



CITY OF PHOENIX

MAR 26 2025

Planning & Development  
Department

## LAVEEN TOWNE CENTER CASE NO. Z-XX-XX-X

LOCATED AT THE SOUTHWEST CORNER OF  
DOBBINS ROAD AND 59TH AVENUE

DATE OF INITIAL SUBMISSION: MARCH 26, 2025  
HEARING DRAFT:  
CITY COUNCIL ADOPTED:

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

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**SNELL  
& WILMER**



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## A. PURPOSE AND INTENT

### A1: Project Overview and Goals

Vestar's latest open-air retail development, Laveen Towne Center (the "Development"), will be a vibrant and dynamic community focal point situated on 90 acres at the Southeast corner of the Loop 202 and Dobbins Road. The development will feature up to 530,000 SF of commercial uses, focused upon community servicing uses such as sit-down and quick-serve restaurants, personal services and specialty shops, a department store featuring groceries and general merchandise, a warehouse club, and a family entertainment facility. A diverse tenant mix will provide the community with dining, entertainment, and essential goods and services in one convenient and curated location.

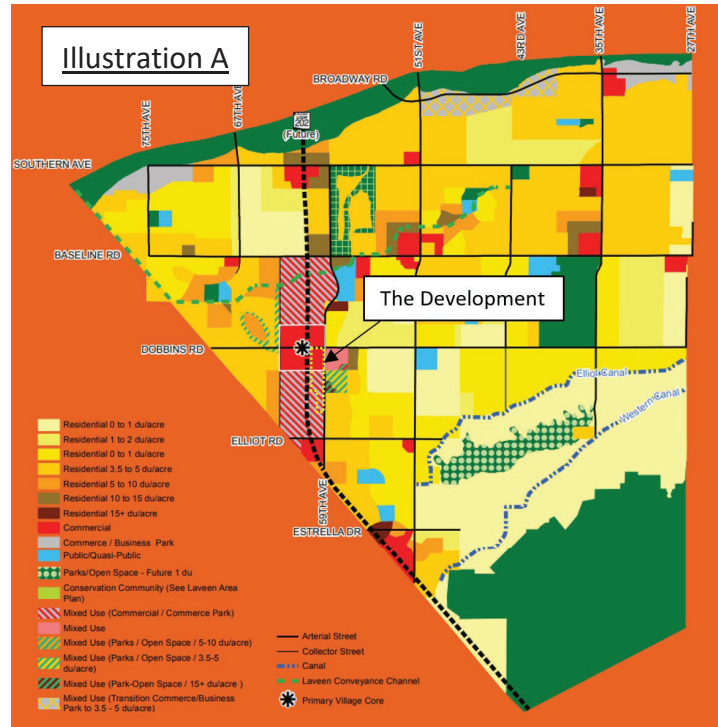
In partnership with BRIO Investment Group, the larger site will also include up to 1,456 modern residences adjacent to the retail uses, thoughtfully designed to both align with Laveen's heritage and provide stylish living spaces that foster a sense of belonging and community. While integrated, the retail and residential portions of the project will be distinct from one another, allowing the retail to be an amenity for both the immediately adjacent housing and the broader surrounding community.

The project's architecture will feature design elements keeping with Laveen's unique and rich agricultural history. Importantly, common areas and building design will pay respects to the former Hudson Farm operation which was located on the site for more than 6 decades, allowing future generations to learn of the pioneering farmers such as the Hudson's who laid the foundations of the Laveen community.

Landscaping and site design has been structured to provide for a comfortable pedestrian environment and the integration of open gathering spaces throughout the development. These areas will become focal points for relaxation, socializing, and community events, allowing neighbors to connect and build lasting relationships.

The Laveen Towne Center proposed by this PUD will result in an opportunity for significant retail and service uses that will be a community amenity while also providing quality housing opportunities proximate to the Laveen Village Core.

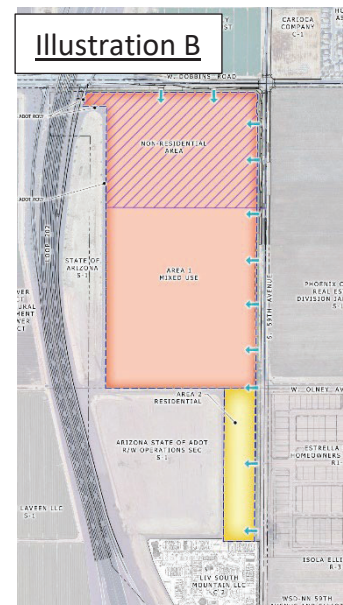
Strategically situated at the southeast corner of the South Mountain Freeway Extension (Loop 202) and Dobbins Road, in and abutting the Laveen Village Core, the Development will leverage its proximity to the regional transportation network, providing convenient access to neighborhood goods and services for residents of Laveen Village and the surrounding areas.



The Development is separated into two (2) distinct and conceptual development areas each defined by a unique land use designation.

The Development is anchored by commercial retail land uses, including up to two (2) major anchor stores, which will serve as the primary focus of Development Area 1. To promote flexibility and livability, Development Area 1 will permit mixed-use commercial and residential development. To ensure that the heaviest commercial and retail concentration is located along Dobbins Road, which bifurcates the center of the Village Core, no residential development is permitted within 1,020' of this alignment. The residential component of Development Area 1 is designed to offer an upscale multi-family living experience that complements the retail uses, while also providing housing diversity within the Village Core.

Development Area 2 is restricted to residential land uses only and may include multi-family, condominium, single-family attached or detached development options, as well as the possibility for modern assisted living.



Existing demand will form the customer base necessary to support the proposed commercial spaces, while future residents of the Development will ensure long-term sustainable economic activity at this key core location. By completing the southeastern section of the planned Village Core, the Development is envisioned as a transformative catalyst for the evolution of Laveen Village, stimulating further commercial growth in the immediate area, forwarding the goal and purpose of the village core concept as expressed in the City of Phoenix General Plan.

The land use plan for the Development makes use of a hierarchical structure, wherein proposed land uses decrease in intensity as distance from Dobbins Avenue and the Village Core increases. The Development emphasizes cohesion, compatibility, and consistency across its different land use types. The final plans for the Development will ensure overall harmony among the various land uses through improved pedestrian connectivity and visual consistency.

Key items this PUD includes are:

Connecting to existing high-volume transportation infrastructure, as this Development leverages its location along the South Mountain Freeway to offer convenient access for retailers, goods distributors, and both local and regional visitors. The site's proposed location and regional connectivity will position the Development as a key destination for shopping, dining and daily necessities, while fostering future growth along this important freeway corridor.

Emphasis on thoughtfully designed retail and commercial spaces will encourage sustained commercial investment within the area in a manner consistent with the vision and goals of the Laveen Village.

Uniform development standards and design guidelines ensure that, regardless of the final land use, end-user or tenant, the finished Development achieves design continuity, quality, and a "best in class" appearance.

Walkability with the final plans for the Development that will strengthen the surrounding pedestrian realm via implementation of detached sidewalks, enhanced landscape treatment, and shade along the public right-of-way. Additionally, the Development will foster a comfortable pedestrian environment and livability for future residents by incorporating landscape features, shade, and natural pathways that connect the various development phases.

Respecting the high visibility of the site resulting from its location along the South Mountain Freeway by providing quality design and architectural treatment that is incorporated throughout the elevations. All portions of proposed buildings will consist of quality materials and variation of texture/colors, creating visual interest and reflecting a sense of quality for both the surrounding community and those passing by. Building heights and massing will achieve an appropriate balance between the surrounding land uses and the type of intensity expected along a major freeway arterial, ultimately serving as a buffer between the community and the

South Mountain Freeway while providing for a visually important definition of the Village Core visible to passersby.

Architecture style draws inspiration from Laveen Village's agricultural identity and rural character while incorporating a contemporary flair. The Development honors Laveen's rich agricultural history through the use of inspired colors, materials and architectural elements, ensuring meaningful growth without disturbing the established and celebrated community character.

In summary, the Development, as expressed in this PUD, will be a high-quality horizontal mixed-use development that: (i) will develop an important portion of the Village Core in a manner consistent with the goals and vision of the Laveen Village; (ii) will promote modern development while reinforcing and celebrating Laveen's rich agricultural history; and (iii) will permit balanced development that is cognizant of the surrounding scale and character of the larger community and results in excellent placemaking.



## B. LAND USE PLAN

### B1: Proposed Land Use Categories

The **Laveen Towne Center PUD** is a large-scale regional development anchored by up to two (2) major retail anchor stores and up to 530,000 square feet of commercial and retail space. The Development will also include up to 1,456 dwelling units in multi-family, single-family and/or assisted living typologies.

### B2: Conceptual Site Plan Summary

The development of the site is proposed as a multiphase project consisting of two (2) distinct development areas. The associated land use plan makes use of a hierarchical structure, wherein proposed land uses decrease in intensity and traffic generation as distance from the Dobbins Avenue, a major arterial and the center of the Village Core, increases. Development Area 1, which is located nearest Dobbins Road, is proposed for commercial retail and residential development, however, residential development is not permitted within 1,020' of Dobbins Road to ensure a strong commercial concentration along this critical arterial. Development Area 2, which is located south of Area 1 and further from the Village Core, is proposed for multi-family condominium, single-family attached or detached development options, as well as assisted living opportunities that will compliment land uses to the east.

Construction of Development Area 1 establishes primary site access by improving the full widths of Dobbins Road and 59<sup>th</sup> Avenue. The two (2) driveways with 12'-wide right turn and decelerator lanes will be constructed along Dobbins Road. Additionally, multiple driveways and 12'-wide right turn and decelerator lanes separated by no more than 479' are proposed along 59<sup>th</sup> Avenue in service of Area 1. Additional site access along 59<sup>th</sup> Avenue will be limited to standard driveway access.

