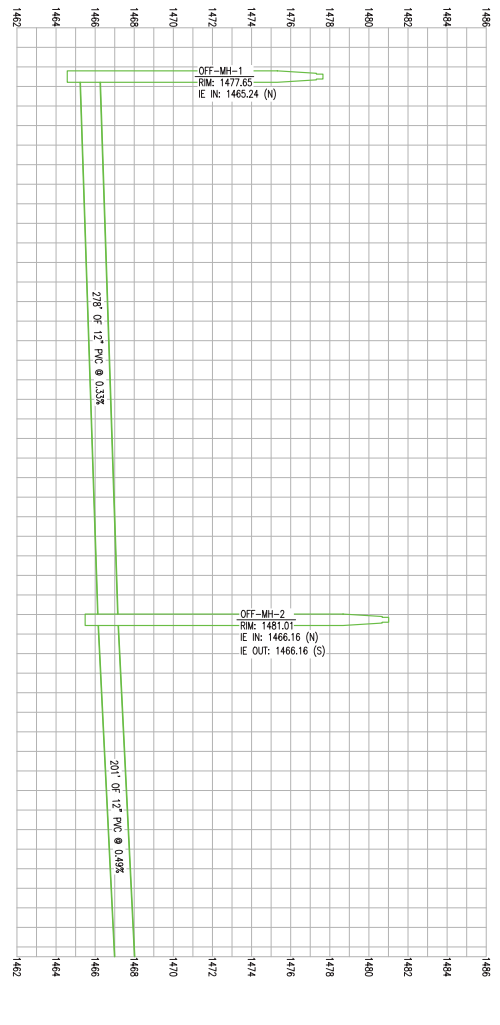
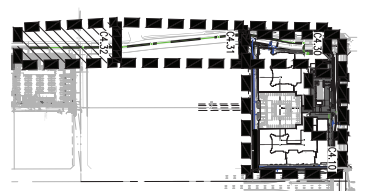
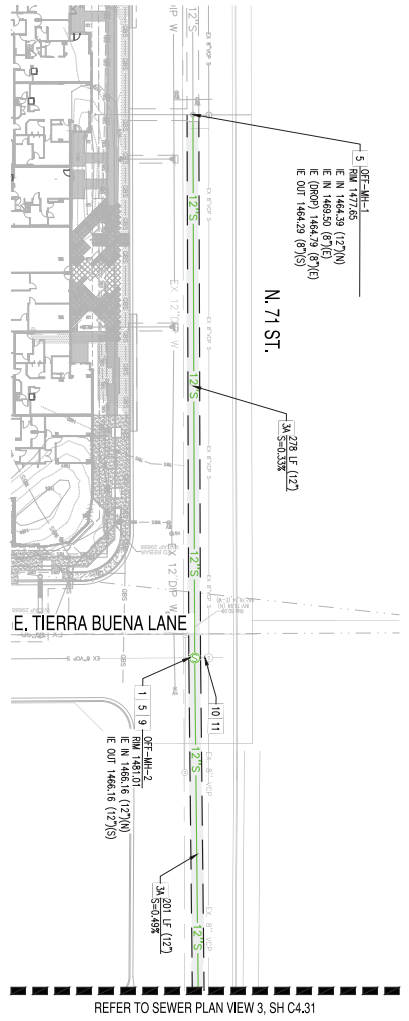
PRELIMINARY SANITARY SEWER PLAN AND PROFILE

