



RESIDENCES AT SCOTTSDALE CROSSING CASE NO. ~~Z-29-25-7~~ Z-41-25-2

LOCATED APPROXIMATELY 660 FEET WEST OF THE
SOUTHWEST CORNER OF SCOTTSDALE AND BELL ROAD

DATE OF INITIAL SUBMISSION: APRIL 21, 2025
HEARING DRAFT: JULY 25, 2025
CITY COUNCIL ADOPTED:
MINOR AMENDMENT APPROVED:

CITY OF PHOENIX

JUL 25 2025

**Planning & Development
Department**

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

Principals and Development Team

Developer

Fifield Companies
600 W Jackson Boulevard
Chicago, IL 60661
www.fifieldco.com



Architect

Todd + Associates
4019 N 44th Street
Phoenix, AZ 85018
www.toddassoc.com



Landscape Architect

Todd + Associates
4019 N 44th Street
Phoenix, AZ 85018
www.toddassoc.com

Civil Engineer

Wood, Patel & Associates Inc
2051 W Northern Avenue, Suite 100
Phoenix, AZ 85021
www.woodpatel.com



Traffic Engineer

Lokahi Group
7878 N 16th Street, Suite 300
Phoenix, AZ 85020
www.dibblecorp.com



Zoning Attorney

Nick Wood, Esq.
Snell & Wilmer, LLP
1 E Washington Street, Suite 2700
Phoenix, AZ 85004
nwood@swlaw.com
602.382.6269



Table of Contents

	<u>Page #</u>
A. Purpose and Intent	5
B. Land Use Plan	8
C. List of Uses	9
D. Development Standards	11
E. Design Guidelines	17
F. Signs	20
G. Sustainability	22
H. Infrastructure	23
I. Comparative Zoning Standards	25
J. Legal Description	26

Exhibits

Exhibit 1: Conceptual Site Plan	28
Exhibit 2: Conceptual Open Space Plan	30
Exhibit 3: Setback Plan	32
Exhibit 4: Building Height Restrictions	34
Exhibit 5: Connectivity Plan	36
Exhibit 6: Line of Sight Exhibit	38
Exhibit 7: Conceptual Landscape Plan	40
Exhibit 8: Conceptual Shade Study	42
Exhibit 9: Floor Plans	44
Exhibit 10: Elevations	53
Exhibit 11: Material and Color Palette	56
Exhibit 12: Distribution of Materials Exhibit	58
Exhibit 13: Project Renderings	61
Exhibit 14: Conceptual Signage Plan	65

A. PURPOSE AND INTENT

A1: Project Overview and Goals

The Residences at Scottsdale Crossing is a proposed luxury multifamily residential community situated on an approximately 4.3 gross-acre site near the northwest corner of Scottsdale Road and Bell Road (the “Development”). The subject property lies within the Paradise Valley Village, an area known for its dynamic and expanding communities as well as its significant commercial and employment hubs.



The site is currently developed with a two-story multi-tenant commercial strip center. Following the 2009 economic recession, the Paradise Valley Village has encountered challenges related to the overabundance of commercial and retail spaces. Redevelopment of the Site will help the Village achieve a more balanced mix of uses while diversifying the availability of housing types and density ranges in the immediate surrounding area. The Development will offer a higher-density, luxury housing option to complement the existing lower-density residential developments nearby. This proposal supports the creation of additional housing opportunities within close proximity to a wide range of employers and community amenities, including regional malls and commercial centers such as the Promenade, Kierland Commons, and the North Scottsdale Airpark. As a result, the Development will help to support the long-term viability of the existing office and commercial uses in the surrounding area.

A key objective of the Development is to enhance the Bell Road corridor by introducing a substantial investment in the form of an upscale multifamily development. In addition, the development will upgrade the infrastructure along Bell Road and 71st Street. These improvements will include enhanced landscaping, pedestrian-friendly features (such as detached sidewalks along Bell Road, a new sidewalk along 71st Street, shading, and more), fostering a walkable environment for both current and future residents in the surrounding area.



A2: Overall Design Concept

As an infill development, a key design concept for the building is focused on its sensitivity and consideration of adjacent residential land uses. The building utilizes a stepped down design, gradually decreasing the building's height from its tallest elevation of approximately 79 feet



along the east frontage nearest 71st Street to its shortest elevation of 45' at the west property line, where the property is nearest the R1-8 zoned residential subdivision located approximately 150 feet away. This stepped down design results in a building massing that is contextually appropriate with previous entitled projects (Case No, Z-12-21 located at the southwest corner of Scottsdale Road and Bell Road, approved for a height of 141 feet) while also providing a transition in height to the single-story

homes ensuring the Development's compatibility with its surrounding neighbors.

The Development's architectural style is focused on a modern design vernacular, which is intended to balance the commercial building forms and urbanized context to the east and south while also complementing the existing residential developments to the west and north. The final plans for the Development will strengthen the pedestrian realm and complement surrounding land uses via implementation of the development standards and design guidelines provided by this PUD.

By providing structured parking, the Development will maintain visual interest and design quality. Vehicular parking for the Development will be provided entirely within an above grade structured parking garage that is completely wrapped with residential units to minimize visibility from the adjacent right-of-way and commercial properties.

The Development provides visual interest and an expression of quality to the surrounding community and to those passing by on Bell Road through the use of high-quality and durable materials. Respecting the high visibility of the Development, an attention to design detailing and architectural treatment is incorporated throughout the elevations. All portions of the building will consist of durable materials, modern colors and significant use of glazing to enhance a connection between the Development and the surrounding environment.

In summary, the Development, as expressed in this PUD, will be a high-quality multifamily community that: (i) complements the surrounding characteristics of the built environment through thoughtful architectural treatments and sensitive design; (ii) reinforces a strong pedestrian environment through pedestrian-focused infrastructure and site improvements; (iii) provides a thoughtful transition of the building height to harmonize with the existing neighborhood while supporting a contemporary building design; and (iv) will replace an outdated commercial strip center with a contemporary living opportunity and expanded housing options for future neighborhood residents.

B. LAND USE PLAN

B1: Proposed Land Use Categories

The Scottsdale Crossing PUD is a luxury multi-family community consisting of up to 315 dwelling units (a maximum of 72.7 du/ac) with associated private residential amenities located on an approximately 4.3 gross-acre site. In the event the property is not redeveloped with multifamily uses, commercial uses consistent with the existing site uses and the C-2 Intermediated Commercial zoning district (Zoning Ordinance Section 623) shall be permitted.

B2: Conceptual Site Plan Summary

The following provides an overview of the conceptual site plan provided with this PUD:

Grade Level is the location of the main building entrance, the lobby, indoor and outdoor amenity space for residents, secured bike storage and repair center, a service and loading area, and the first level of residential units. The architecture and landscape support the strong resident connection to the surrounding pedestrian realm by incorporating significant use of glazing, pedestrian scale architecture, building canopies, and an enhanced landscape design which will include 75% shade by way of live vegetation.

Grade level is also the location of the first level of the parking garage, which is accessed solely from 71st Street. The Development's service and loading area is accessed off of Bell Road, helping to reduce possible vehicle conflicts between residents and services such as trash collection.

Three outdoor courtyard amenity spaces, a dog run, and a resident walking path are located at the ground floor on the exterior of the site.

Levels 2, 3, 4, 5 and 6 are typical representations of the upper levels of the building, which will include a mix of studio, 1-, 2-, and 3-bedroom multi-family dwelling units, the upper levels of the parking garage, and open areas to the ground level courtyards below.

Level 7 is the location of some of the Development's largest and most premier units as well as the outdoor amenity deck, pool area and event space, a fitness and yoga studio, the resident club room, spa, lobby and pool equipment room.

C. LIST OF USES

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in Section C, as authorized by Zoning Ordinance Section 307.A.3.

C1: Permitted Uses

- Multi-family residential dwelling units, as governed herein
- C-2 uses as permitted by Section 623 of the City of Phoenix Zoning Ordinance

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance

The following land uses are not permitted:

- All Special Permit uses otherwise permitted in the C-2 Zoning District are prohibited
- Auto Title Loan Establishments
- Automobile Parts and Supplies, New Retail and Wholesale
- Boats, Retail Sale
- Car Wash
- Compressed Natural Gas Retail Sales
- Gas Stations
- Garage, Repair
- Hospital
- Motorcycles, Repair and Sales
- Non-Profit Medical Marijuana Dispensary Facility
- Pawn Shop
- Service Stations, Automobile
- Single-Family, Attached and Detached
- Tobacco Oriented Retailers
- Veterinarian Hospitals and Offices
- Window Glass Installation Shop
- Adult Uses
- Secondhand Sales of Merchandise

D. DEVELOPMENT STANDARDS

D1: Development Standards

The following development standards apply to any multi-family development of the property (including mixed-use); in the event that stand-alone non-multifamily development occurs, the development standards applicable to such development shall be those of Ordinance Section 623, the C-2 General Commercial, Zoning District.

D1. Development Standards		Proposed PUD
a. Density (Maximum)		315 Dwelling Units 72.7 Dwelling Units per Gross Acre
b. Minimum Lot Width/Depth		No Minimum
c. Minimum Building Setbacks¹		
North (Bell Road)		15 feet from Property Line
West (Perimeter)		10 feet from Property Line
East (71 st Street)		20 feet from Back of Curb
South (Perimeter)		10 feet from Property Line
d. Building Height (Maximum)		83 feet Overall
e. Building Height Restrictions^{2 3}		
Zone 1: Within 140' of R1-8 Zoning District Boundary		0 feet
Zone 2: 140' to 178' from R1-8 District Boundary		46 feet
Zone 3: 178' to 305' from R1-8 District Boundary		56 feet
Zone 4: 305' to 520' from R1-8 Z District Boundary		83 feet
f. Lot Coverage (Maximum)		65% of Total Net Site Area

D2: Streetscape Standards

D2. Streetscape Standards	
a. Bell Road	<p><u>Detached Sidewalk Width:</u> 6 feet</p> <p><u>Sidewalk Exception:</u> Existing portions of attached sidewalk and ADA ramp located west of existing bus stop pad may remain.</p> <p><u>Landscape Strip:</u> Provide a minimum 10 feet landscape area between back of curb and detached sidewalk.</p>

¹ Open balconies, building overhang and first floor shade elements may encroach into the required setback by no more than 3'.

² Building heights shall be consistent with the Building Step Exhibit shown in Exhibit 4.

³ Height restrictions do not apply to stairwells or elevator cores.

	<p><u>Planting Standards:</u> Where provided, the landscape strip shall be landscaped with minimum 2-inch caliper trees to be planted 25-feet on center or in equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24-inches tall at maturity). Landscape planters shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Sidewalk Tree Shade Coverage:</u> 75%; required shade coverage may be achieved via staggered tree plantings within the streetscape and landscape setback.</p> <p>Where utility conflicts exist, and along right turn lanes, sidewalk and/or landscape strip may be reduced in width subject to Planning and Development Department approval.</p>
b. 71st Street (Private)	<p><u>Attached Sidewalk Width:</u> 6 feet</p> <p><u>Sidewalk Tree Shade Coverage:</u> 75%</p>
D3. Minimum Landscape Standards	
a. Minimum Landscape Setbacks (Perimeter)⁴	
<div> <div>North (Bell Road)</div> <div>West (Perimeter)</div> <div>East (71st Street)</div> <div>South (Perimeter)</div> </div>	<div> <div>15 feet from Property Line</div> <div>10 feet from Property Line</div> <div>20 feet from Back of Curb</div> <div>10 feet from Property Line</div> </div>
b. North (Bell Road)	<p><u>Landscaping Standards:</u> A minimum of 2-inch caliper trees to be planted 25-feet on center or in equivalent groupings. Minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24-inch tall at maturity). Landscape setback shall be planted to achieve a minimum of 75% total live vegetative groundcover.</p>
c. West (Perimeter)	<p><u>Landscaping Standards:</u> A minimum of 2-inch caliper trees to be planted 25 feet on center or in equivalent groupings. Minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24-inch tall at maturity). Landscape setback shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p>

	<p><u>Pedestrian Walk:</u> A minimum 3-foot wide pedestrian walk shall be located within the landscape setback for pedestrian circulation consistent with the circulation exhibit found in <u>Exhibit B</u>.</p> <p><u>Landscaping Exceptions:</u></p> <ul style="list-style-type: none"> • Fencing and associated man gates are permitted within the landscape setback in order to secure pedestrian walk for residents. • The existing drive aisle and driveway providing shared access to the property located to the west is permitted to remain within the landscape setback.
d. East (71st Street)	<p><u>Landscaping Standards:</u> A minimum of 2-inch caliper trees to be planted 25-feet on center or in equivalent groupings. Minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24-inch tall at maturity). Landscape setback shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p>
e. South (Perimeter)	<p><u>Landscaping Standards:</u> A minimum of 2-inch caliper trees to be planted 30' on center or in equivalent groupings. Minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24-inch tall at maturity). Landscape setback shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Pedestrian Walk:</u> A minimum 3-foot wide pedestrian walk shall be located within the landscape setback for pedestrian circulation consistent with the circulation exhibit found in <u>Exhibit B</u>.</p> <p><u>Fencing Exception:</u> Fencing and associated man gates are permitted within the landscape setback in order to secure pedestrian walk for residents.</p>
f. Common Open Space	<p>Dedicated outdoor open space areas with resident amenities shall be provided. Said common open space shall comprise a minimum of 15% of total gross lot area. Common open space may be provided at the ground floor level, rooftop level, or a combination of the two.</p>