ADOT owned land, developed with a regional retention basin, provides a buffer and significant separation between the Development and the northbound South Mountain Freeway travel lanes, guaranteeing high visibility of the commercial development and allowing for excellent views from the residential uses. The Development will respond to this high visibility by utilizing quality four-sided architecture and quality building materials that honor Laveen's long history as an agricultural community, preserving the unique character of the Village and establishing a visibly noticeable and defined location along this major freeway.

The Development aims to provide generous open spaces in order to integrate the natural beauty of the surrounding desert landscape and to embrace the Arizona lifestyle. The Development's proposed building heights, massing and design will carefully balance the

area's more traditional rural surroundings and with the level of intensity typically associated with freeway-adjacent commercial development as well as being of a form appropriate for the Village Core in which the project is located.

In summary, the overall project site plan provides for establishment of the key site access locations and an illustrative example of the two (2) development areas upon which each individual development will proceed in accordance with the provided design guidelines and development standards of the **Laveen Towne Center PUD**.

## C. LIST OF USES

### C1: Permitted Uses

Note: The City of Phoenix Zoning Administrator may issue interpretations for land uses that are analogous to those listed in this Section, as authorized by Zoning Ordinance Section 307.A.3.

Development Areas are per Exhibit 1.

#### Development Area 1

- All C-2 uses as permitted in Zoning Ordinance Section 623 and further amended as follows:
  - Additional Permitted Primary Use
    - Massage therapy, performed by a licensed massage therapist
    - Distillery and brewery
      - retail sales for on and/or off premises consumption
      - with or without bottling
      - with or without food
    - Car wash in an open building
    - Farmer's Market
    - Liquor, Package Retail Sales
    - Nonchartered Financial Institutions
    - Outdoor food preparation, cooking and sales by an independent operator.
    - Pet Day Care Facility, Indoor and Outdoor
    - Pet Care Facility
    - Veterinary Offices and/or Hospitals, with or without outdoor accessory uses
    - Bars and Cocktail Lounges
  - Additional Permitted Accessory Use
    - Coffee Roasting
    - Compressed Natural Gas (CNG) Retail Sales
    - Outdoor food preparation, cooking and sales
      - Outdoor food preparation shall occur within 50 feet of a building entrance
    - Outdoor recreation, outdoor dining, and outdoor alcoholic beverage consumption
    - Drive-through facilities
    - Stage or performance area
- Multifamily land uses and approved accessory uses per the Zoning Ordinance Table 608.D, subject to the density and development standards of this PUD.

## Development Area 2

- Multifamily land uses and approved accessory uses per the Zoning Ordinance Table 608.D, subject to the density and development standards of this PUD.
- Single-family land uses and approved accessory uses per Zoning Ordinance Table 608.D, subject to the density and development standards of this PUD.
- Assisted Living and commonly associated accessory uses.

### C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance.

### C3: Prohibited Uses

- All uses not expressly permitted in Section C1 are prohibited.

## D. DEVELOPMENT STANDARDS

D1: Development Standards Table

Development Standards		Proposed PUD	
a. <u>Development Area 1</u> <sup>1</sup>			
1. Maximum Density		1,286 units	
2. Residential Development Restriction, Location		Residential development shall not be permitted within 1,020' of Dobbins Road as illustrated by <u>Exhibit 1.</u>	
3. Maximum Commercial Gross Floor Area		530,000 square feet	
4. Minimum Lot Width/Depth		No Minimum	
5. Minimum Building Setbacks <sup>2</sup>		Commercial Development	Multi-Family Residential Development
North Perimeter (Adj. to Dobbins Road)	Average 20'; minimum 15' permitted for up to 50% of frontage	N/A	
East Perimeter (Adj. to 59 <sup>th</sup> Avenue)	Average 20'; minimum 15' permitted for up to 50% of frontage	Average 20'; minimum 15' permitted for up to 50% of frontage	
West Perimeter (Adj. to ADOT ROW)	0'	0'	
South Perimeter (Adj. to Development Area 2)	5'	5'	
Interior Property Lines	0'	0'	
6. Building Height (Maximum)		56' or 4 stories	
7. Residential Building Height Restrictions		Height shall not exceed 45' or 3 stories within the first 50' of 59 <sup>th</sup> Avenue. Additional 1' in height permitted for each additional 1' of setback provide to a maximum of 56' or 4 stories.	
8. Lot Coverage		60% of Development Area 1	
9. Minimum Building Separation		Per Building Code	
b. <u>Development Area 2</u> <sup>3</sup>			
1. Maximum Density		170 Units	
2. Minimum Lot Width		None for multi-family 20' for single-family attached 30' for single-family detached – rear loaded 40' for single-family detached – front loaded 45' for all other lots	

<sup>1</sup> All Standards are Cumulative to Entire Development Area

<sup>2</sup> Minimum Building Setbacks shall be landscaped per Section E.2.d

<sup>3</sup> All Standards are Cumulative to Entire Development Area

E2: Streetscape Standard Table	3. Minimum Lot Depth		None
	4. Minimum Building Setbacks (Perimeter) <sup>4</sup>		
	North Perimeter (Adj. to Development Area 1)	0'	
	East Perimeter (Adj. to 59 <sup>th</sup> Avenue)	Average 20'; minimum 15' permitted for up to 50% of frontage	
	West Perimeter (Adj. to ADOT ROW)	0'	
	South Perimeter (PUD Perimeter)	0'	
	5. Minimum Building Setbacks (Interior)		
	Front	10'	
	Side	0'	
	Street Side	10'	
	Rear	0'	
	6. Garage Setbacks		
	Multi-family	N/A	
	Street (single-family)	18' from back of sidewalk for front loaded garages; 10' from property line for side-loaded garages;	
	Motorcourt (single-family)	3' from back of sidewalk, or curb where no sidewalk occurs	
	7. Building Height (Maximum)		45' or 3 stories for single-family residential land uses 56' or 4 stories for multi-family and assisted living uses
	8. Lot Coverage (Maximum)		60% of Development Area 2
Streetscape Standards			
a. Dobbins Road		<u>Public Sidewalk</u> : 5' attached within 660' of Loop 202; otherwise 5' detached except where adjacent to a deceleration right-turn lane  <u>Landscape Strip</u> : 5' located between back of curb and sidewalk for all detached sidewalks.  <u>Planting Standards</u> : The landscape strip shall be landscaped with minimum 2" caliper trees to be planted 25' on center or in equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24" tall at	

<sup>4</sup> Minimum Building setbacks shall be landscape per Section E.2.d



	<p>maturity). Landscape planters shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Sidewalk Tree Shade Coverage:</u> 75% except areas where utilities, easements, and/or fire lane access, or other obstructions that prohibit the installation of trees are exempt for 75% coverage requirement.</p> <p>Where conflicts exist, and along right turn lanes, sidewalk and/or landscape strip may be reduced in width subject to Planning and Development Department approval.</p>
<b>b. 59<sup>th</sup> Avenue</b>	<p><u>Detached Public Sidewalk:</u> 5' detached; except where adjacent to a deceleration right-turn lane</p> <p><u>Landscape Strip:</u> 5' located between back of curb and sidewalk for all detached sidewalks</p> <p><u>Planting Standards:</u> The landscape strip shall be landscaped with minimum 2" caliper trees to be planted 25' on center or in equivalent groupings. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24" tall at maturity). Landscape planters shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Sidewalk Tree Shade Coverage:</u> 75% except areas where utilities, easements, and/or fire lane access, or other obstructions that prohibit the installation of trees are exempt for 75% coverage requirement.</p> <p>Where utility conflicts exist, and along right turn lanes, sidewalk and/or landscape strip may be reduced in width subject to Planning and Development Department approval.</p>
<b>c. Interior Public or Private Streets (Single-Family Residential Development Only)</b>	<p><u>Attached Sidewalk:</u> Minimum 5' wide.</p>

Minimum Landscape Standards<sup>5</sup>

## a. Perimeter Landscape Requirements

North (Dobbins Road)	<p><u>Landscaping Standards:</u> A minimum of 2" caliper trees to be planted 20' on center or in equivalent groupings. Minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24" tall at maturity). Landscape setback shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Sidewalk Tree Shade Coverage:</u> 75% except areas where utilities, easements, and/or fire lane access, or other obstructions that prohibit the installation of trees are exempt for 75% coverage requirement.</p>
East (59 <sup>th</sup> Avenue)	<p><u>Landscaping Standards:</u> A minimum of 2" caliper trees to be planted 20' on center or in equivalent groupings. Minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24" tall at maturity). Landscape setback shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p> <p><u>Sidewalk Tree Shade Coverage:</u> 75% except areas where utilities, easements, and/or fire lane access, or other obstructions that prohibit the installation of trees are exempt for 75% coverage requirement. When possible, trees shall be staggered on either side of the detached sidewalk to achieve 75% shade at the public sidewalk. Areas where utilities, easements, and/or fire lane access, or other obstructions that prohibit the installation of trees are exempt for 75% coverage requirement.</p>
West (ADOT Right-of-Way)	No standard
Development Perimeter (Not Adjacent to a Street)	<p><u>Landscaping Standards:</u> A minimum of 2" caliper trees to be planted 25' on center or in equivalent groupings. Minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24' tall at maturity). Landscape setback shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p>

<sup>5</sup> Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.

