



NorthPark

PUD Narrative

A Master Planned Community
Located At The Southwest Corner
Of The I-17 And Loop 303 Freeways

CITY OF PHOENIX

OCT 06 2025

Planning & Development
Department



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PRESENTED BY:



PREPARED FOR:



Planned Unit Development Regulatory Statement

The Planned Unit Development (“PUD”) zoning district is authorized by Chapter 6, Section 671 of the Zoning Ordinance of the City of Phoenix (“Phoenix Zoning Ordinance”). A PUD is intended to be a stand-alone document that sets forth the regulatory framework, including permitted uses, development standards and design guidelines, for a particular project (“PUD Regulations”). The PUD may only modify provisions within the Phoenix Zoning Ordinance and does not modify other City of Phoenix codes, regulations, or requirements. A PUD may include substantial background information and narrative discussion, including purpose and intent statements, that are intended to illustrate the overall character and vision for the development. Such statements are not regulatory and not requirements to be enforced by the City of Phoenix.

The PUD Regulations apply to all property within the PUD project boundary. The PUD Regulations supersede and replace all applicable Phoenix Zoning Ordinance requirements. If there is a conflict between PUD Regulations and the Phoenix Zoning Ordinance, including the design guidelines within the Phoenix Zoning Ordinance, the terms of this PUD shall apply. If a provision is not addressed by the PUD, then the Phoenix Zoning Ordinance controls. Additional public hearings may be necessary such as, but not limited to, right-of-way abandonments.

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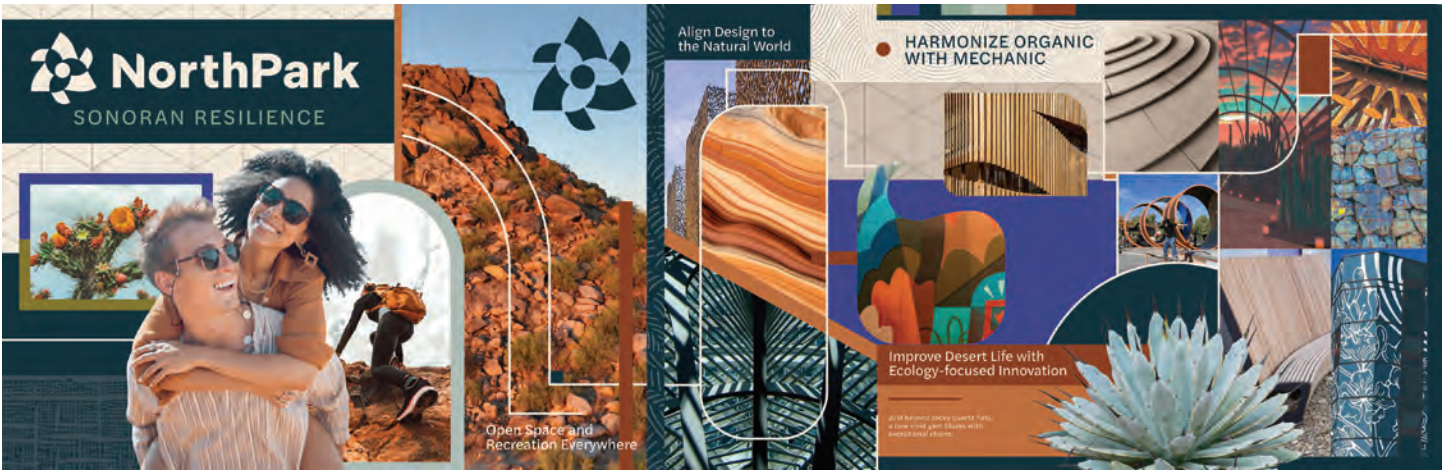
SECTION 1:

PURPOSE AND INTENT



NorthPark





1.1. Introduction

The NorthPark Planned Unit Development (“PUD”) rezones approximately 6,355 gross acres of undeveloped State Trust Land located in Northwest Phoenix. See **Exhibit 1: Regional Context Aerial**, and **Appendix A: Legal Description**. The PUD outlines a vision and implementation framework for the mixed-use master planned community “NorthPark” with a maximum of 15,150 dwelling units and an overall gross density of 2.4 dwelling units per acre.

NorthPark is located within the City of Phoenix ("City") and the North Gateway Village. The site is bound on the north by the Loop 303 freeway, on the west by the City of Peoria municipal boundary, on the south by the Central Arizona Project ("CAP") canal, and on the east by the Interstate 17 Freeway. Existing development includes the Taiwan Semiconductor Manufacturing Company ("TSMC") facility across the Loop 303 freeway to the north, and residential developments, including the Stetson Valley and Sonoran Mountain Ranch residential communities, south of the CAP canal.

The future planning of the Site was contemplated in an 2020 Intergovernmental Agreement (“IGA”) between the City and the Arizona State Land Department (“ASLD”) to provide for the entitlement of both the 6,355 acres south of the 303, and balance of the Biscuit Flat Area (also known as the Phoenix 3500 PUD) extending north up to Carefree Highway. The IGA recognized that this combined area includes both land designated within the 1998 Sonoran Preserve Master Plan (“SPMP”), as well as land suitable for large scale commercial, employment, and residential development.

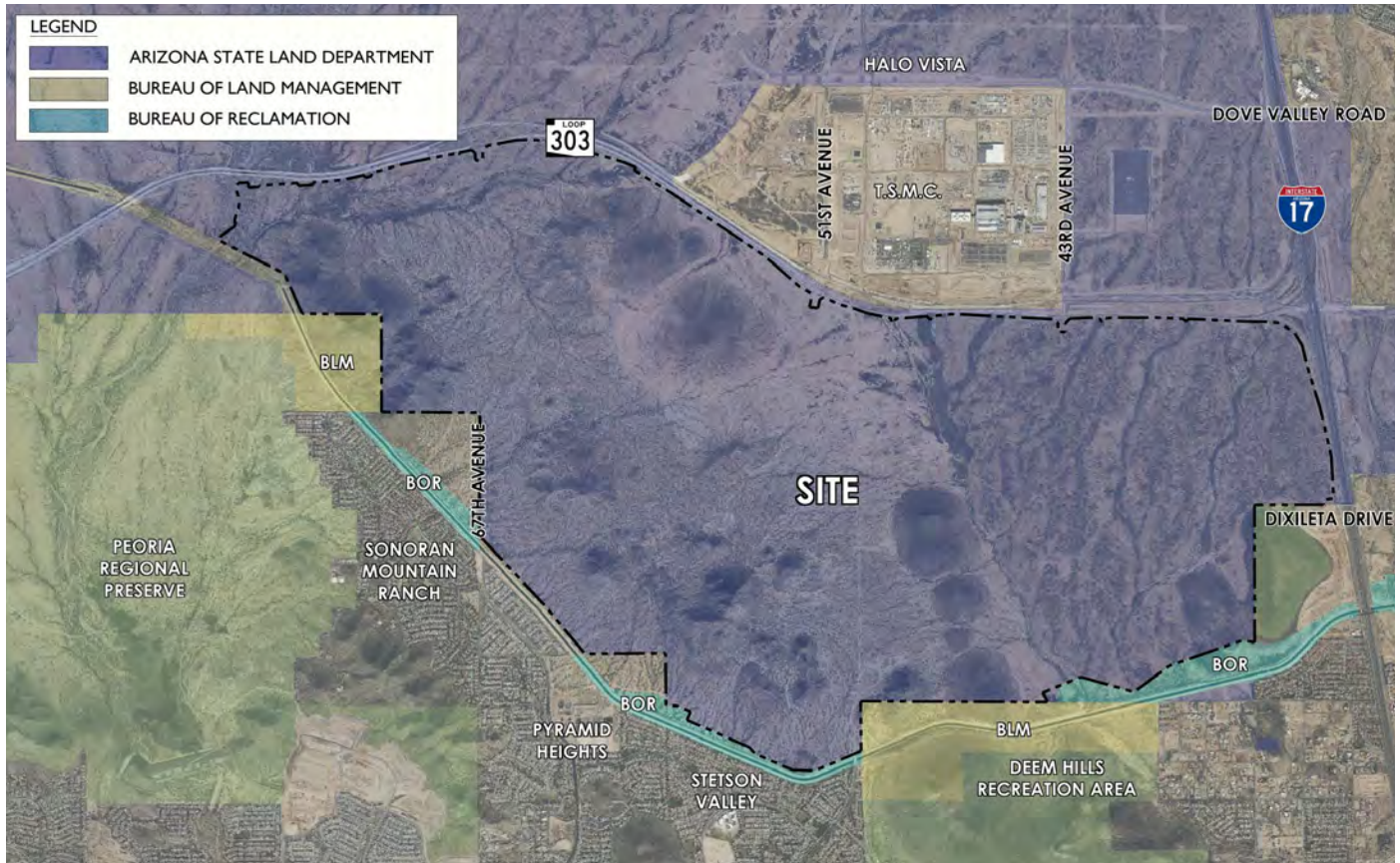
To realize both, the IGA recognized that the current General Plan designations may not be consistent with the SPMP in that it included areas beyond those that are appropriate for conservation as Future Open Space. This application is the next step flowing from the successful auction of the TSMC Property and provides for a revised framework of uses that:

1. Establishes a minimum of 2,100 acres (or 33% of the NorthPark PUD area) for Preserve donation to the City. This exceeds the 2,082 acres identified for preservation in the 1998 Sonoran Preserve Master Plan. Provides for abundant commercial and employment opportunities in major freeway corridors with a buffer that protects residential from higher intensity employment uses, and;
2. Provides for robust residential opportunities to accommodate the workforce generated by new major employers in the area, and offers the potential to replace housing displaced by the development of employment-focused properties.

EXHIBIT 1: REGIONAL CONTEXT AERIAL



EXHIBIT 2: SURROUNDING PROPERTY OWNERSHIP MAP



NorthPark is a high quality mixed-used master planned community which includes over 2,000 acres of preserve land, a variety of residential, retail, business, and education and transportation infrastructure required to support the region, and includes a large innovation core along the 303 intended to facilitate the development of support uses for TSMC given the close proximity to the project. TSMC Arizona is now partnered with PulteGroup in this rezoning effort to expand the innovation corridor along the 303 and north of Dixileta which would support the company's planned expansion.

NorthPark is envisioned as a complete community with commercial, employment, and residential uses, all connected with significant open space and the Sonoran Preserve. This PUD establishes unique design principles to support the development's connection with the natural desert environment of the site. NorthPark will incorporate restrictions on landscaping materials and water saving principles to further the sustainability goals of the community.

1.2. The Arizona State Land Department

The Arizona State Land Department ("ASLD") manages over 9.2 million acres of State Trust Land in Arizona. Since 1915, ASLD's mission has been to manage the assets of a multi-generational perpetual trust in alignment with the interests of the Trust's 13 beneficiaries and Arizona's future. The mission statement of ASLD is as follows:

"To manage State Trust Lands and resources to enhance value and optimize economic return for the Trust beneficiaries, consistent with sound business management principles, prudent stewardship, and conservation needs supporting socio-economic goals for citizens here today and future generations. To act in the best interest of the Trust for the enrichment of the beneficiaries and preserve the long-term value of the State Trust lands."

State Trust Land is often misunderstood in terms of both its character and management. Trust land is different from public land such as parks or National Forests. Trust lands are managed by ASLD to generate revenue for K-12 schools and 13 additional institutional beneficiaries. The Trust accomplishes its mission through its sale and lease of Trust lands for grazing, municipal, residential, commercial, mining, and open space purposes.

ASLD, serving as the fiduciary for the Trust, is required by the Arizona State Constitution to receive maximum value for the sale or lease of Trust lands for the benefit of the Trust. Given this constitutional mandate, it is incumbent upon ASLD to carefully plan its properties to maximize their ultimate value.

1.3. Community Vision: From Park to Park

Located on the gentle slopes of Pyramid Peak at the edge of Northwest Phoenix, NorthPark is envisioned as a future-forward regional hub, strategically positioned to foster technological growth and innovation. This community will serve as a focal point for industry, supported by high-speed infrastructure that enhances the capacity for cutting-edge developments and transformative ideas, while connecting the current and planned development of TSMC to the residential communities south of the CAP canal.

As growth accelerates and economic activity increases, NorthPark will become a dynamic center where creators, professionals, and families can build their lives. This community is designed to integrate seamlessly with its surroundings, creating an environment that promotes both innovation and a high quality of life.

The natural landscape of the Sonoran Desert will be preserved and celebrated within the development, with pathways leading to scenic vistas and the preservation of thousands of acres of Sonoran Preserve to provide wildlife habitat, biodiversity, and recreational spaces for the public. NorthPark's design prioritizes sustainability and a balanced relationship with the environment, integrating residential, commercial, employment, and educational spaces in a manner that respects and enhances the natural terrain. The development's open space-oriented design will emphasize the preservation of natural edges and accessible natural spaces.

Grounded in the principles of sustainability and well-being, NorthPark aspires to shape the future of community living, contributing to the realization of a new vision for the American Dream.

1.4. Community Overview and Goals

NorthPark is a unique and dynamic site that comprises a significant portion of the North Gateway Village in Northwest Phoenix. The site is poised to become one of the most important new communities in Phoenix due to its size, proximity to two regional freeways, relationship to the future expansion of the Sonoran Preserve, and adjacency to a regionally-significant employment and economic hub. The synergy of these elements consummates NorthPark's position as a cutting-edge desert-centric community that will ensure its role as a center of regional significance with immense opportunities for new housing and employment for decades to come.

NorthPark is envisioned to be a well-planned, mixed-use community that seeks to celebrate its relationship with the Site's desert-park context and simultaneously leverage its proximity to the expanding technology park to secure new high-quality jobs and employment opportunities within the boundaries of the project. This 'Park-to-Park' vision allows for a community that will attract a broad diversity of residents and will be able to respond to their individual needs through a program of equally diverse housing, circulation, and recreation types – all within the boundaries of the community.

1.4.a. The Crossroads of 21st Century Technology and Desert Tranquility

NorthPark seeks to achieve balance between the intensity of large-scale employment with the serenity of the Sonoran Preserve. Each is as important as the other, and each is diminished without the other. Within the nexus of these two elements the heart of the community will be found. Traditional neighborhoods, vibrantly seeded with parks, paths, community services and other facets, will promote strong interactive communities. Well-defined physical and geographic edges of the overall site (protected mountains, the CAP canal, freeways) reinforce the vision of NorthPark as a defined interconnected community. The tenets of this development vision will embrace modern and future leaning performance models of community lifestyle, tech-oriented employment, and modern housing options. These key principles will include:

1. Living and Working Environments That Are Sustainable and Complement the Natural Environment

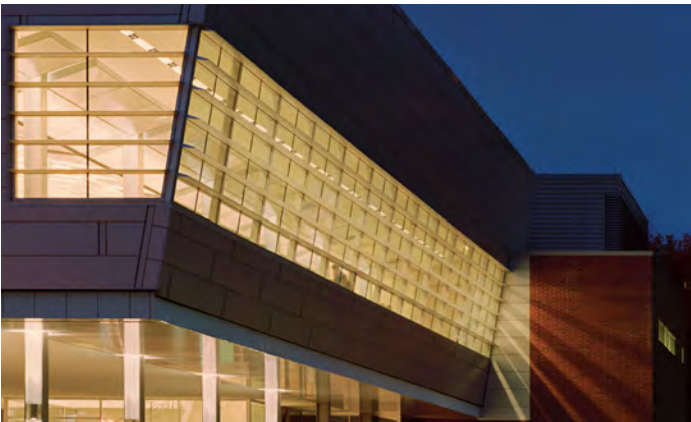
- Provide a mix of housing types that accommodates people of different values, cultures, experiences, and life stages.
- Emphasize residential uses that provide for market-rate housing in a diversity of forms and organized in pedestrian-centric neighborhoods with convenient access to work, recreation, transportation, services, and other daily destinations.
- Avoid reliance on traditional building typologies based on traditional zoning mechanisms and predictable development forms.
- Build a sustainable community that is sensitive to the surrounding desert through efficient development, land use and infrastructure planning, the protection of natural wash corridors, and the preservation and salvaging of native plants when possible.

2. Connected Community and Knowledge Promotion

- Define a broad spectrum of uses within the Innovation Corridor that will encourage knowledge and technology-based employment opportunities in synchrony with similar developing uses in the area.

3. Biophilic Orientation – Alignment of Community Design to the Native Sonoran Desert

- Recognize and create development that is responsive to the desert environment to include emphasis on shade and shadow, solar orientation, use of water where appropriate, desert-adapted plant materials, viewsheds to surrounding mountains, and community scale that encourages walkability even in extreme conditions.





4. Sonoran Preserve Adjacency and Stewardship

- Ensure that all lands identified for inclusion within the Sonoran Preserve provide recreational, aesthetic and biophilic benefit to future residents.
- Focus on open space connections that provide wildlife linkages.
- Coordinate with the City of Phoenix Parks and Recreation Department to identify public access opportunities into and adjacent to the Sonoran Preserve boundary.

5. Tech-Focused Economic Opportunity

- Provide space for major employers and manufacturers engaged in production, technology, research, and healthcare.
- Support opportunities for small and large business across all sectors, where business owners and employees can live in the NorthPark Community.
- Establish a flexible and adaptive development environment to meet the needs of future technology-based businesses.

6. Commercial Services That Are Demand-Based

- Allow for access to community services and shopping through smaller and localized activity areas within convenient walking distances or by other alternative transportation means.

7. Multi-Modal and Non-Vehicular Circulation

- Ensure all residents and employees within the community benefit from convenient access to nearby schools, shops, parks, and transit options.

8. Activated Open Space and Community Space – Park-to-Park Concept

- Design community spaces, such as parks, trails, paseos, and streetscapes, that encourage recreational opportunities and promote social interaction.
- Establish a framework for an extensive and multi-layered network of trails, paths and sidewalks that will provide connectivity within all portions of the NorthPark community and beyond its edges into the future Sonoran Preserve and adjacent communities and parks.
- Integrate parks and recreation areas throughout all parts of the NorthPark community.
- Identify public facilities and public spaces that promote community gathering with opportunities for education, recreation, and socialization.

1.4.b. Nature Inspired Design

The natural desert landscape at NorthPark is a powerful source of inspiration with its intricate patterns, colors, and diverse forms. Nature-inspired design for a community weaves the wisdom of the natural world into the fabric of human living, creating spaces that are both sustainable and harmonious.

Patterns, colors, and organic forms from nature used for site development not only enhance the aesthetic appeal of the space but also creates a more harmonious and sustainable environment.

Drawing from the resilience and efficiency of ecosystems, this approach integrates organic forms, natural materials, and biophilic elements to foster well-being and environmental balance. Streets curve like rivers, following the land's contours rather than imposing rigid grids. Open spaces blend architecture with vegetation, improving air quality and reducing urban heat. Water-sensitive design utilizes native plantings with built in climate resiliency. Native landscapes provide shade, attract biodiversity, and create pockets of tranquility within the urban fabric. Public spaces, inspired by meadows, canopies, and natural gathering places, encourage social interaction while offering restorative connections to the earth. By embracing the principles of nature, communities can flourish in a way that nurtures both people and the planet, fostering a future where urban life and the environment thrive together.

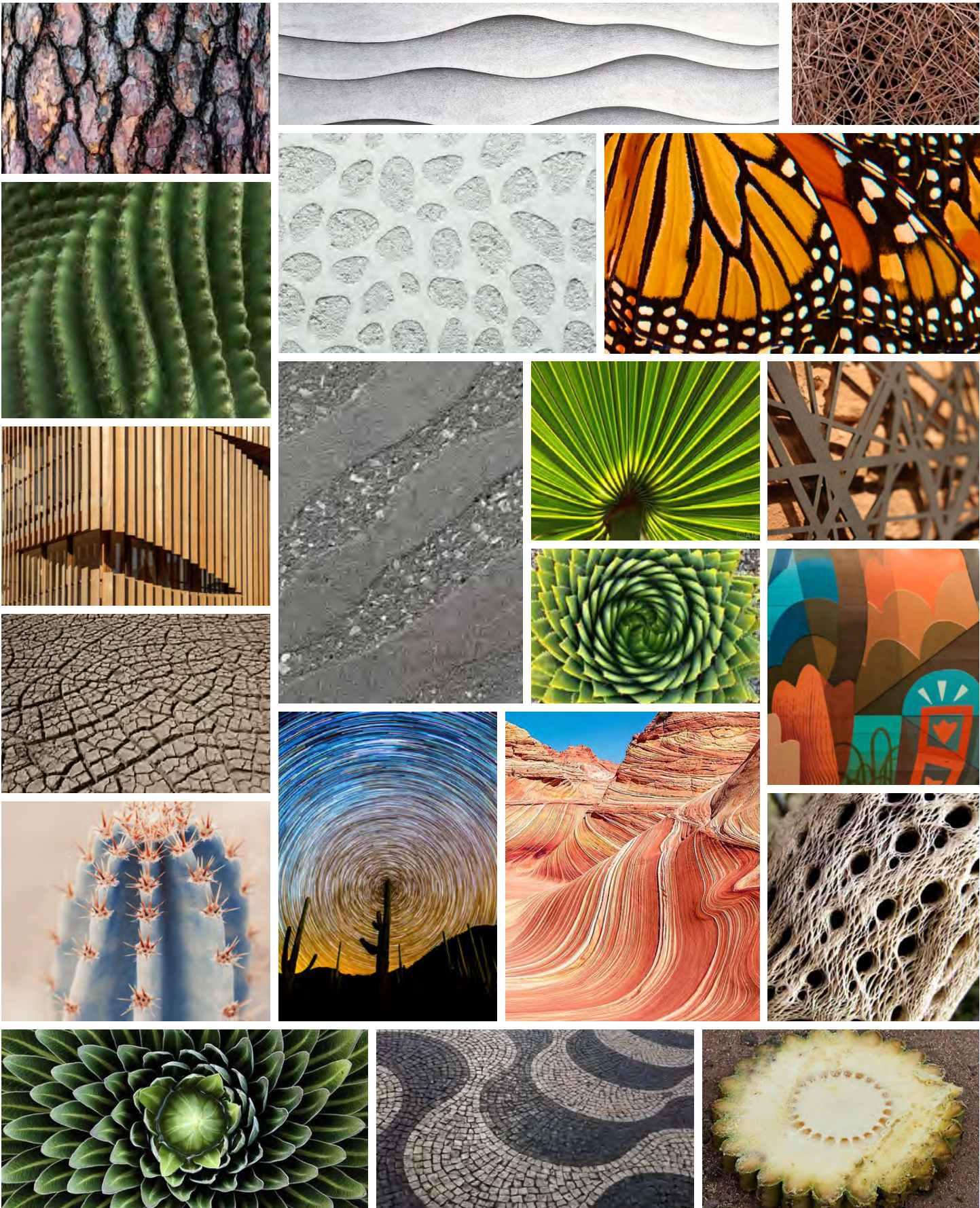
1.4.c. Design Intent and Theming

Theme elements for NorthPark consist of repeating materials and colors that shall be used throughout the entire community. High quality materials that are representative and tie to the natural landscape shall be utilized to give the experience of modern Sonoran design indicative of NorthPark. These materials are used to incorporate the natural surrounding environment with the development aesthetics at the core of the community design.