	<p>Common open space shall be exclusive of all required setbacks.</p> <p>See Section D5 for minimum shade standards.</p> <p>See Section E2.c for landscape design guidelines.</p>
g. Pedestrian Walk	<p>A private pedestrian walk shall be provided to allow for resident circulation along the southern and western perimeter of the site with connection to 71st Street and Bell Road. The pedestrian walk may be gated as necessary to ensure resident safety and security.</p> <p>See Section D5 for shade requirements.</p>
D3. Parking Standards	
a. Minimum Parking Standards a. Residents Studio 1-Bed & 2-Bed 3-bed b. Unreserved Parking c. Off-Street Loading Space d. Bicycle Parking	<p>1.3 spaces per dwelling unit</p> <p>1.5 spaces per dwelling unit</p> <p>2.0 spaces per dwelling unit</p> <p>0.5 spaces per required parking space⁴</p> <p>2 spaces</p> <p>0.25 spaces per total dwelling unit, maximum 50 spaces</p> <p>0.05 guest spaces per total dwelling unit, maximum 50 spaces</p>
b. Parking Location, Automotive	<p>All parking areas shall be located within the garage structure with sole access from 71st Street (private). See Section E1.e for garage screening requirements. Ordinance Section 702.B.2.b.(5) does not apply.</p>
c. EV Parking	<p>A minimum of 5% of the required parking spaces shall be EV installed and 5% of the required parking spaces shall be EV capable.</p>
d. Parking Location, Bicycle	<p>To be installed in conformance with Ordinance Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided, (ii) secure resident bike storage may be located within a parking structure or devoted bike storage room, and (ii) if not located within the parking structure or bike storage room, secure resident bike storage should provide direct pedestrian access to a public or private street.</p>

⁴ Unreserved parking spaces are included in the total required parking count.

e. Bicycle Repair “Fix It Station”	A bicycle repair station (“fix it station”) shall be provided within a secured bike storage room for resident use. The repair station shall include, but not be limited to: Standard repair tools affixed to the station; A tire gauge and pump affixed to the base of the station or the ground; A bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike
f. Electric Bicycle Parking	A minimum of 10% of the provided bicycle parking spaces shall include standard electrical receptacles for electric bicycle charging capabilities.
g. Bicycle Parking Shade	Bicycle parking spaces shall be shaded by a structure, landscaping, or a combination of the two to provide a minimum of 75% shade.
h. Bicycle Repair Fix It Station	A bicycle repair station (“fix it station”) shall be provided and maintained on site near the . The repair station shall include, but not be limited to: Standard repair tools affixed to the station; A tire gauge and pump affixed to the base of the station or the ground; A bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.
i. Loading Bay	Two (2) off-street loading spaces shall be provided on the exterior of the west side of the building, accessible only from Bell Road. Each space shall be a 10 foot x 30 foot minimum in size, exclusive of access aisles and maneuvering space.
j. Drop-Off/Pick-Up	A drop-off/pick-up area for residents and guests shall be provided near the entrance of the parking garage.

D4. Fences/Walls

To prevent creating inaccessible, nonvisible, and hazardous areas outside of the Development, as well as to leverage an additional landscaped buffer zone between the Development and the surrounding properties, a new site wall is not required to be constructed along the west or south property lines when an adjacent property’s site wall or building wall is located within 15 feet of the property line.

Fences and walls up to 6 feet in height shall be permitted within required building and landscape setbacks for the purpose of screening mechanical and electrical equipment.

Fences and walls shall otherwise comply with all other standards as per Ordinance Section 703.

D5: Shade

D5. Shade

Shading, which may be architectural, vegetative, or any combination thereof, shall be provided at a minimum of 75% for all public sidewalks, 25% for all private pathways, and 40% for all private resident amenity areas. All shade calculations shall be based on the summer solstice at noon.

Shading along the pedestrian walk required per Section D3.f. may be achieved through trees located on adjacent properties.

Note: Minimum shade requirements do not apply to the 7th floor amenity deck located above the parking garage due to structural limitations.

D6: Lighting Plan

D6. Lighting

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

E. DESIGN GUIDELINES

The following design guidelines shall be provided for in the final plans for a multi-family structure (those standards not addressed herein, and for non-residential development, comply with Ordinance Section 507 Tab A):

E1: Design Guidelines

E1. Design Guidelines	
a. Exterior Materials	<p>All building elevations shall include:</p> <ul style="list-style-type: none"> • Maximum 60% stucco finish • Minimum 20% glazing • Minimum 20% other materials (from the list below) <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> • Siding • ACM panels • Masonry • Brick • Non-reflective coated metals • Wood – painted, stained, or synthetic • Tile • Concrete
b. Color Palette	Warm earth and grey tones with wood-like accents
c. Façade Restrictions	Blank walls shall not exceed 50 feet without a variation in texture or building fenestration.
d. Art Element	The building façade shall include one public art mural visible from the public right-of-way, measuring a minimum of 1,500 sf in area. Proof of an executed agreement for said art mural, signed by the developer and an artist of their choosing, shall be provided to the Planning and Development Department prior to final site plan approval.
e. Private Balconies and Patios	80% of all residential units shall contain at least one (1) private balcony or patio space, measuring a minimum of 45 square feet with a depth of 4 feet-6 inches
f. Screening	Service areas, mechanical equipment and electrical equipment shall be screened from public street view. Screening may be architecturally integrated with the building or freestanding. Screening shall utilize architectural detailing consistent or complementary to the building facade. A screen wall shall be no higher than necessary to provide adequate screening.
g. Garage Screening	Levels 2 through 6 of the parking garage shall be screened from public and private street view by residential units.
h. Building Massing	The primary massing of the building shall step down from the east to the west consistent with <u>Exhibit 4</u> .

i. On-Site Pedestrian Circulation	Enhanced surface materials, such as stamped or colored concrete, decorative pavers, or other pavement treatments, that visually contrast with the adjacent parking, and drive aisles surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles.
j. Pedestrian Transit Link	An 8-foot-wide pathway providing direct pedestrian access between the building and the existing transit bus pad shall be constructed. The pedestrian pathway shall provide 75% shade and consist of decorative material such as brick, pavers or alternative material providing, as approved by the Planning and Development Department.

E2: Landscape Design Guidelines

E2. Landscape Design Guidelines	
a. Uniform Streetscape Design	<p>Along Bell Road (public street) and 71st Street (private street) the following shall be included:</p> <p>The landscape setback will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover to buffer the street from the detached sidewalk. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Minimum 2-inch caliper tree to be planted a minimum of 25'-feet on center, or equivalent groupings, except where utility conflicts exist. A minimum of 5 (5) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24-inches tall at maturity). • All plant material shall be chosen from the Arizona Department of Water Resources' "Low Water and Drought Tolerant Plants List" for the Phoenix Area • Minimum five (5) different shrub species • Minimum two (2) different accent species • Minimum 50% live ground coverage within landscape areas
b. Uniform Perimeter Design	<p>The perimeter landscape setback (not adjacent to a public or private street) will provide a colorful mix of shrubs, accents, and groundcover. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Minimum of 50% 2-inch caliper tree and 50% 1 -inch caliper tree to be planted a minimum of 30-feet on center, or equivalent groupings, except where utility conflicts exist. A minimum of 5 (five) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24-inches tall at maturity).

	<ul style="list-style-type: none"> • All plant material shall be chosen from the Arizona Department of Water Resources' "Low Water and Drought Tolerant Plants List" for the Phoenix Area • Minimum three (3) different shrub species • Minimum two (2) different accent species • Minimum 50% live ground coverage within landscape areas
c. Minimum Common Open Spaces⁶	<p>The ground floor common outdoor areas not located within landscape or building setbacks will include a shade canopy of trees (where possible) and colorful mix of shrubs, accents and groundcover to provide visual interest and a comfortable seating environment. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • A minimum of 1 (one) 2-inch caliper tree per 1,000 square feet of open space area. A minimum of 5 (five) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24 inches tall at maturity). • Minimum 50% live ground coverage within landscape areas

E3: Amenities

E3. Amenities	
a. Resident Amenities	<p>Residential amenities (private amenities) shall include a minimum of four (4) of the following amenities across three (3) separate spaces:</p> <ul style="list-style-type: none"> • Club room no less than 2,000 sf • Yoga and fitness center no less than 3,000 sf • Outdoor seating area(s) • Dog run/park • Yoga/event lawn • Secured resident walking path • Swimming pool and/or spa with the following: <ul style="list-style-type: none"> ○ Lounge deck ○ Seating node(s) ○ Activity lawn

⁶ Where utility conflicts exist an alternative landscape design may be approved subject to Planning and Development Department review.

F. SIGNS

F1: Permitted Signs

All signage shall comply with Section 705 of the Zoning Ordinance. A Comprehensive Sign Plan will be processed in accordance with Section 705.E.2. of the Zoning Ordinance.

Given (i) the unique and diverse mix of commercial uses surrounding the Site, (ii) the importance of clear identification for visitors as well as modern delivery services (goods, food deliver, car share, etc.), and (iii) due to the existing signage context signage along the south side of Scottsdale Road, the following signs, designed in a manner that does not exceed the standards outlined below, are permitted:

- One (1) building mounted project sign per public or private street frontage
 - Maximum height of each wall sign is no taller than top of building parapet.
 - Maximum area of each wall sign is 250 square feet.
- One (1) ground monument sign located at the corner of Bell Road and 71st Street
 - Maximum height of the ground sign is 10 feet.
 - Maximum area of the ground sign is 50 square feet .
 - Ground monument signs to be allowed in building and landscape setbacks.
- One (1) blade sign located at the 71st Street frontage.
 - Maximum height of the blade sign is top of third story.
 - Maximum area of the blade sign is 16 square feet.
- Three (3) wayfinding signs are permitted along the 71st Street frontage for identifying main entry, garage entry, and bike room.
 - Maximum height of each wayfinding sign is top of first story.
 - Maximum area of each wayfinding sign is 20 square feet.

Signage location shall be in general conformance to the conceptual sign plan located on Exhibit 14.

The proposed signage is an important feature of this PUD given property's surrounding context and the mixed-use nature of the adjacent area. 71st Street provides shared access to seven (7) distinct properties. With its main entrance located off of this meandering private street, prominent community signage is essential in order to provide adequate wayfinding for residents, guests and the many patrons of the adjacent commercial and hotel uses. Furthermore, prominent signage at the Bell Road frontage is necessary in order to provide adequate wayfinding along this busy arterial, especially with the approved entitlement of the 14-story multifamily residential project planned for the hard corner of Scottsdale and Bell Road.

This signage will provide adequate area for safe and clear wayfinding which fosters community recognition without disproportionately impacting neighboring properties, as all signage is oriented toward the Bell Road arterial and the adjacent commercial properties to the east.

Furthermore, the proposed sign package will reduce the number of permitted signs for this property from a total of twelve tenant (12) wall signs and one (1) ground monument sign to a two (2) main project wall signs, one (1) ground monument sign, one (1) secondary project blade sign, and three (3) incidental wayfinding signs necessary for identifying the main entry, garage entry and the bike storage entry. The new sign package will result in the significant reduction of signage overall.

G. SUSTAINABILITY

G1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- As encouraged by Reimagine Phoenix, recycling receptacles and chutes will be provided in the refuse room. These will be commercial bins serviced by private solid waste provider.
- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged.
- Recycling services will be provided for tenants.
- Prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the Water Efficiency Checkup program for a minimum of 10 years, or as approved by the Planning and Development Department.

G2: Developer Enforced Standards

The following are sustainability practices that are highly encouraged and planned to be utilized but which are not enforceable by the City:

- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
- Lower flow toilets and showerheads.
- Energy Star Rated appliances.
- Reduce heat island effect through ample open space, desert adapted landscaping, and vegetation to include shrubs etc.
- On-site amenities and activity programs to encourage residents to remain on property, reducing off-site traffic trips.
- Tenant invoicing and billing services will be paperless.
- Consider use of grey water or condensate to supplement potable irrigation water.