	<p><u>Exceptions:</u> The landscape setback may be reduced as necessary for direct pedestrian connection between Development Areas 1 &amp; 2.</p>	
<b>b. Minimum Total Open Space</b>	<b>Commercial Development</b>	<b>Residential Development</b>
	A minimum 5% of the commercial development area within Development Area 1.	A minimum 5% of the residential project area.
<b>c. Open Space Landscape Requirements</b>	<p>Open space shall be landscaped with a mix of ground coverings and shrubs to achieve a minimum of 50% total live vegetative groundcover.</p> <p>Commercial common area open space programmed with amenities may utilize artificial turf in lieu of vegetative groundcover.</p>	
<b>d. Parking Area Landscape Requirements</b>	<b>Commercial Development</b>	<b>Multi-family Residential Development</b>
	A minimum 5% of the interior surface parking area (exclusive of perimeter landscaping and all required setbacks) shall be landscaped.	A minimum 5% of the interior surface parking area (exclusive of perimeter landscaping and all required setbacks) shall be landscaped.
<b>e. Parking Area Planters</b>	<b>Commercial Development</b>	<b>Multi-family Residential Development</b>
	Full parking island planters (min' 5' internal dimension) at ends of every parking row with diamond landscape planters (min 5' x 5' internal dimension) every 8 contiguous parking spaces.	Full parking island planters (min' 5' internal dimension) at ends of every parking row and approximately every 110'
<b>f. Parking Area Planter Landscaping Standards</b>	<p>All parking area planters shall be landscaped with a minimum of 1 (one) 2" caliper tree. A minimum of five (5) 5-gallon drought resistant shrubs per tree (maximum 24' tall at maturity). Landscape planter shall be planted to achieve a minimum of 50% total live vegetative groundcover.</p>	
<b>g. Amenities</b>	<p>In all single-family and multi-family residential developments, resident amenities shall be provided within minimum required open space area outside of required setbacks.</p>	

	See <a href="#">Section E.2.f</a> for landscape design guidelines.
<b>h. Commercial Common Area Amenities &amp; Enhancements</b>	<p>Development Area 1 shall provide the following common area amenities and enhancements:</p> <ul style="list-style-type: none"> <li>• A minimum of 1,000 square feet of combined common area with seating, shade, softscape activity areas, and ready access to nearby retailers.</li> <li>• In at least one (1) instance, the recreation or reuse of select materials and design elements of the structures formerly on the site, utilized in a feature within a commonly visible element, such as landscaping, architecture and/or other way (benches, paving materials, interpretive element).</li> <li>• An informational podium in the primary common area with information on both the Hudson family and farm operation, as well as the history of Laveen's founding and early development.</li> <li>• A minimum of two (2) agricultural type structures positioned in a common area to supplement building design and pay respects to the agricultural history of the site and Laveen.</li> </ul>
<b>i. Pedestrian Spine</b>	An enhanced 6'-wide concrete pathway providing direct pedestrian connection through Development Area 1, providing access between residential and commercial retail land uses, shall be constructed internal to the development. The pathway shall be lit in accordance with Section E7 and provide shading in accordance with Section E6.

Parking Standards	
<b>a. Minimum Parking Standards</b>	Per Ordinance Section 702.E except amended as follows: the combined depth of the parking space and drive aisle width shall equal sixty (60) feet for a double loaded aisle and forty-three (43) feet for a single loaded aisle.
<b>b. Off-Street Loading Spaces</b>	Per Ordinance Section 702.B

c. Bicycle Parking	Commercial Development	Multi-family Residential Development
	<p>Buildings with less than 5,000 square feet shall provide a minimum of four (4) bicycles spaces near the building's entrance.</p> <p>Buildings with more than 5,000 square feet shall provide 1 bicycle space per 25 required vehicle parking spaces, with a maximum requirement of 10 spaces.</p>	<p>Individual developments shall provide 1 bicycle space per 25 required vehicle parking spaces, with a maximum requirement of 50 spaces.</p> <p>Bicycle parking may be distributed throughout the development and shall be provided in secured parking /storage areas located within 50 feet from building entry points.</p>
d. Electric Vehicle Charging	Commercial Development	Multi-family Residential Development
	A minimum 5% of required parking spaces shall be EV capable.	A minimum 5% of required parking spaces shall be EV capable.

**E5: Fences/Walls**

**Fences/Walls**

Except as modified herein, fences and walls shall comply with Ordinance Section 703.

An eight (8) foot tall CMU block fence shall be permitted along the west perimeter PUD boundary line.

**E6: Shade**

**Shade**

Shading, which may be architectural, vegetative, or any combination thereof, shall be provided at a minimum of 75% for all public sidewalks and 50% for all private sidewalks, including the pedestrian spine referenced in Section E3.I. Sidewalks are to be shaded per Section E.3. All shade calculations shall be based on the summer solstice at noon.

Shading, which may be architectural, vegetative, or any combination thereof, shall be provided at a minimum of 25% for each required open space area for single-family and multi-family developments.

Shading Exemption: Areas where utilities, easements, and/or fire lane access, or other obstructions that prohibit the installation of trees are exempt from shade coverage requirements. Where conflicts exist with achieving the above, the developer shall work with the Planning and

Development Department on alternative design solutions consistent with a pedestrian environment.

**Lighting**

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.



## F. DESIGN GUIDELINES

### F1: Design Guidelines

Design Guidelines	
a. Exterior Materials	
<b>Non-Residential Building Facades</b>	<p><b>Non-residential building facades shall include:</b></p> <ul style="list-style-type: none"> <li>• Maximum 65% Stucco</li> <li>• Minimum 20% Glazing</li> <li>• Minimum 15% other materials (from list below)</li> </ul> <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> <li>• Concrete masonry</li> <li>• Brick</li> <li>• Architectural concrete</li> <li>• Simulated wood</li> <li>• Composite paneling</li> <li>• Non-reflective coated metal/corrugated metal</li> </ul>
<b>Multi-Family Residential</b>	<p><b>Multi-family residential building facades shall include:</b></p> <ul style="list-style-type: none"> <li>• Maximum 70% Stucco</li> <li>• Minimum 20% Glazing</li> <li>• Minimum 10% other materials (from list below)</li> </ul> <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> <li>• Masonry</li> <li>• Brick</li> <li>• Real and simulated wood</li> <li>• Board &amp; Batten</li> <li>• Composite paneling</li> <li>• Non-reflective coated metal/corrugated metal</li> </ul>
<b>Single-Family Residential</b>	<p><b>Single-family residential building facades shall include:</b></p> <ul style="list-style-type: none"> <li>• Maximum 80% Stucco</li> <li>• Minimum 10% Glazing</li> <li>• Minimum 10% other materials (from list below)</li> </ul> <p>Other materials utilized (at least two):</p> <ul style="list-style-type: none"> <li>• Concrete masonry</li> <li>• Brick</li> <li>• Non-reflective coated metal/corrugated metal</li> <li>• Architectural concrete</li> <li>• Simulated wood</li> <li>• Composite paneling</li> </ul>

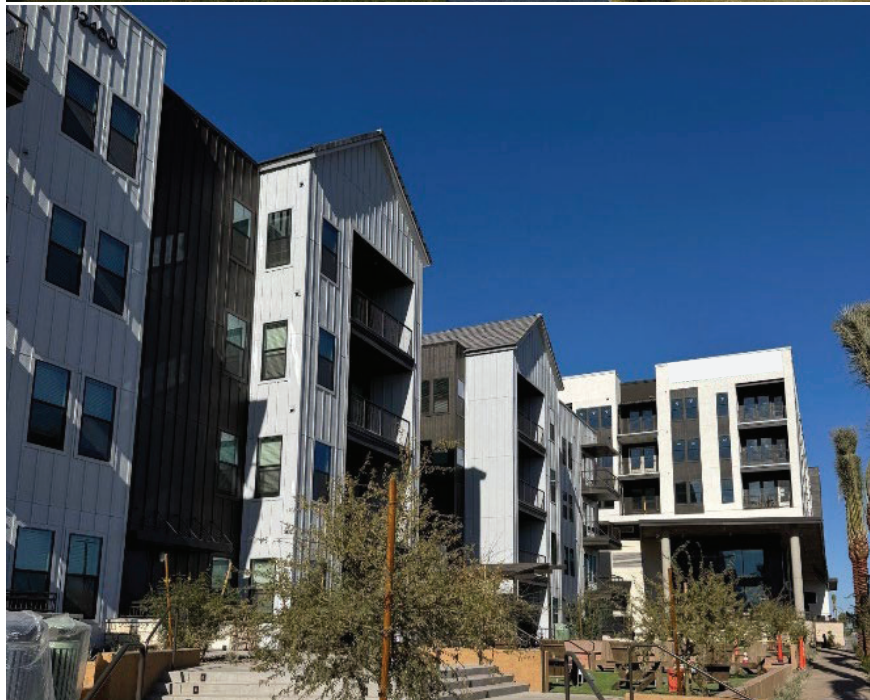
<b>b. Architecture</b>	
<b>Continuity</b>	All sides of a structure should exhibit design continuity and contain multiple exterior materials that exhibit quality and durability.
<b>Character</b>	<p>The architectural style and character of the development should be thoughtfully designed to reflect and honor the historic agricultural identity of Laveen Village, blending this rich heritage with modern design elements. Each building within the development should embrace a variety of rooflines—ranging from pitched, flat, to single-angle roofs—that create visual diversity and a sense of harmony with the surrounding environment. The use of a wide range of natural building materials is essential to provide depth, texture, and a warm, inviting aesthetic that pays homage to the agricultural roots of the area. Materials such as concrete masonry, steel, and metal panel should be carefully selected to evoke a sense of authenticity while adding modern functionality.</p> <p>The overall elevations of the structures should be designed to emphasize the agrarian history of the land, showcasing a timeless connection to farming traditions. Thoughtful architectural features that echo the simplicity and strength of historical structures should be incorporated, creating a balance between the past and present.</p> <p>The design should draw on key elements seen in historic hay barns and agricultural buildings—such as open, airy spaces, exposed structural elements, and simple lines. These references to traditional farm structures should be reflected in the form, massing, and proportion of the buildings, establishing a visual dialogue with the rural landscape.</p> <p>High-quality finishes should be used throughout the development, enhancing the building facades and enriching the overall aesthetic. Color palettes should be carefully chosen to evoke a connection to the land—earthy tones, weathered finishes, and textures that add vibrancy, warmth, and a tactile sense of place. The use of color and texture should not only be aesthetically pleasing but also serve to highlight the unique architectural detailing and craftsmanship of the development.</p> <p>The intention is to create a sense of timelessness, where the architecture feels both of its time and in keeping with the historic use of the land, ensuring that the development contributes meaningfully to the fabric of Laveen Village while remaining respectful of its agricultural roots.</p> <p>In general, the architectural design should be reminiscent of the following character images:</p>