Thematic Materials Include:

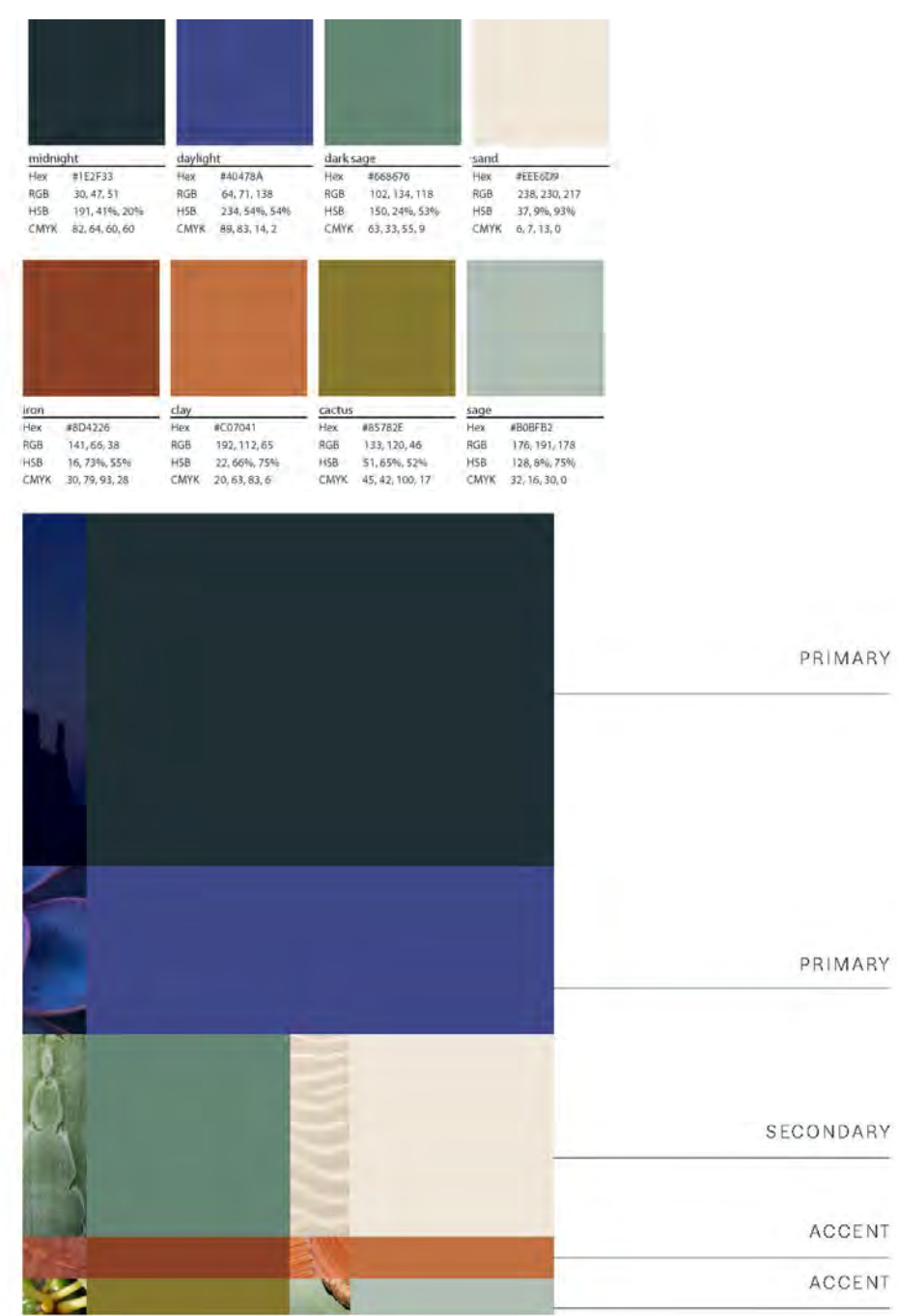
- **Rustic Metals** - such as Corten steel, perforated accents, gabion walls, etc.
- **Treated Metals** - stainless steel, brushed aluminum, blackened coatings, etc.
- **Natural Wood Grains** - with clear coats, native colors, and stains
- **Stone** - native river rock cobble and stacked patterns
- **Concrete** – board formed, rammed earth, exposed aggregate, integral colors that blend with the surrounding desert
- **Colored Fabric** – for use in shade sails, furniture, etc.





1.4.d. Color Palette

The expression of a unified thematic program throughout the NorthPark community will instill a sense of place and provide aesthetic continuity for residents, employees, and visitors. A NorthPark color palette has been included to enforce visual consistency within primary roadway corridors and will apply to project monumentation, architectural accents within street-facing wall systems and community signage and wayfinding elements. The color palette includes both warm and cool tones that can be used to compliment the use of natural materials. The color scheme as presented draws inspiration from the desert's quiet rhythm, utilizing the tones of sunbaked earth contrasted with dusky night sky. These colors shall be incorporated into future design established for the community.





SECTION 2:

SITE AND CONTEXT



NorthPark

2.1. Site Description and Location

The current state of the Site is vacant Sonoran Desert with varying levels of topographic relief including several mountainous landforms, areas of braided alluvial washes, and large swaths of relatively flat land, as shown in **Exhibit 3: Existing Conditions Map**. Current site access is extremely limited as it has been effectively cut-off by the CAP canal and the construction of the Loop 303 freeway. However, there are numerous non-official trails that traverse throughout the entirety of the Site established by hikers, bikers, and off-road vehicles that have used the site for unpermitted recreational purposes.

There are limited existing utility improvements within NorthPark. There is a dual force main that transitions to a gravity line just north of the CAP within the proposed 51st Avenue alignment. There are also multiple electrical transmission corridors. One extends from the CAP to the Loop 303 in the original 51st Avenue alignment along the section line. Another corridor extends up the eastern edge of the Site following the right-of-way and then wrapping across the northern perimeter of the Site before exiting north across the Loop 303 freeway east of the 43rd Avenue alignment. The surrounding area has seen tremendous growth with numerous master-planned communities located directly south of the CAP canal, the new Middle Vistas residential development near I-17 freeway, and the TSMC facility directly north of the Loop 303 freeway.

2.2. Existing Zoning

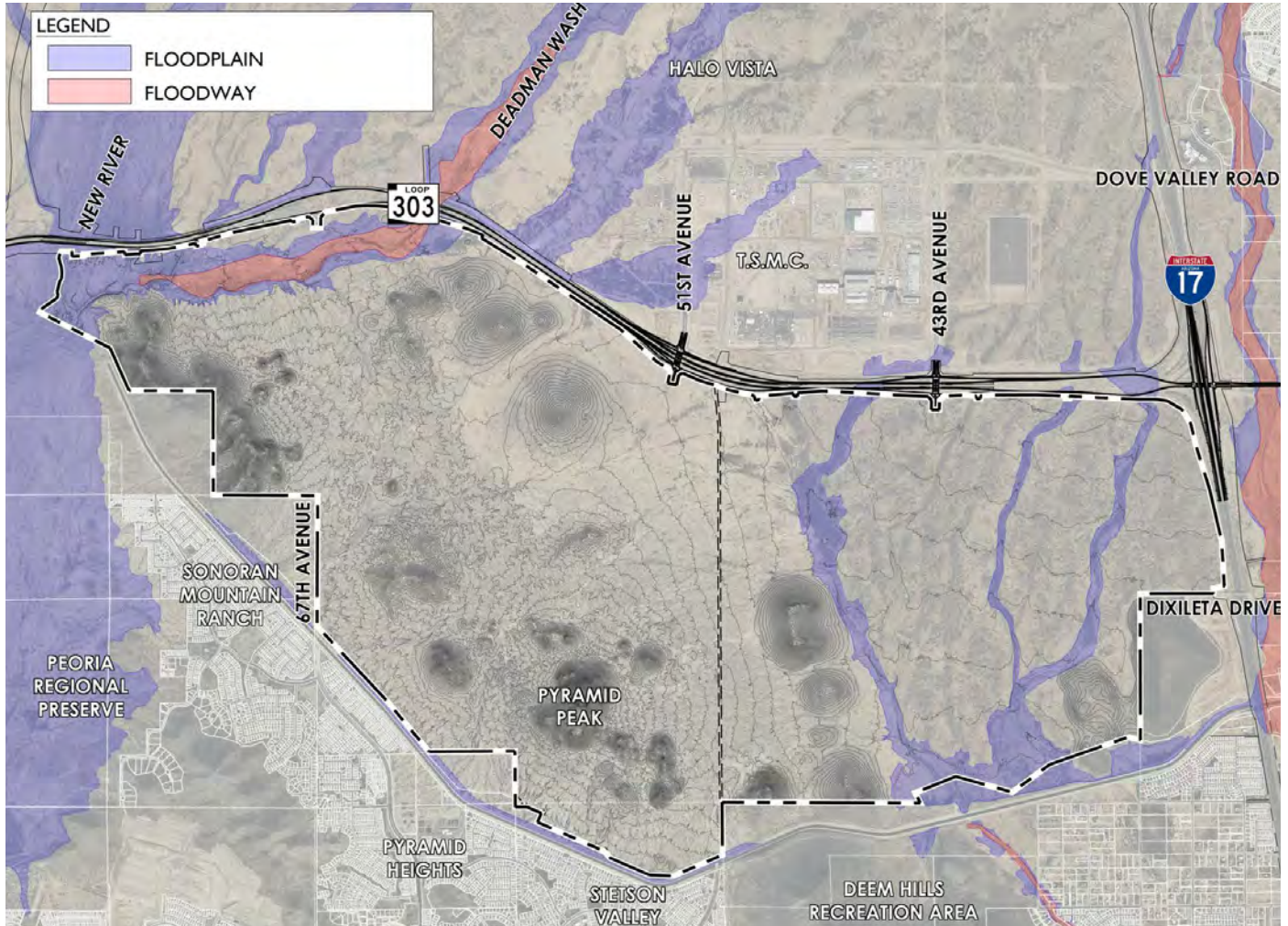
The Site is currently zoned S-1 (Ranch or Farm Residence). The S-1 zoning district is generally intended to provide for very low-density farm or residential uses to protect and preserve low density areas in their present or desired character, and is generally the City of Phoenix equivalent zoning assigned to properties being annexed from Maricopa County into the City of Phoenix jurisdiction when zoned County RU-43. The maximum residential density allowed in the S-1 zoning district is one dwelling unit per acre.

The subject site is in an area that has demarcated Phoenix’s northern development edge for many years. Large residential communities to the south of the site (Stetson Hills, Pyramid Heights) were developed in the early 2000’s, but lack of infrastructure north of the CAP canal limited development opportunities to the north. Recent zonings to the east and north of NorthPark have initiated more interest from ASLD and the City of Phoenix to encourage new development in the area to support recent regional employment projects, freeway upgrades, and Capital Improvement Projects.

TABLE 1: ADJACENT ZONING AND LAND USES		
DIRECTION:	ZONING:	LAND USE:
North	PUD, S-1	Loop 303 freeway, Undeveloped Land, TSMC (Under Construction), Halo Vista
East	PCD NBCOD , R1-6, R-3, R-3A, R1-18	I-17 freeway and BLM Land, Undeveloped Land, Middle Vistas Residential Subdivision
South	S-1, R1-18, R1-10, R1-8, R1-6 PCD	CAP canal and BLM Land, Single-Family Residential Subdivision, Undeveloped Land
West	PAD, AG (City of Peoria)	CAP and Loop 303, Single-Family Residential Subdivision, City of Peoria Preserve

2.3. Existing Site Conditions

EXHIBIT 4: EXISTING CONDITIONS MAP



2.3.a. Topography and Slope

The Site includes a diversity of landform types. The northwestern portions of the Site can generally be described as flat alluvial plain typology and includes a series of semi-defined wash corridors with limited vegetation density. In the southern and western portions of the Site, these low-slope areas transition abruptly to a semi-contiguous high-slope mountainous landform with a series of intermittent low peaks. The overall site generally slopes to the south and to the west. The highest elevation point on the Site is the summit of Pyramid Peak (2,234 feet).

2.3.b. Regional Drainage Patterns

The prominent drainage pattern within the western portion of the site drain to the northwest, where on-site flows combine with the Deadman Wash before exiting the site. The eastern portions of the site generally flow south from the Loop 303 freeway edge until being impounded by the CAP canal. A single outfall structure beneath the CAP meters these flows offsite through the Deem Hills Regional Park. Due to the upstream impact and alterations to this watershed, this wash corridor no longer conveys a significant amount of runoff. For this reason, the applicant intends to request a modification to the floodplain for a portion of the existing floodplain north of Dixileta, between 43rd and 51st Avenue.

2.4. 2025 General Plan

The General Plan Land Use Map for the Site currently reflects a mix of land use designations. To facilitate the development vision of this PUD, a concurrent minor General Plan Amendment application (**GPA-NG-1-24-1**) will amend the Land Use Map designations on the subject site and adjacent properties, totaling 7,414-acres, to reflect clarification from the City of Phoenix with regards to the future boundaries of the Sonoran Preserve, residential restrictions proximate to the TSMC property and expanded employment areas, and the promotion of mixed-use development adjacent to the Loop 303 and Interstate 17 freeways. As shown in **Exhibit 5: Proposed General Plan Land Use Map**, the proposed NorthPark site reflects these adjustments, maintaining a diverse mix of General Plan Land Use Map designations.

GPA-NG-1-24-2 includes the amendment to the General Plan Land Use Map, in addition to the following:

1. Amendment to the City of Phoenix's Infrastructure Limit Line and Infrastructure Phasing Overlay to include the extents of this site as shown in Exhibit 6: Existing and Proposed Infrastructure Limit Line. This amendment allows for the expansion of City of Phoenix infrastructure services west of Interstate 17 and south of the Loop 303 freeway.
2. Amend the City Trails Network Map to reflect adjustments to the configuration of the future Sonoran Preserve boundary and to ensure for planned public trail connectivity.

An additional concurrent minor General Plan Amendment application (**GPA-NG-2-24-1**) will amend the City of Phoenix's Street Classification Map to reflect a minor adjustment to the 67th Avenue alignment through the site to avoid existing natural features, a minor adjustment to the 51st Avenue alignment to reflect the relocation of the Loop 303 interchanges, and minor adjustments to the Dixileta Drive alignment to improve intersection geometry at the 51st Avenue and 67th Avenue intersections.

TABLE 2: PROPOSED GENERAL PLAN LAND USE MAP ANALYSIS

LAND USE CATEGORY	GROSS AREA (AC)
COMMERCIAL	156
COMMERCIAL / FLOODPLAIN	4
COMMERCIAL / COMMERCE/BUSINESS PARK	896
COMMERCIAL / COMMERCE/BUSINESS PARK / FLOODPLAIN	73
MIXED USE	299
MIXED USE / FLOODPLAIN	40
PARKS/OPEN SPACE - PRIVATELY OWNED	70
PARKS/OPEN SPACE - PRIVATELY OWNED / FLOODPLAIN	25
PARKS/OPEN SPACE - PUBLICLY OWNED	2,284
PARKS/OPEN SPACE - PUBLICLY OWNED / FLOODPLAIN	594
RESIDENTIAL 2 TO 3.5 DU/AC / RESIDENTIAL 3.5 TO 5 DU/AC	382
RESIDENTIAL 2 TO 3.5 DU/AC / RESIDENTIAL 3.5 TO 5 DU/AC/ RESIDENTIAL 5 TO 10 DU/AC	1,670
RESIDENTIAL 2 TO 3.5 DU/AC/ RESIDENTIAL 3.5 TO 5 DU/AC/ RESIDENTIAL 5 TO 10 DU/AC/ FLOODPLAIN	86
RESIDENTIAL 3.5 TO 5 DU/AC/ RESIDENTIAL 5 TO 10 DU/AC/ RESIDENTIAL 10 TO 15 DU/AC/ RESIDENTIAL 15+ DU/AC	342
RESIDENTIAL 3.5 TO 5 DU/AC/ RESIDENTIAL 5 TO 10 DU/AC/ RESIDENTIAL 10 TO 15 DU/AC/ RESIDENTIAL 15+ DU/AC / FLOODPLAIN	41
TOTAL	6,354

EXHIBIT 5: PROPOSED GENERAL PLAN LAND USE MAP

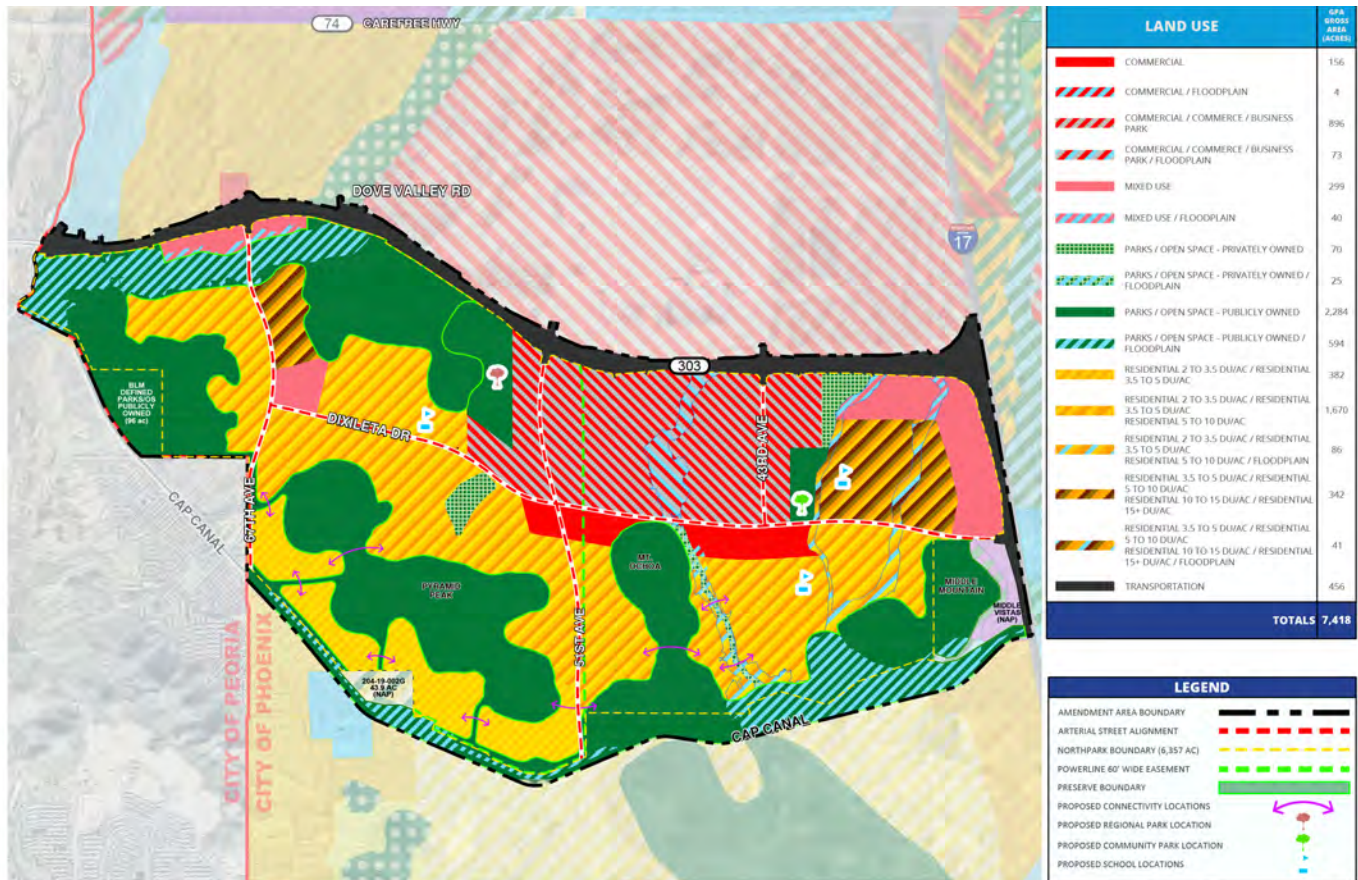
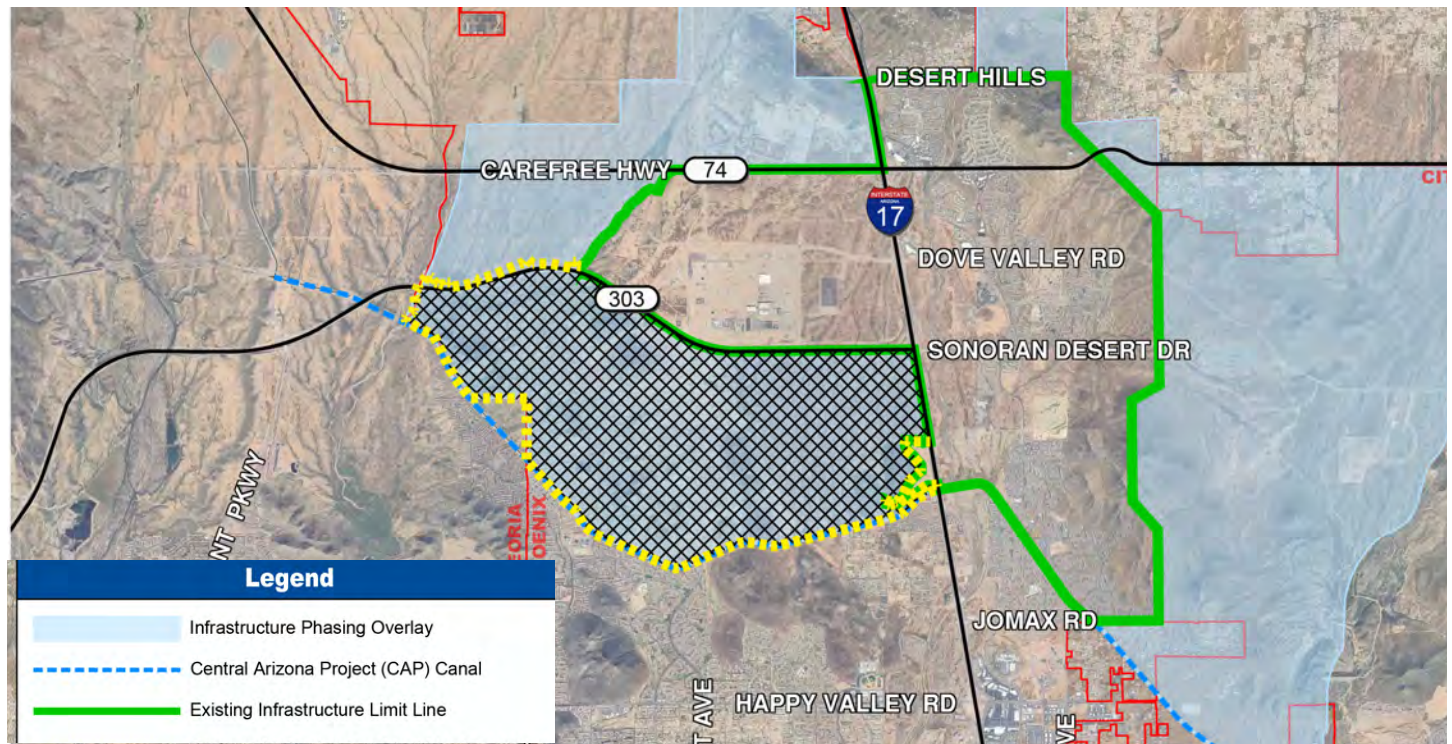


EXHIBIT 6: EXISTING AND PROPOSED INFRASTRUCTURE LIMIT LINE



In addition to the General Plan Land Use Map, the Site is also governed by the following land planning and policy documents:

- North Black Canyon Corridor Plan
- General Plan Peripheral Areas C and D
- The Sonoran Preserve Master Plan

The NorthPark PUD will be subject to and comply with principles that govern the above-mentioned documents.

2.5. North Black Canyon Corridor Plan

The North Black Canyon Corridor Plan (NBCCP) was adopted in 1999 and was created to evaluate and establish management goals in anticipation of future growth in northwest Phoenix. NorthPark PUD adheres to the goals and objectives of the NBCCP, and expands the Infrastructure Limit Line established within this area.

Physical conditions and development assumptions with the NBCCP have evolved significantly since the adoption of the Plan, but many of the original goals and objectives of the document have remained relevant. These include:

NBCCP Goal 1: Promote the North Black Canyon Corridor as a regional employment center.

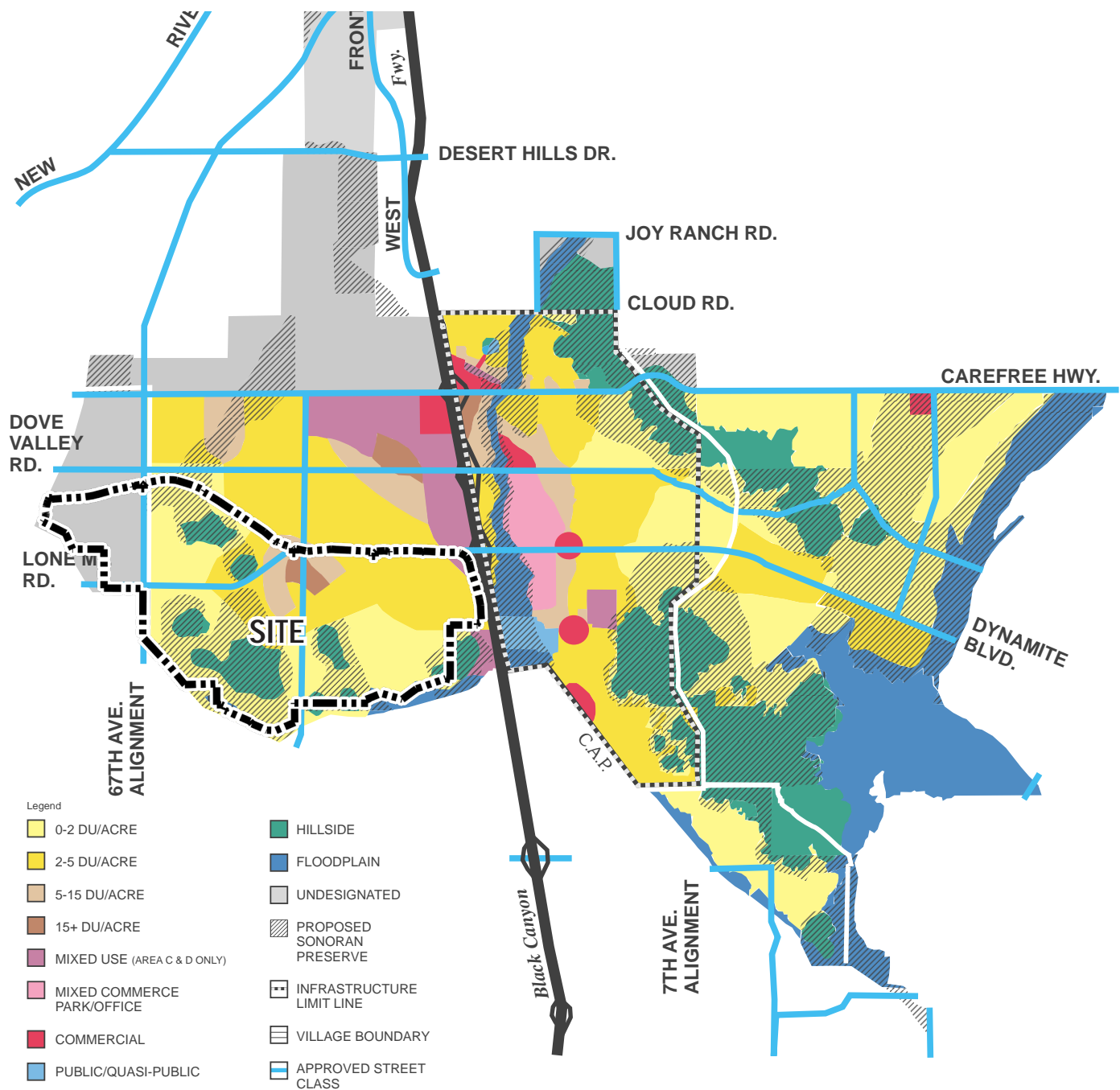
This goal has begun to manifest through the construction of TSMC and entitlements for similar and supporting facilities within Halo Vista, the master planned development within the Phoenix 3500 PUD located between I-17 and the TSMC campus. Additional complimentary uses can be found within the eastern portions of the NBCCP area, including the W.L. Gore Biomedical Campus. These employment uses are likely to expand south of the Loop 303 corridor into portions of NorthPark as it shares significant freeway frontage that is conducive to employment and commerce uses. The significance of these uses will be their ability to attract high-tech and high-quality jobs, and to couple these uses with housing and establish communities within close proximity to jobs.