H. INFRASTRUCTURE

H1: Grading and Drainage

The site is fully graded and currently developed with 2-story strip mall style shopping center and The frontage is treated with sparse landscaping and is utilized for the Project's main retention. To facilitate development of this Project, retention will be relocated to underground tanks.

H2: Water and Wastewater

Domestic Water

The Development is located within Pressure Zone 5E and is serviced by a 12-inch ACP within Bell Road and a 8-inch DIP within 7th Street. WSD maps show (2) 2-inch & (3) 1-1/2-inch service and meters within 71st Street.

Sewer

The Development is located adjacent to the 8-inch VCP within 71st Street. This Development is located within the greater Kierland redevelopment area and is covered under the wastewater collection system master plan developed by the Water Services Department (WSD) to address area downstream capacity issues.

H3: Circulation Systems

There are three (3) accesses to the site, 71st Street access via Bell Road, 71st Street access via Scottsdale Road, and a western driveway along Bell Road.

71st Street provides a driveway into the site from the north via Bell Road. The driveway on 71st Street is located approximately 92 feet south of Bell Road. This access will serve as the main entrance to the proposed Apartments at Scottsdale Crossing and its parking garage. The existing intersection of Bell Road and 71st Street is an existing full access driveway providing all movements into and out of the site.

71st Street also provides access to the site from the east via Scottsdale Road. This indirect connection (approximately 1,100 feet between Scottsdale Road and main driveway to the site's parking garage), will serve as a secondary entrance to the proposed Apartments at Scottsdale Crossing. The existing intersection of Scottsdale Road and 71st Street is an 3/4 access driveway, allowing left-in/right-in/right-out movements into and out of the site.

Western driveway is located along Bell Road, approximately 500 feet west of 71st Street. This will be a loading/trash/limited-use driveway. It is an existing full-access driveway, allowing all movements into and out of the site.

H4: Complete Streets

The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- *Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users, and more vulnerable modes (walking, bicycling, transit).*

A new detached sidewalk will be constructed along Bell Road (where space permits). Detached sidewalks will help increase perceived and real pedestrian safety, contributing to a sense of comfort for travelers on foot. The construction of detached sidewalks will be a major improvement for the area, which current lacks pedestrian infrastructure and connectivity.

- *Projects should be designed to connect neighborhoods via streets, sidewalks, and trails.*

A new sidewalk constructed along 71st Street (a private street) and a resident promenade encircling the southern half of the site will provide residents with continuous pedestrian connectivity and access to Bell Road. Direct access to the existing transit stop at Bell Road will promote a convenient multi-modal lifestyle and livability for residents of the Project.

- *Streets should be designed to expand the availability of public seating and bicycle racks.*

See Section E4.c., adequate bicycle parking will be provided. The Project shall provide 1 secured bicycle space per 25 required vehicle parking spaces, with a maximum requirement of 50 spaces. Secured bicycle spaces shall be provided within the Project's parking garage whose sole access is from 71st Street.

I. COMPARATIVE ZONING STANDARDS

I: Comparative Zoning Standards Table

Standards	R-5 PRD Standards	Proposed PUD Standards
a. Maximum Building Height	4 stories or 48 feet	7 stories or 80 feet
b. Lot Coverage	50%, plus an additional 10% for an ADU and/or attached shade structures Total: 60%	61%
c. F.A.R.	None	None
d. Dwelling Unit Density (Units/Gross Acre)	45.68 dwelling units/acre; 52.20 units/acre with bonus	72.7 dwelling units/acre
d. Building Setbacks		
Bell Road:	20 feet	15 feet
71st Street:	15 feet	20 feet
West Perimeter:	10 feet	10 feet
South Perimeter:	10 feet	10 feet
e. Landscape Setbacks		
Bell Road:	20 feet	15 feet
71st Street:	5 feet	20 feet
West Perimeter:	5 feet	10 feet
South Perimeter:	5 feet	10 feet

J. LEGAL DESCRIPTION

PARCEL 'A' OF THE FINAL PLAT OF 'PRINCESS CROSSING' RECORDED IN BOOK 445 PAGE 18 OF THE MARICOPA COUNTY RECORDER.

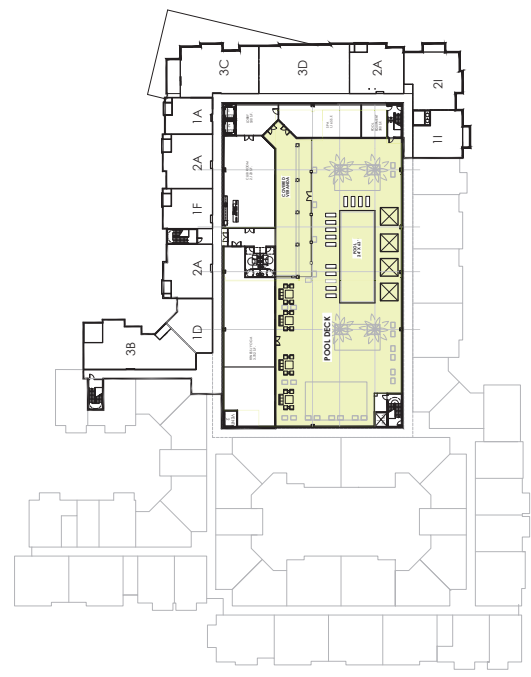
EXHIBIT 1

EXHIBIT 2

OPEN SPACE LEGEND

- OPEN SPACE - REQUIRED
9,435 SF REQ'D. (5% OF 188,693 SF GROSS SITE AREA)
- OPEN SPACE - PROPOSED
28,303 SF REQ'D. (15% OF 188,693 SF GROSS SITE AREA)

EXCEPTION:
POOL DECK. OPEN SPACE IS EXCLUDED FROM SHADE REQUIREMENT DUE TO STRUCTURAL REASONS.



SEVENTH LEVEL

SCALE: 1/8" = 1'-0"



VICINITY MAP/NTS

KIVA NO: 01-21144
SDEY: 0101827
PAPP: 2405316
RECON: MAP: M12
QUARTER SECT: Q36-44

A3

OPEN SPACE
SITE PLAN

Preliminary Not For Construction



IND.PK.
Z-82-79

R1-8

C-2
Z-139-86
Z-167-87

C-2
Z-139-86
Z-167-87

IND.PK.
Z-82-79



RESIDENCES AT SCOTTSDALE CROSSING

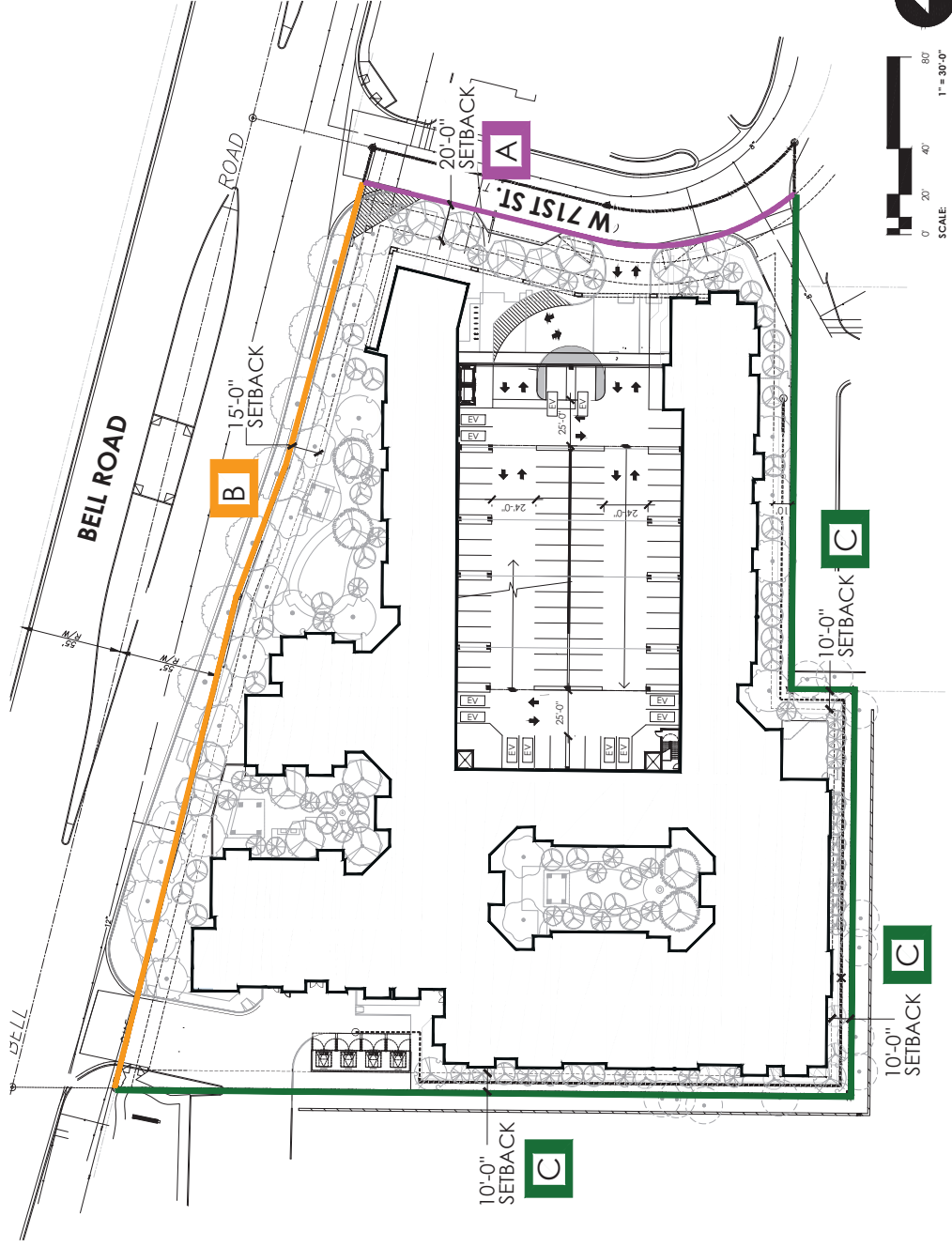
PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025



TODD +
ASSOCIATES

602-952-8280 / TODDASSOC.COM
24-2043-00

EXHIBIT 3



VICINITY MAP/NTS

EVA NO: 01-31144
 SWA NO: 01-01027
 PAPP: 2403316
 REZONE: MAP: M12
 QUARTER SECT: Q36-44

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
 PUD SUBMITTAL #2
 July 01, 2025



TODD + ASSOCIATES

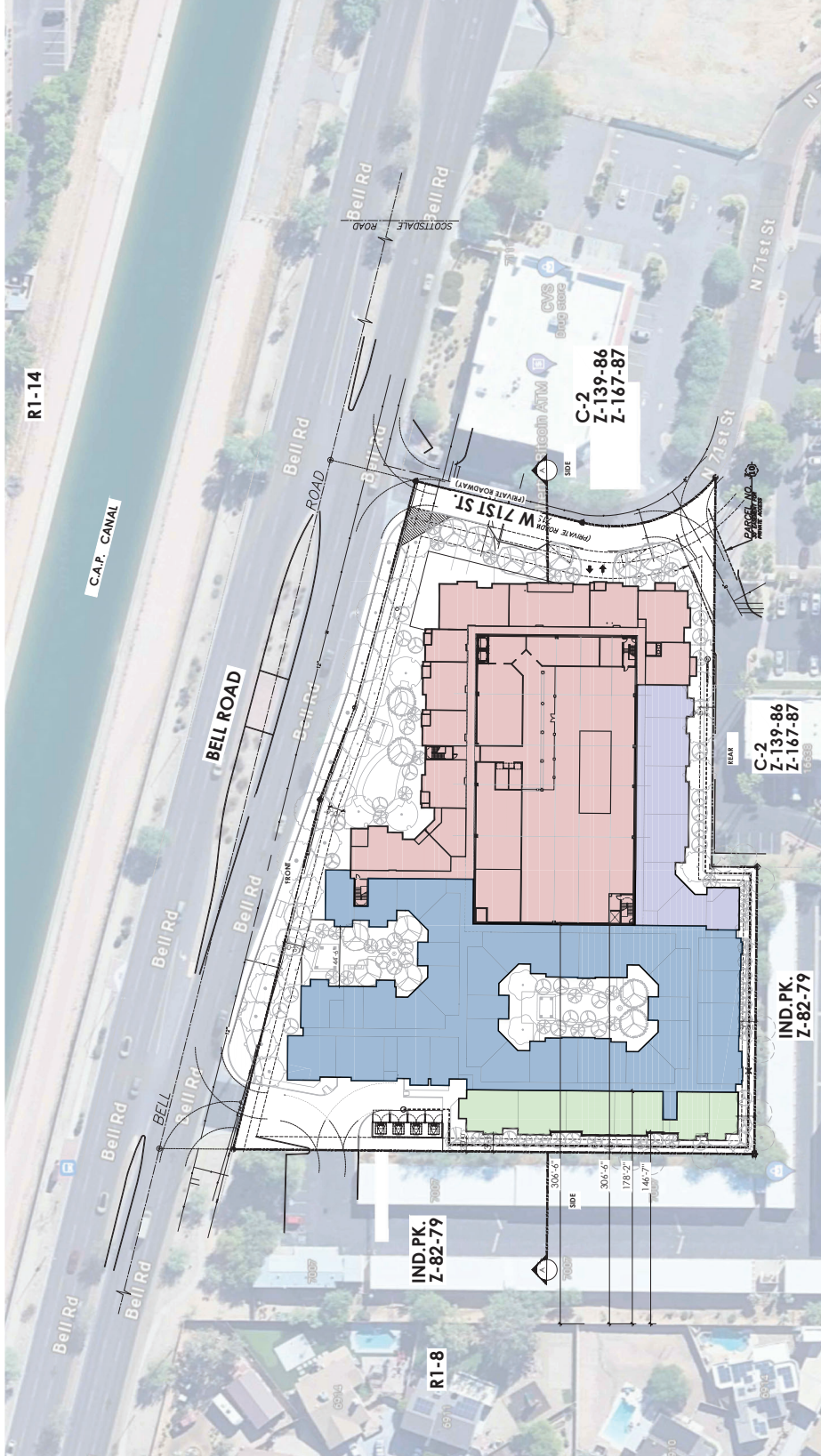
602-952-8280 / TODDASSOC.COM
 24-2043-00