Commercial  
Character  
Images





**Multi-Family  
Residential  
Character  
Images -  
Exterior**



**Multi-Family  
Residential  
Character  
Images -  
Exterior**

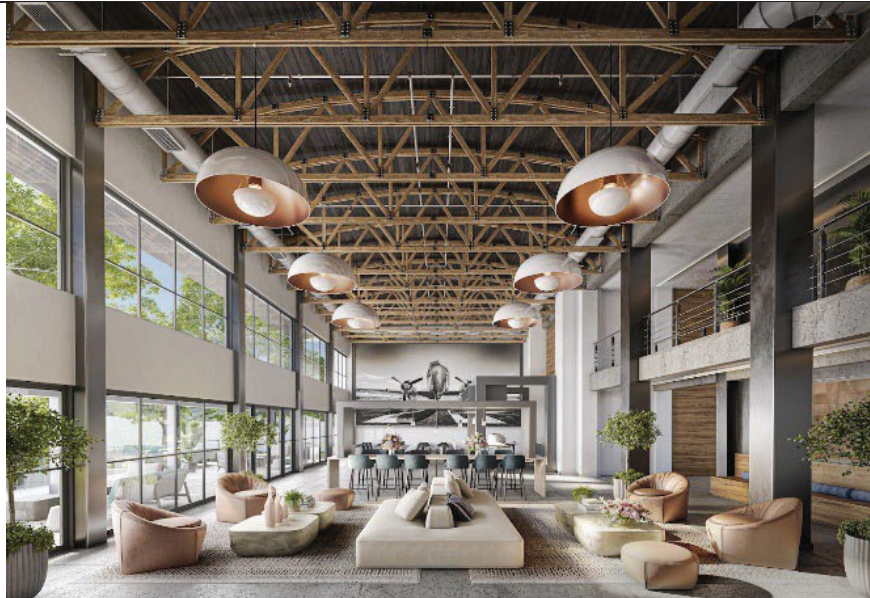




**Multi-Family  
Residential  
Character  
Images -  
Exterior**



**Multi-Family  
Residential  
Character  
Images -  
Interior**





	
<b>Single-Family Residential Character Images - Exterior</b>	 
<b>c. Color Palette</b>	Neutral colors complementary to the desert landscape and surrounding area.
<b>d. Façade Restriction</b>	Blank walls shall not exceed a 50' horizontal dimension without a variation in texture or building fenestration.
<b>e. Private Balconies</b>	70% of all residential units on the second floor and above shall contain a minimum of one private balcony, measuring a minimum of 30 square feet having a minimum depth of 4'-6".

<b>f. Screening</b>	Screening may be achieved through CMU walls, fencing, berms or landscape improvements. Architectural screening shall utilize detailing consistent or complementary to the building façade. Architectural screen walls may include perforated fencing as long as opacity does not exceed 40%.
<b>g. Surface Parking Screening</b>	Surface parking areas shall be buffered from adjacent properties and screened from public right-of-way by a minimum 36" tall screening element as permitted in Section F1.f.
<b>h. Garage Screening</b>	Any portion of a structured parking garage for commercial or multi-family use, other than garage entry, that is visible from a City of Phoenix public right-of-way or an off-site building shall be screened by the primary structure or screened by other materials consistent with the primary building façade. This standard excludes single-family garages and carriage units.

**F2: Landscape Design Guidelines**

<b>F2. Landscape Design Guidelines</b>	
<b>a. Uniform Perimeter Design</b>	<p>The perimeter building setbacks will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• Minimum 2" caliper trees to be planted a minimum of 20' on center, or equivalent grouping.</li> <li>• All trees and shrubs used at this project shall be consistent with the Arizona Department of Water Resources' "Low Water Use and Drought Tolerant Plant List" for the Phoenix Active Management Area.</li> <li>• A minimum of five (5) 5-gallon shrubs or accent plants per tree (maximum 24" tall at maturity).</li> <li>• Minimum five (5) different shrub species</li> <li>• Minimum two (2) different accent species</li> <li>• Minimum 50% live ground coverage within landscape areas</li> </ul> <p><u>Conflict Resolution:</u> Where conflicts with utilities, easements, and/or fire lane access, or other obstructions prevent installation of landscaping as detailed above, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
<b>b. Uniform Interior Design</b>	<p>The interior building setbacks will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• Minimum 2" caliper trees to be planted a minimum of 20' on center, or equivalent grouping.</li> <li>• All trees and shrubs used at this project shall be consistent with the Arizona Department of Water Resources' "Low</li> </ul>

	<p>Water Use and Drought Tolerant Plant List” for the Phoenix Active Management Area.</p> <ul style="list-style-type: none"> <li>• Minimum five (5) different shrub species</li> <li>• Minimum two (2) different accent species</li> <li>• Minimum 50% live ground coverage within landscape areas</li> </ul> <p><u>Conflict Resolution:</u> Where conflicts with utilities, easements, and/or fire lane access, or other obstructions prevent installation of landscaping as detailed above, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
<b>c. Minimum Open Space Areas</b>	<p>Other than interior courtyard spaces, common open spaces will include a shade canopy of trees and colorful mix of shrubs, accents and groundcover to provide visual interest and a comfortable seating environment. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• Minimum one (1) 2” caliper tree to be planted per 1,000 sf of open space area. A minimum of five (5) 5-gallon drought-resistant shrubs or accent plants per tree (maximum 24” tall at maturity).</li> <li>• All trees and shrubs used at this project shall be consistent with the Arizona Department of Water Resources’ “Low Water Use and Drought Tolerant Plant List” for the Phoenix Active Management Area.</li> <li>• Minimum 50% live ground coverage within landscape areas</li> </ul> <p><u>Conflict Resolution:</u> Where conflicts with utilities, easements, and/or fire lane access, or other obstructions prevent installation of landscaping as detailed above, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
<b>d. Pedestrian Spine Landscaping</b>	<p>The area adjacent to the pedestrian pathway will be landscaped to include a shade canopy of trees and colorful mix of shrubs, accents and groundcover to provide visual interest and a comfortable seating environment. The landscape will be comprised of:</p> <ul style="list-style-type: none"> <li>• Minimum 2” caliper trees to be planted a minimum of 25’ on center, or equivalent grouping.</li> <li>• All trees and shrubs used at this project shall be consistent with the Arizona Department of Water Resources’ “Low Water Use and Drought Tolerant Plant List” for the Phoenix Active Management Area.</li> <li>• Minimum five (5) different shrub species</li> <li>• Minimum two (2) different accent species</li> </ul>

	<ul style="list-style-type: none"> <li>Minimum 50% live ground coverage within landscape areas</li> </ul> <p><u>Conflict Resolution:</u> Where conflicts with utilities, easements, and/or fire lane access, or other obstructions prevent installation of landscaping as detailed above, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.</p>
<b>e. All Other Landscape Areas</b>	All other landscape areas shall be planted with a mix of trees, shrubs and accent plants consistent with the Arizona Department of Water Resources' "Low Water Use and Drought Tolerant Plant List" for the Phoenix Active Management Area, to achieve a minimum of 50% live ground coverage.
<b>F3. Amenities</b>	
<b>a. Resident Amenities</b>	<p>All residential developments shall provide residential amenities (private amenities). Multi-family developments shall provide a minimum of three (3) and single-family family development shall provide a minimum of two (2) of the following amenities:</p> <ul style="list-style-type: none"> <li>Resident leasing, lounge and/or clubhouse no less than 3,000 sf</li> <li>Fitness center no less than 2,000 sf</li> <li>Shaded outdoor seating area(s)</li> <li>Shaded outdoor dining area containing: <ul style="list-style-type: none"> <li>2 grills</li> <li>2 tables</li> </ul> </li> <li>Dog wash</li> <li>Sports court and/or recreation area</li> <li>Tot lot</li> <li>Swimming pool and/or spa with at least three (3) of the following: <ul style="list-style-type: none"> <li>Lounge deck</li> <li>Shaded outdoor dining area(s)</li> <li>Barbeque grill (s)</li> <li>Seating node(s)</li> </ul> </li> </ul>

## G. SIGNS

### G1: Permitted Signs

Project signs shall be approved pursuant to a Comprehensive Sign Plan approval per Section 705.E.2.

## H. SUSTAINABILITY

### H1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- As encouraged by Reimagine Phoenix, recycling receptacles will be provided.
- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged.
- Electric vehicle charging as noted herein.

### H2: Developer Enforced Standards

The following are sustainability practices that are highly encouraged and planned to be utilized but which are not enforceable by the City:

- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
- Lower flow toilets and showerheads within multi-family and single-family residential developments.
- Energy Star Rated appliances within multi-family and single-family residential developments.
- Reduce heat island effect through ample open space, desert adapted landscaping, and vegetation to include shrubs etc.
- Within multi-family residential developments, offer on-site amenities and activity programs to encourage residents to remain on property, reducing off-site traffic trips.
- Recycling services will be provided for tenants.
- Multi-family residential tenants will be offered paperless invoicing and billing.
- Consider use of grey water or condensate to supplement potable irrigation water.