NBCCP Goal 2: Achieve a balance between employment and housing.

The proposed amendment to the General Plan Land Use Map furthers the City of Phoenix's objectives of integrating employment and housing. A core principle for NorthPark includes envisioning the site as a balanced self-sustaining community where jobs, diverse housing types, and recreational opportunities that serve both residents and employees will be achieved. Approximately 1,600 acres of NorthPark have been designated for employment and commercial uses. Additionally, lands north of the Loop 303 freeway have been zoned for employment dominant uses on more than 3,500 acres. Where such land had formerly been predominantly designated for residential development at 2 to 5 dwelling units per acre. The North Park PUD increases residential opportunities to the south of the Loop 303 freeway that were offset by restricting residential to the north of the Loop 303 freeway.

NBCCP Goal 3: Concentrate growth within a defined corridor.

When the NBCCP was adopted in 1999, the City of Phoenix was reticent to extend its infrastructure network to its remote edges where development was not imminent. Over a 25-year period, development objectives in the NBCCP area have been accelerating, and the need for a robust infrastructure network across broad portions of the area have expanded the boundaries of growth. Initially, growth will continue to be confined to corridors that are proximate to infrastructure, but as housing needs and subsequent commercial and employment developments follow, these edges will expand accordingly.



NBCCP: Existing Land Use Plan-North Gateway Village (1999)

NBCCP Goal 4: Preserve North Sonoran Desert amenities and use these features to define community form and identity.

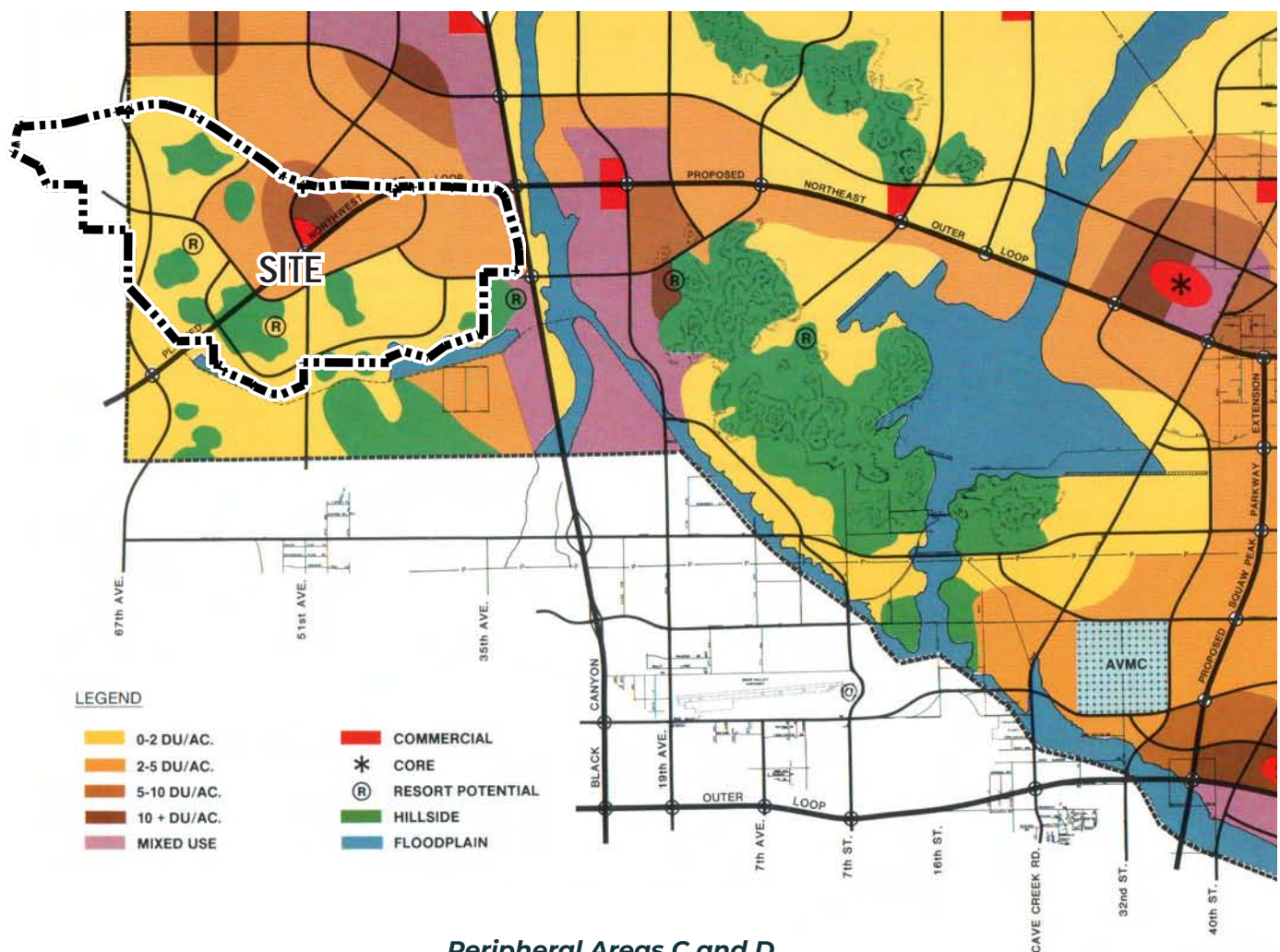
Provisions for integrated recreation and conservation are some of the highest priorities for defining community form within the NorthPark PUD. 2,100 acres within the boundaries of the PUD have been earmarked for donation and inclusion within the Sonoran Preserve. Communities that are developed proximate to these edges will adhere to strict guidelines that include desert sensitivity and abundant recreational opportunities established in this PUD. To ensure for the protections of the Site's sensitive desert areas, detailed master planning will be conducted to identify existing drainage conditions and corridors that are subject to preservation and protection.

2.6. General Plan Peripheral Areas C and D

The Peripheral Areas C and D were study areas identified by the City of Phoenix for lands north of the CAP canal that predated their inclusion in the City's General Plan. NorthPark is located entirely within the Peripheral Area D, which extends from the Jomax Road alignment on the south to the Carefree Highway (State Route 74) alignment on the north. The Plan contemplated major roadway alignments and land uses that have largely been superseded by proceeding planning documents, including the current General Plan Land Use Map and Street Classification Map.

Transportation routes illustrated within the Peripheral Area D boundary contemplate a network of arterials and the Northwest Outer Loop freeway that sought to disassociate from the traditional street grid network and take on more organic alignments. Ultimately, the construction of the Loop 303 freeway took the place of the Northwest Outer Loop and reflects a different alignment within NorthPark.

Land uses proposed within the Peripheral Area D study area indicated a significant commercial and high-density residential node located immediately north of the 51st Avenue and Northwest Outer Loop interchange. This area today falls within the northern portions of the Site proximate to the current freeway interchange at 51st Avenue. Hillside areas within NorthPark were identified as areas subject to preservation as open space. The predominant Land Use Districts identified on the Peripheral Area D land use plan within NorthPark included low and medium density residential.



*Peripheral Areas C and D
Land Use and Circulation Plan (1987)*

2.7. The Sonoran Preserve Master Plan

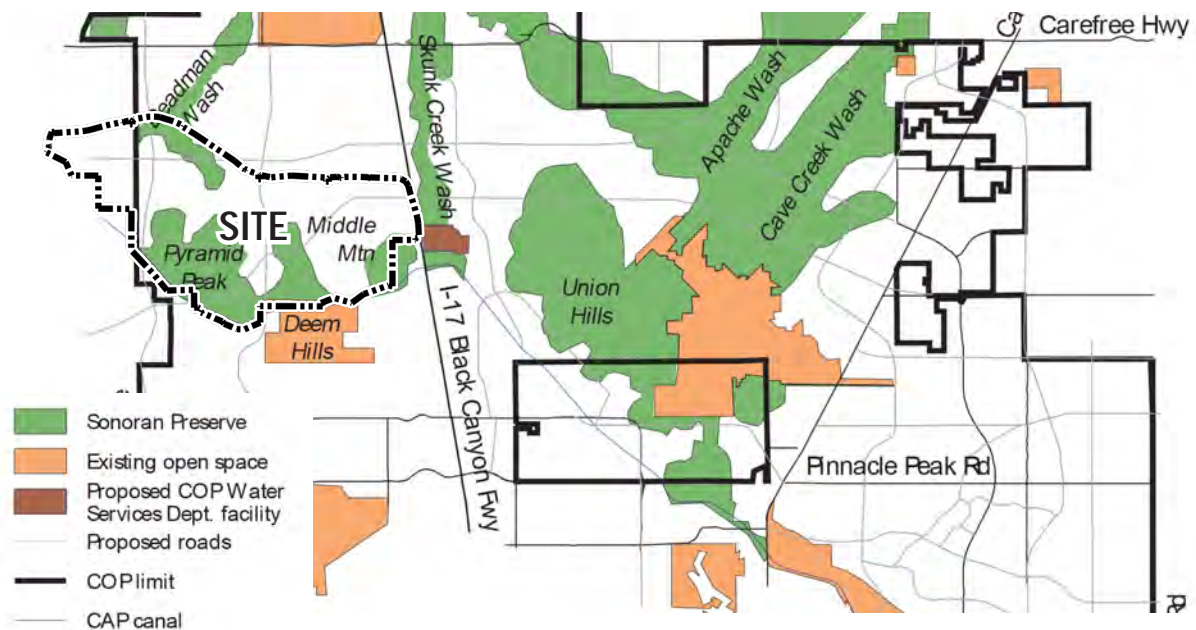
At the heart of NorthPark, 2,100 acres of natural lands have been identified for inclusion in the Sonoran Preserve. These Sonoran Preserve lands represent a significant contribution to the overall assemblage of existing and future Sonoran Preserve lands envisioned for the North Phoenix area resulting in more than a twenty percent increase in the current Sonoran Preserve land in North Phoenix. NorthPark celebrates its role as a critical component of this great vision by establishing a process that supports the progressive donation of lands into the Sonoran Preserve. In addition, this PUD includes natural open space guidelines and themes that extend beyond the edges of the Sonoran Preserve into the NorthPark community.

The Sonoran Preserve Master Plan ("SPMP") was adopted by the City of Phoenix in 1998. Since that adoption, the Sonoran Preserve area in North Phoenix has grown to include more than 9,600 acres of protected public land. The SPMP describes many public benefits including passive outdoor recreation, environmental education, the preservation of flora and fauna, effects on residential and commercial property values, economic vitality, and tourism.

Currently, the General Plan Land Use Map designations and zoning on the Site allow for residential development within the boundaries of the SPMP. The NorthPark PUD and accompanying minor General Plan Amendment will remove all allowed residential uses from the preserve land and donate a historic amount of acreage to the City for public use.

2.7.a. Sonoran Preserve Dedication

The NorthPark PUD provides an extraordinary opportunity to bring 2,100 acres of natural desert lands into Phoenix's Sonoran Preserve for public use and benefit. The process for dedication will be initiated through the preliminary site plan application for areas that have been issued a patent by the Arizona State Land Department. These Natural Open Space (NOS) areas will be specified and dedicated within a Tract for donation to the City of Phoenix when the adjacent property is platted unless an alternative mechanism for donation is mutually agreed to by the Developer and the City. The amount to be dedicated with each site plan will consider access and connectivity to the NOS areas. The initial site plan within MDP 5 adjacent to NOS will dedicate a minimum acreage proportionate to the developable land, unless a lesser amount is requested by the parks and recreation department.



Sonoran Preserve Master Plan (1998)



SECTION 3:

PROCESS AND PROCEDURES



NorthPark

3.1. Regulatory Structure

The NorthPark PUD is designed as a flexible regulatory blueprint that provides the ability to tailor development controls to the unique needs and evolution of the community. The PUD establishes baseline standards with respect to the maximum number of units, allowed density and Land Use Districts allowed within the PUD provided that the land use for any given Master Development Parcel and/or Sub-Parcel, and associated development standards, will be selected at the time of Preliminary Site Plan approval.

This PUD is subject to all Hillside Development Standards, including but not limited to density restrictions, which may require deviations from the included exhibits that have not been reviewed for Hillside compliance. All Hillside Standards and Requirements shall override all zoning standards, including conflicts with any of the PUD Standards included within.

All permitted uses, development standards, design guidelines, landscape standards, hillside standards, sign regulations, and lighting provisions shall be governed by the Phoenix Zoning Ordinance, except as modified by this PUD. If there is a conflict between language or provisions within this PUD and the Phoenix Zoning Ordinance, the language or provisions within this PUD shall prevail.

3.2. Development Parcel Allocation and Tracking

A record of the NorthPark PUD Master Development Parcel allocation and budget shall be included on a tracking spreadsheet to be provided with each Preliminary Site Plan processed with the Phoenix Planning and Development Department. **Appendix B: Dwelling Unit Budget Table** will be used to track unit count for each Master Development Parcel including a running total of the overall units allocated within NorthPark.

The tracking spreadsheet must include the following information:

- Final Unit Count for each Master Development Parcel including a running tally of the overall units allocated within NorthPark.

ASLD will identify land within this PUD for disposition within its sole and absolute discretion throughout the period when ASLD still holds title to land within this PUD. The State Land Commissioner, or designee, may designate land within any parcel for auction within this PUD and ultimately reflect its allowable residential density on **Appendix B: Dwelling Unit Budget Table** when the site plan or plat is approved.

The ASLD will remain involved in land use decisions within the entire PUD until such time that ASLD no longer holds title to any land within this PUD. Until the last parcel is transferred out of ASLD ownership (a land patent issued), every PUD amendment and development application to the City for property within the PUD, including but not limited to General Plan Amendments, rezoning, and MDP Master Plans must be accompanied by an Ownership Authorization Letter issued by ASLD.

3.3. PUD Amendments

Amendment to the NorthPark PUD may be necessary from time to time for distinct reasons, including changing market or financial conditions, new development conditions, specific or unique requirements of a potential user or builder, or to address issues that were not contemplated in the approved plan. There are two types of amendments: major amendments and minor amendments. Major Amendments will be processed in the same manner as an application for a rezoning request in accordance with the Phoenix Zoning Ordinance. Minor Amendments shall be reviewed and approved by the Planning and Development Director, or their designee (Section 671.E.2 of the Phoenix Zoning Ordinance) through an administrative review and approval process. PUD Amendments shall be subject to Section 671.E of the Phoenix Zoning Ordinance, PUD Amendments. Any changes to the allowable uses shall require an update to the TIA and the Master Street Plan, as required by the Street Transportation Department.

3.4. Master Development Parcel and Functional Segment Master Plans

For all future initial developments within any Master Development Parcel, the initial applicant shall submit Conceptual Development Master plans, as described in the PCD section of the Zoning Ordinance and as further clarified in this PUD. The first developer within a Development Unit will be required to identify the infrastructure necessary to serve the development and where needed or appropriate, sized to facilitate service to adjacent Development Units.

The initial development applicant within a Master Development Parcel shall work with Staff to assign the required, additional master plans at either the Master Development Parcel level, or a lesser Functional Segment level. These plans will include:

- Master Development Plan
 - Traffic Impact Study
 - Master Street Plan with Infrastructure Phasing Schedule
 - Master Open Space, Pedestrian, Bicycle and Trails Plan
 - Master Landscape Plan
 - Master Water Plan including a Water Design Report
 - Master Wastewater Plan including a Wastewater Design Report
 - Master Drainage Plan including a Drainage Report
 - Functional Segment Phasing Schedule
3. Master Plans to be provided on a Master Development Parcel Master Planning level.
 4. Master Plans to be provided on a Functional Segment (sub-MDP) Master Planning level.

As each subsequent Master Development Parcel and Functional Segment plan is completed, overall site master plans shall be updated accordingly. Each portion of Functional Segment or Master Development Parcel level plan can revise the prior approved plan.

MASTER DEVELOPMENT PARCEL (MDP) DEVELOPMENT PROCESS



Master Development Parcel Master Plans

- *Master Development Plan identifying Functional Segments*
- *Master Water Plan including Water Design Reports*
- *Master Wastewater Plan including Wastewater Design Reports*
- *Master Drainage Plan including Drainage Report*
- *Development Unit Phasing Schedule*
- *Traffic Impact Study*

Functional Segment Master Plans

- *Master Street Plan with Infrastructure Phasing Schedule*
- *Master Landscape Plan*
- *Master Pedestrian and Trails Plan*
- *Infrastructure Phasing Plans*
- *Infrastructure Funding Plans*



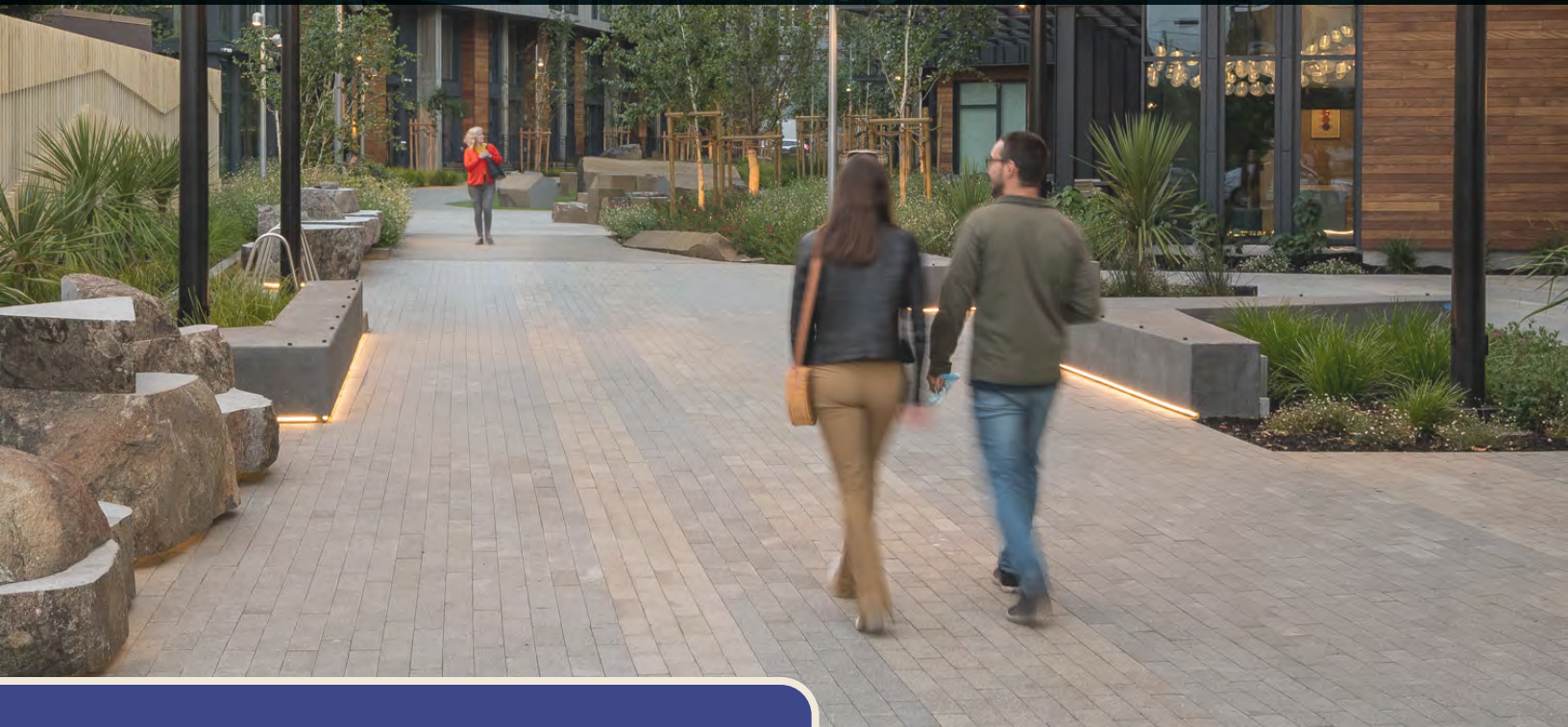
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SECTION 4:

LAND USE PLAN



NorthPark



4.1. Development Concept

The NorthPark property encompasses approximately 6,357 acres of vacant property located within the North Gateway Village of Phoenix. The unique geographic character of the property, when viewed within the context of adjacency to regional freeway corridors, opportunities for large scale high-tech manufacturers, and the establishment of future Sonoran Preserve, quickly elevates the significance of NorthPark as a diverse master-planned community.

The Master Plan concept for NorthPark, as structured in this PUD, provides a framework for a well-planned, cohesive, mixed-use community that integrates natural open space, employment, diverse housing types and connected recreational elements. The plan supports the intent of the current land use designations envisioned within the Phoenix General Plan but reconfigures them to account for regional changes such as the development of the TSMC Campus, the topography of the site, and the housing and employment needs in a growing area of the city. The purpose of this PUD request is to rezone the site to implement a comprehensive community vision for the property, while simultaneously establishing flexible zoning to allow appropriate adaptation over a long development horizon.

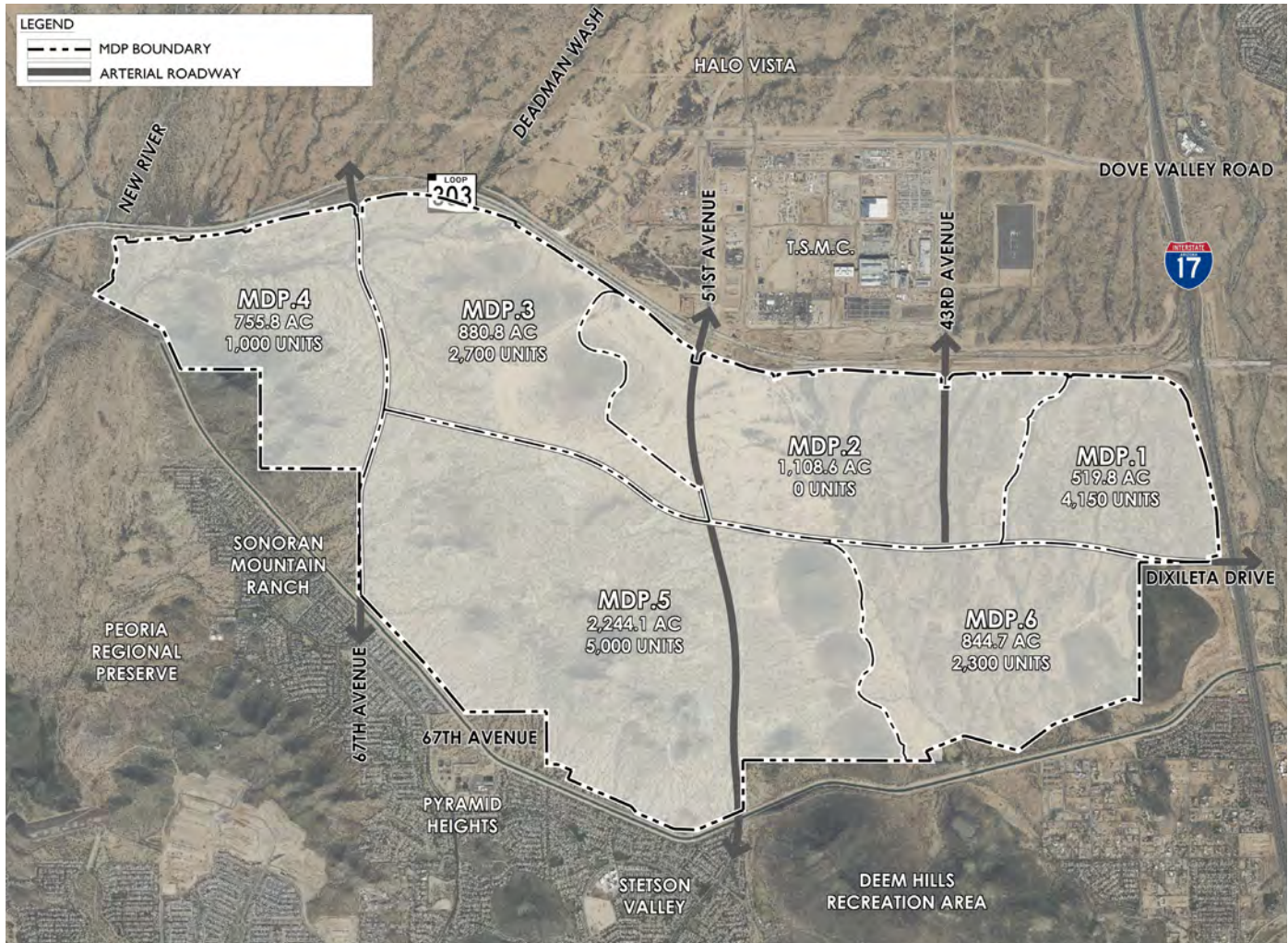
The vision for the overall NorthPark property is predicated on a 'Park-to-Park' concept, transitioning from higher-intensity employment and manufacturing campuses and multifamily residential uses within the northern portions of the property that are generally proximate to the Loop 303 freeway corridor, to lower-density residential communities that will thoughtfully integrate with the Sonoran Preserve in the southern regions of the Site.