SETBACK PLAN
 Preliminary Not For Construction

A4

EXHIBIT 4



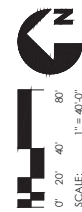
LEGEND:					
45'-4"	-	4 STORY			
56'-0"	-	5 STORY			
65'-4"	-	6 STORY			
79'-4"	-	7 STORY			

HEIGHT RESTRICTIONS AND OFFSETS

DISTANCE:	HEIGHT:
Less than 146'-7"	0'-0" Max Height
Between 146'-7" & 178'-2"	45'-4" Max Height
Between 178'-2" & 305'-5"	56'-0" Max Height
305'-5"	79'-4" Max Height



VICINITY MAP/NTS



RESIDENCES AT SCOTTSDALE CROSSING
PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025



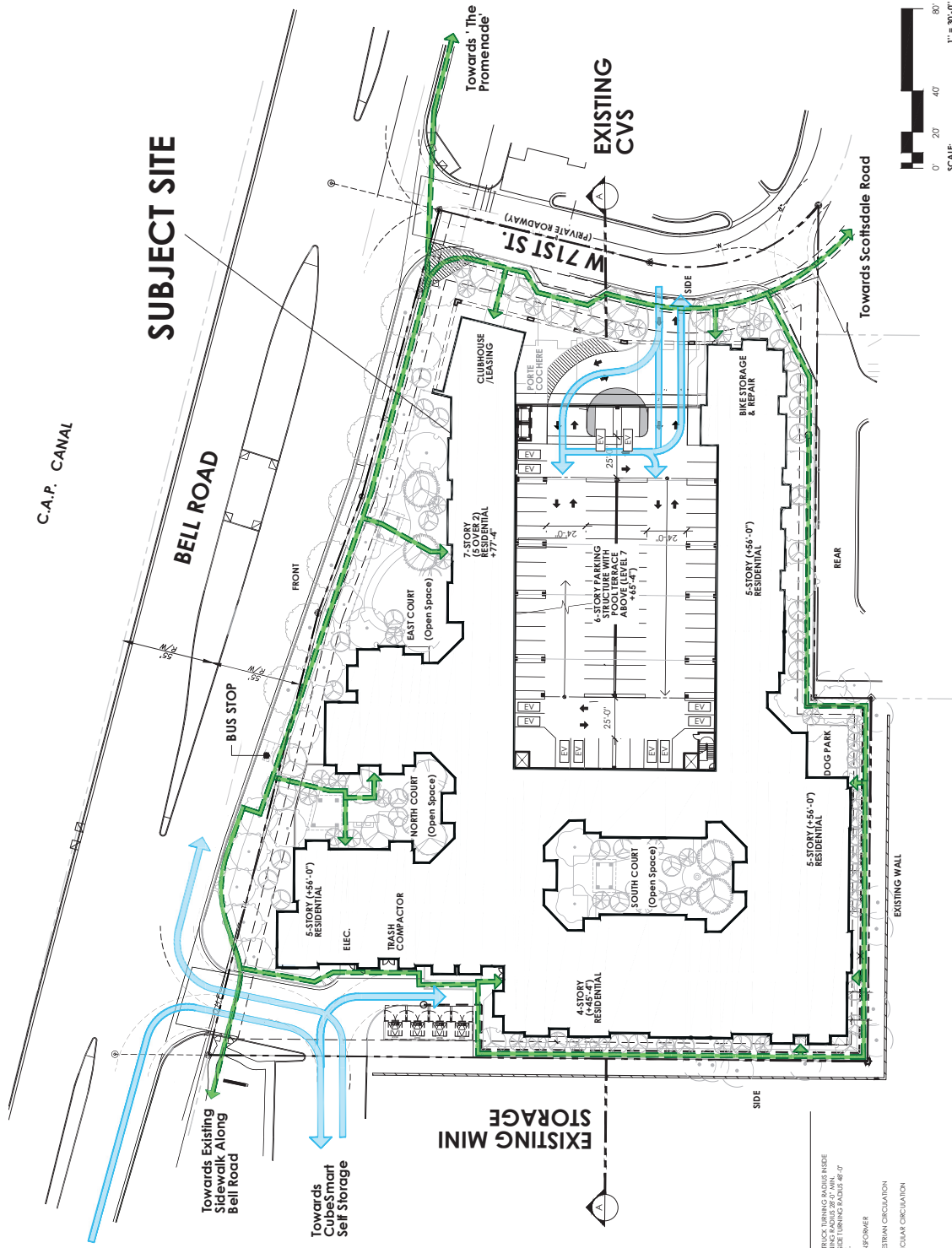
TODD + ASSOCIATES
602-952-8280 / TODDASSOC.COM
24-2043-00

BUILDING HEIGHT RESTRICTIONS
EXHIBIT

Preliminary Not For Construction

A5

EXHIBIT 5



SUBJECT SITE

C.A.P. CANAL

BELL ROAD

EXISTING MINI STORAGE

EXISTING CVS

W 71ST ST.

TOWARDS THE PROMENADE

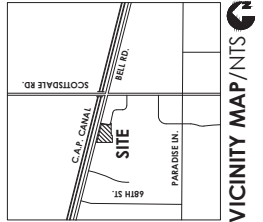
TOWARDS SCOTTSDALE ROAD

TOWARDS EXISTING SIDEWALK ALONG BELL ROAD

TOWARDS CAPESMART SELF STORAGE

LEGEND

- FIRE TRUCK TURNING RADIUS HERE
- DRIVE PARKING 20' x 40' MAX.
- DRIVE PARKING 10' x 20' MAX.
- TRANSFORMER
- PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION



VICINITY MAP/NTS

EVA NO: 01-31144
SVA NO: 01-01027
PAPP: 2403316
REZONE: M12
CONTRACT MAP: M12
QUARTER SECT: Q36-44



TODD + ASSOCIATES

602-952-8280 / TODDASSOC.COM
24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
PUD SUBMITTAL #2

July 01, 2025

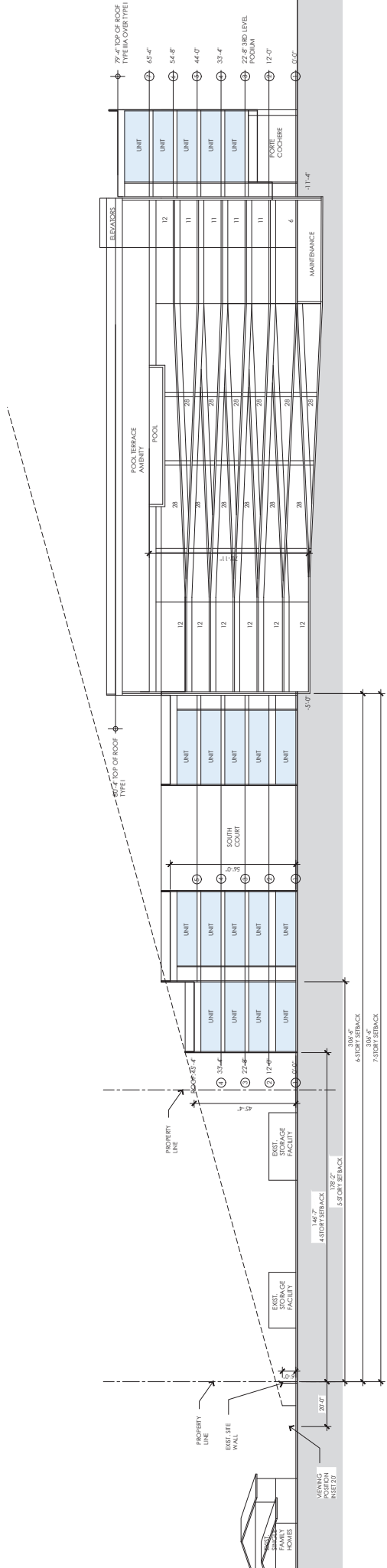


CONNECTIVITY PLAN

Preliminary Not For Construction

A6

EXHIBIT 6



SITE SECTION A-A

SCALE: 1"=20'



KVA NO: 01-21164
SDEV: 0101827
PAPP: 2405316
PROJECT: 2405316
ZONING MAP: M12
QUARTER SECT: Q36-44

EXHIBIT 7

EXHIBIT 8



RESIDENCES AT SCOTTSDALE CROSSING
 PHOENIX, AZ
 PUD SUBMITTAL #2
 July 01, 2025



TODD + ASSOCIATES
 602-952-8280 / TODDASSOC.COM
 24-2043-00

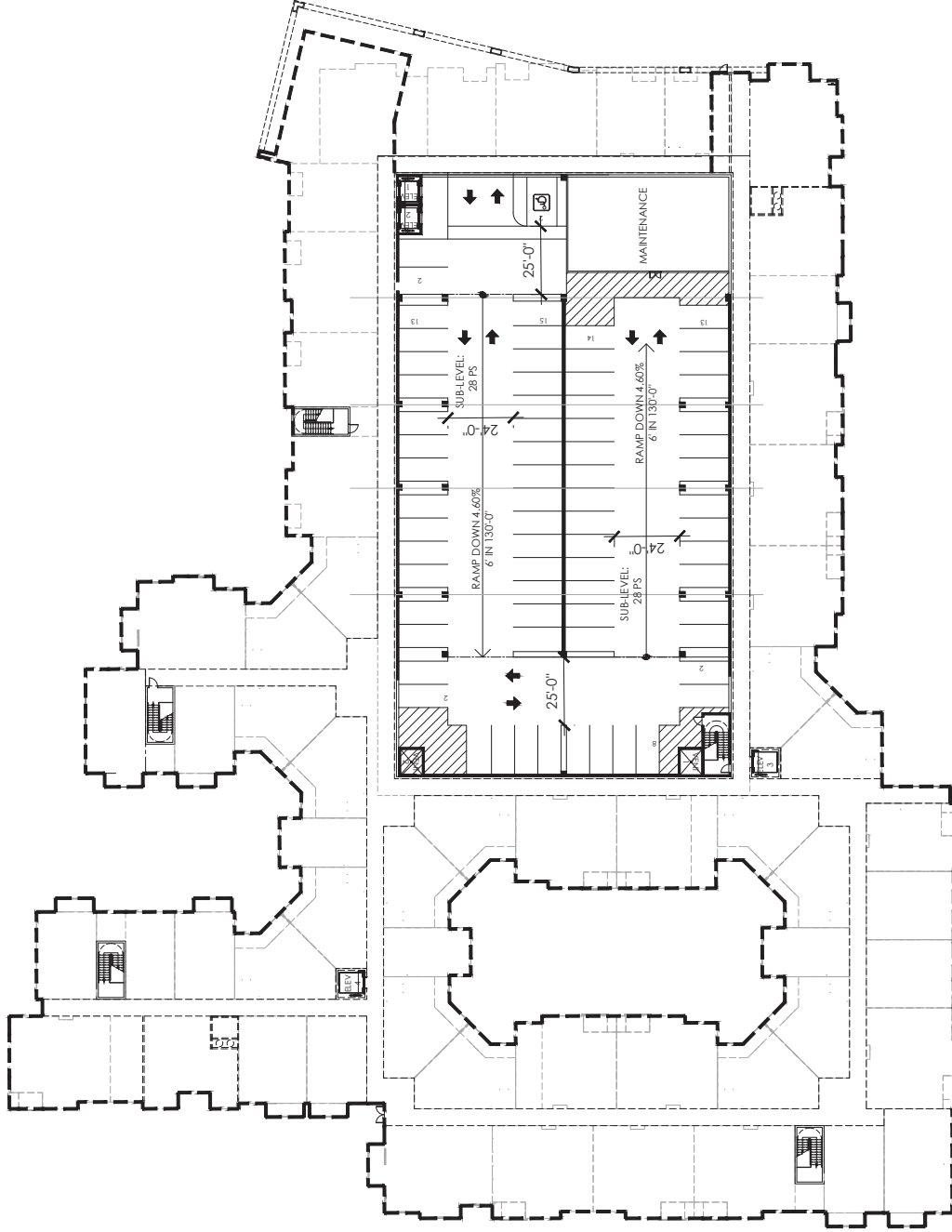
SHADE STUDY CALCULATIONS				
JUNE 21ST - 12:00PM				
LANDSCAPE 5 YEAR MATURITY				
75% SHADE COVERAGE ALONG PUBLIC PATHWAYS	TOTAL SQ. FT.	REQUIRED SQ. FT. SHADE	PROVIDED SQ. FT.	%
	4,519	3389	3,463	77
50% SHADE COVERAGE OF TOTAL OPEN SPACE	TOTAL SQ. FT.	REQUIRED SQ. FT. SHADE	PROVIDED SQ. FT. SHADE	%
	17,295	8648	8,914	52
50% SHADE COVERAGE OF OPEN SPACE PATHWAYS	TOTAL SQ. FT.	REQUIRED SQ. FT. SHADE	PROVIDED SQ. FT.	%
	4,296	2148	2,653	62
50% SHADE COVERAGE OF PRIVATE PATHWAYS	TOTAL SQ. FT.	REQUIRED SQ. FT. SHADE	PROVIDED SQ. FT.	%
	7,631	3,772	4,152	54