# I. INFRASTRUCTURE

## I1: Grading and Drainage

The site is currently underdeveloped and vacant. It is the site of a former and now vacant farm which has ceased operations. The Site generally flat and is characterized by grass ground cover with few trees. The site is surrounded by ADOT right-of-way to the west, Dobbins Road to the north, 59<sup>th</sup> Avenue to the east, and the site of a future residential development to the south. An exposed SRP canal runs the length of the northern PUD perimeter.

## I2: Water and Wastewater

Water and wastewater planning will require significant coordination with the City of Phoenix. There are currently no water services on site and a main extension will be required. Connection should occur at 59<sup>th</sup> Avenue and Dobbins and extension shall occur west along Dobbins Road for the length of the property, before terminating at the ADOT right-of-way. There are currently no sewer services on site and a main extension will be required. Connection should occur within 59<sup>th</sup> Avenue with a public main extension within Dobbins Road. In order to provide a connection to the existing public water and sewer, the site will be required to cross under/over a transmission main.

## I3: Circulation Systems

The Laveen Towne Center development will shift local traffic patterns, reducing long trips to distant shopping centers and keeping more travel within Laveen. To accommodate increased traffic within the area, construction of the south half-street of Dobbins between Loop 202 and 59<sup>th</sup> Avenue will occur. Additionally, the installation of a traffic signal near the freeway interchange is essential for managing expected traffic volumes, preventing congestion, and ensuring efficient flow. The Laveen Towne Center development will include a total of eleven (11) proposed access points, including two (2) new full movement signalized intersections located approximately 654-feet west of 59<sup>th</sup> Avenue along Dobbins Road and 660-feet south of Dobbins Road along 59<sup>th</sup> Avenue, seven (7) non-signalized full movement access points (two (2) of which are in alignment with Olney Avenue and Lodge Drive)), and three (3) restricted right-in/right-out only access points. An internal pedestrian circulation system will be developed to connect residents with convenient access to neighborhood retail goods and services.

The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project:

- *Streets should be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users, and more vulnerable modes (walking, bicycling, transit).*

New detached sidewalks will be constructed along 59<sup>th</sup> Avenue and partially along Dobbins Road (where space permits). Detached sidewalks will help increase perceived and real pedestrian safety, contributing to a sense of comfort for travelers on foot. The construction of detached sidewalks will be a major improvement for the area, which current lacks pedestrian infrastructure and connectivity.

- *Projects should be designed to connect neighborhoods via streets, sidewalks, and trails.*

Per Section E3.i., new on-site sidewalks and walkways will meander between the project's development parcels, providing residents with convenient pedestrian access to neighborhood retail goods and services.

- *Streets should be designed to expand the availability of public seating and bicycle racks.*

See Section E4.c. - adequate bicycle parking for both multifamily and commercial development will be provided. Commercial buildings with less than 5,000 square feet shall provide a minimum of four (4) bicycle spaces near the building's entrance while buildings with more than 5,000 square feet shall provide 1 bicycle space per 25 required vehicle parking spaces, with a maximum requirement of 10 spaces. Individual residential developments shall provide 1 bicycle space per 25 required vehicle parking spaces, with a maximum requirement of 50 spaces.



## J. COMPARATIVE ZONING STANDARDS

J: Comparative Zoning Standards Table

Standards	C-2 Standards	R-5 PRD Standards	Proposed PUD Standards
a. Maximum Building Height	30' or 56' with height waiver	48'	Development Area 1: 56' or 4 stories  Development Area 2: 30' or 2 stories for single-family 56' or 4 stories for multi-family or assisted living land uses
b. Lot Coverage	50%	50%	Development Area 1: 60%  Development Area 2: 60%
d. Dwelling Unit Density (Units/Gross Acre)	14.5 Dwelling Units per Gross Acre	45.68; 52.20 with bonus	Development Area 1: 1,286 units  Development Area 2: 170 units
d. Building Setbacks			
North (Perimeter)	25'	20'	Avg 20', 15' min
West (Perimeter)	25'	20'	0'
East (Perimeter)	25' adjacent to street, 45' adjacent to development	20' adjacent 10 street, 10' adjacent to development	Avg 20', 15' min
South (Perimeter)	25'	20'	0'

e. Landscape Setbacks			
North (Perimeter)	10'	10'	Development Area 1: Avg 25'/30'
West (Perimeter)	10'	10'	0'
East (Perimeter)	10' adjacent to street, 5' adjacent to development	10' adjacent to street, 5' adjacent to development	Average 20'; minimum 15' permitted for up to 50% of frontage
South (Perimeter)	10'	10'	0'

## K. LEGAL DESCRIPTION

**EXISTING PARCEL  
LAVEEN TOWNE CENTER  
PHOENIX, ARIZONA**

December 13, 2024  
Job No. P6590  
Page 1 of 1

LOCATED IN THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 2 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCING** AT A BRASS CAP IN HANDHOLE MARKING THE NORTHEAST CORNER OF SAID SECTION 7, FROM WHICH THE NORTH QUARTER OF SAID SECTION 7 IS MARKED WITH A BRASS CAP IN HANDHOLE, BEARING SOUTHS 89°51'43" WEST, A DISTANCE OF 2641.14 FEET;

THENCE ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, SOUTH 89°51'43" WEST, A DISTANCE OF 33.00 FEET;

THENCE SOUTH 00°22'50" WEST, A DISTANCE OF 33.00 FEET TO THE **POINT OF BEGINNING**;

THENCE ALONG A LINE 33 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID NORTHEAST QUARTER, SOUTH 00°22'50" WEST, A DISTANCE OF 2,606.55 FEET;

THENCE ALONG A LINE 33 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID SOUTHEAST QUARTER, SOUTH 00°22'17" WEST, A DISTANCE OF 1,330.91 FEET;

THENCE DEPARTING SAID WEST PARALLEL LINE, SOUTH 89°42'47" WEST, A DISTANCE OF 313.02 FEET TO THE EASTERLY RIGHT-OF-WAY OF A.D.O.T. LOOP 202 AS SHOWN ON RIGHT OF WAY PLANS 202L MA 000 H 5439 / MA 056 H8827;

THENCE ALONG SAID RIGHT-OF-WAY LINES, NORTH 00°21'32" EAST, A DISTANCE OF 1,330.69 FEET;

THENCE SOUTH 89°47'27" WEST, A DISTANCE OF 1,028.00 FEET;

THENCE NORTH 00°11'59" EAST, A DISTANCE OF 2,448.80 FEET;

THENCE SOUTH 89°51'43" WEST, A DISTANCE OF 205.00 FEET;

THENCE NORTH 14°05'54" EAST, A DISTANCE OF 165.07 FEET;

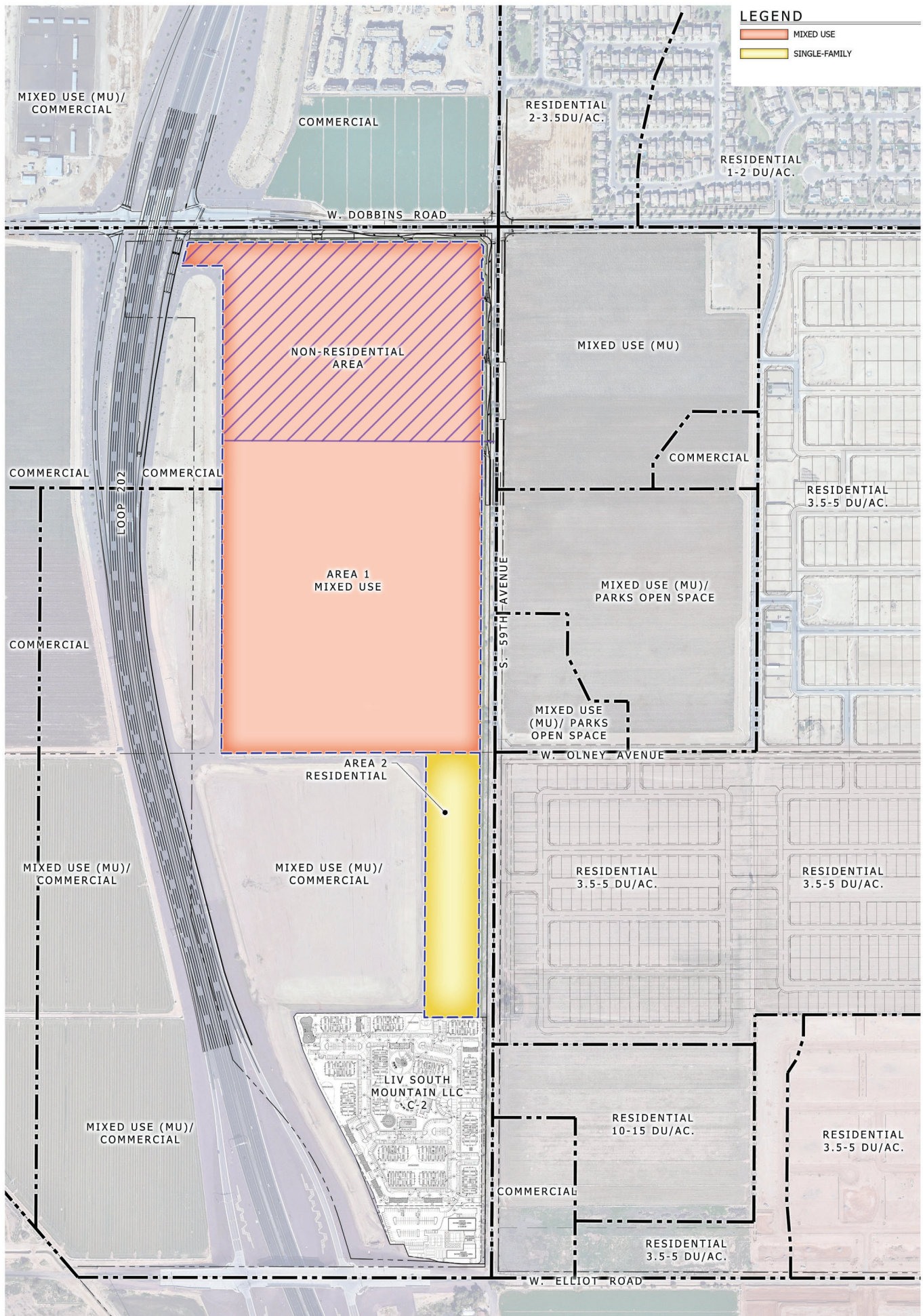
THENCE ALONG A LINE 33 FEET SOUTH OF A PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 7, NORTH 89°51'43" EAST, A DISTANCE OF 1,514.86 FEET TO THE **POINT OF BEGINNING**.