The encapsulation of approximately 2,097 acres of future Sonoran Preserve lands within the overall NorthPark property represents a tremendous opportunity to establish a thoughtful unification of community elements that each relate to the Sonoran Preserve. The prominent landforms contained within this massive open space area are dramatic visual reminders of the Preserve's integral relationship and manifestations within various aspects of the community. Viewsheds to the mountains will be prioritized when defining community corridors. Natural wash corridors will be maintained to provide wildlife corridors and recreational linkages throughout the community. Master planning allows for the opportunity to establish guidelines for inter-community pedestrian connections that link to all areas within the community and to public trailheads. Where possible, this network of trails and paths will be independent from major roadways, instead leveraging a network of linear parks, corridors and natural washes to create spaces that encourage and attract a community use.

4.2. Proposed Zoning

The purpose of the PUD is to provide a flexible regulatory framework for the 6,357-acre property that thoughtfully balances residential and commercial services, employment, and open space. Due to the long-range development horizon anticipated for a project of this size, entitlement flexibility will be necessary so that the development is able to evolve and adapt to future community needs and market conditions.

EXHIBIT 7: MASTER DEVELOPMENT PARCEL MAP



4.3. Master Development Parcels

The regulatory framework for the NorthPark PUD centers around the segmentation of the overall property into six Master Development Parcels (MDPs), which represent areas defined for future individual master planning. Master Development Parcel boundaries within the NorthPark PUD are generally defined by arterial roadway alignments as depicted on **Exhibit 7: Master Development Parcel Map**. If modifications to the MDP boundaries are necessary after the approval of this PUD, the modification will be documented in conjunction with the preparation of the Master Plans for the affected MDP and may be subject to a PUD amendment.

Master Planning will occur at the PUD, MDP, and Functional Segment level. Functional segments are defined as sub-areas within an MDP (or portions of multiple MDPs). The extents of these functional segments shall be defined by the ASLD and will allow development at a sub-MDP level with the completion of incremental infrastructure improvements necessary to serve these areas.

Each Master Development Parcel, which represents a portion of the overall Site acreage, is assigned a Maximum Unit Count and an acreage for each allowed Land Use District, defined in **Table 3: Land Use Districts Allocation Table** and **Table 4: MDP Maximum Unit Allocation Table**, found in **Section 6: Development Standards** of this PUD.



4.4. Land Use Districts

The overall PUD land use framework for NorthPark defines seven development character areas called land use districts that together will encourage a flexible, dynamic, and diverse community. These Districts not only allow for future land uses to be in alignment with the General Plan but promote the NorthPark community vision of establishing a Park-to-Park transition of uses across the Site. This vision encapsulates the ideals of a vibrant high-tech environment within the northern portions of the property, transitioning to a desert edge community that embraces its adjacency to the future Sonoran Preserve. The Land Use Districts generally correlate with the General Plan Land Use Map designations but will allow for flexibility in area and configuration to adapt to future market conditions and development priorities. See **Exhibit 8A: Land Use Districts**.

The nine Land Use Districts within the NorthPark PUD are defined as:

- Natural Open Space (NOS)
- Foothills Residential (FR)
- Neighborhood Village (NV)
- Community Commercial (CC)
- Innovation Corridor (IC)
- Community Open Space (COS)
- Traditional Neighborhood (TN)
- Lifestyle Mixed-Use (LMU)
- Freeway Mixed-Use (FMU)

Each of the six Master Development Parcels will include a unique range of Land Use Districts that establish the development character and regulate the specific use types for each of these areas that are largely associated with existing districts from the City of Phoenix Zoning Ordinance.

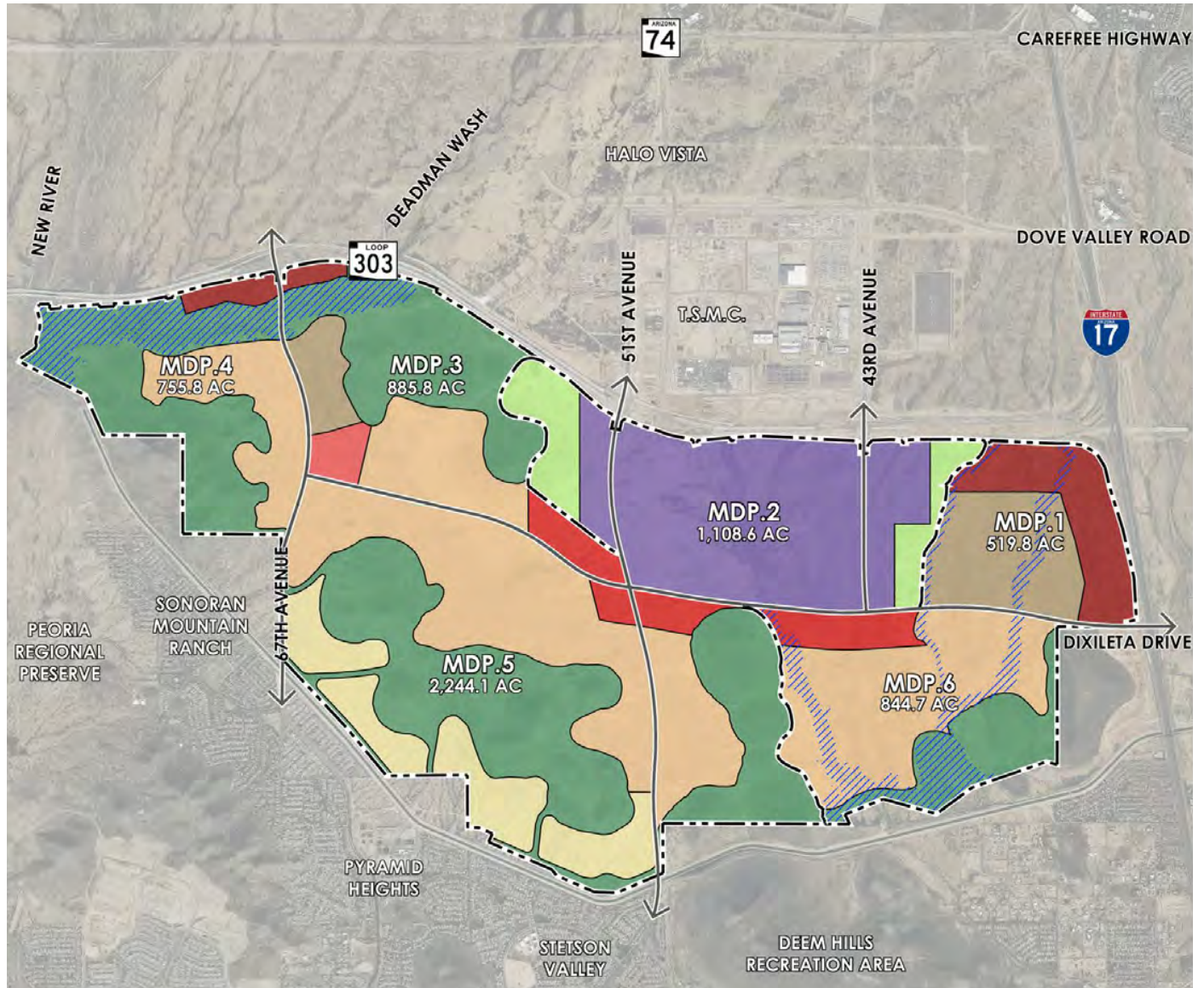
Eight of the nine Land Use Districts are associated with a range of complimentary base zoning districts from the City of Phoenix Zoning Ordinance and are subject to their permitted uses and development standards except as modified by the PUD. The Natural Open Space Land Use District is unique to this PUD and does not directly correlate to any existing district provided within the Phoenix Zoning Ordinance. For this reason, all uses within the NOS Land Use District will be approved by City of Phoenix staff in accordance with the City's Sonoran Preserve Master Plan guidelines.

The following section more specifically summarizes the Land Use District Framework including a description of each Land Use District, the allowed zoning districts that are permitted within each, and specific regulations for each Land Use District to ensure for an appropriate mix of land uses in alignment with the General Plan.

TABLE 3: MDP LAND USE ALLOCATION TABLE (GROSS ACRES)

LAND USE DISTRICT	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
NATURAL OPEN SPACE	0.0	0.0	425.9	479.6	979.5	214.5	2,099.5
COMMUNITY OPEN SPACE	0.0	208.7	0.0	0.0	0.0	0.0	208.7
FOOTHILLS RESIDENTIAL	0.0	0.0	0.0	0.0	380.8	0.0	380.8
TRADITIONAL NEIGHBORHOOD	0.0	0.0	222.9	236.4	810.9	537.2	1,807.5
NEIGHBORHOOD VILLAGE	292.2	0.0	90.6	0.0	0.0	0.0	382.9
LIFESTYLE COMMERCIAL	0.0	0.0	50.0	0.0	0.0	0.0	50.0
COMMUNITY COMMERCIAL	0.0	0.0	69.2	0.0	72.8	93.0	235.1
FREEWAY COMMERCIAL	227.6	0.0	22.1	39.9	0.0	0.0	289.6
INNOVATION CORRIDOR	0.0	899.9	0.0	0.0	0.0	0.0	899.9
TOTAL ACREAGE:	519.8	1,108.6	880.8	755.8	2,244.1	844.7	6,353.9

EXHIBIT 8A: LAND USE DISTRICTS



LAND USES

	NATURAL OPEN SPACE
	FOOTHILLS RESIDENTIAL
	TRADITIONAL NEIGHBORHOOD
	NEIGHBORHOOD VILLAGE
	LIFESTYLE MIXED-USE
	COMMUNITY COMMERCIAL
	FREEWAY MIXED-USE
	INNOVATION CORRIDOR
	COMMUNITY OPEN SPACE

LEGEND

 MASTER DEVELOPMENT PARCEL BOUNDARY

 ARTERIAL ALIGNMENT

 FLOODPLAIN

NOTE: FLOODPLAIN AREA MAY BE SUBJECT TO FUTURE REVISIONS IN ACCORDANCE WITH F.E.M.A. REQUIREMENTS

4.4.a. Natural Open Space (NOS)

The Natural Open Space Land Use District is defined by lands included within the boundaries of the Sonoran Preserve and represents approximately 2,097 acres within the NorthPark property that will be donated to the City of Phoenix. Uses permitted within Natural Open Space areas shall be limited to recreation and those that promote access to, and preservation of, natural open space.

4.4.b. Community Open Space (COS)

The Community Open Space Land Use District consists of large open spaces outside of the Sonoran Preserve boundary that will be maintained by an private or public entities. These areas can be preserved as natural open space or developed as an active recreation area.

4.4.c. Foothills Residential (FR)

The Foothills Residential Land Use District is a residential zone for low to medium residential density use types. The Foothills Residential LUD encompasses a portion of MDP.5 west of 51st Avenue between the CAP canal and the Phoenix Sonoran Preserve and is intended to establish a neighborhood character that is consistent with existing residential uses located south of the CAP canal. Housing types will be limited to single-family detached residential uses. Additional uses will include passive and natural open space areas through corridors that promote wildlife movement and habitat preservation, private community amenities, and limited instances where community services may be integrated adjacent to public trailheads as described in Section 5.2.b of this PUD.

4.4.d. Traditional Neighborhood (TN)

The Traditional Neighborhood Land Use District is a predominantly residential zone that allows for low to medium residential densities. Traditional Neighborhood LUD areas are widespread throughout the NorthPark community and serve as transitional uses where located proximate to the Sonoran Preserve boundary. Product types established within Traditional Neighborhoods will primarily be comprised of single-family residential uses but allow for medium density attached product types to encourage greater housing product diversity. Additional uses will include passive and natural open space areas through corridors that promote wildlife movement and habitat preservation, schools, and limited instances where community services and resort uses may be integrated within residential neighborhoods. Small-scale commercial development shall be permitted within defined areas to encourage neighborhood-integrated service retail and non-drive thru restaurants as neighborhood amenities. The Traditional Neighborhood LUD will emphasize community-scale walkability through a robust network of community trail and path types.

4.4.e. Neighborhood Village (NV)

The Neighborhood Village Land Use District is a predominantly residential zone of diverse housing types and opportunities for smaller-scale workplaces and amenities for daily life. Residences within the Neighborhood Village LUD shall strive to be located in close proximity to schools, retail, professional and personal services, places of worship, civic services, open space, and recreation. The goal of the Neighborhood Village LUD is to allow for balance of medium and higher density housing types within a setting that encourages integrated mixed-product neighborhoods characterized as walkable, socially engaging, and in close proximity to community services. Typical uses within this LUD may include small lot single-family attached and detached product types, multi-family residential, townhomes, condominiums, and build-to-rent communities.

4.4.f. Lifestyle Mixed-Use (LMU)

The Lifestyle Mixed-Use land use district is envisioned as a blend of complimentary uses within the NorthPark community. This area are generally intended to provide retail, office and dining services for the local area, but allow for integrated residential uses that will combine to create compelling activity and lifestyle zones promoted through a unique vision for walkable urban spaces.

A balance of large and small scale retail uses, connected with vibrant public gathering spaces will encourage residents from throughout NorthPark to visit this area by connecting with the broader network of community paths and trails. Elevated design will promote walkability and reduced reliance on personal vehicles, where practical, should be the goal of each site plan.

The Major Lifestyle Mixed-Use area located on the northeast corner of 67th Avenue and Dixileta Road shall comprise a minimum of 50.0 gross acres and require a minimum of 200 multi-family units to be integrated with commercial within a walkable urban setting.

4.4.g. Community Commercial (CC)

The Community Commercial Land Use District includes areas designated for high intensity commercial and employment-oriented land uses. Adjacency to arterial roadways support these higher intensity uses and buffer residential from more intense uses that may be located within the Innovation Corridor. Residential uses are not permitted in this Land Use District.

4.4.h. Freeway Mixed-Use (FMU)

The Freeway Mixed-Use Land Use District includes the areas with the highest intensity of commercial-oriented land uses within the community to support a blend of services, large and small employment, and higher density housing types within the NorthPark community. Proximity to the adjacent freeways support the planned regional-level employment and commercial services envisioned for these areas by buffering lower density residential to the south and provide these sites with higher visibility and increased accessibility.

4.4.i. Innovation Corridor (IC)

Uses within the Innovation Corridor LUD are intended to complement high-tech and employment-oriented enterprises already located in the area. Land uses in this zone accommodate a wide variety of large-scale non-residential use types that support employment, manufacturing, and regional commerce. Because of the potential intensity associated with these uses, this LUD is located proximate to freeway corridors and interchanges where higher traffic volumes can be more effectively managed. Where feasible, uses shall be developed in a campus or business park environment to promote cohesive design aesthetic and character, and emphasize elements that promote walkability and thoughtful integration of networked open spaces throughout. Residential uses are not permitted in this Land Use District.

EXHIBIT 8B: NATURAL OPEN SPACE (NOS)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
NATURAL OPEN SPACE (ACRES)	0.0	0.0	425.9	479.6	976.5	214.5	2,096.5

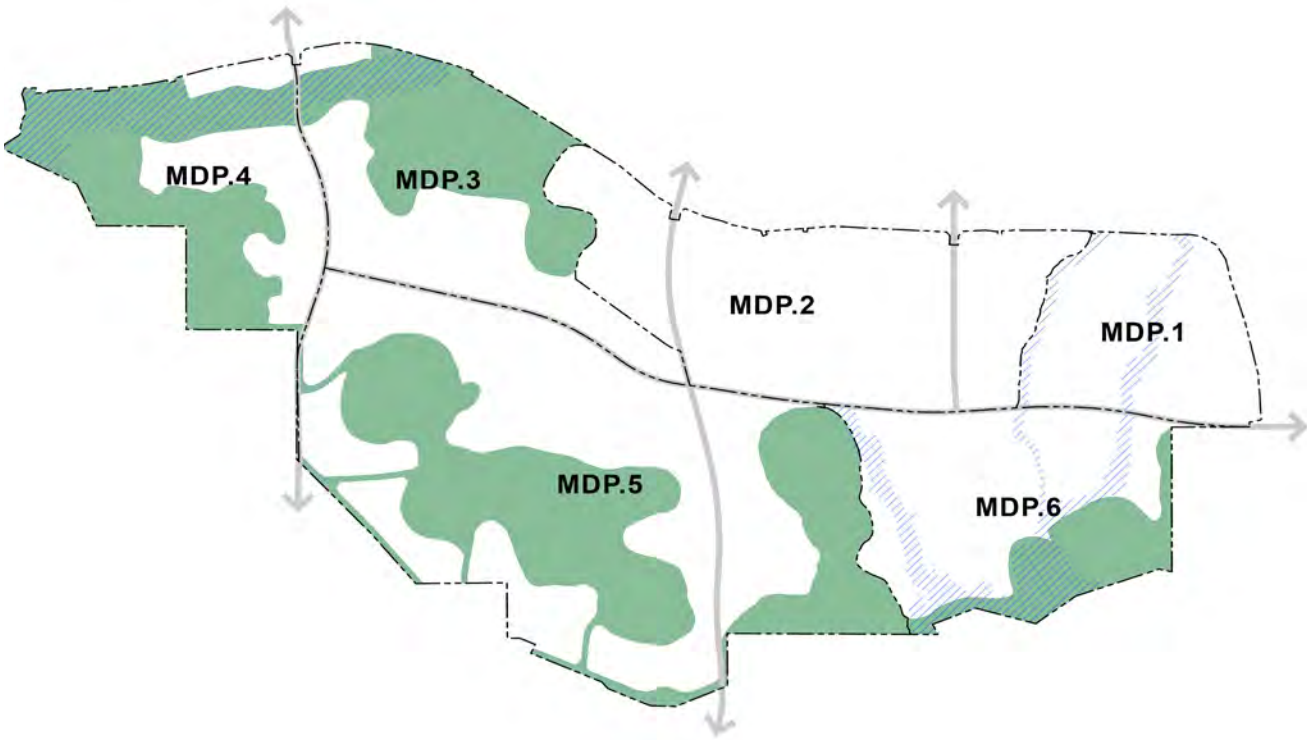


EXHIBIT 8C: COMMUNITY OPEN SPACE (NOS)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
COMMUNITY OPEN SPACE (ACRES)	0.0	208.7	0.0	0.0	0.0	0.0	208.7

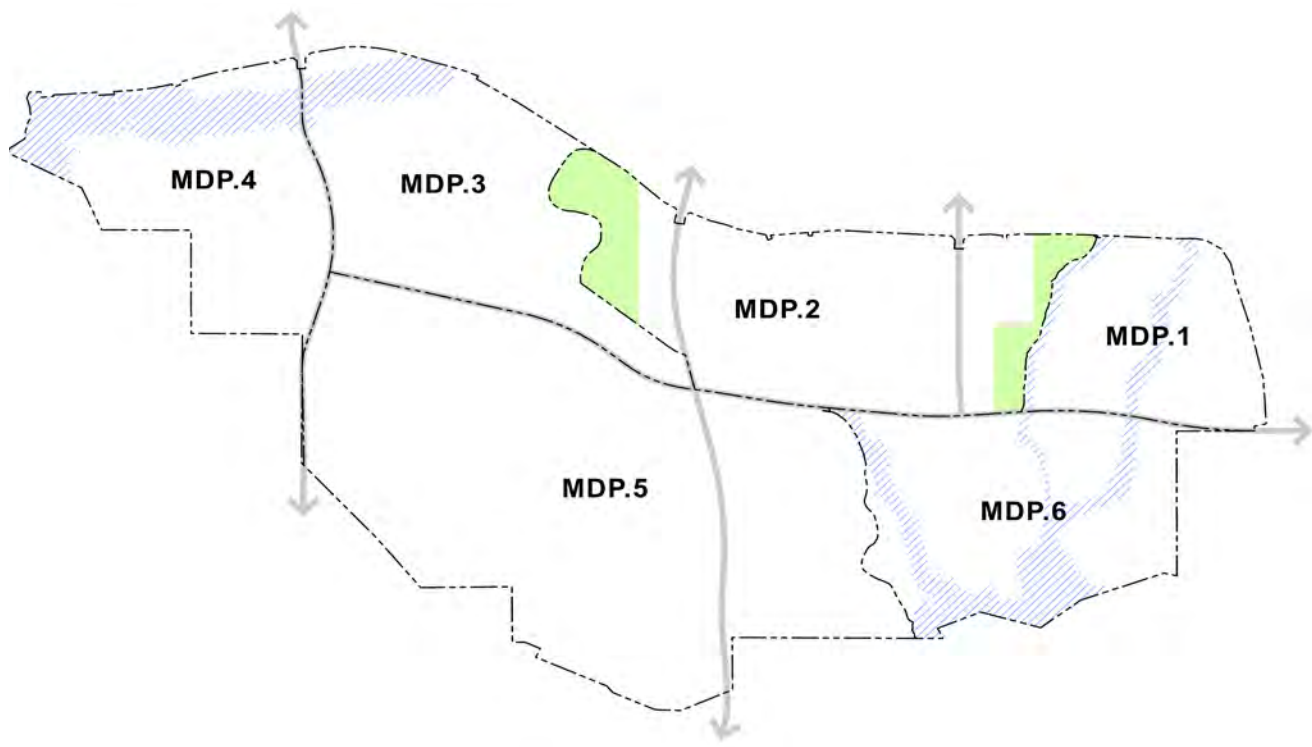


EXHIBIT 8D: FOOTHILLS RESIDENTIAL (FR)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
FOOTHILLS RESIDENTIAL (ACRES)	0.0	0.0	0.0	0.0	380.8	0.0	380.8

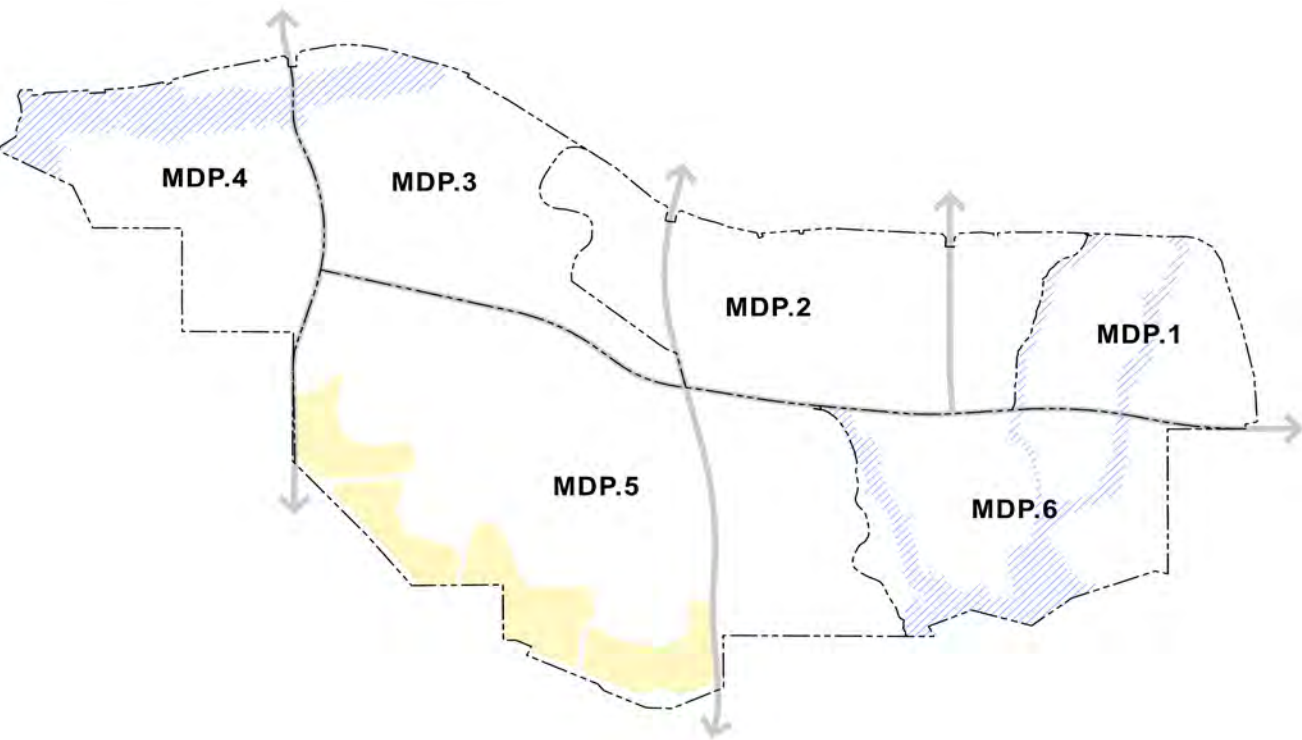


EXHIBIT 8E: TRADITIONAL NEIGHBORHOOD (TN)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
TRADITIONAL NEIGHBORHOOD (ACRES)	0.0	0.0	222.9	236.4	813.9	537.2	1,810.5