SHEET NO. 3 OF 5

PROJECT NO. C4.30

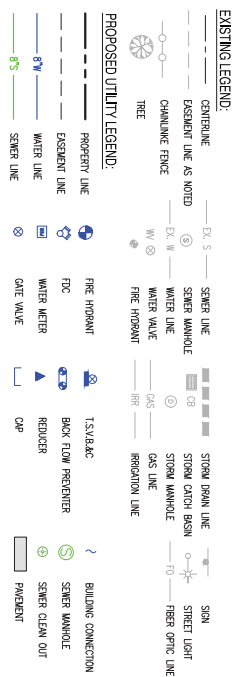






**SEWER CONSTRUCTION KEY NOTES**

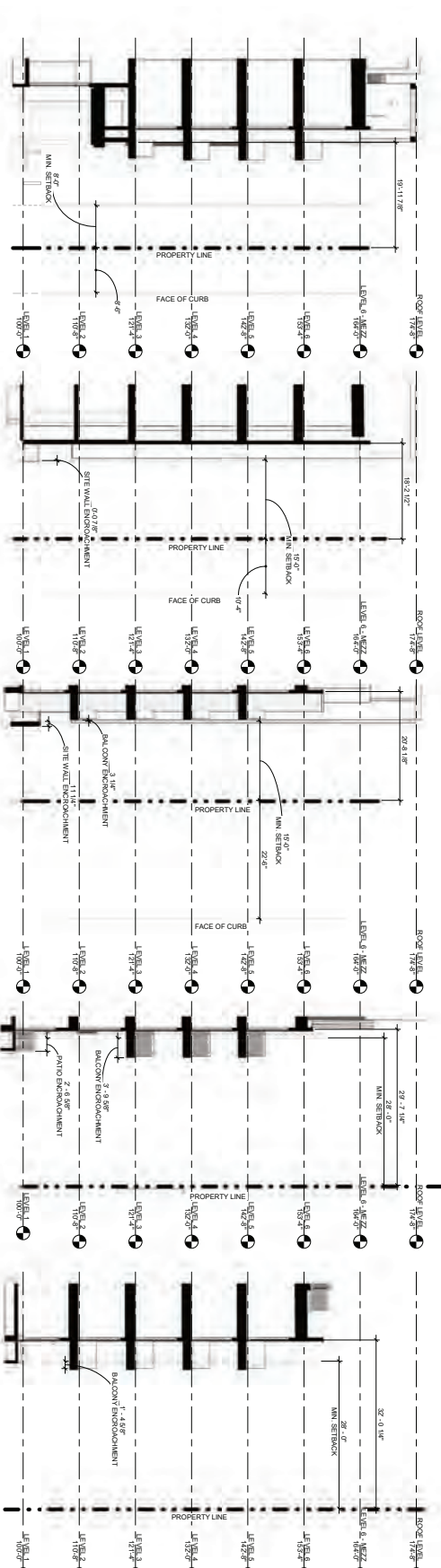
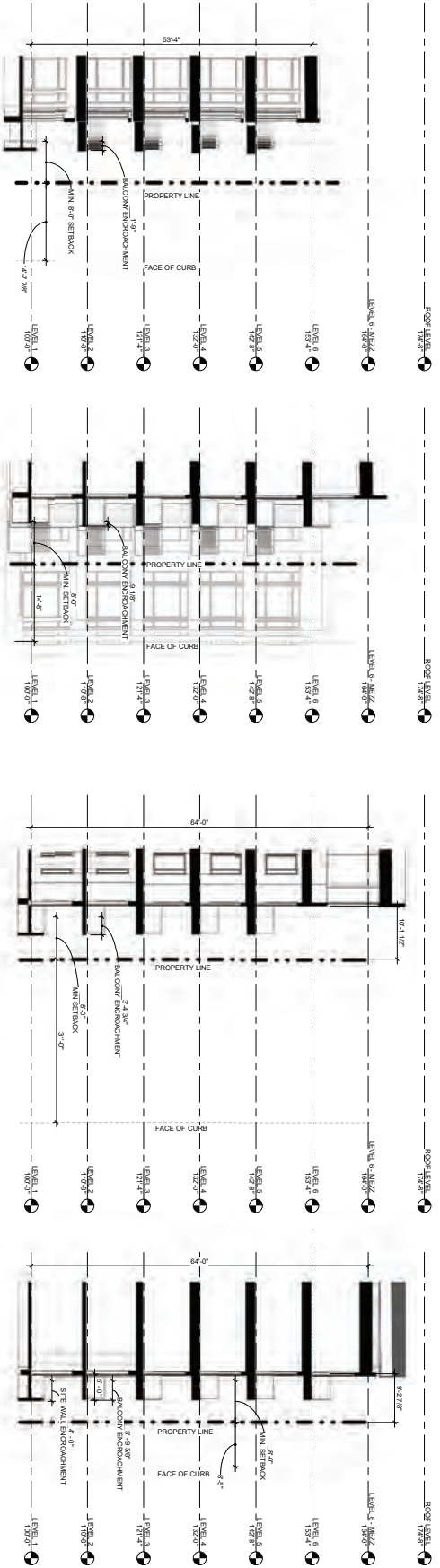
- 1 CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING SEWER MAINS AND MANHOLES. THE LOCATION OF THE EXISTING SEWER MAINS SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF THE EXISTING SEWER ELEVATION IS HIGHER THAN PROPOSED THE IN INVERT PRIOR TO ANY CONSTRUCTION ACTIVITY.
- 3A 12" PVC SPM-35 SEWER LINE, LENGTH AND SLOPE PER PLAN. MAINTAIN 4" MINIMUM COVER.
- 5 5' DIAMETER PRECAST CONCRETE SEWER MANHOLE.
- 9 INTERCEPT EXISTING 8" SEWER LINE.
- 10 REMOVE EXISTING 8" SEWER LINE.
- 11 PLUS EXISTING MANHOLE AND PROVIDE WATERIGHT CONNECTION.



<p><b>MILL CREEK</b> PEOPLE · PLACES · RELATIONSHIPS</p>	<p><b>SEG</b> SUSTAINABILITY ENGINEERING GROUP</p> <p>8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260          WWW.AZSEG.COM TEL 480.588.7226 FAX 480.259.3534</p>	<p>PRELIMINARY NOT FOR CONSTRUCTION</p>	<p>PROJECT: MILL CREEK, MODERA KIERLAND</p> <p>LOCATION: 16000 N. SCOTTSDALE ROAD, SCOTTSDALE, AZ.</p> <p>DATE: 08/31/2021</p> <p>DESIGNED BY: [Redacted]</p> <p>CHECKED BY: [Redacted]</p> <p>ISSUED BY: [Redacted]</p> <p>PROJECT NO.: 210204</p> <p>SHEET NO.: 5 OF 5</p> <p>PROJECT TITLE: PRELIMINARY SANITARY SEWER PLAN AND PROFILE</p>
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## **Exhibit 11**

MODERA KIERRLAND  
PLANNED UNIT DEVELOPMENT



ENCROACHMENT WALL SECTIONS

PROJECT NO.	21155.00
DATE	10/2/2021
SHEET NUMBER	E 16

16000 N SCOTTSDALE RD  
PHOENIX, AZ 85254