KIVA NO: 01-21164
 SDP: 0001827
 REF: 2403316
 RECD: 2403316
 ZONING MAP: M12
 QUARTER SECT: Q38-44



CONCEPTUAL SHADE STUDY
 Preliminary Not For Construction

EXHIBIT 9



KVA NO: 0121144
 SDEV: 0101827
 PAPP: 2405316
 RECORDING MAP: M12
 QUARTER SECT: Q36-44

A8

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
 PUD SUBMITTAL #2
 July 01, 2025

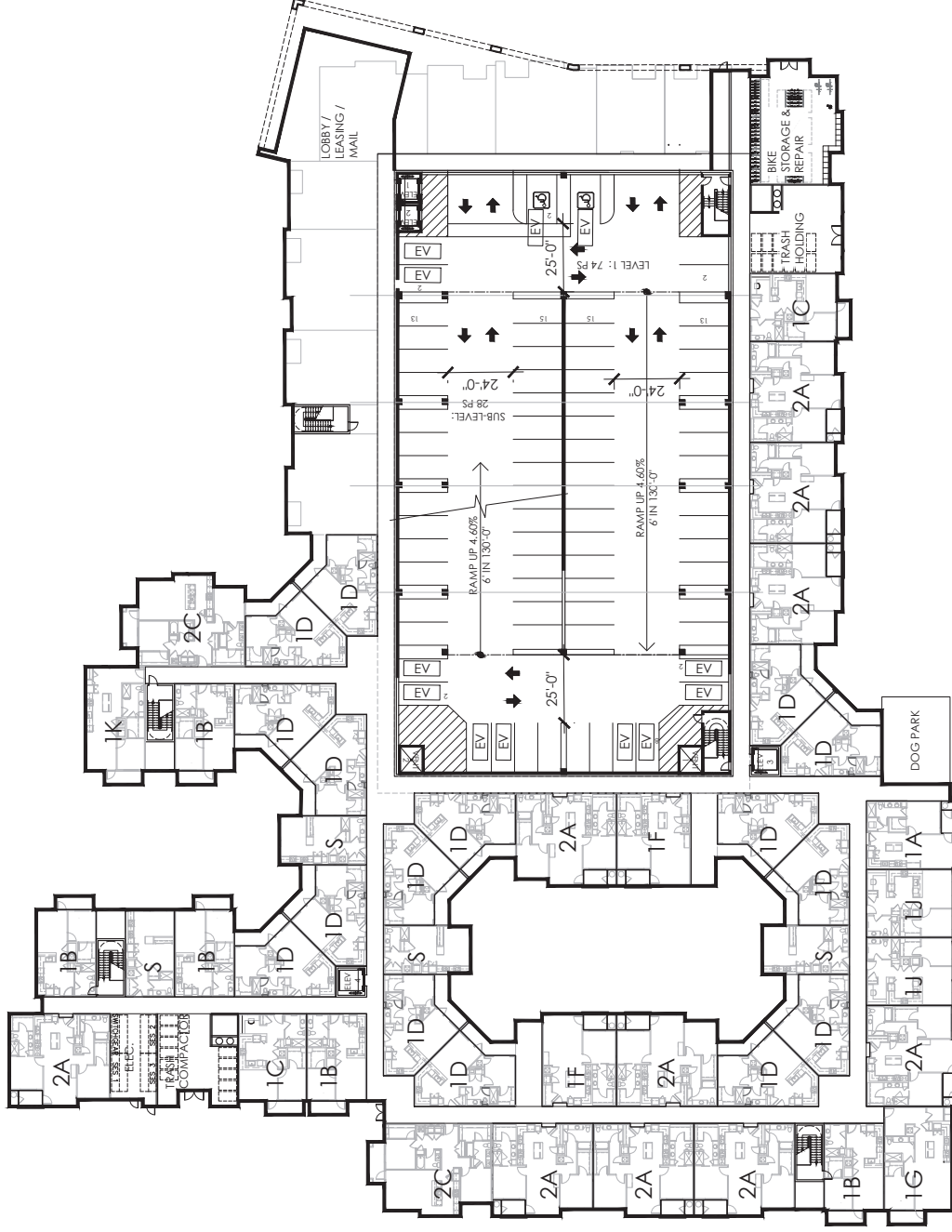


TODD + ASSOCIATES
 602-952-8280 / TODDASSOC.COM
 24-2043-00



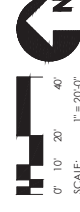
BELOW GRADE FLOOR PLAN

Preliminary Not For Construction



FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



LEGEND

- 1. EV EV PARKING
- 2. EV EV READY PARKING

KVA NO: 0121144
 SDV: 0101827
 PAPP: 2405316
 RECORD MAP: M12
 QUARTER SECT: Q36-44



TODD + ASSOCIATES
 602-952-8280 / TODDASSOC.COM
 24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

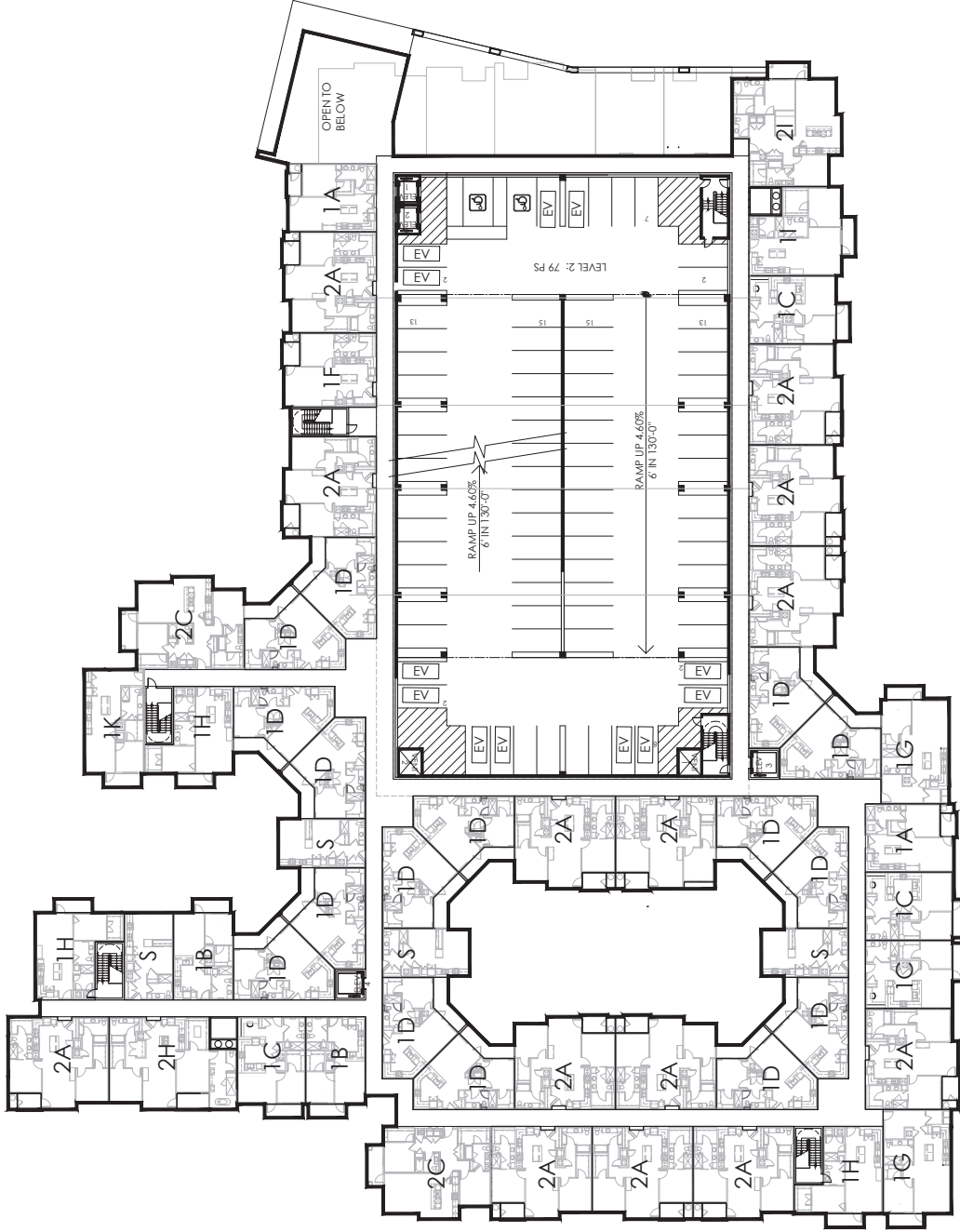
PHOENIX, AZ
 PUD SUBMITTAL #2
 July 01, 2025



LEVEL 1 FLOOR PLAN

Preliminary Not For Construction

A9



SECOND FLOOR PLAN

SCALE: 1"=20'

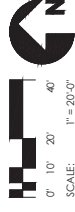
RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025