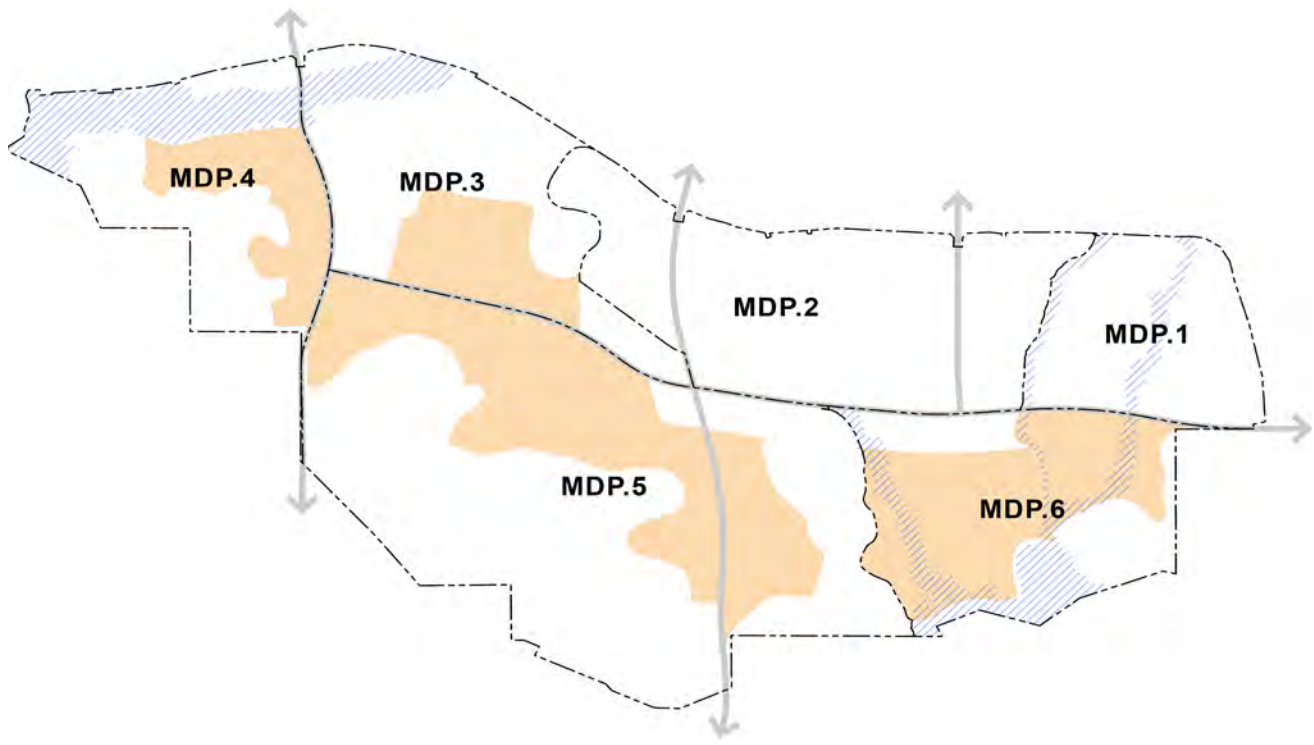


EXHIBIT 8F: NEIGHBORHOOD VILLAGE (NV)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
NEIGHBORHOOD VILLAGE (ACRES)	292.2	0.0	90.6	0.0	0.0	0.0	382.9

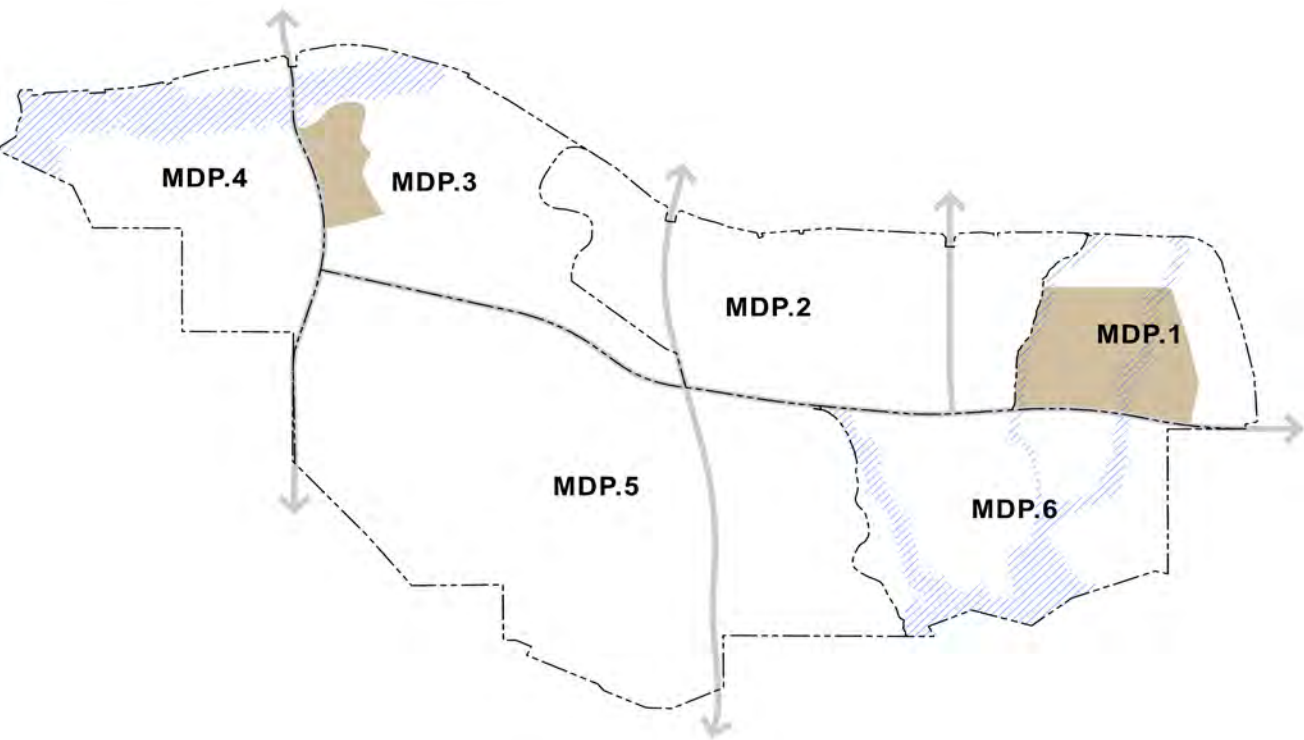


EXHIBIT 8G: LIFESTYLE MIXED-USE (LMU)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
LIFESTYLE MIXED-USE (ACRES)	0.0	0.0	50.0	0.0	0.0	0.0	50.0

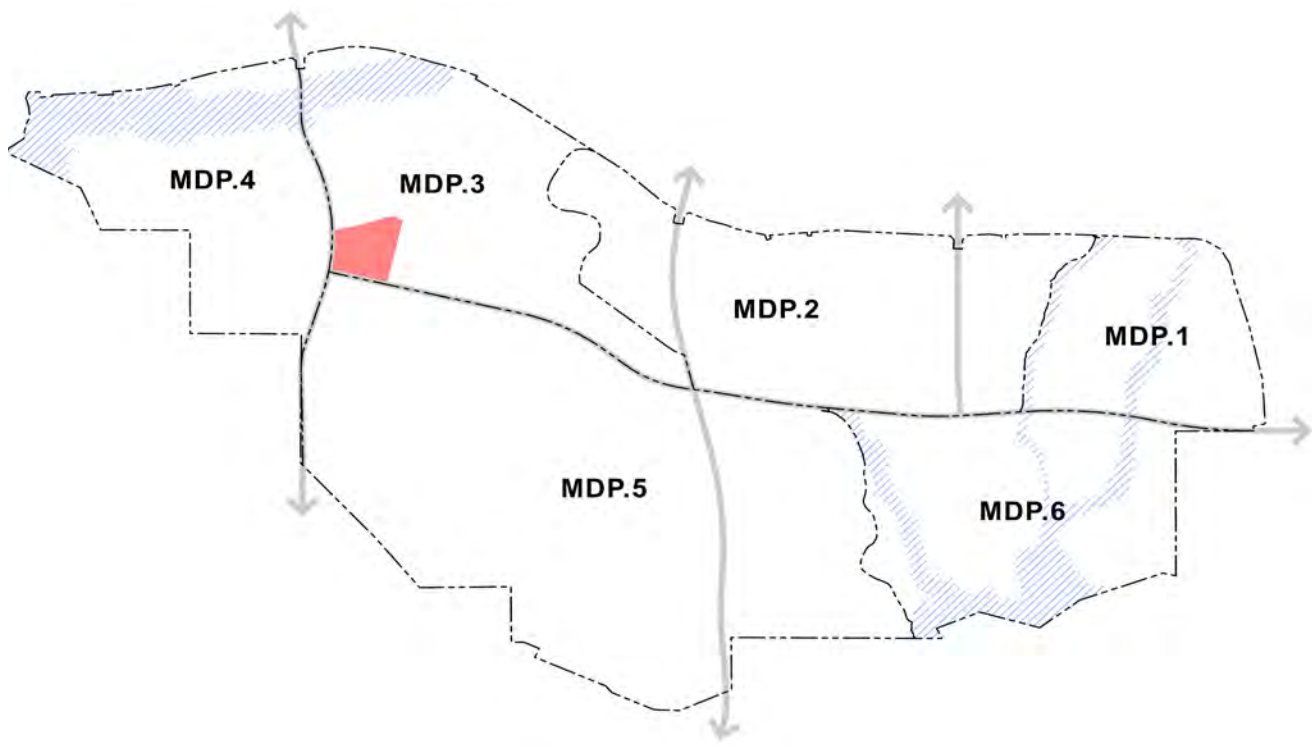


EXHIBIT 8H: COMMUNITY COMMERCIAL (CC)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
COMMUNITY COMMERCIAL (ACRES)	0.0	0.0	69.2	0.0	72.8	93.0	235.1

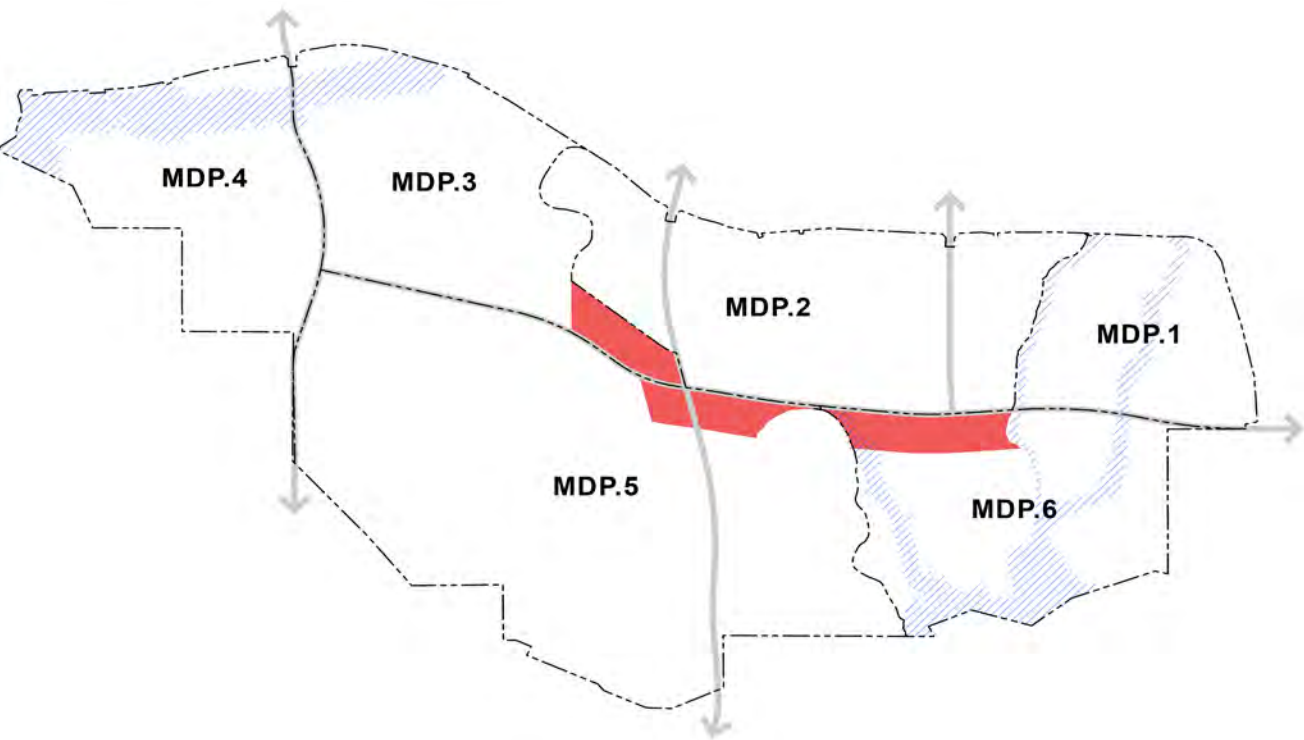


EXHIBIT 8I: FREEWAY MIXED-USE (FMU)

	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
FREEWAY MIXED-USE (ACRES)	227.6	0.0	22.1	39.9	0.0	0.0	289.6

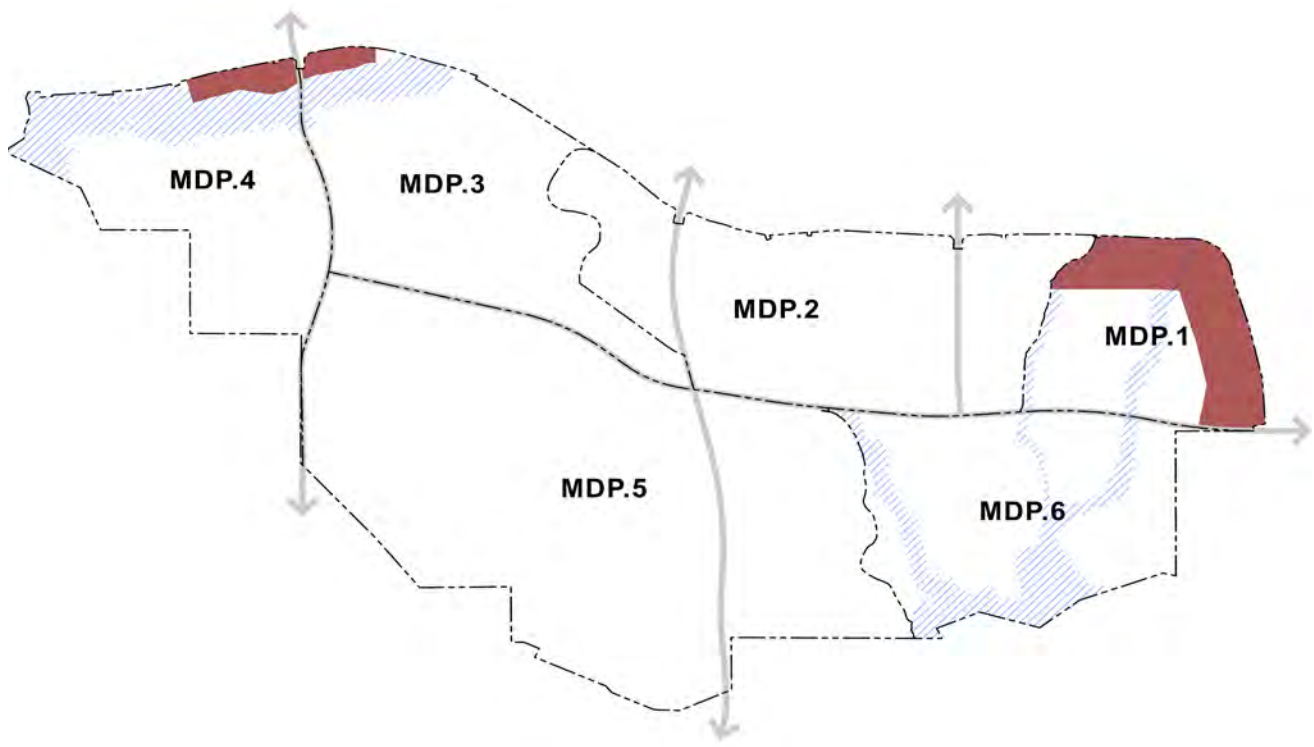
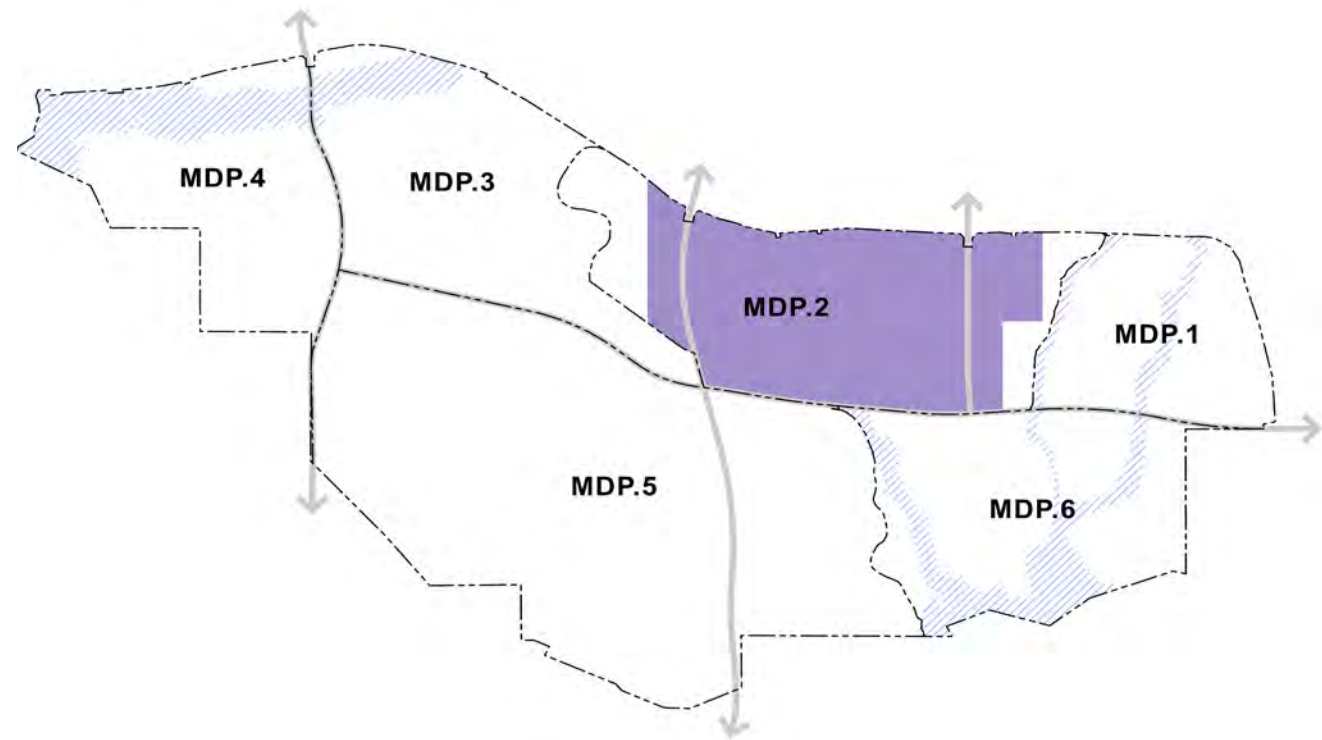


EXHIBIT 8J: INNOVATION CORRIDOR (IC)

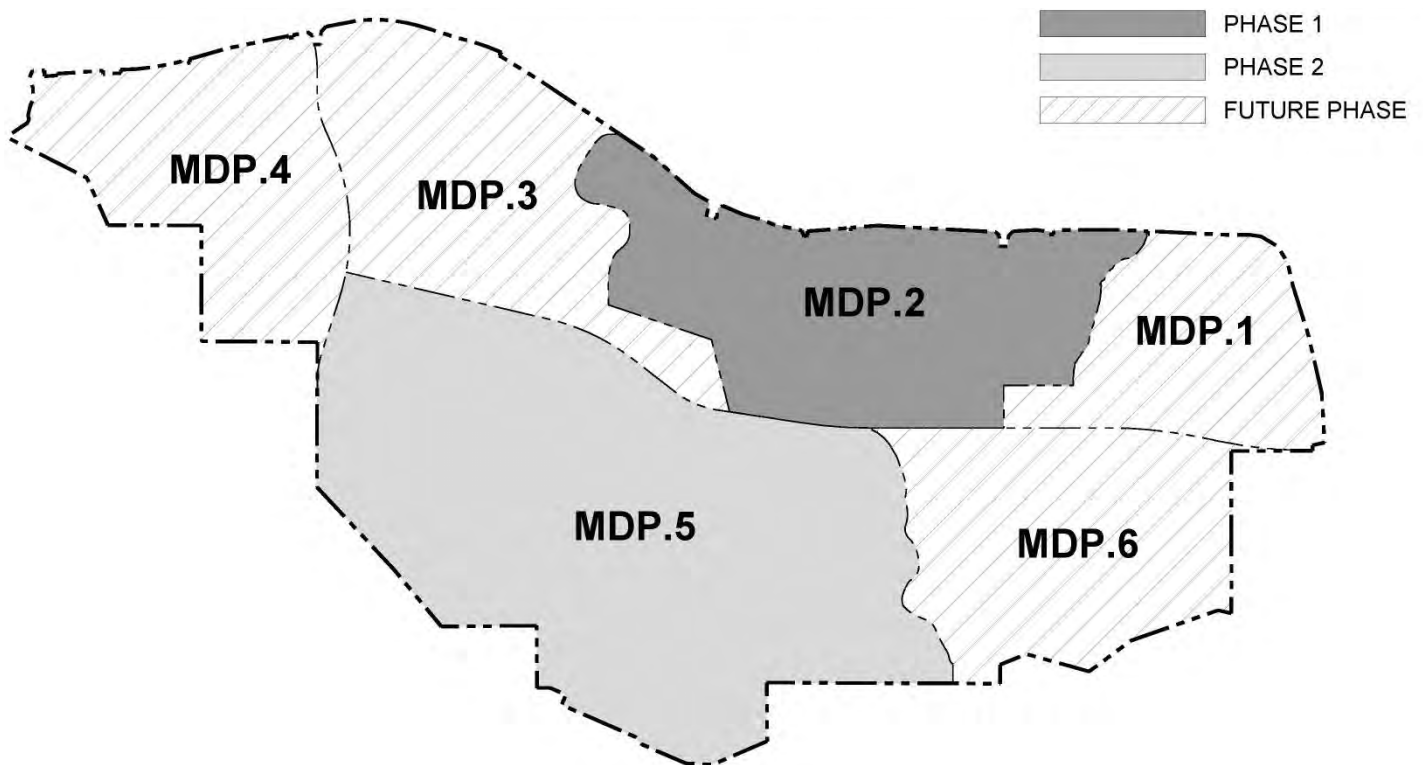
	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
INNOVATION CORRIDOR (ACRES)	0.0	899.9	0.0	0.0	0.0	0.0	899.9



4.5. Phasing

The NorthPark community has been segmented into six separate Master Development Parcels that generally represent the anticipated phasing areas of the property. The specific timing and overall area of each phase is subject to approval by the Arizona State Land Department Commissioner. At the time of this PUD approval, it is assumed that the initial phase will include the entirety of MDP.2 which is located in the northcentral portion of the property. MDP.5, located in the southcentral portion of NorthPark has been designated as the project's second phase. The specific timing and overall area of project phases beyond MDP.2 and MDP.5 have not been determined. Phase areas will include evaluation of existing infrastructure availability and improvement responsibility, other master plan considerations and market conditions for planned uses.

EXHIBIT 9: PHASING PLAN



4.6. Community Plan Elements

4.6.a. Residential Uses

The residential components of the NorthPark PUD include a mix of low- to medium-density residential uses permitted within the Foothills and Traditional Neighborhood LUDs, medium- to high-density residential uses permitted within the Neighborhood Village LUD, and high-density residential uses in the Lifestyle and Freeway Mixed-Use LUDs. While there is some overlap between permitted uses in these LUDs to provides some flexibility in the precise location of an individual development project, in general the higher density residential use types will be located in close proximity to major transportation corridors and away from the Sonoran Preserve. A majority of the property can be developed with single-family residential uses with some limitations and required components.