CONTAINS 3,954,961 SQUARE FEET OR 90.793 ACRES, MORE OR LESS.



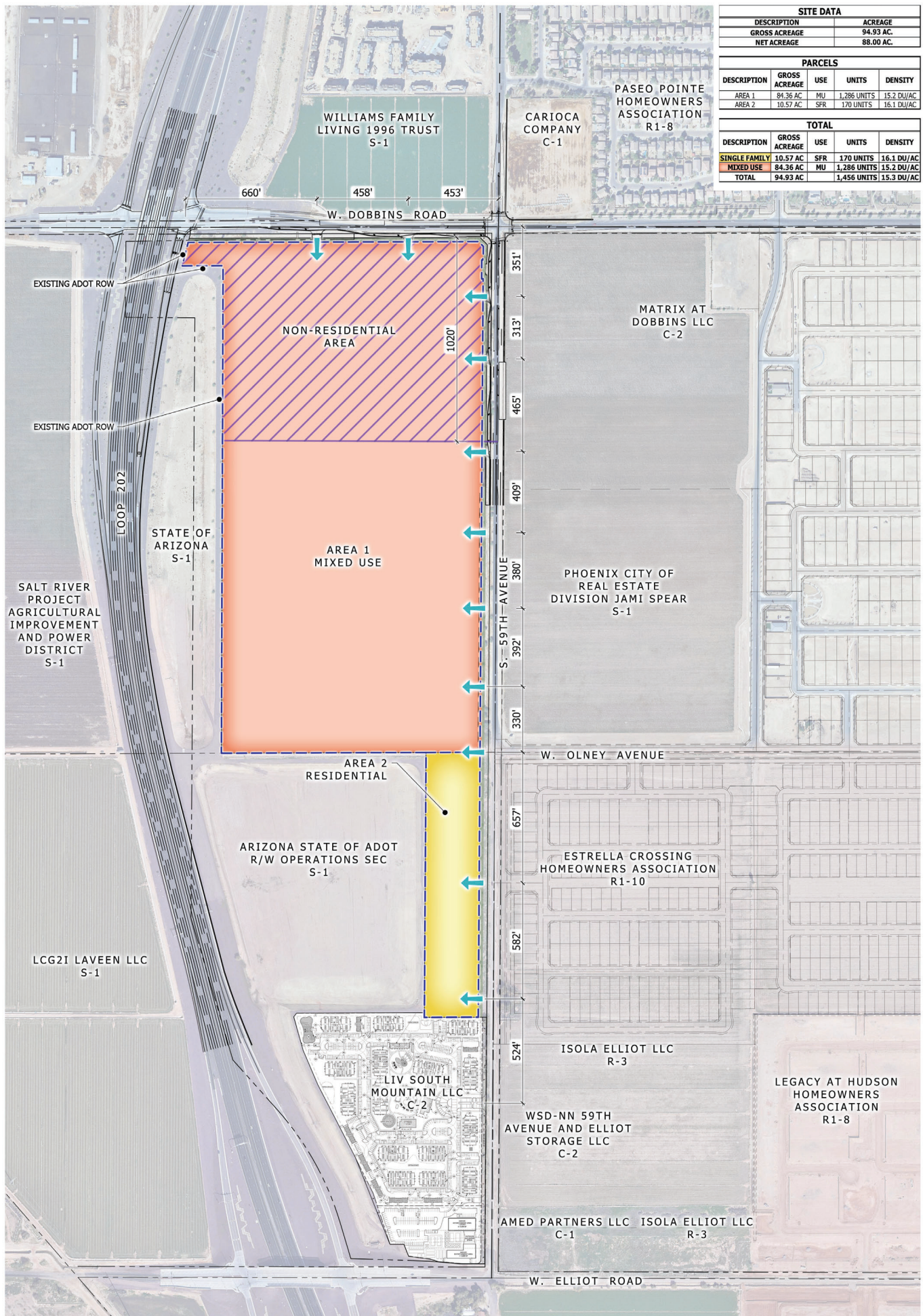
# EXHIBIT 1





# EXHIBIT 2





SITE DATA	
DESCRIPTION	ACREAGE
GROSS ACREAGE	94.93 AC.
NET ACREAGE	88.00 AC.

PARCELS				
DESCRIPTION	GROSS ACREAGE	USE	UNITS	DENSITY
AREA 1	84.36 AC	MU	1,286 UNITS	15.2 DU/AC
AREA 2	10.57 AC	SFR	170 UNITS	16.1 DU/AC

TOTAL				
DESCRIPTION	GROSS ACREAGE	USE	UNITS	DENSITY
SINGLE FAMILY	10.57 AC	SFR	170 UNITS	16.1 DU/AC
MIXED USE	84.36 AC	MU	1,286 UNITS	15.2 DU/AC
TOTAL	94.93 AC		1,456 UNITS	15.3 DU/AC