TODD + ASSOCIATES
602-952-8280 / TODDASSOC.COM
24-2043-00



LEVEL 2 FLOOR PLAN
Preliminary Not For Construction

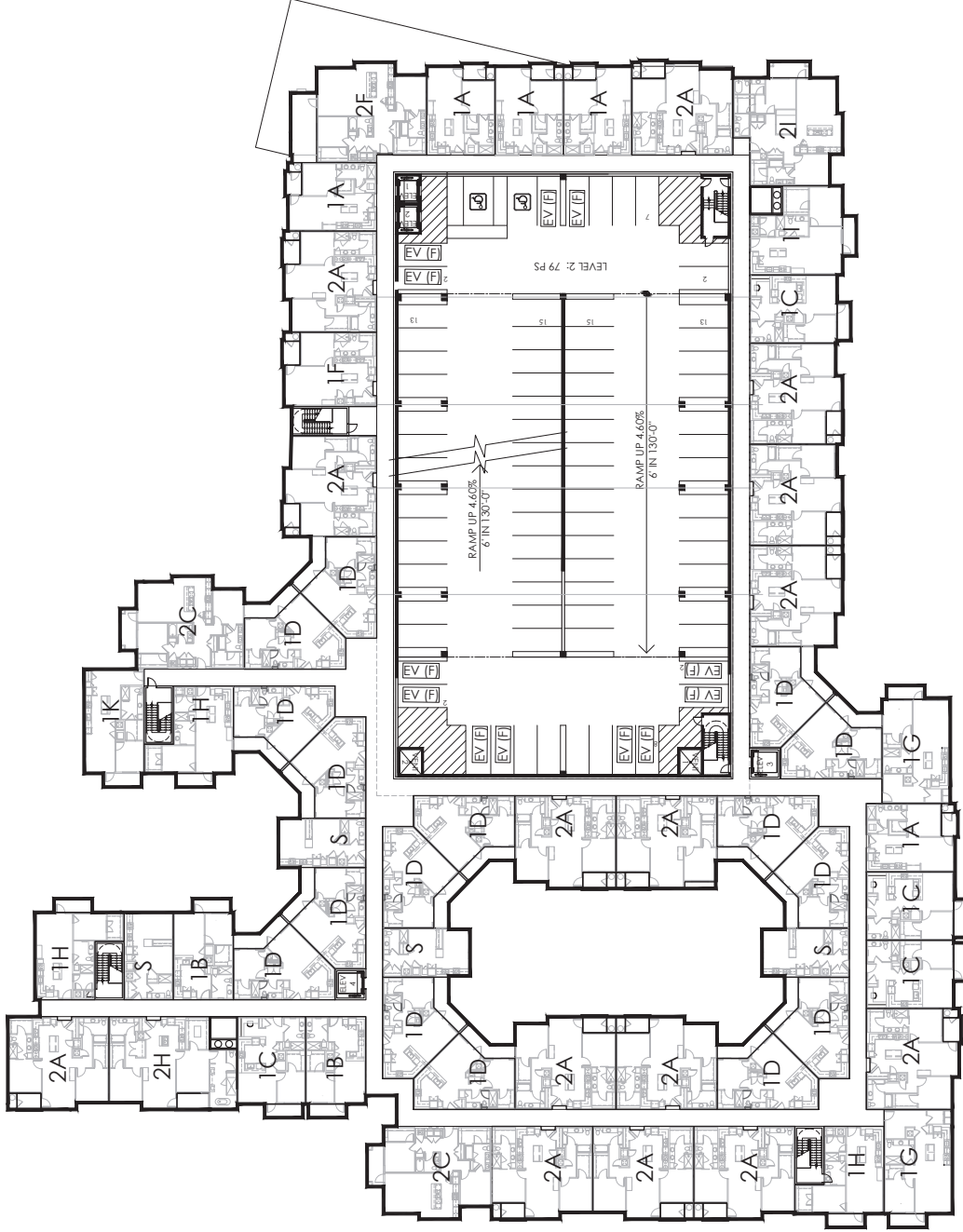


- LEGEND**
- 1. EV PARKING
 - 2. EV READY PARKING

NOTE:
UNITS 1H DO NOT STACK
ON UNITS BELOW

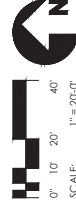
KVA NO: 0121144
SDP: 0101827
PAPP: 2405316
REVISION: M12
QUARTER SECT: Q36-44

A10



FOURTH FLOOR PLAN

SCALE: 1/8"=1'-0"



SCALE: 1"=20'-0"

LEGEND

- 1. EV PARKING
- 2. EV READY PARKING

RVA NO: 0121144
 SDEV: 0101827
 PAPP: 2405316
 RECORDING MAP: M12
 QUARTER SECT: Q36-44



TODD + ASSOCIATES

602-952-8280 / TODDASSOC.COM
 24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

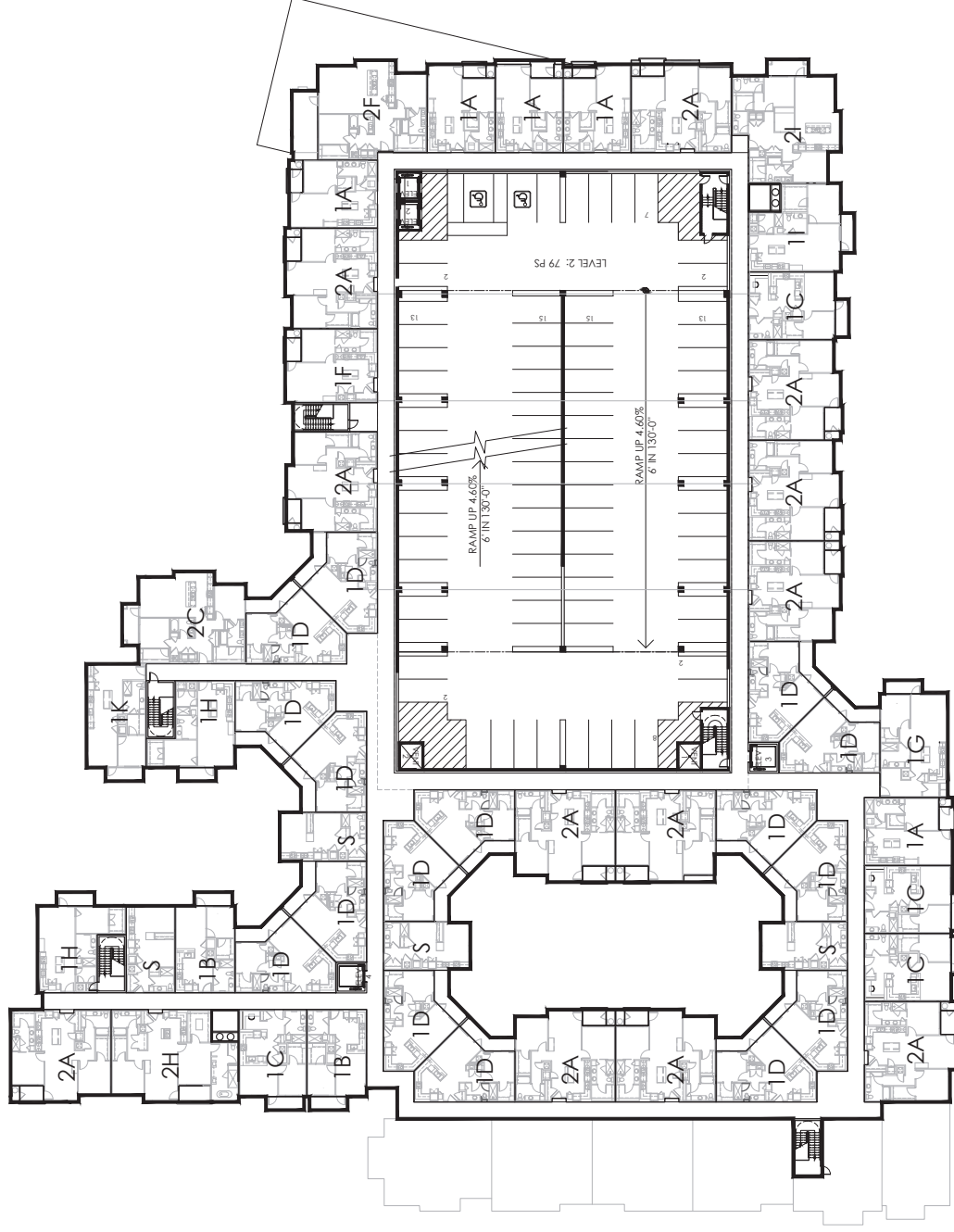
PHOENIX, AZ
 PUD SUBMITTAL #2
 July 01, 2025



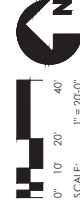
LEVEL 4 - FLOOR PLAN

Preliminary Not For Construction

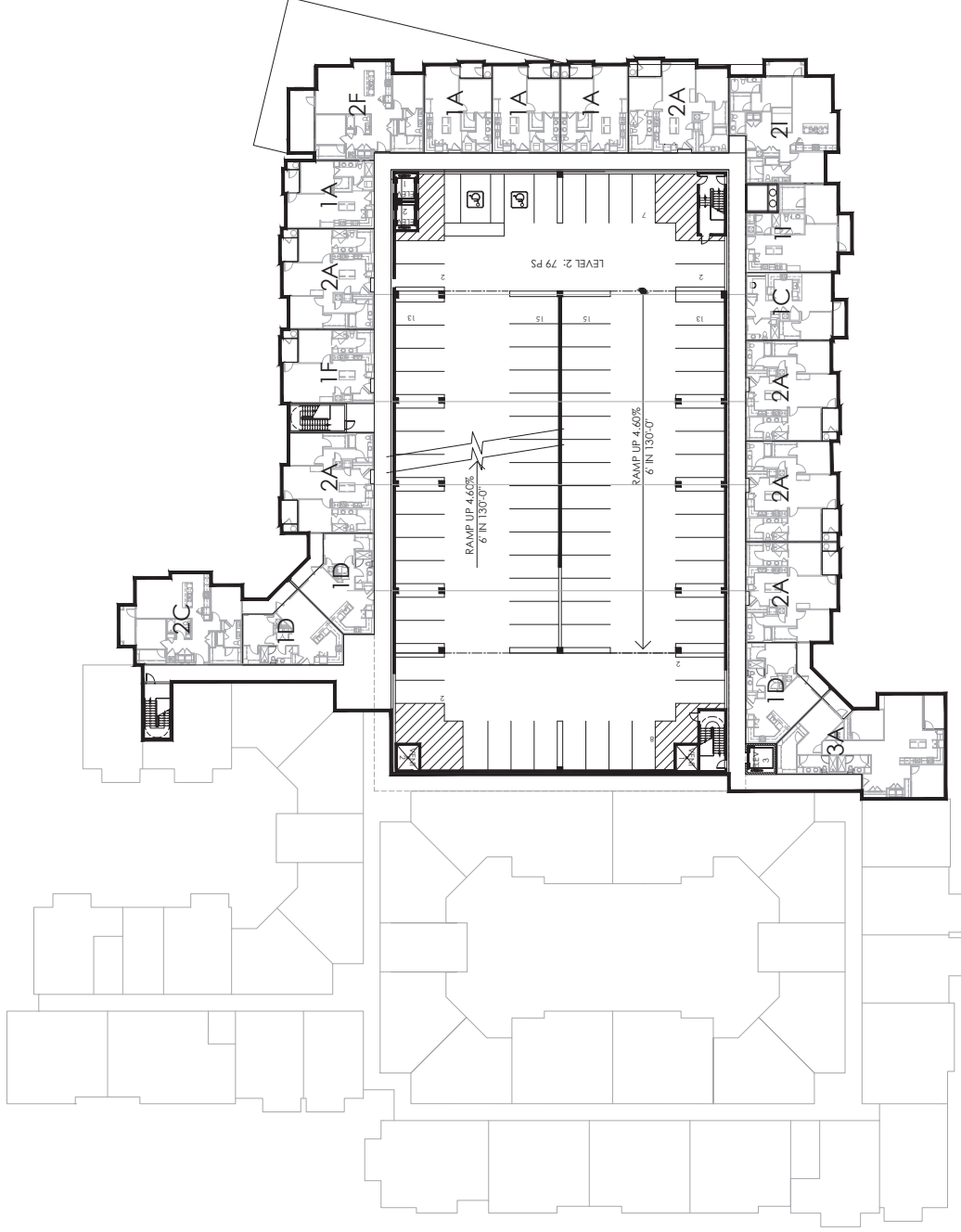
A12



FIFTH FLOOR PLAN



SCAF-15-017



SIXTH FLOOR PLAN

SCALE: 1"=20'



NOTE:
UNIT 3A DOES NOT STACK
ON UNITS BELOW

KVA NO: 0121144
SDV: 0101827
PAPP: 2405316
RECORDING MAP: M12
QUARTER SECT: Q36-44



**TODD +
ASSOCIATES**

602-952-8280 / TODDASSOC.COM
24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

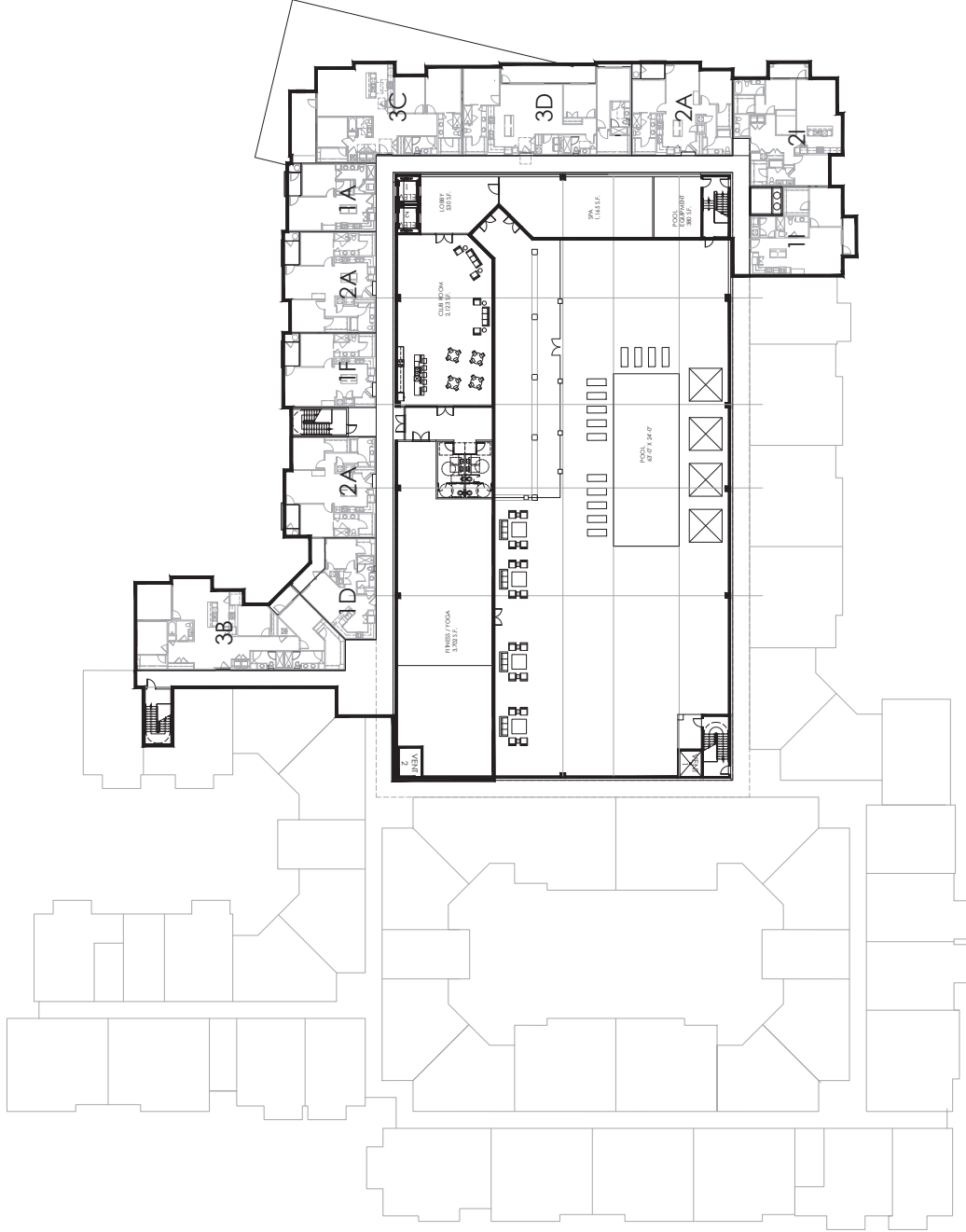
PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025