The NorthPark property allows for a maximum of 15,150 residential units, which represents an overall density of 2.4 dwelling units per acre. A broad diversity of residential uses will be represented, ranging from single-family homes to high-density multi-family residences. This diversity will encourage more opportunities for housing affordability and attainability. Diversity of housing types also facilitates more dynamic neighborhoods and allows residents to transition between different housing types, depending on their stage-of-life needs, while remaining in their communities.

4.6.b. Commercial Uses

With a large and diverse population of new residents that will reside in NorthPark, and the continued growth of employment and commerce uses in the immediate area, the Site is well positioned to provide extensive commercial, retail and employment uses that will serve the community and employment to the north. Commercial uses will be generally located along the Dixileta Road corridor and in close proximity to the Loop 303 and Interstate 17 freeway frontages where high-capacity transportation corridors will support more intense uses. Commercial uses are allowed the Community Commercial, Freeway Mixed-Use, and Lifestyle Mixed-Use LUDs, with limited allowances for commercial services in the Neighborhood Village, Traditional Neighborhood, and Foothills Residential LUDs.

4.6.c. Resort Use

The NorthPark property includes extensive natural open space areas with awe-inspiring landforms that are unique in character to this property. Additionally, the property is proximate to regional transportation corridors, recreational areas such as Lake Pleasant, and a growing population base that will support the demand for resort uses. While a specific location for a future resort is not identified, it has been included in the Neighborhood Village and Traditional Neighborhood LUDs as a permitted use.

4.6.d. Employment Uses

The employment potential of the NorthPark property is massive, enabled by the recent development of the TSMC campus and forthcoming buildout of the Halo Vista to the north. In addition to generating associated businesses that will seek proximity to these major users, opportunities for the expansion of uses located north of the Loop 303 may be possible within NorthPark. The anticipated demand for office, employment and manufacturing uses is further reinforced by the site's adjacency to regional freeways. Employment Uses are permitted within the Innovation Core, Community Commercial, Freeway Mixed-Use, and Lifestyle Mixed-Use LUDs.



4.7. Parks, Trails, and Open Space

The NorthPark community is planned with an emphasis on active and passive community open spaces to support a healthy and active lifestyle for all residents, with the heart of the community beating around and through the Sonoran Preserve. Throughout the community, a network of trails and natural corridors will lead to the Sonoran Preserve. Shared-use paths and multi-use trails will create additional connectivity within neighborhoods and link to commercial and employment areas. The sections below detail the trail and path types and discuss parks and open space types within the NorthPark community.

This PUD for the NorthPark community also envisions a diversity of park and open space types, ranging in size from HOA-owned and -maintained pocket parks and neighborhood parks that are intended to serve the recreational and open space needs within a localized neighborhood or employment area to, larger regional-scale public facilities that serve the needs of the broader community. Each typology will be planned and programmed with an appropriate range of amenities. These parks will be located proximate to all residents and be supplemented by a robust network of path and trail linkages throughout the community. These linkages will allow residents to use non-vehicular accessibility routes to circulate throughout the overall community, establishing linkages between neighborhoods, parks, employment, and shopping areas and to numerous Sonoran Preserve trailheads.

The expansive amount of the NorthPark property that will be set aside for the Sonoran Preserve makes it a critical component of the community plan and is complementary to all considerations for parks and paths. Access to the Sonoran Preserve will be coordinated with the City of Phoenix Parks and Recreation Department, with the intent that all access points are publicly accessible and tie into the larger community Master Trails Plan.

4.7.a. Developed Parks

Regional Parks

Regional Parks are large public parks that are a minimum of 50 acres in size and provide for active and passive recreation needs. This larger park size typically includes a broad diversity of programming types and serves both the community and the region. Regional Parks should be located in areas that are proximate to regional transportation corridors but are also accessible for local residents that seek to walk, bike or take transit. Due to the scale of this park type, the NorthPark PUD anticipates the designation of a single Regional Park facility within the overall community. The Regional Park will be accessible by safe walking and bike routes, and transit.

Regional Parks contain facilities for specific recreational purposes, which may include, but are not limited to, athletic fields, swimming pools, tennis courts, sport courts, extreme sport amenities, recreation centers, loop trails, pedestrian and shared-use path and trail systems, picnic and barbecue areas and ramadas, fishing ponds, shade structures, pavilions, playgrounds, dog parks and runs, large turfed and landscaped areas, multi-purpose recreation centers, and outdoor fitness areas.

Regional Parks can also accommodate multi-purpose gathering spaces, restrooms and water fountains,



community centers, event spaces, water features, lighting, and landscape elements that enhance the park identity, use, or experience. They may contain civic and cultural event spaces, including but not limited to stages and amphitheaters, public monuments, and public art.

Regional Parks should take advantage of key natural features where possible. They may also be large enough to incorporate natural areas, habitat, and passive recreational types. Community or allotment gardens can also be incorporated into Regional Parks, as appropriate.

Neighborhood Parks

Neighborhood Parks are generally 1 to 2 acres and are intended to serve residences within an eighth to a quarter mile walk. There shall be a minimum of 1 neighborhood park provided per MDP within NorthPark. Their size makes them adaptable to integrate into various contexts and provide open spaces and targeted amenities that residents may access with high frequency. Due to their limited size, these parks often provide a focused set of programming, often with a clear purpose and identity. These programming elements may include playgrounds, dog parks, landscaped areas, seating and shaded areas, neighborhood-scale sports facilities (e.g., a sport court or pickleball), playgrounds, and community gardens.

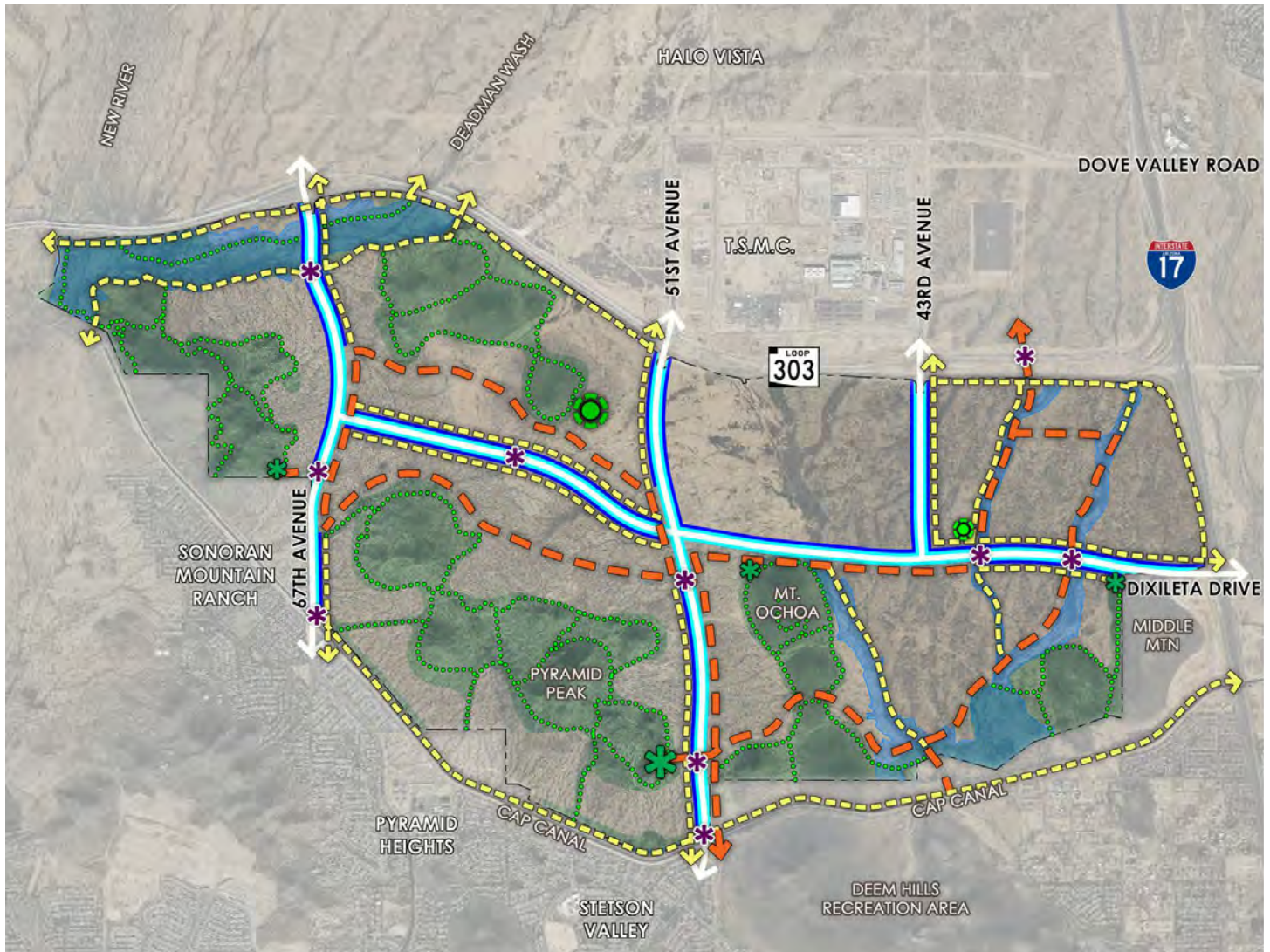
Neighborhood Parks are generally located internal to neighborhood units with at least one frontage on a local or collector street, and no frontages on arterial roadways. Neighborhood Parks should provide connections to the community trail network. The exact programming for each neighborhood Park shall be determined as the development units within each MDP become more defined.

Pocket Parks

Pocket parks are generally not characterized as traditional parks, but rather as public or private open space areas within neighborhoods or non-residential areas with minimum levels of programming. These areas are typically less than a quarter-acre in size and may provide stormwater retention coupled with landscaping and seating. One pocket park shall be provided for approximately every 500 dwelling units to provide residents, workforce, and visitors with essential connections to nature in passive spaces. These areas are not anticipated to encourage community gathering or provide for recreational benefit, although these programmed elements can be incorporated if desired.



EXHIBIT 10: MASTER TRAILS PLAN



LEGEND

- 10-FOOT CONCRETE SHARED-USE PATH (SUP) PER CITY OF PHOENIX (CoP) STANDARDS
- 10-FOOT NATURAL SURFACE MULTI-USE TRAIL (MUT) PER CoP STANDARDS
- MOUNTAIN TRAILS PER CoP STANDARDS
- ARTERIAL ROADWAYS INCLUDE:
6-FOOT PROTECTED BIKE LANE (BOTH SIDES)
6-FOOT SIDEWALK (WHEN NOT ADJACENT TO SUP)
- MAJOR PUBLIC TRAILHEAD- LOCATION SUBJECT TO CHANGE (BUILT AND MAINTAINED BY CoP PARKS AND RECREATION DEPARTMENT (PRD))
- MINOR PUBLIC TRAILHEAD (BUILT & MAINTAINED BY CoP PRD)
- REGIONAL PUBLIC PARK WITH TRAILHEAD (BUILT & MAINTAINED BY CoP PRD)
- COMMUNITY PARK WITH TRAILHEAD (BUILT & MAINTAINED BY CoP PRD)
- FUTURE SONORAN PRESERVE
- WASH CORRIDORS
- ENHANCED PEDESTRIAN / BIKE CROSSING

NOTE: FINAL LOCATION AND DESIGN OF PUBLIC TRAILHEADS, FUTURE TRAIL CONNECTIONS, PUBLIC PATHS/TRAILS, AND PARKS TO BE DETERMINED AT TIME OF M.D.P. MASTER PLAN

Notes:

- (1) All trails shown on the City Trail System Map as part of GPA-NG-1-24-1 will be required to be constructed in the general alignments as they are shown, though they may be adjusted through an administrative process.
- (2) Trail alignments within Preserve boundaries and along the Central Arizona Project (CAP) Canal shall be constructed, managed, and maintained exclusively by the City of Phoenix Parks and Recreation Department. Alignments depicted on this exhibit are conceptual and intended to demonstrate future connectivity.
- (3) Exact locations of mid-block crossings shall be determined during the MDP master planning stage when collector alignments are set.



4.7.b. Trails and Paths

The NorthPark PUD presents a community-wide Trails Master Plan that promotes an extensive network of public paths and trails that extend to all portions of the Property. This interconnected network is comprised of multiple trail/path types including City of Phoenix defined shared-use paths, multi-use trails, and mountain trails, as well as NorthPark Neighborhood Trails and NorthPark Singletrack Trail types. The following sections highlight the various trail types, the width of the overall corridor and the improvements required for each.

All trails shown within the boundaries of the Sonoran Preserve are illustrative and depict connectivity intent. When Preserve land is ultimately conveyed to the City of Phoenix, these trails will be defined, developed, funded, and maintained under the purview of the City of Phoenix Parks and Recreation Department. This PUD proposes a network of conceptual trails that extend throughout the non-Preserve portions of the Property and any future connections, linkages or access points to the Preserve trail network will be coordinated with Phoenix Parks and Recreation Department Staff.

Shared-Use Paths and Multi-Use Trails

Shared-Use Paths and Multi-Use Trails represent the top of the trail hierarchy. These paths are intended to circulate throughout the overall property creating large recreational loops and connections to key destinations. Shared-Use Paths and Multi-Use Trails will appeal to the broadest amount of user types with an emphasis on ease-of-use, safety and connectivity to schools, parks, commercial areas, employment areas and the Sonoran Preserve.

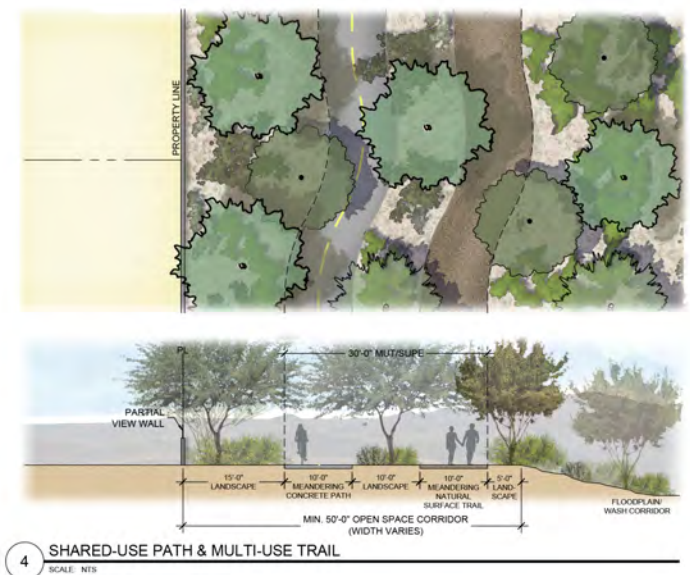
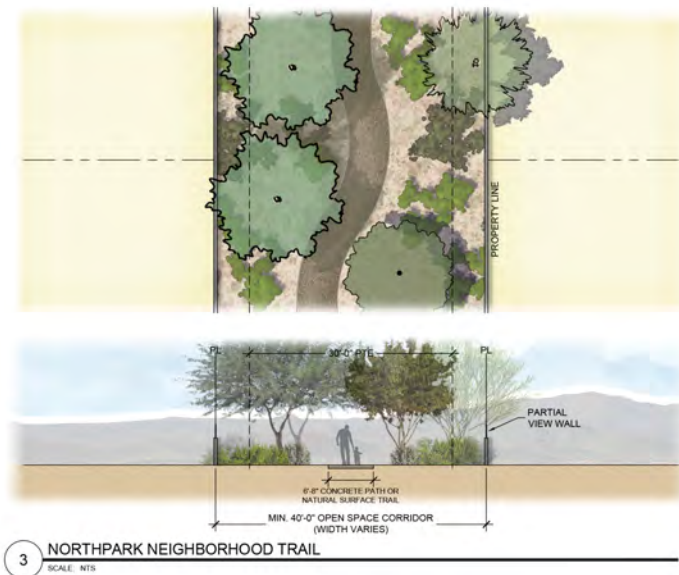
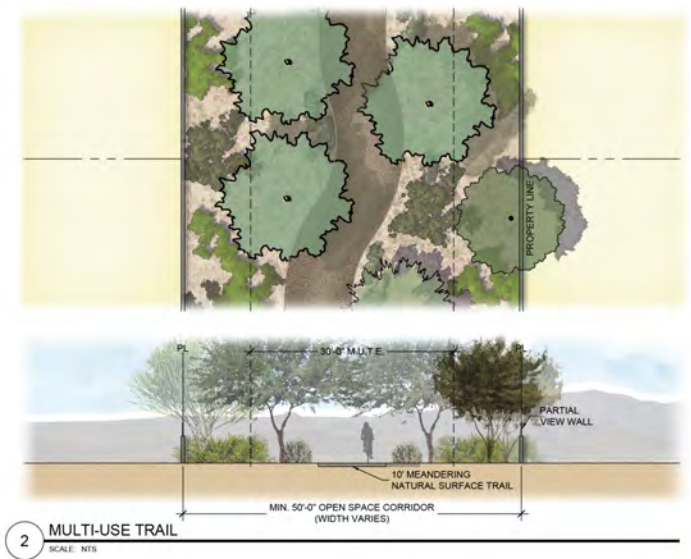
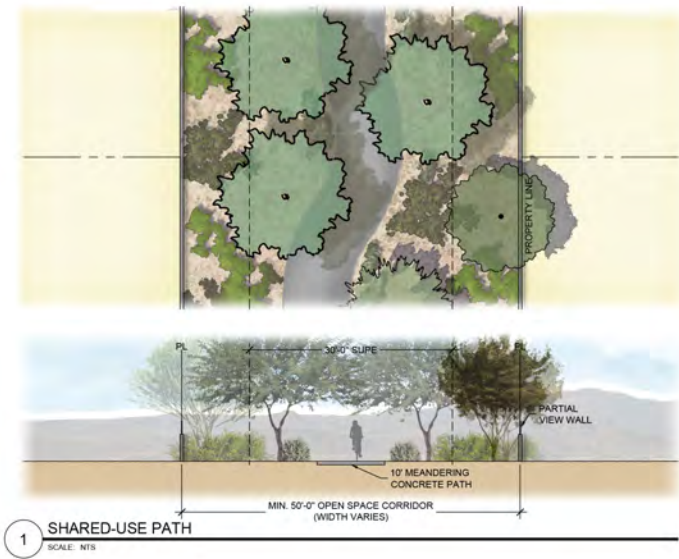
Shared-Use Paths will be a minimum 10-foot hardened surface or concrete within a minimum 50-foot-wide open space corridor and maintained within a 30-foot public Shared-Use Path Easement (S.U.P.E.) dedicated to the City of Phoenix. Multi-Use Trails may be composed of a compacted natural surface and maintained within a 30-foot-wide Multi-Use Trail Easement (M.U.T.E.). This surface type should be considered within close proximity to the Sonoran Preserve, utility corridors and CAP where a more natural desert context is appropriate. Where MUTs and SUPs run parallel, they shall be maintained in a combined 30-foot M.U.T./S.U.P.E.

Emphasis will be placed on corridor alignments that are independent from roadways to the greatest extent possible to create a safe and user-friendly environment. Where Shared-Use Paths and Multi-Use Trails cross arterial or collector roadways at non-signalized intersections, alternative crossing types such as grade-separated crossings, HAWK crossings or other appropriate crossing types utilized by the City of Phoenix may be specified. Specific trail or path alignments, crossing locations, and crossing types shall be defined during MDP functional segment master planning.

Elements associated with Shared-Use Paths and Multi-Use Trails shall include pedestrian lighting, shading, drinking fountains at appropriate intervals, and wayfinding. Shared-Use Paths and Multi-Use Trails shall be owned and maintained by the HOA but are designated for public use.

CAP Trail

The City of Phoenix has long envisioned an opportunity to create a regional path along the edges of the CAP canal. The NorthPark PUD will include additional segments of this CAP Trail along the canal's northern edge, contained within a corridor of preserve that is no less than 50 feet in width and averages 150 feet. The CAP Trail will be a natural surface pathway built to a minimum width of 10 feet within a 30' S.U.P.E. This path alignment along this edge ensures for gentle grades in most places, connectivity with the preserve, other paths/trails within NorthPark and connections to neighborhoods to the south. The trail will connect with additional segments adjacent to the CAP within Bureau of Reclamation and Bureau of Land Management properties, and will be managed by the Phoenix Parks and Recreation Department.



NorthPark Neighborhood Trails

NorthPark Neighborhood Trails seek to establish linkages between residential neighborhoods, open spaces, and the Shared-Use Paths and Multi-Use Trails which serve a more regional significance. NorthPark Neighborhood Trails shall be 6-8 feet in width and may be concrete within urban and suburban areas or natural surface where in close proximity to the Sonoran Preserve and natural wash corridors. NorthPark Neighborhood Trails may be designated as private or public. All public segments shall be developed within a minimum 30-foot PAE. Where located between privacy walls for 300-feet or longer, these trails shall be located within a minimum 40-foot Landscaped Trail Corridor. Emphasis will be placed on corridor alignments that are independent from roadways to the greatest extent possible to create a safe and user-friendly environment. Where NorthPark Neighborhood Trails cross arterial or collector roadways at non-signalized intersections, alternative crossing types such as grade-separated crossings, HAWK crossings or other appropriate crossing types utilized by the City of Phoenix may be specified. Neighborhood Trails shall be designed to serve a broad array of user types and alignments with steep grades or sharp bends being strongly discouraged except where existing topography dictates. These alignments shall seek to connect neighborhoods to other neighborhoods or parks, align adjacent to natural wash corridors, or within landscaped trail corridors.

Elements associated with Neighborhood Paths and Trails shall emphasize the use of low-level lighting and shading (vegetative and trail nodes). Wayfinding elements are elective and are encouraged only for higher volume segments or at trail intersections. Neighborhood trails shall generally be designated for public use, with limited exceptions allowed for private segments within gated communities. Where public, a minimum public easement of 30 feet shall be dedicated to the City of Phoenix.

Mountain Trails

Mountain trails are public trails located only within the Sonoran Preserve, to be developed and maintained by the City of Phoenix. Mountain Trails shall be primarily composed of natural surface materials and tread width may vary depending on location and use context.

NorthPark Singletrack Trails

NorthPark Single-track trails represent the most narrow and primitive trail type in the NorthPark trail hierarchy. These include 3-foot-wide to 6-foot-wide natural surface trails integrated within neighborhoods to generally provide connectivity to and through natural open spaces like wash corridors and to the edge of the Sonoran Preserve. In instances where Singletrack trails are designed for public access, the trails shall be located within a minimum 30-foot-wide Pedestrian Access Easement (PAE).. When singletrack trails are located within enclosed corridors, the minimum width of the corridor shall be 40 feet. Public and private linkages into the Sonoran Preserve through City-coordinated access points shall generally utilize this trail type. Unless warranted, lighting and hardscape improvements along these segments shall be discouraged. The location of these trails will be determined during the master planning and/or site planning process.



Conceptual Trailhead / Commercial Village



Trailheads

One of the unique benefits that the NorthPark PUD provides is to establish dynamic relationships between the built environment and the natural environment within the community. An integral component of this interface will be a series of public trailheads where users can gain access to the desert sanctuary of the Sonoran Preserve that extends across more than 2,097 acres of the NorthPark property. These trailheads will provide opportunities for recreation, education, and socialization.

Exhibit 10: Master Trails Plan for NorthPark illustrates the location of multiple trailheads that will provide residents and the public with access to the Sonoran Preserve. These trailheads have been located proximate to arterial corridors where they are easily accessible and minimally impactful to adjacent neighborhoods. Trailheads have been intentionally distributed throughout the community to encourage Sonoran Preserve users to access through sanctioned gateways, and to allow for dispersion of users by providing multiple access options. Future developers within NorthPark will work with the City of Phoenix Parks and Recreation Department to define specific trailhead locations and improvements.

Trailheads are a place of community gathering. The NorthPark PUD allows limited community services that may include restaurants or health and wellness-oriented businesses that may be co-located with trailheads, are walkable from adjacent neighborhoods, and enhance opportunities for community interaction and experience. Service uses will be located outside of the Sonoran Preserve boundary but will be developed with guidance from the Parks and Recreation Department to ensure compatibility in alignment with policies and regulations that are intended to protect park assets. Programming that benefits from the co-location concept includes shared parking, increased monitoring, and reduction of vehicular trips.



4.7.c. Open Space

Sonoran Preserve Open Space

Sonoran Preserve Open Space is defined as area within the boundaries of the Sonoran Preserve and ultimately owned, maintained and operated by the City of Phoenix. These areas will be accessible to the public with a goal of preserving and protecting the natural elements contained within them. Sonoran Preserve Open Space will also include passive and active recreational opportunities for naturalists, hikers, and bikers. Improvements within these areas will be limited to programming elements that support access and recreation including trails and trailheads that may include parking, restrooms, interpretive elements, shade and seating.

Passive Open Space

In addition to the Sonoran Preserve Open Space, Passive Open Spaces will play a significant role within the community. Passive Open Spaces create opportunities for residents to experience natural areas that may be established as undisturbed or revegetated areas. Passive Open Spaces may consist of perimeter landscaped setbacks or other landscaped areas, retention basins, entry features and perimeter street landscaping. These Passive Open Spaces will provide visual relief to the developed areas and will be designed to enhance the overall character and beauty of the Site.