# LAVEEN TOWNE CENTER Conceptual Site Plan

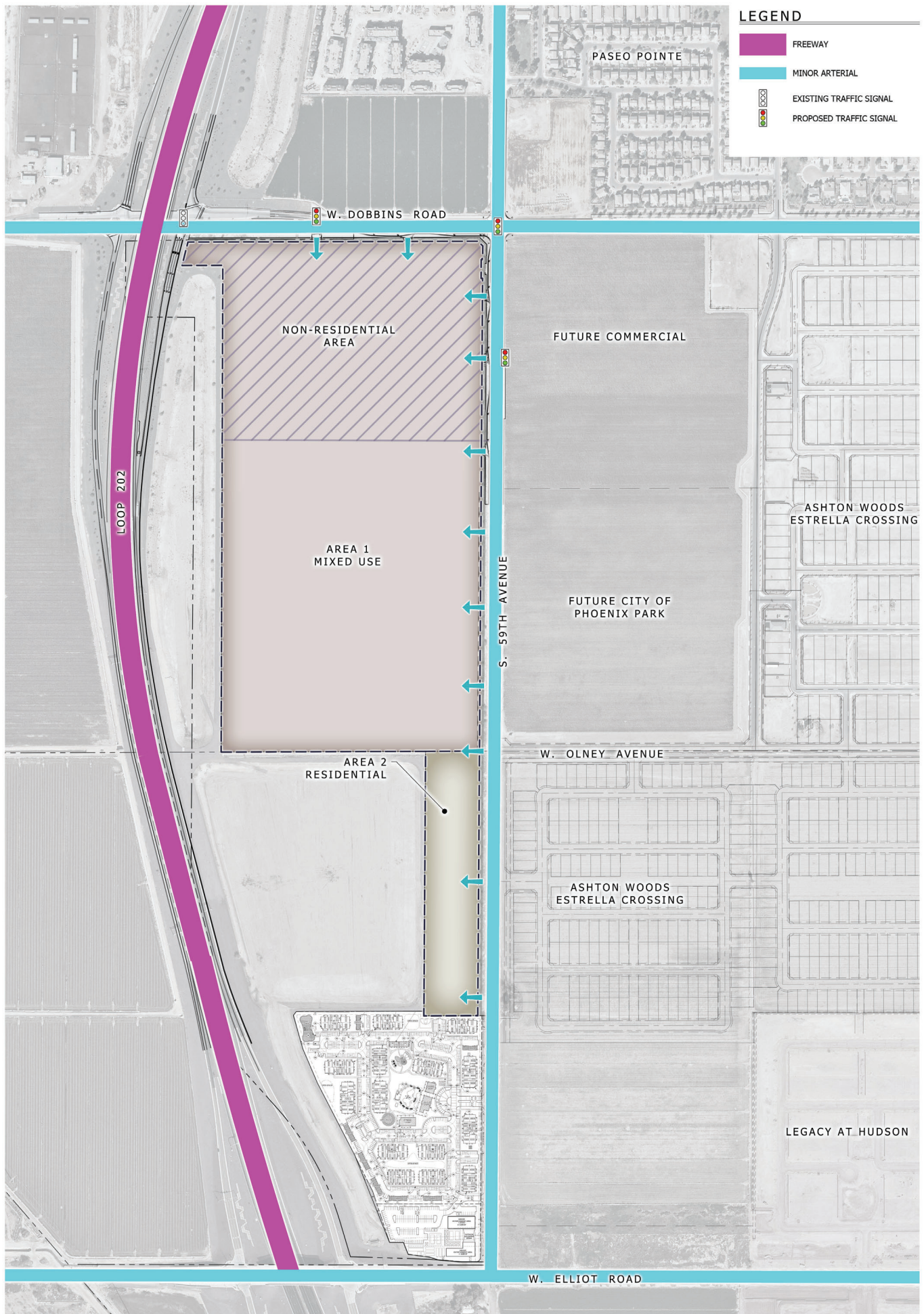
Plan Scale 1" = 200' Date: 03-11-2025

ABLASTUDIO.COM



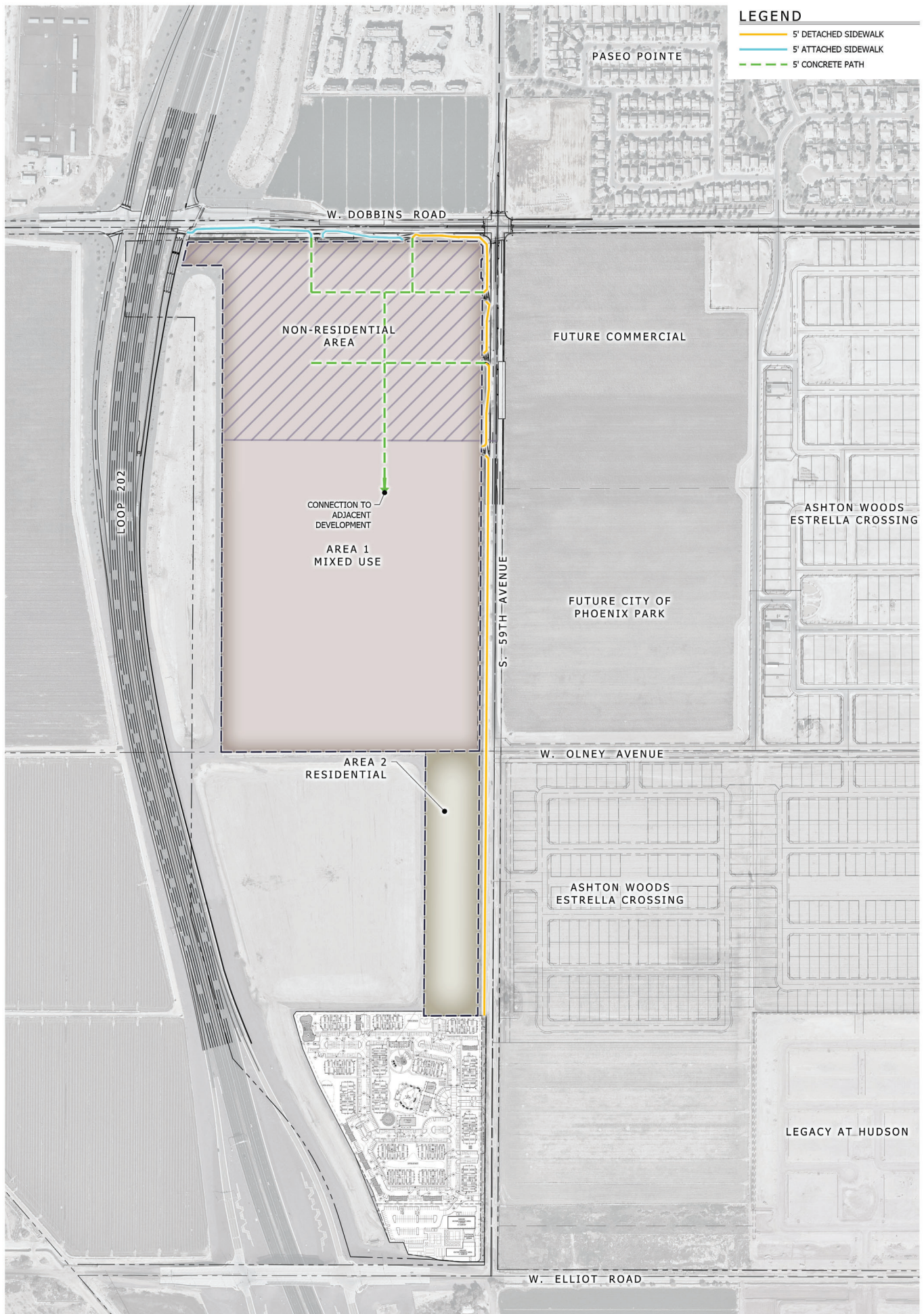
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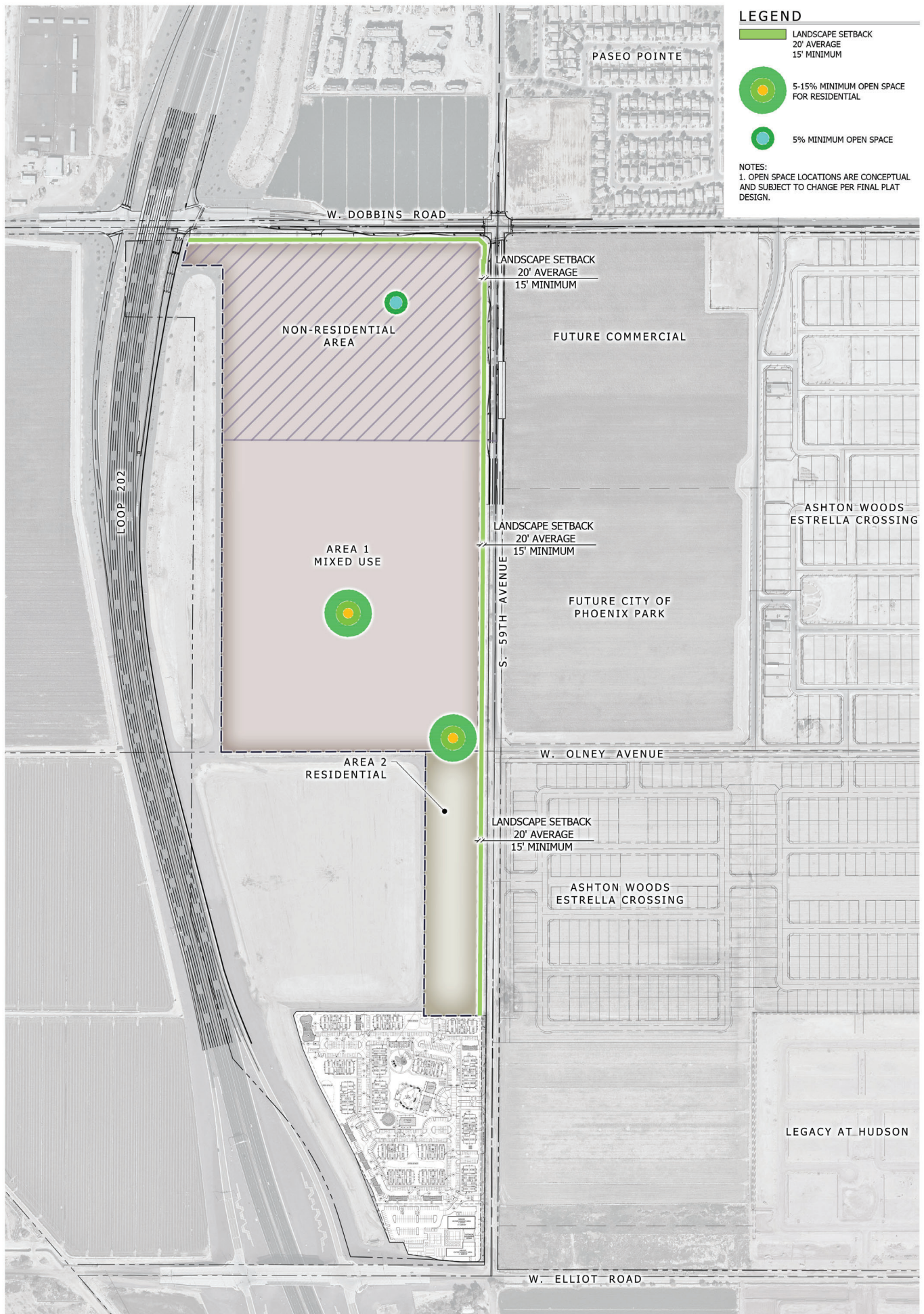
# EXHIBIT 4