LEVEL 6 - FLOOR PLANS

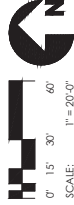
Preliminary Not For Construction

A14



SEVENTH FLOOR PLAN

SCALE: 1"=20'



NOTE:
UNITS 3B, 3C, & 3D DO NOT STACK
ON UNITS BELOW

REVISIONS:
DATE: 01/21/24
BY: SDP
APP: 0101827
CHECK: 2405316
REVISION: M12
QUARTER SECT: Q36-44

A15

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025



TODD + ASSOCIATES
602-952-8280 / TODDASSOC.COM
24-2043-00



LEVEL 7 - FLOOR PLAN
Preliminary Not For Construction

EXHIBIT 10



SOUTH ELEVATION

SCALE: 1/16"=1'



WEST ELEVATION

SCALE: 1/16"=1'

A	BRICK
B	BRICK
C	BRICK
D	BRICK
E	SHALLOW WOOD BANDING
F	PAVED TERRACE WALL
G	CONCRETE & MASONRY UNIT
H	CONCRETE & MASONRY UNIT
I	CONCRETE & MASONRY UNIT
J	CONCRETE & MASONRY UNIT



KVA NO: 0121164
KVA DATE: 07/01/2025
KVA PAPP: 2403316
REZONE: CONDOMINUM
CONTRACT: M17
COURTESY: 033-44



TODD + ASSOCIATES

602-952-8280 / TODDASSOC.COM

24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ

PUD SUBMITTAL #2

July 01, 2025



ELEVATIONS

Preliminary Not For Construction

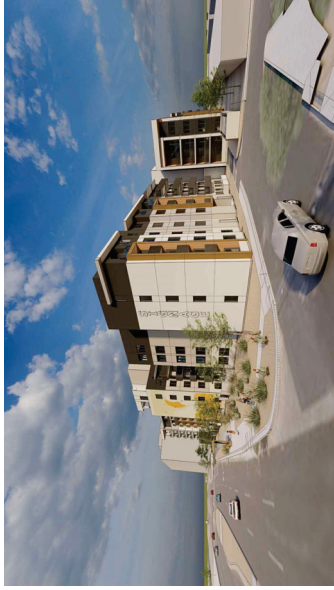
EXHIBIT 11



1 NE PERSPECTIVE



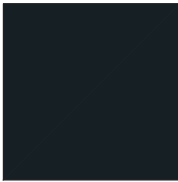
2 SE PERSPECTIVE



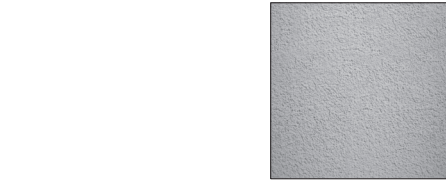
3 SW PERSPECTIVE



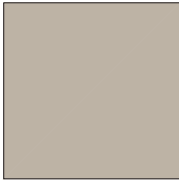
A Stucco 01



B Stucco 02



D Stucco 04



C Stucco 03



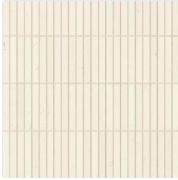
Stucco Texture



E SIMULATED WOOD SIDING



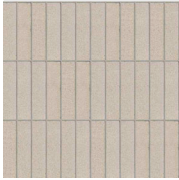
F ACM EXTERNAL WALL PANEL



G CONCRETE MASONRY UNIT 01



I Storefront Windows & Doors

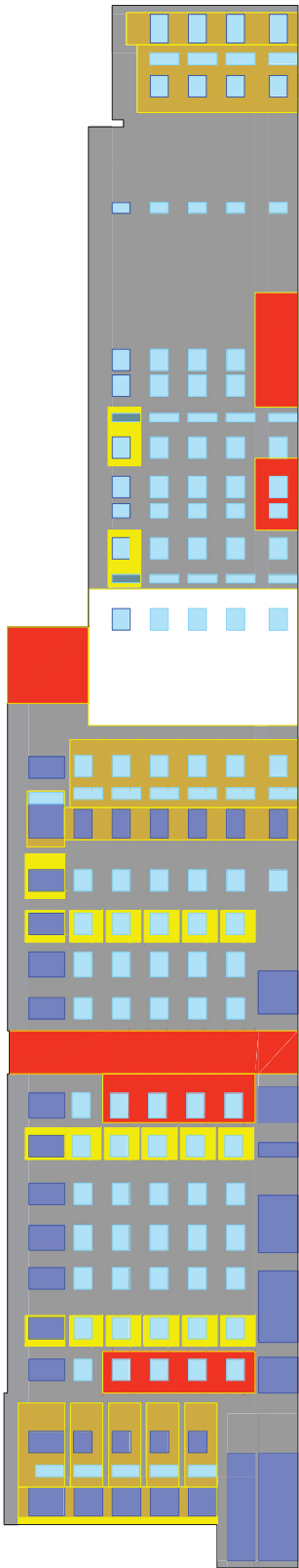


H CONCRETE MASONRY UNIT 02



J Residential Vinyl Windows

EXHIBIT 12

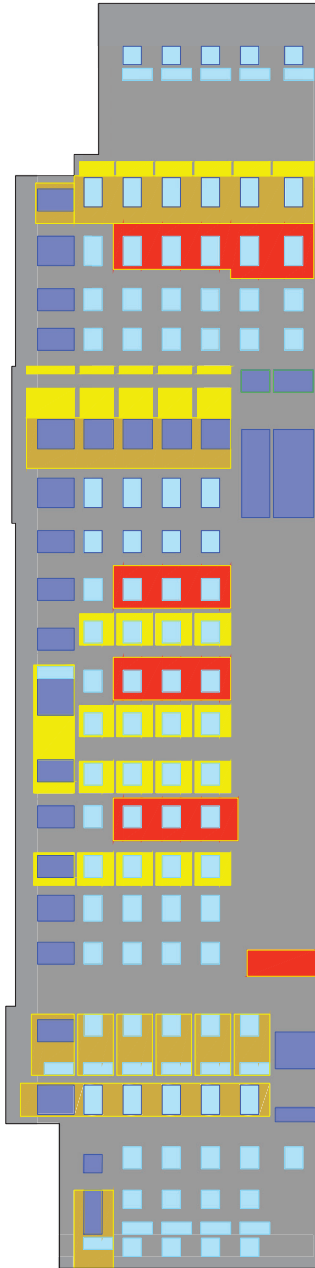


NORTH ELEVATION

SCALE: 1/16"=1'

TOTAL AREA: 30,686 SQFT
STUCCO AREA: 14,529 SQFT - 47%
GLAZING AREA: 3,864 SQFT - 13%
STOREFRONT AREA: 2,961 SQFT - 10%
OTHER MATERIAL: 9,332 SQFT - 30%
ACM: 3,140 SQFT
WOOD SIDING: 1,253 SQFT
CONCRETE MASONRY UNIT: 2,850 SQFT
MURAL: 2,089 SQFT

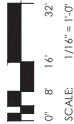
- STUCCO
- ACM
- WOOD SIDING
- CONCRETE MASONRY UNIT
- GLAZING
- STOREFRONT



EAST ELEVATION

SCALE: 1/16"=1'

TOTAL AREA: 26,854 SQFT
STUCCO AREA: 15,623 SQFT - 58%
GLAZING AREA: 3,516 SQFT - 13%
STOREFRONT AREA: 2,203 SQFT - 8%
OTHER MATERIAL: 5,512 SQFT - 21%
ACM: 2,197 SQFT
WOOD SIDING: 1,772 SQFT
CONCRETE MASONRY UNIT: 1,543 SQFT



KVA NO: 0121164
PROJECT: 24-2043-00
PAPP: 2403316
REZONE: N/A
CONTRACT: M12
COURTESY: 032-44



**TODD +
ASSOCIATES**

602-952-8280 / TODDASSOC.COM
24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
PUD SUBMITTAL #2

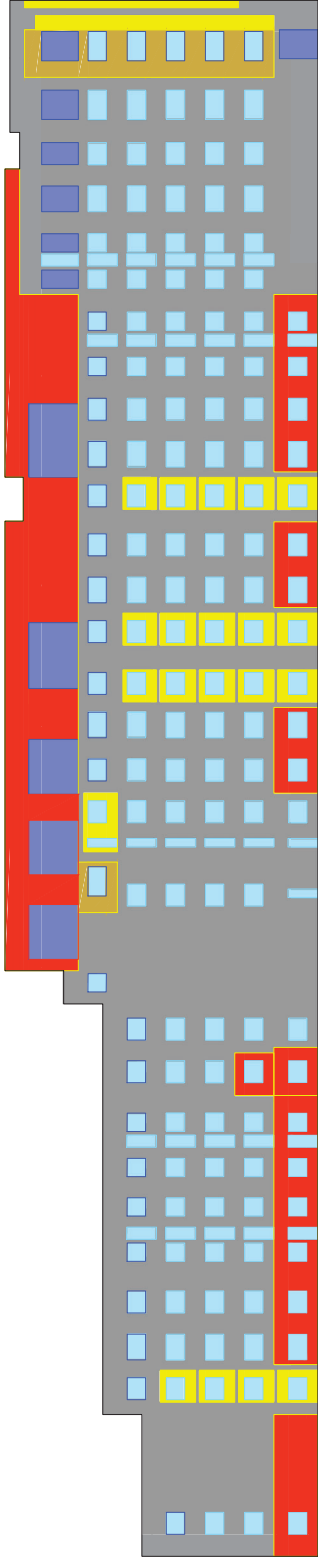
July 01, 2025



MATERIAL PERCENTAGES

Preliminary Not For Construction

A18

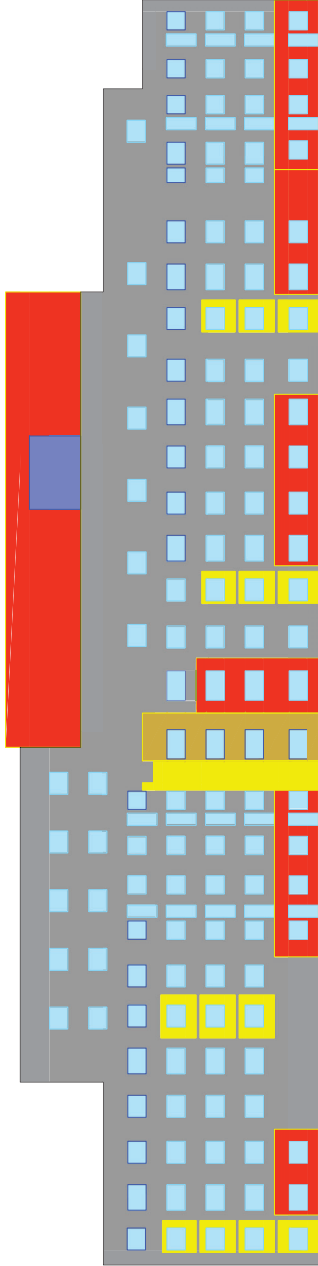


SOUTH ELEVATION

SCALE: 1/16"=1'