These areas may be directly adjacent to the Sonoran Preserve Open Space or function as extensions of the Preserve through adjacent contiguous areas or linear corridors that penetrate the NorthPark community. Passive Open Space areas may also be disassociated from the Sonoran Preserve and simply reflect areas where natural desert themes are promoted.

Wash Corridors

The NorthPark property includes several significant ephemeral wash corridors that will generally be preserved within their current alignments. The size and area encompassed by these desert washes vary, but serve important community roles by facilitating site drainage and extending corridors of natural habitat across broad reaches of the NorthPark community.

Designated wash corridor areas will include the undisturbed wash area, upper embankment areas, and a natural surface multi-use trail within a 30-foot-wide multi-use trail easement. Trails and other improvements within these corridors will be accessible for public use and will seek to connect with additional designated trail and path segments within the overall NorthPark trail network.

Designated wash corridors within the NorthPark property represents high-value natural areas that shall be maintained as a protected natural area to the greatest extent possible. Existing natural vegetation and habitat will be maintained in an undisturbed condition to promote the vitality of the washes in their natural context. These protections and use restrictions will ensure of the on-going viability of these linear open spaces as undisturbed desert habitat for both wildlife and recreational opportunities.

Some existing washes within NorthPark include a 100-year floodplain designation. The defined floodplain limits will be assessed during future master planning and may be reduced in width subject to the FEMA map revision process when necessary. These map revisions will seek to limit the impact to the wash corridor habitat that is generally located within 100 feet or less of the defined wash bottom.

Landscaped Trail Corridors

As an integral part of the active mobility network, Landscaped Trail Corridors connect key open spaces and destinations within the community. They serve a significant role in establishing non-vehicular corridors within neighborhoods and expressly as linkages to the Sonoran Preserve from all regions of the NorthPark community. Landscaped Trail Corridors may include a complete range of active and passive uses if coupled with other park types but are generally limited to passive amenity types including walking paths, picnic areas, shaded seating, and stormwater conveyance and detention. In areas where the proposed housing type permits, it is encouraged to have front doors facing these corridors to activate the space and promote walkability.

Landscaped Trail Corridor widths shall be a minimum of 50-feet for MUTs or SUPs, 40-feet for neighborhood trails, and 30-feet for single-track trails. While a 30-foot easement is required for public access, additional area beyond this 30-feet does not necessarily need to be located in a tract or easement and may overlap open spaces, retention areas, washes, parks, etc.

Plazas/Squares

Plazas and Squares are important programmed open space areas within urban areas with higher intensity uses like commercial and employment. These spaces typically build off adjoining land uses, buildings, street frontages and overall neighborhood character. Plazas and squares place a heightened design emphasis on hardscape and space efficiency to create safe and comfortable places for residents and employees within the urban fabric of the community.

4.8. Public Services

4.8.a. Schools

The NorthPark site falls entirely within the Deer Valley Unified School District (DVUSD). The nearest schools to the subject property include Stetson Hills Elementary and Inspiration Mountain Elementary, both located south of the Property within the Stetson Hills community. The closest high school to the property is Sandra Day O'Connor High School located near Happy Valley Road and 35th Avenue.

The NorthPark property will include a number of school sites. In coordination with DVUSD, two K-8 school sites and one high school are anticipated within the NorthPark PUD.

4.8.b. Fire and Police

Property within NorthPark shall be set aside for fire and police facilities subject to future site identification and coordination between ASLD and the City of Phoenix. The specific locations of these station(s) have not been determined but shall be coordinated with the City of Phoenix to ensure adequate service is provided to the NorthPark community and areas north of the Loop 303.

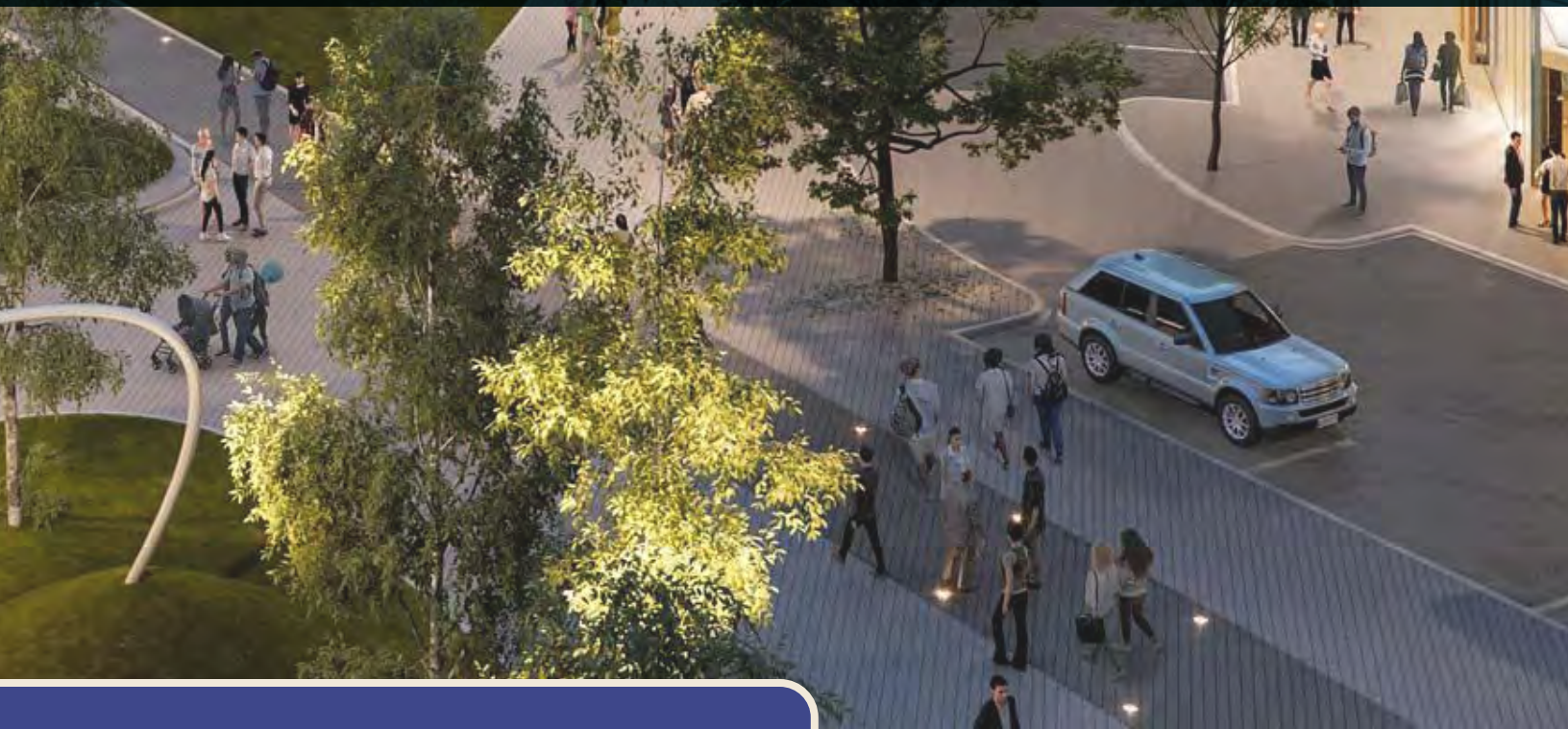
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NorthPark

SECTION 5:

LIST OF USES



5.1. Definitions:

Community Center, Private, is defined as a building used as place of meeting, recreation or social activity and may have outdoor recreational facilities for the exclusive use of NorthPark residents and authorized guests and may include the Primary and Accessory Uses listed below. Unless otherwise stated herein, a private Community Center may or may not be operated for profit.

Local Services, are generally defined as retail or community services that are integrated into primarily residential land use districts. Allowed uses are subject to a limited list that ensures that these development types are compatible with adjacent or nearby residential uses. These sites may be coupled with public trailhead locations to create synergistic recreation and business opportunities, but local service uses shall not be located within the boundaries of the Sonoran Preserve. This tandem use may allow for shared parking opportunities subject to Section 702.E.2 of the Phoenix Zoning Ordinance.

Neighborhood Market, is defined as a small scale retail establishment the primary purpose of which is the sale of fresh and packaged food, dry goods, and medicine primarily to residents of the single-family development in which it is located. A neighborhood market may include the following: laundry and dry cleaning drop off and pick up; sale of food, beverages, household supplies, toiletries; package drop off and pick up; postal substation; video sale and rental; and coffee shops. Neighborhood markets shall not include: 1) any use which is considered an adult use under this ordinance; 2) automobile servicing or sale of fuel; or 3) sale of alcoholic beverages.

5.2. Permitted Uses

The master developer or any property owner within the PUD has the right to request an interpretation from the City's Zoning Administrator regarding whether a proposed use is analogous to the defined list of uses. The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in 5.2 Permitted Uses as authorized by Phoenix Zoning Ordinance Section 307.A.3

5.2.a. Natural Open Space

The following uses shall be permitted by-right or with additional standards described below within the Natural Open Space Land Use District:

1. Permanent natural open space.
2. Trailheads and accessory uses such as restrooms and interpretive signage.

5.2.b. Community Open Space

The following uses shall be permitted by-right or with additional standards described below within the Community Open Space Land Use District:

1. Permanent natural open space.
2. Trailheads and accessory uses such as restrooms and interpretive signage.
3. Paved or unpaved trails/paths.
4. Access driveways and parking areas for uses including, but not limited to, equestrian trail nodes, hiking trailheads, picnic area, or scenic lookouts.
5. Permanent drainage facilities that have been revegetated to be consistent with the surrounding natural vegetation.
6. Public recreation facilities.

5.2.c. Foothills Residential

The following uses shall be permitted by-right or with additional standards described below within the Foothills Residential Land Use District:

1. All uses permitted in the R1-10 zoning district per Zoning Ordinance Section 608, including all performance standards contained therein.
2. Community Center, Private
 - a. Primary Uses for the Private Community Center permitted by-right include: Active and/or passive indoor and outdoor recreation and entertainment, including but not limited to a fitness center, dance, swim, or other forms of physical or instructional training (instructional training, such as health, dance, yoga, etc. classes and training may be operated for profit), live or amplified music, sport and athletic courts and fields, swimming pool/splash pad, lawn games, play equipment, etc.);
3. Neighborhood Market as an accessory use to a trailhead
4. Local Services as an accessory use to a trailhead

The following uses are permitted by-right within the Local Services use:

- a. Art Gallery, Commercial Sales
- b. Artist Supplies, Retail
- c. Delicatessens
- d. Baker and Baked Goods, Retail
- e. Florists, Retail Sales
- f. Barbers
- g. Groceries, Retail Sales
- h. Bicycles, New and Used, Retail Sales and Repairs
- i. Ice Cream Shops
- j. Booksellers and Rentals, except Adult Bookstores
- k. Pet Grooming
- l. Clothing, Retail Sales
- m. Pharmacy
- n. Sporting Goods, Retail Sales

The following use is permitted by-right within the Local Services designation, subject to the following performance standards:

- o. Beauty Shops
 - Massage therapy, performed by a licensed massage therapist, is permitted as an accessory use subject to obtaining a Use Permit in accordance with the standards and procedures of Section 307 of the Phoenix Zoning Ordinance.
- p. Restaurants, subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - (2) The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour-long interval.
 - (3) Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted by-right.



- Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory use by-right.
- Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - (1) The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - (2) The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.
- Sales of alcoholic beverages shall be permitted by-right, which shall include approval of a specific floor plan for the restaurant facility, detailing areas where alcohol may be served.

Local Services use restrictions are as follows:

- a. Operation shall be limited to the hours between 4:00 a.m. and 10:00 p.m. , or until 12 a.m. on Friday and Saturday nights, and holidays.
- b. No single use shall exceed 10,000 sq.ft. gross floor area.
- c. All drive-throughs are permitted only with a Use Permit.

5.2.d. Traditional Neighborhood

The following uses shall be permitted by-right or with additional standards described below within the Traditional Neighborhood Land Use District:

1. All uses permitted in the R-2 Multifamily Residence District per Zoning Ordinance Section 608 including all performance standards contained therein.
2. All uses permitted in the RH Resort District per Zoning Ordinance Section 629 including all performance standards contained therein.
 - a. Any dwelling units that are part of a resort count towards the maximum unit count per MDP.
3. Community Center, Private
 - a. Primary Uses for the Private Community Center permitted by-right include: Active and/or passive indoor and outdoor recreation and entertainment, including but not limited to a fitness center, dance, swim, or other forms of physical or instructional training (instructional training, such as health, dance, yoga, etc. classes and training may be operated for profit), live or amplified music, sport and athletic courts and fields, swimming pool/splash pad, lawn games, play equipment, etc.);
4. Neighborhood Market
5. Local Services

The following uses are permitted by-right within the Local Services designation:

- a. Art Gallery, Commercial Sales
- b. Artist Supplies, Retail
- c. Delicatessens
- d. Baker and Baked Goods, Retail
- e. Florists, Retail Sales
- f. Barbers
- g. Groceries, Retail Sales
- h. Bicycles, New and Used, Retail Sales and Repairs
- i. Ice Cream Shops
- j. Booksellers and Rentals, except Adult Bookstores

- k. Pet Grooming
- l. Clothing, Retail Sales
- m. Pharmacy
- n. Sporting Goods, Retail Sales

The following use is permitted by-right within the Local Services designation, subject to the following performance standards:

- o. Beauty Shops
 - Massage therapy, performed by a licensed massage therapist, is permitted as an accessory use subject to obtaining a Use Permit in accordance with the standards and procedures of Section 307 of the Phoenix Zoning Ordinance.
- p. Restaurants, subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - (2) The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour-long interval.
 - (3) Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted by-right.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory use by-right.
 - Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - (1) The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - (2) The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.
 - Sales of alcoholic beverages shall be permitted by-right, which shall include approval of a specific floor plan for the restaurant facility, detailing areas where alcohol may be served.

Local Services use restrictions are as follows:

- a. Operation shall be limited to the hours between 4:00 a.m. and 10:00 p.m. , or until 12 a.m. on Friday and Saturday nights, and holidays.
- b. No single use shall exceed 10,000 sq.ft. gross floor area.
- c. All drive-throughs are permitted only with a Use Permit.



5.2.e. Neighborhood Village

The following uses shall be permitted by-right or with additional standards described below within the Neighborhood Village Land Use District:

1. All uses permitted in the R-5 Multifamily Residence District per Zoning Ordinance Section 608 including all performance standards contained therein.
2. All uses permitted in the RH Resort District per Zoning Ordinance Section 629 including all performance standards contained therein.
 - a. Any dwelling units that are part of a resort count towards the maximum unit count per MDP.
3. Community Center, Private
 - a. Primary Uses for the Private Community Center permitted by-right include: Active and/or passive indoor and outdoor recreation and entertainment, including but not limited to a fitness center, dance, swim, or other forms of physical or instructional training (instructional training, such as health, dance, yoga, etc. classes and training may be operated for profit), live or amplified music, sport and athletic courts and fields, swimming pool/splash pad, lawn games, play equipment, etc.);

4. Local Services

The following uses are permitted by-right within the Local Services designation:

- a. Art Gallery, Commercial Sales
- b. Artist Supplies, Retail
- c. Delicatessens
- d. Baker and Baked Goods, Retail
- e. Florists, Retail Sales
- f. Barbers
- g. Groceries, Retail Sales
- h. Bicycles, New and Used, Retail Sales and Repairs
- i. Ice Cream Shops
- j. Booksellers and Rentals, except Adult Bookstores
- k. Pet Grooming
- l. Clothing, Retail Sales
- m. Pharmacy
- n. Sporting Goods, Retail Sales

The following use is permitted by-right within the Local Services designation, subject to the following performance standards:

- o. Beauty Shops
 - Massage therapy, performed by a licensed massage therapist, is permitted as an accessory use subject to obtaining a Use Permit in accordance with the standards and procedures of Section 307 of the Phoenix Zoning Ordinance.
- p. Restaurants, subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - (2) The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour-long interval.

- (3) Nothing in this section shall be construed to include an adult use.
- Patron dancing shall be permitted by-right.
- Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory use by-right.
- Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - (1) The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - (2) The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.
- Sales of alcoholic beverages shall be permitted by-right, which shall include approval of a specific floor plan for the restaurant facility, detailing areas where alcohol may be served.

Local Services use restrictions are as follows:

- a. Operation shall be limited to the hours between 4:00 a.m. and 10:00 p.m. , or until 12 a.m. on Friday and Saturday nights, and holidays.
- b. No single use shall exceed 10,000 sq.ft. gross floor area.
- c. All drive-throughs are permitted only with a Use Permit.

5.2.f. Lifestyle Mixed-Use

The following uses shall be permitted by-right or with additional standards described below within the Lifestyle Mixed-Use Land Use District:

- 1. All uses permitted in the R-5 Multifamily Residence District per Zoning Ordinance Section 608 including all performance standards contained therein.
- 2. All uses permitted in the C-1 Neighborhood Retail District per Zoning Ordinance Section 622 including all performance standards contained therein.
- 3. Bowling Alleys
- 4. Family Game Center
- 5. Motion Picture Theatre
- 6. Pool and Billiard Hall
- 7. Restaurants, Bars and Cocktail Lounges subject to the performance standards of Section 623 of the Phoenix Zoning Ordinance

5.2.g. Community Commercial

The following uses shall be permitted by-right or with additional standards described below within the Community Commercial Land Use District:

- 1. All uses permitted in the C-1 Neighborhood Retail District per Zoning Ordinance Section 622 including all performance standards contained therein.
- 2. Bank Vault
- 3. Bowling Alleys
- 4. Building Materials, Retail Sales only
- 5. Family Game Center
- 6. Gymnasiums, Private or Commercial
- 7. Medical Supplies, Retail Sales and Rentals
- 8. Miniature Golf



9. Motion Picture Theatre
10. Nursing Homes
11. Pool and Billiard Hall
12. Public Utility Buildings and Facilities
13. Skating Rinks, Indoor
14. Theaters
15. Schools: Barber, Beauty, Business, Commercial, Correspondence, Data Processing, Dancing, Gymnastics, Health, Insurance, Martial Arts, Modeling, Private, Real Estate, and Stenographic
16. Large Scale Commercial Retail subject to the performance standards of Section 623 of the Phoenix Zoning Ordinance.
17. Restaurants, Bars and Cocktail Lounges subject to the performance standards of Section 623 of the Phoenix Zoning Ordinance.
18. Tanning Salon subject to the performance standards of Section 623 of the Phoenix Zoning Ordinance
19. Musical Instruments, Repairing and Retail Sales
20. Propane Retail Sales as an outside accessory use to a retail facility

5.2.h. Freeway Mixed-Use

The following uses shall be permitted by-right or with additional standards described below within the Freeway Mixed-Use Land Use District:

1. All uses permitted in the C-1 Neighborhood Retail District per Zoning Ordinance Section 622 including all performance standards contained therein.
2. Bank Vault
3. Bowling Alleys
4. Building Materials, Retail Sales only
5. Family Game Center
6. Gymnasiums, Private or Commercial
7. Large Scale Commercial Retail subject to the performance standards of Section 623 of the Phoenix Zoning Ordinance.
8. Medical Supplies, Retail Sales and Rentals
9. Miniature Golf
10. Motion Picture Theatre
11. Nursing Homes
12. Pool and Billiard Hall
13. Restaurants, Bars and Cocktail Lounges subject to the performance standards of Section 623 of the Phoenix Zoning Ordinance.
14. Skating Rinks, Indoor
15. Tanning Salon subject to the performance standards of Section 623 of the Phoenix Zoning Ordinance.
16. Theaters
17. Schools (as defined in Section 623)
18. Musical Instruments, Repairing and Retail Sales
19. Propane Retail Sales as an outside accessory use to a retail facility
20. Golf or Baseball driving range
21. Trade School

5.2.i. Innovation Corridor

The following uses shall be permitted by-right or with additional standards described below within the Innovation Corridor Land Use District:

1. All uses permitted in the Commerce Park District: General Commerce Park Option per Zoning Ordinance Section 626.F including all performance standards contained therein.
2. Basic compounding and processing of raw materials except food and agricultural products. The end product consists of materials for later processing or fabrication into a finished product to be used by the ultimate purchaser.
3. Extensive outside uses: Outside activities and storage of materials as the primary use; dismantling activities may be included
 - Oil, Fuel, Bulk Plant/Storage (subject to approval by Fire Prevention Supervisor)
 - Storage Yards, Outside Activities, Bulk Material and Equipment as an accessory or primary use.
 - (1) Any outside storage or use within 100' of a PUD land use district which permits residential, or or any public street shall be screened by a minimum 6' high decorative solid wall.
 - (2) If the storage area is within 150' of a public street, screening in addition to the required minimum 6' high decorative solid wall shall include 2-inch caliper trees spaced no more than 25' apart and with an adequate watering system.
 - (3) Open storage shall be no higher than 6 feet plus 1 foot in height for every additional 3 feet of setback from a property line.
4. Alcohol Sales
 - Packaged liquor sales allowed as accessory use if:
 - (1) Selling and display space for alcoholic beverages shall be limited to a maximum of twenty percent (20%) of total selling space
 - (2) Displays are a minimum of 5-feet from the entrance to the primary use
5. Restaurants, Bars and Cocktail Lounges, subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 200 square feet unless a use permit is obtained.
 - (2) The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour-long interval.
 - (3) Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted by-right.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted by right or as accessory use by-right if greater than 500 feet from of a PUD land use district which permits residential. If less than 500 feet, a use permit is required.



5.3. Accessory Uses

Unless otherwise stated herein, Accessory Uses and Structures in the NorthPark PUD shall be permitted for residential uses in accordance with Sections 608 and 706 of the Phoenix Zoning Ordinance.

5.3.a. Foothills Residential (FR)

Residential

Per Section 608 and Section 706 of the Phoenix Zoning Ordinance, unless otherwise modified herein.

Community Center, Private

Accessory uses are subject to the following requirements:

1. Shall be limited to the entire community center building, along with any lawn area(s), patio area(s), and pool area(s), or as defined in a final site plan. Alcoholic beverage service and consumption shall be licensed by the Arizona Department of Liquor Licenses and Control.

Accessory uses to the Private Community Center permitted by-right, include but are not limited to:

1. Permanent and/or temporary alcoholic beverage and/or food sales and/or consumption;
2. Neighborhood Market;
3. Restaurants, Bars and Cocktail Lounges, subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - (2) The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour-long interval.
 - (3) Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted by-right.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory use by-right.
 - Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - (1) The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - (2) The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.

5.3.b. Traditional Neighborhood (TN)

Residential

Per Section 608 and Section 706 of the Phoenix Zoning Ordinance, unless otherwise modified herein.

Community Center, Private

Accessory uses are subject to the following requirements:

1. Shall be limited to the entire community center building, along with any lawn area(s), patio area(s), and pool area(s), or as defined in a final site plan. Alcoholic beverage service and consumption shall be licensed by the Arizona Department of Liquor Licenses and Control.

Accessory uses to the Private Community Center permitted by-right, include but are not limited to:

1. Permanent and/or temporary alcoholic beverage and/or food sales and/or consumption;
2. Neighborhood Market;
3. Restaurants, Bars and Cocktail Lounges, subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - (2) The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour-long interval.
 - (3) Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted by-right.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory use by-right.
 - Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - (1) The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - (2) The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.



5.3.c. Neighborhood Village (NV)

Residential

Per Section 608 and Section 706 of the Phoenix Zoning Ordinance, unless otherwise modified herein.

Community Center, Private

Accessory uses are subject to the following requirements:

1. Shall be limited to the entire community center building, along with any lawn area(s), patio area(s), and pool area(s), or as defined in a final site plan. Alcoholic beverage service and consumption shall be licensed by the Arizona Department of Liquor Licenses and Control.

Accessory uses to the Private Community Center permitted by-right, include but are not limited to:

1. Permanent and/or temporary alcoholic beverage and/or food sales and/or consumption;
2. Neighborhood Market;
3. Restaurants, Bars and Cocktail Lounges, subject to the following conditions or limitations:
 - Music or entertainment shall be permitted subject to the following regulations:
 - (1) The stage or performance area shall be a maximum of 80 square feet unless a use permit is obtained.
 - (2) The noise level, measured at any point on the received property, shall not exceed 55 dBa unless a use permit is obtained. An occurrence where the sound level increases up to 60 dBa for five continuous seconds or less shall not be deemed a violation of this section as long as there are no more than five occurrences within an hour-long interval.
 - (3) Nothing in this section shall be construed to include an adult use.
 - Patron dancing shall be permitted by-right.
 - Outdoor recreation uses, outdoor dining, and outdoor alcoholic beverage consumption shall be permitted as accessory use by-right.
 - Outdoor food preparation and cooking shall be permitted as an accessory use subject to the following conditions:
 - (1) The regularly used cooking area inside the establishment shall be of equal or greater size than the outdoor cooking area.
 - (2) The outdoor cooking area shall be located within 50 feet of a building entrance from where the restaurant is operated. This distance shall be measured from the appliance in the outdoor cooking area closest to the building entrance from where the restaurant is operated.

5.3.d. Innovation Corridor

Noncontiguous property separated by 43rd Avenue and 51st Avenue shall be considered contiguous for the purposes of accessory uses when associated with the primary use.