# EXHIBIT 5





# EXHIBIT 6





1 SHOPS A - SOUTH ELEVATION



2 SHOPS A - WEST ELEVATION



3 SHOPS A - EAST ELEVATION



4 SHOPS A - NORTH ELEVATION



1 SHOPS B - WEST ELEVATION



2 SHOPS B - NORTH ELEVATION



3 SHOPS B - SOUTH ELEVATION



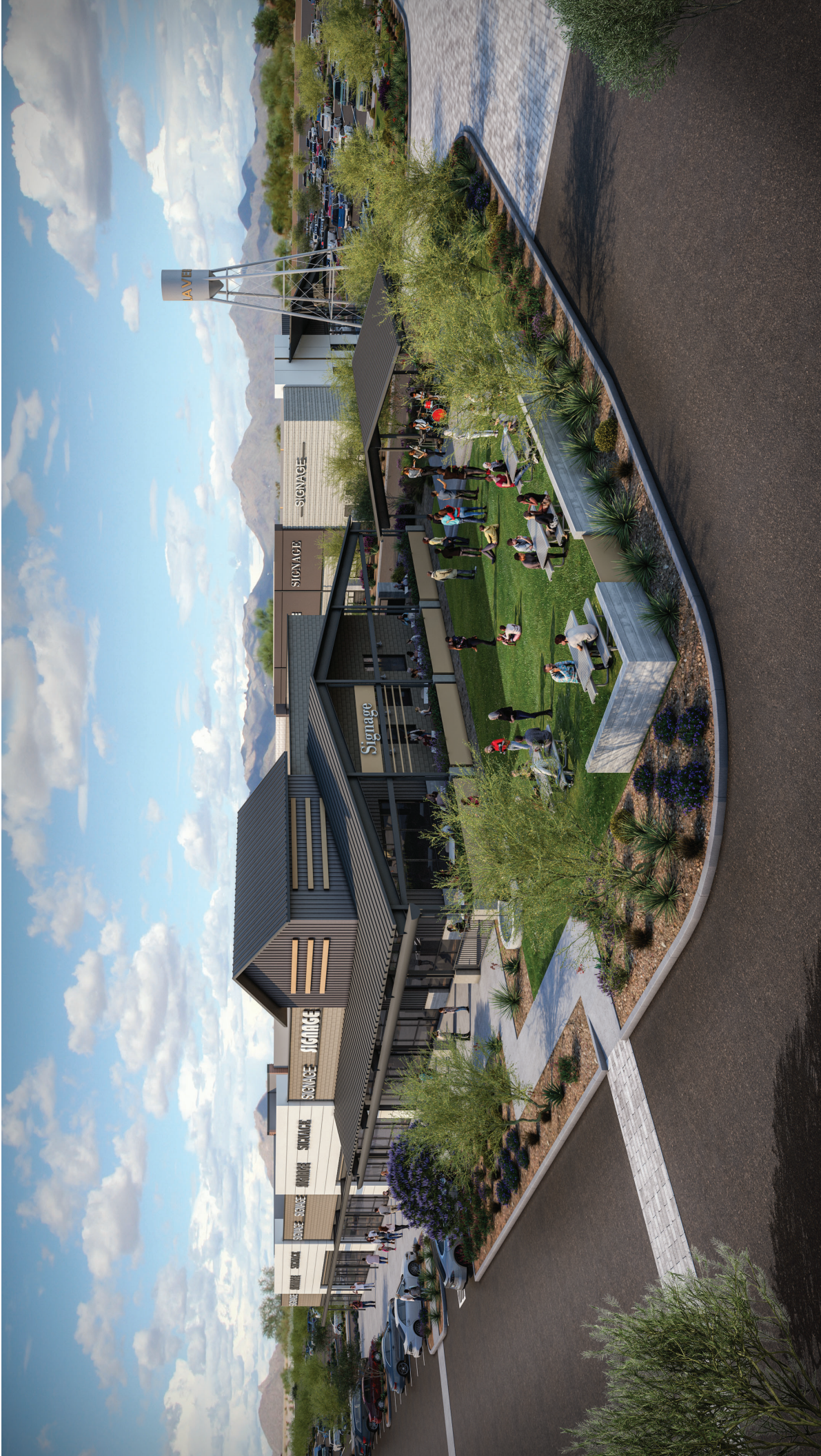
4 SHOPS B - EAST ELEVATION



# EXHIBIT 7











# EXHIBIT 8













CLUBHOUSE FRONT ELEVATION 1.16.25

SCALE: 1/8" = 1'-0"



CLUBHOUSE REAR ELEVATION 1.16.25

SCALE: 1/8" = 1'-0"

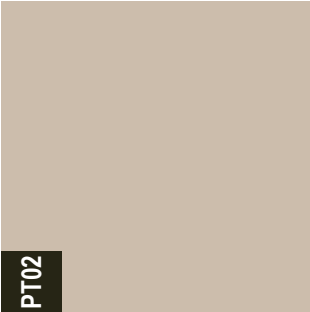
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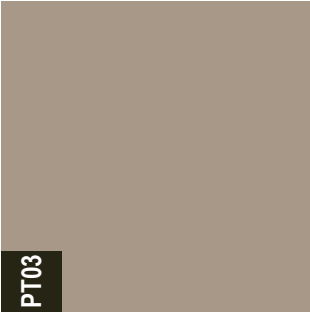
**PAINT COLOR PALETTE**  
by Dunn Edwards



**WISHFUL WHITE**  
DE6260



**BIRCHWOOD**  
DEC750



**KILN DRIED**  
DET692



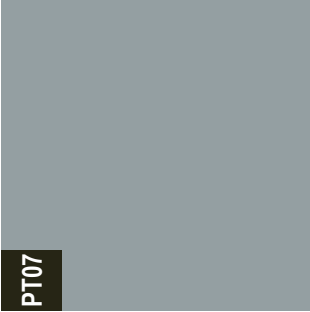
**MISSION GOLD**  
DET685



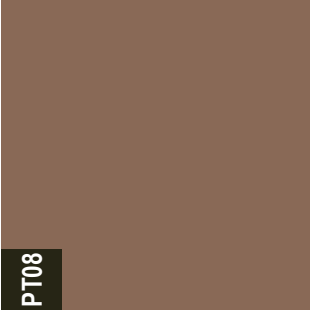
**CAVE OF THE WINDS**  
DE6040



**COVER OF NIGHT**  
DE6329



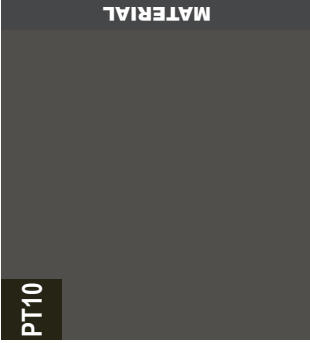
**SOFT PUMICE**  
DE6326



**ART AND CRAFT**  
DET682



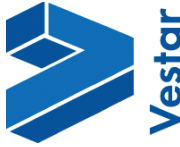
**ESPRESSO MACCHIATO**  
DET680



**BLACK JACK**  
DE6371

**COLOR AND MATERIAL PALETTE**

23 AUGUST 2024  
ZZ059



**LAVEEN TOWNE CENTER**  
Proposed Commercial Shopping District  
Phoenix, Arizona



Butler Design Group, Inc.  
architects & planners

**METAL**  
by Western States Metal Roofing



MT01  
BRONZE ORE  
MATTE  
**MASONRY**  
by Old Castle Superlite



MT02  
DESERT TAN  
PVDF FINISH



MT03  
RUSTICO



MT04  
PERFORATED METAL  
WESTERN RIB



MT05  
BLACK ANODIZED

**METAL**  
by Arcadia



MU01  
ASPEN  
8X8X16 - PRECISION  
**STONE**  
by Coronado



MU02  
BONE  
8X8X16 - PRECISION  
**WOOD**  
by Omnis



MU03  
CHARCOAL  
8X8X16 - PRECISION  
**CONCRETE**  
by TBD



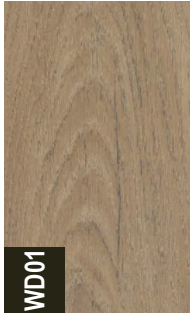
MU04  
MALIBU SANDS  
8X8X16 - TRENDSTONE



MU05  
FOUNDRY  
4X2X16 - ALLURE  
**GLASS**  
by TBD



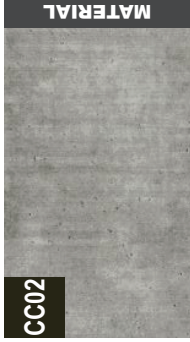
ST01  
APPALACHIAN FIELDSTONE



WD01  
ANTIQU  
OAK



CC01  
BOARD FORM



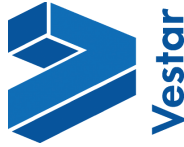
CC02  
GRAY



GL01  
CLEAR

**COLOR AND MATERIAL PALETTE**

23 AUGUST 2024  
ZZ059



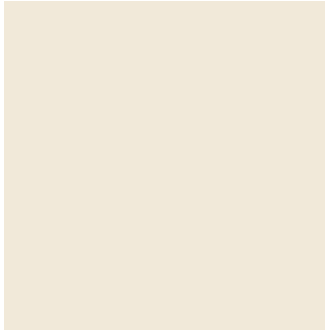
**LAVEEN TOWNE CENTER**  
Proposed Commercial Shopping District  
Phoenix, Arizona



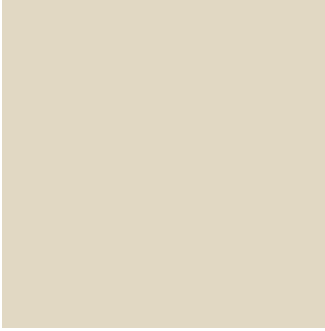
Butler Design Group, Inc.  
architects & planners

# EXHIBIT 10

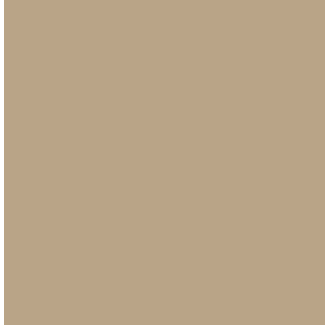
# MULTIFAMILY RESIDENTIAL



**Ball Of String**  
DE6190  
Overall Color



**Exclusive Ivory**  
DE6191  
Overall Color



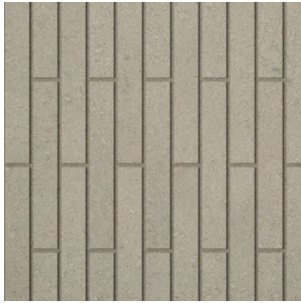
**Desert Gray**  
DEC760  
Accent Color



**Blackjack**  
DE6371  
Accent Color



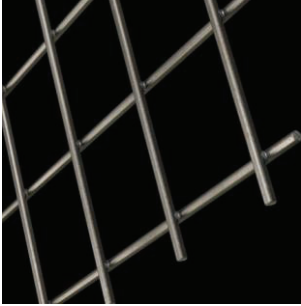
**Cortez Brick**  
Gray



**Trenwyth**  
Allure - Bourbon



**Trenwyth**  
Trendstone -  
Berkeley



**McNichols**  
Wire Mesh 3" x 3"  
Pool fencing



**NewTechWood**  
Composite Wood  
Siding



**NewTechWood**  
Board & Batten

## COLOR AND MATERIAL PALETTE

21 January 2025



Proposed Class-A Multifamily  
Community  
Phoenix, Arizona