TOTAL AREA: 31,487 SQFT
STUCCO AREA: 17,337 SQFT - 55%
GLAZING AREA: 5,482 SQFT - 17%
STOREFRONT AREA: 1,592 SQFT - 5%
OTHER MATERIAL: 7,075 SQFT - 23%
ACM: 711 SQFT
WOOD SIDING: 1,533 SQFT
CONCRETE MASONRY UNIT: 4,831 SQFT

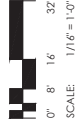
- STUCCO
- ACM
- WOOD SIDING
- CONCRETE MASONRY UNIT
- GLAZING
- STOREFRONT



WEST ELEVATION

SCALE: 1/16"=1'

TOTAL AREA: 25,359 SQFT
STUCCO AREA: 14,497 SQFT - 57%
GLAZING AREA: 4,530 SQFT - 18%
STOREFRONT AREA: 280 SQFT - 1%
OTHER MATERIAL: 6,052 SQFT - 24%
ACM: 440 SQFT
WOOD SIDING: 1,184 SQFT
CONCRETE MASONRY UNIT: 4,428 SQFT



KVA NO: 0121164
SUBJECT: 2403316
PAPP: 2403316
REZONE: 01/21/24
CONTRACT: 01/21/24
COURTESY: 03/24/24



TODD + ASSOCIATES

602-952-8280 / TODDASSOC.COM
24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025



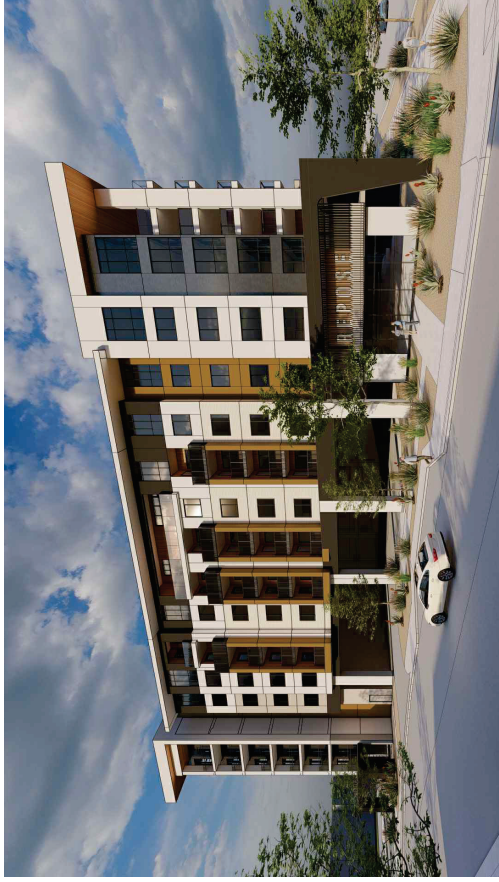
MATERIAL PERCENTAGES

Preliminary Not For Construction

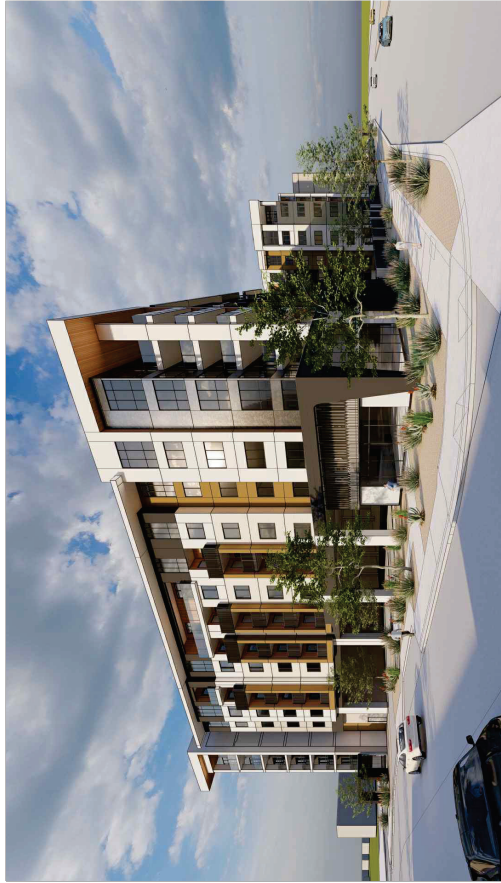
EXHIBIT 14



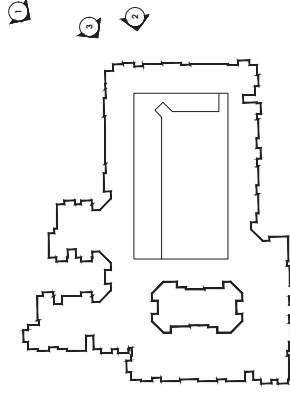
1 AERIAL VIEW FROM NORTHEAST
CORNER OF 74TH STREET & BELL ROAD



2 VIEW FROM NORTH
ALONG 71ST STREET



3 VIEW FROM NORTHEAST



KEYPLAN

KVA NO: 01-21164
SDEV: 0101827
PAPP: 2405316
CONTRACT: M12
ZONING MAP: Q36-44
QUARTER SECT: Q36-44



TODD +
ASSOCIATES

602-952-8280 / TODDASSOC.COM

24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
PUD SUBMITTAL #2

July 01, 2025



PERSPECTIVE RENDERINGS

Preliminary Not For Construction

A21



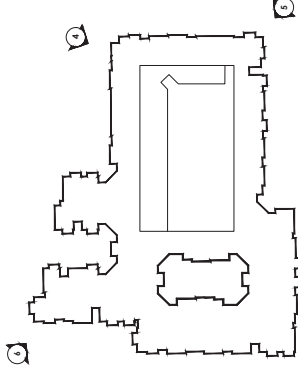
4 VIEW FROM NORTHEAST



5 VIEW FROM SOUTHEAST



6 VIEW FROM SOUTHWEST

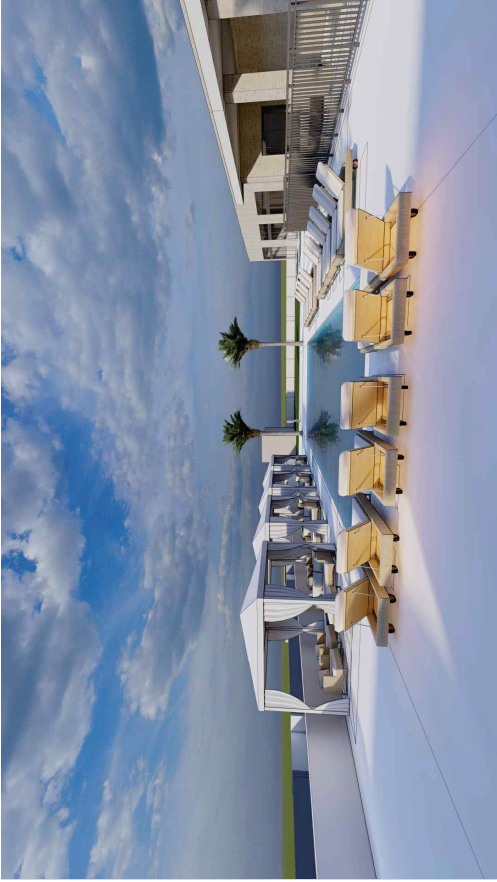


KEYPLAN

KVA NO:	01-21164
SDR:	010827
REZONE:	240316
ZONING MAP:	M12
QUARTER SECT:	Q38-44



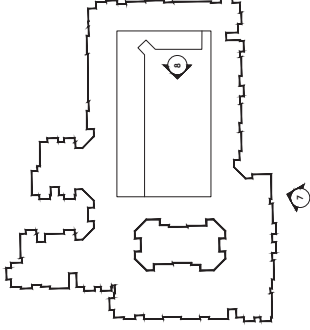
7 VIEW FROM SOUTHWEST



8 VIEW OF POOL TERRACE



9 VIEW FROM WEST



KEYPLAN

KVA NO:	01-21164
SDV:	0101827
KVA:	2465316
REZONE:	M12
ZONING MAP:	Q36-44
QUARTER SECT:	



TODD + ASSOCIATES
602-952-8280 / TODDASSOC.COM
24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

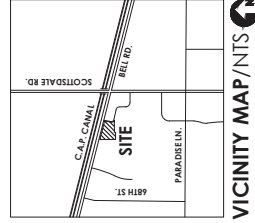
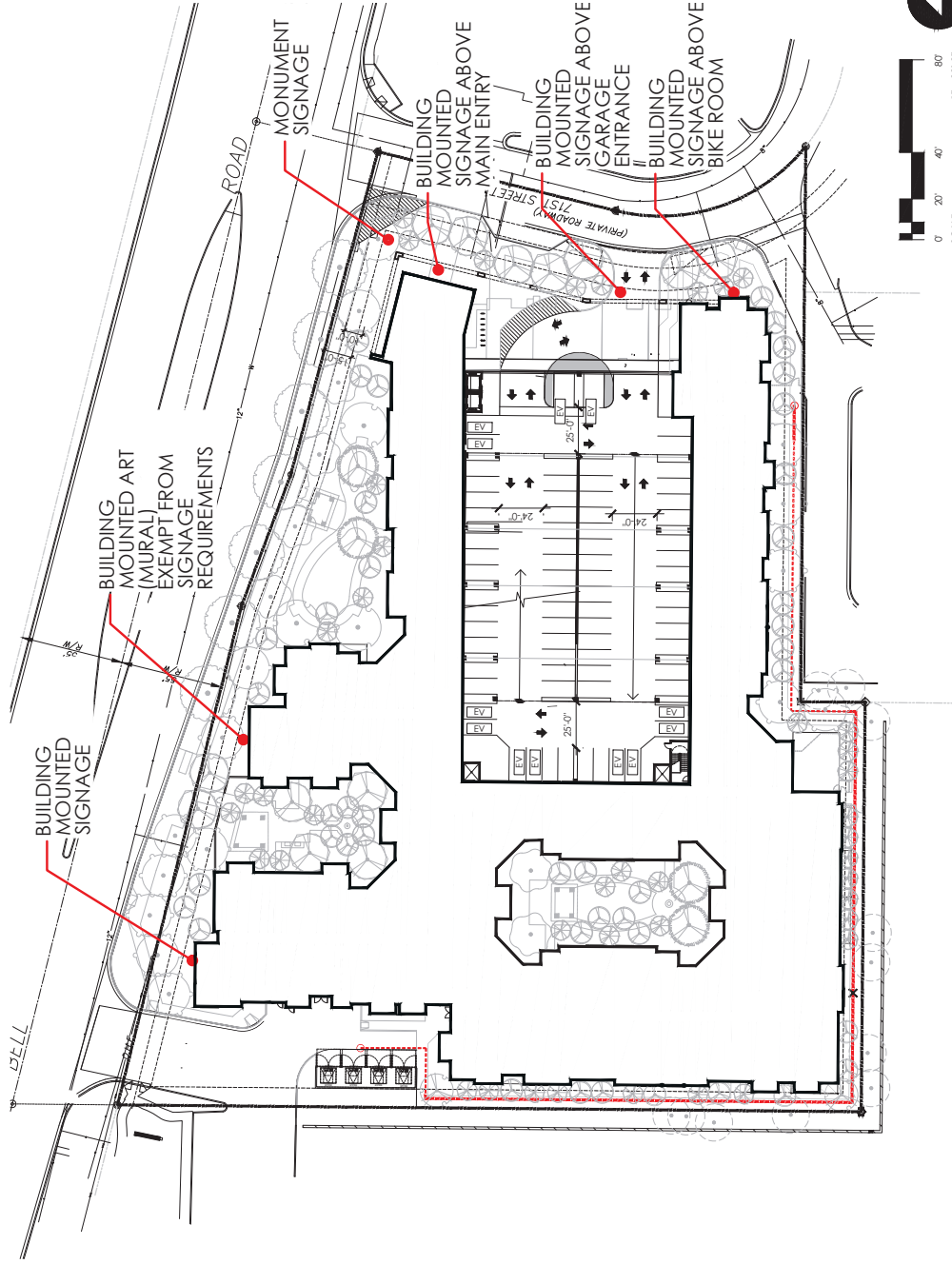
PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025



PERSPECTIVE RENDERINGS

Preliminary Not For Construction

EXHIBIT 13



VICINITY MAP/NTS

EVA NO: 01-31144
SWA NO: 01-01027
PAPP: 2403316
REZONE: M32
MAP: M32
QUARTER SECT: Q36-44



TODD + ASSOCIATES

602-952-8280 / TODDASSOC.COM

24-2043-00

RESIDENCES AT SCOTTSDALE CROSSING

PHOENIX, AZ
PUD SUBMITTAL #2
July 01, 2025



CONCEPTUAL SIGNAGE PLAN

Preliminary Not For Construction

A25