Accessory uses to the Innovation Corridor permitted by-right, include but are not limited to:

4. Data Center
5. Wholesale and retail sales
6. Storage Yards, Outside Activities, Bulk Material and Equipment

5.4. Temporary Uses

Unless otherwise stated herein, Temporary Uses in the NorthPark PUD shall be permitted in accordance with Section 708 of the Phoenix Zoning Ordinance.

5.4.a. Foothills Residential (FR)

Community Center, Private

The following temporary uses are permitted at a Private Community Center with an administrative temporary use permit subject to the requirements set forth in Section 708.C of the Phoenix Zoning Ordinance.

- 7. Community or Special Events
- 8. Promotional Events
- 9. Farmers Markets

Local Services

Local Services shall be treated as a commercially zoned property. Temporary uses are subject to Section 708 of the Phoenix Zoning Ordinance.

5.4.b. Traditional Neighborhood (TN)

Community Center, Private

The following temporary uses are permitted at a Private Community Center with an administrative temporary use permit subject to the requirements set forth in Section 708.C of the Phoenix Zoning Ordinance.

- 10. Community or Special Events
- 11. Promotional Events
- 12. Farmers Markets

Local Services

Local Services shall be treated as a commercially zoned property. Temporary uses are subject to Section 708 of the Phoenix Zoning Ordinance.

5.4.c. Neighborhood Village (NV)

Community Center, Private

The following temporary uses are permitted at a Private Community Center with an administrative temporary use permit subject to the requirements set forth in Section 708.C of the Phoenix Zoning Ordinance.

- 13. Community or Special Events
- 14. Promotional Events
- 15. Farmers Markets

Local Services

Local Services shall be treated as a commercially zoned property. Temporary uses are subject to Section 708 of the Phoenix Zoning Ordinance.



5.5. Prohibited Uses

5.5.a. Natural Open Space (NOS)

1. Data centers

5.5.b. Community Open Space (COS)

1. Data centers

5.5.c. Foothills Residential (FR)

1. Adult bookstore
2. Adult novelty store
3. Adult theatre
4. Adult live entertainment, or erotic dance or performance studio
5. Data Center
6. Single-family attached dwelling units
7. Multi-family dwelling units

5.5.d. Traditional Neighborhood (TN)

1. Adult bookstore
2. Adult novelty store
3. Adult theatre
4. Adult live entertainment, or erotic dance or performance studio
5. Data Center

5.5.e. Neighborhood Village (NV)

1. Adult bookstore
2. Adult novelty store
3. Adult theatre
4. Adult live entertainment, or erotic dance or performance studio
5. Data Center

5.5.f. Lifestyle Mixed-Use (LMU)

1. All drive-throughs (walk-up windows are permitted)
2. Single-family residential, detached
3. Adult bookstore
4. Adult novelty store
5. Adult theatre
6. Data Center
7. Adult live entertainment, or erotic dance or performance studio
8. Self-service storage warehouse
9. Automobile Parts and Supplies, Retail
10. Driving Schools, Auto
11. Freight Traffic Service Offices
12. Car Wash
13. Service Stations, Automobile

5.5.g. Community Commercial (CC)

1. Residential
2. Adult bookstore

3. Adult novelty store
4. Adult theatre
5. Self-service storage warehouse
6. Data Center
7. Nursery Schools north of Dixileta Drive
8. Adult live entertainment, or erotic dance or performance studio

5.5.h. Freeway Mixed-Use (FMU)

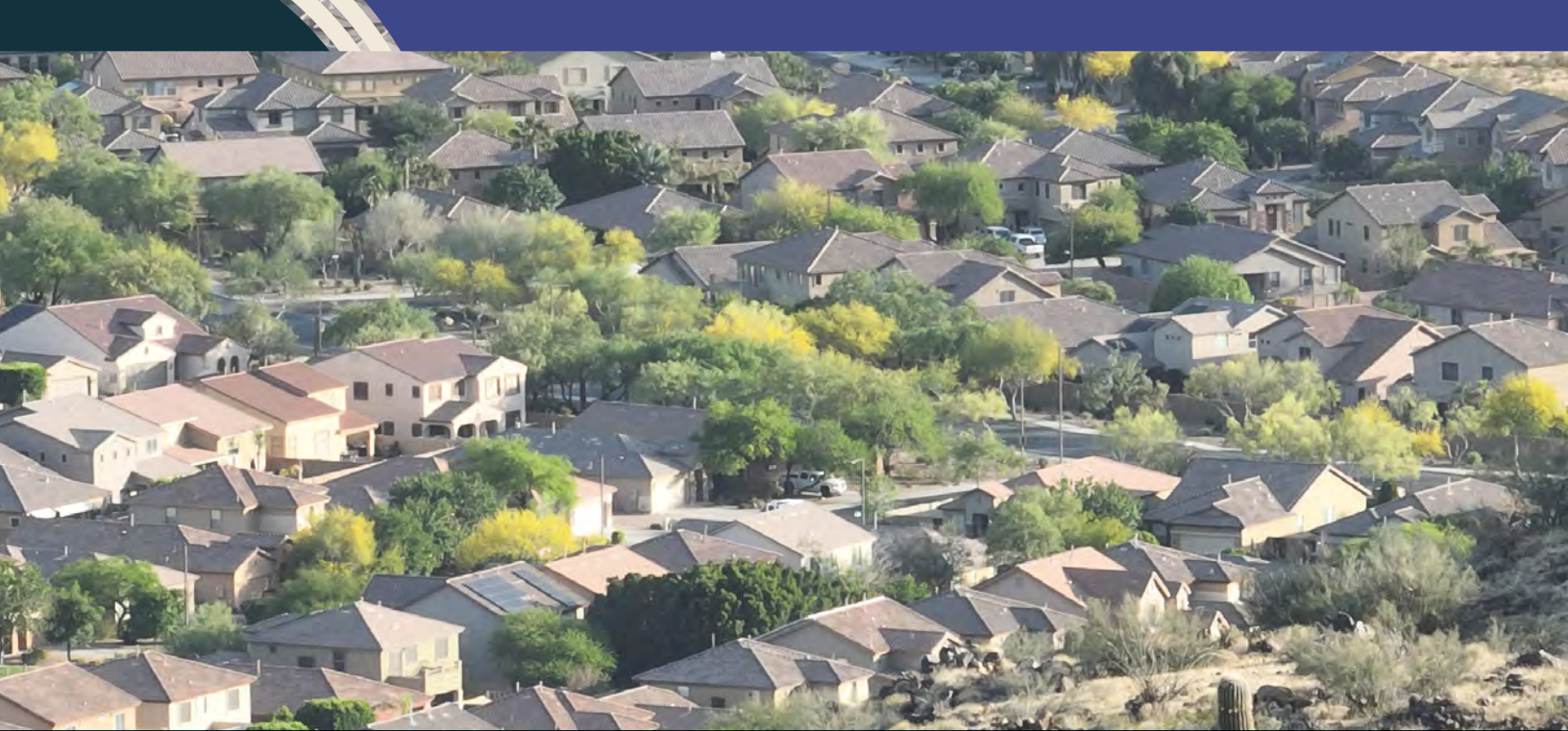
1. Single-family residential, detached
2. Adult bookstore
3. Adult novelty store
4. Adult theatre
5. Self-service storage warehouse
6. Data Center
7. Adult live entertainment, or erotic dance or performance studio

5.5.i. Innovation Corridor (IC)

1. Residential
2. Adult day care center
3. Ammunition, commercial loading of small arms
4. Adult bookstore
5. Adult novelty store
6. Adult theatre
7. Adult live entertainment, or erotic dance or performance studio
8. Self-service storage warehouse
9. Nursery School



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SECTION 6:

DEVELOPMENT STANDARDS



NorthPark



6.1. Development Standards of General Applicability

The NorthPark PUD has been prepared pursuant to Section 671 of the Phoenix Zoning Ordinance to establish the regulatory framework for NorthPark, including creating development standards specific to the context of the Property and development. The intent of the NorthPark PUD is to provide greater flexibility than may be possible under conventional zoning district regulations. The PUD Land Use Districts will be utilized to create development standards to facilitate a high-quality, context specific development that fulfills the City of Phoenix's development goals and objectives.

6.1.a. Development Standards: Single-Family Residential, Detached

TABLE 4A: DEVELOPMENT STANDARDS – SINGLE-FAMILY DETACHED RESIDENTIAL USES		
STANDARD	PUD LAND USE DISTRICT (LUD)	
	FOOTHILLS RESIDENTIAL (FR)	TRADITIONAL NEIGHBORHOOD (TN) NEIGHBORHOOD VILLAGE (NV)
MINIMUM LOT WIDTH	NONE	
MINIMUM LOT DEPTH	NONE	
MAXIMUM DEVELOPMENT DENSITY	3.5 PDU/AC (GROSS); 4.5 WITH BONUS	5.5 PDU/AC (GROSS); 6.5 WITH BONUS
MAXIMUM SUBDIVIDED LOTS	3.5 LOTS/AC (GROSS); 4.5 WITH BONUS	5.5 PDU/AC (GROSS); 6.5 WITH BONUS
MINIMUM INDIVIDUAL LOT SETBACKS	FRONT: 10 FEET REAR: NONE STREET SIDE: 10 FEET INTERIOR SIDES: NONE	
MINIMUM GARAGE DOOR/ CARPORT ENTRY SETBACK	FRONT: 18 FEET	
PROJECTIONS	PER SECTION 701.A.3.B OF THE PHOENIX ZONING ORDINANCE	
DEVELOPMENT PERIMETER BUILDING SETBACK	PERIMETER STREET: 30 FEET. OTHER PROPERTY LINE: 15 FEET	
MINIMUM PERIMETER STREET LANDSCAPE SETBACK	30 FEET ADJACENT TO ARTERIALS OR COLLECTOR ROADWAYS, 15 FEET ADJACENT TO LOCAL STREETS EXCEPT NONE ON LOTS WHICH FRONT ON A LOCAL STREET. MAY BE PROVIDED AS PART OF THE REQUIRED BUILDING SETBACK.	
MAXIMUM BUILDING HEIGHT	2 STORIES AND 30 FEET	2 STORIES AND 30 FEET FOR FIRST 150 FEET FROM DEVELOPMENT PERIMETER; 1-FOOT HEIGHT INCREASE FOR EACH 5 FEET IN SETBACK INCREASE TO MAXIMUM 3 STORIES AND 42 FEET HIGH**
MAXIMUM LOT COVERAGE	70% TOTAL FOR DEVELOPMENT (CALCULATED WITH PRD METHOD)	
MINIMUM COMMON OPEN SPACE	10% OF GROSS AREA	
STREET FRONTAGE REQUIREMENT	PUBLIC STREET OR PRIVATE ACCESSWAY	
MAXIMUM PERIMETER BUILDING SETBACKS	35 FEET ADJACENT TO ARTERIALS OR COLLECTOR ROADWAYS, 20 FEET ADJACENT TO LOCAL STREETS	
MAXIMUM INTERIOR BUILDING SETBACKS	PRIMARY FRONTAGE: 20 FEET SECONDARY FRONTAGE: 12 FEET	
MINIMUM BUILDING FRONTAGE PERCENTAGE	PERIMETER PRIMARY FRONTAGE: 60% MULTI-USE TRAIL (MUT) AND SHARED-USE PATH (SUP)/PASEO FRONTAGE: 60% PERIMETER SECONDARY BUILDING FRONTAGE: N/A	
FRONTAGE TYPE REQUIRED	PERIMETER PRIMARY FRONTAGE: PORCH, PATIO, STOOP, COMPLIANT WITH THE REQUIREMENTS OF TABLE 1305.1 IN SECTION 1305 OF THE PHOENIX ZONING ORDINANCE, OR ALTERNATIVE FRONTAGES AS PER SECTION 1305.B.1.C; INTERIOR PRIMARY FRONTAGE: PORCH, PATIO, STOOP, COMPLIANT WITH THE REQUIREMENTS OF TABLE 1305.1 IN SECTION 1305 OF THE PHOENIX ZONING ORDINANCE, OR ALTERNATIVE FRONTAGES AS PER SECTION 1305.B.1.C	
OTHER APPLICABLE REGULATIONS OF THE PHOENIX ZONING ORDINANCE	SUBDIVISIONS: CHAPTER 32, CITY CODE; DESIGN REVIEW: SECTION 507 TAB A; BONUS: SECTION 608.H	
** THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN 10 FEET OF AN EXISTING SINGLE-FAMILY RESIDENTIAL USE, THE FR LUD, OR TN LUD, WHICH HEIGHT MAY BE INCREASED 1-FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT.		

6.1.b. Development Standards: Single-Family Residential, Attached

TABLE 4B: DEVELOPMENT STANDARDS – SINGLE-FAMILY ATTACHED RESIDENTIAL USES		
STANDARD	PUD LAND USE DISTRICT (LUD)	
	TRADITIONAL NEIGHBORHOOD (TN)	NEIGHBORHOOD VILLAGE (NV) LIFESTYLE MIXED-USE (LMU) FREEWAY MIXED-USE (FMU)
MINIMUM LOT WIDTH	NONE	
MINIMUM LOT DEPTH	NONE	
MAXIMUM DEVELOPMENT DENSITY	10.5 PDU/AC (GROSS); 12.0 WITH BONUS	45.5 PDU/AC (GROSS); 52.5 WITH BONUS
MAXIMUM SUBDIVIDED LOTS	10.5 LOTS/AC (GROSS); 12.0 WITH BONUS	45.5 LOTS/AC (GROSS); 52.5 WITH BONUS
MINIMUM INDIVIDUAL LOT SETBACKS	FRONT: 10 FEET REAR: NONE STREET SIDE: 10 FEET INTERIOR SIDES: NONE	
MINIMUM GARAGE DOOR/CARPORT ENTRY SETBACK	FRONT: 18 FEET OR STREET SIDE	
PROJECTIONS	PER SECTION 701.A.3.C OF THE PHOENIX ZONING ORDINANCE	
DEVELOPMENT PERIMETER BUILDING SETBACK	PERIMETER STREET: 30 FEET. OTHER PROPERTY LINE: 15 FEET	
MINIMUM PERIMETER STREET LANDSCAPE SETBACK	30 FEET ADJACENT TO ARTERIALS OR COLLECTOR ROADWAYS, 15 FEET ADJACENT TO LOCAL STREETS EXCEPT NONE ON LOTS WHICH FRONT ON A LOCAL STREET. MAY BE PROVIDED AS PART OF THE REQUIRED BUILDING SETBACK.	
MAXIMUM BUILDING HEIGHT	3 STORIES AND 30 FEET FOR FIRST 150 FEET FROM DEVELOPMENT PERIMETER; 1-FOOT HEIGHT INCREASE FOR EACH 5 FEET IN SETBACK INCREASE TO MAXIMUM 4 STORIES AND 48 FEET HIGH**	4 STORIES AND 48 FEET**
MAXIMUM LOT COVERAGE	70% TOTAL FOR DEVELOPMENT (CALCULATED WITH PRD METHOD)	
MINIMUM COMMON OPEN SPACE	10% OF GROSS AREA	
STREET FRONTAGE REQUIREMENT	PUBLIC STREET OR PRIVATE ACCESSWAY	
MAXIMUM PERIMETER BUILDING SETBACKS	35 FEET ADJACENT TO ARTERIALS OR COLLECTOR ROADWAYS, 20 FEET ADJACENT TO LOCAL STREETS	
MAXIMUM INTERIOR BUILDING SETBACKS	PRIMARY FRONTAGE: 20 FEET SECONDARY FRONTAGE: 12 FEET	
MINIMUM PARKING SETBACKS	ADJACENT TO STREET: 60 FEET OR BEHIND BUILDING (WHICHEVER IS LESS RESTRICTIVE); ADJACENT TO PROPERTY LINE: 0 FEET	
MINIMUM BUILDING FRONTAGE PERCENTAGE	PERIMETER PRIMARY FRONTAGE: 60% MULTI-USE TRAIL (MUT) AND SHARED-USE PATH (SUP)/PASEO FRONTAGE: 60% PERIMETER SECONDARY BUILDING FRONTAGE: N/A	
FRONTAGE TYPE REQUIRED	PERIMETER PRIMARY FRONTAGE: PORCH, PATIO, STOOP, COMPLIANT WITH THE REQUIREMENTS OF TABLE 1305.1 IN SECTION 1305 OF THE PHOENIX ZONING ORDINANCE, OR ALTERNATIVE FRONTAGES AS PER SECTION 1305.B.1.C; INTERIOR PRIMARY FRONTAGE: PORCH, PATIO, STOOP, COMPLIANT WITH THE REQUIREMENTS OF TABLE 1305.1 IN SECTION 1305 OF THE PHOENIX ZONING ORDINANCE, OR ALTERNATIVE FRONTAGES AS PER SECTION 1305.B.1.C	
OTHER APPLICABLE REGULATIONS OF THE PHOENIX ZONING ORDINANCE	SUBDIVISIONS: CHAPTER 32, CITY CODE; DESIGN REVIEW: SECTION 507 TAB A; MULTI-FAMILY: SECTION 703.B; BONUS: SECTION 608.H; SFI SUBDIVISIONS: SECTION 608.I	
** THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN 10 FEET OF AN EXISTING SINGLE-FAMILY RESIDENTIAL USE, THE FR LUD, OR TN LUD, WHICH HEIGHT MAY BE INCREASED 1-FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT.		



6.1.c. Development Standards: Multi-Family Residential

TABLE 4C: DEVELOPMENT STANDARDS – MULTI-FAMILY RESIDENTIAL USES		
STANDARD	PUD LAND USE DISTRICT (LUD)	
	NEIGHBORHOOD VILLAGE (NV) LIFESTYLE MIXED-USE (LMU)	FREEWAY MIXED-USE (FMU)
MINIMUM LOT WIDTH	NONE	
MINIMUM LOT DEPTH	NONE	
MAXIMUM DEVELOPMENT DENSITY	45.5 PDU/AC (GROSS); 52.5 WITH BONUS	
PROJECTIONS	PER SECTION 701.A.3.B OF THE PHOENIX ZONING ORDINANCE	
MINIMUM DEVELOPMENT PERIMETER BUILDING SETBACK	PERIMETER STREET: 30 FEET. OTHER PROPERTY LINE: 15 FEET	
MINIMUM PERIMETER STREET LANDSCAPE SETBACK	ADJACENT TO ARTERIAL AND COLLECTOR ROADWAYS: 30 FEET ADJACENT TO LOCAL ROADWAY: 15 FEET	
MINIMUM PERIMETER PROPERTY LINE LANDSCAPE SETBACK	10 FEET***	
MAXIMUM BUILDING HEIGHT	5 STORIES AND 60 FEET**	6 STORIES AND 80 FEET**
MAXIMUM LOT COVERAGE	70% TOTAL FOR DEVELOPMENT (CALCULATED WITH PRD METHOD)	
MINIMUM COMMON OPEN SPACE	10% OF GROSS AREA	
MINIMUM BUILDING SEPARATION	10 FEET	
STREET FRONTAGE REQUIREMENT	PUBLIC STREET OR PRIVATE ACCESSWAY	
MAXIMUM BUILDING SETBACK	ADJACENT TO ARTERIAL AND COLLECTOR ROADWAYS: 35 FEET ADJACENT TO LOCAL ROADWAY: 20 FEET	
MINIMUM PARKING SETBACK	ADJACENT TO STREET: 30 FEET OR BEHIND BUILDING ADJACENT TO PROPERTY LINE: 10 FEET	
OTHER APPLICABLE REGULATIONS OF THE PHOENIX ZONING ORDINANCE	DESIGN REVIEW: SECTION 507 TAB A; MULTI-FAMILY: SECTION 703.B; BONUS: SECTION 608.H;	
** THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN 10 FEET OF AN EXISTING SINGLE-FAMILY RESIDENTIAL USE, THE FR LUD, OR TN LUD, WHICH HEIGHT MAY BE INCREASED 1-FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT. *** REAR YARDS OF MULTIFAMILY BUILD-TO-RENT HOMES THAT ARE NOT SUBDIVIDED ARE PERMITTED WITHIN THE PERIMETER PROPERTY LINE LANDSCAPE SETBACK.		

6.1.d. Development Standards: Lifestyle Mixed-Use

TABLE 4C: DEVELOPMENT STANDARDS – LIFESTYLE MIXED-USE	
STANDARD	PUD LAND USE DISTRICT (LUD)
	LIFESTYLE MIXED-USE (LMU)
MINIMUM LOT WIDTH	NONE
MINIMUM LOT DEPTH	NONE
MAXIMUM DEVELOPMENT DENSITY	45.5 PDU/AC (GROSS); 52.5 WITH BONUS
PROJECTIONS	PER SECTION 701.A.3.B OF THE PHOENIX ZONING ORDINANCE
MINIMUM DEVELOPMENT PERIMETER BUILDING SETBACK	PERIMETER STREET: 30 FEET. OTHER PROPERTY LINE: 15 FEET
MINIMUM PERIMETER STREET LANDSCAPE SETBACK	ADJACENT TO ARTERIAL AND COLLECTOR ROADWAYS: 30 FEET ADJACENT TO LOCAL ROADWAY: 15 FEET
MINIMUM PERIMETER PROPERTY LINE LANDSCAPE SETBACK	10 FEET***
MAXIMUM BUILDING HEIGHT	5 STORIES AND 60 FEET**
MAXIMUM LOT COVERAGE	70% TOTAL FOR DEVELOPMENT (CALCULATED WITH PRD METHOD)
MINIMUM COMMON OPEN SPACE	10% OF GROSS AREA
MINIMUM BUILDING SEPARATION	10 FEET
STREET FRONTAGE REQUIREMENT	PUBLIC STREET OR PRIVATE ACCESSWAY
MAXIMUM BUILDING SETBACK	ADJACENT TO ARTERIAL AND COLLECTOR ROADWAYS: 35 FEET ADJACENT TO LOCAL ROADWAY: 20 FEET
MINIMUM PARKING SETBACK	ADJACENT TO STREET: 30 FEET OR BEHIND BUILDING ADJACENT TO PROPERTY LINE: 10 FEET
MINIMUM BUILDING FRONTAGE PERCENTAGE	MINIMUM PRIMARY BUILDING FRONTAGE: 70% MINIMUM MULTI-USE TRAIL AND SHARED-USE PATH/PASEO FRONTAGE: 70% MINIMUM SECONDARY BUILDING FRONTAGE: 50%
FRONTAGE TYPE REQUIRED	PRIMARY FRONTAGE: ALL FRONTAGES COMPLIANT WITH TABLE 1305.1 IN SECTION 1305 OF THE PHOENIX ZONING ORDINANCE, OR ALTERNATIVE FRONTAGES AS PER SECTION 1305.B.1.C MULTI-USE TRAIL (MUT) AND SHARED-USE PATH (SUP)/PASEO FRONTAGE: ALL FRONTAGES COMPLIANT WITH TABLE 1305.1 IN SECTION 1305 OF THE PHOENIX ZONING ORDINANCE, OR ALTERNATIVE FRONTAGES AS PER SECTION 1305.B.1.C SECONDARY FRONTAGE: ALL FRONTAGES COMPLIANT WITH TABLE 1305.1 IN SECTION 1305 OF THE PHOENIX ZONING ORDINANCE, OR ALTERNATIVE FRONTAGES AS PER SECTION 1305.B.1.C
ENTRY REQUIREMENTS	COMMON ENTRY: MINIMUM ONE PER 50 FEET OF PRIMARY BUILDING FRONTAGE, ONE PER 50 FEET OF MUT AND SUP/PASEO FRONTAGE, AND ONE PER 80 FEET OF SECONDARY FRONTAGE. OTHER FRONTAGES AS PER TABLE 1305.1 IN THE PHOENIX ZONING ORDINANCE
MINIMUM GLAZING ON BUILDING FRONTAGE FACING STREET RIGHT-OF-WAY, MULTI-USE TRAILS, AND SHARED-USE PATHS/PASEOS, AS PER SECTION 1305.B.2 OF THE PHOENIX ZONING ORDINANCE:	GROUND FLOOR: 75% (MODIFICATIONS AS PER TABLE 1305.1 AND SECTIONS 1305.B.2 OF THE PHOENIX ZONING ORDINANCE) SECOND FLOOR: 25%, 10% EAST AND WEST UPPER FLOORS: N/A
OTHER APPLICABLE REGULATIONS OF THE PHOENIX ZONING ORDINANCE	DESIGN REVIEW: SECTION 507 TAB A; MULTI-FAMILY: SECTION 703.B; BONUS: SECTION 608.H;
<p>** THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN 10 FEET OF AN EXISTING SINGLE-FAMILY RESIDENTIAL USE, THE FR LUD, OR TN LUD, WHICH HEIGHT MAY BE INCREASED 1-FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT.</p> <p>*** REAR YARDS OF MULTIFAMILY BUILD-TO-RENT HOMES THAT ARE NOT SUBDIVIDED ARE PERMITTED WITHIN THE PERIMETER PROPERTY LINE LANDSCAPE SETBACK.</p>	

6.1.e. Development Standards: Commercial and Office Uses

TABLE 4E: DEVELOPMENT STANDARDS – COMMERCIAL AND OFFICE USES			
STANDARD	PUD LAND USE DISTRICT (LUD)		
	FOOTHILLS RESIDENTIAL (FR) TRADITIONAL NEIGHBORHOOD (TN)	NEIGHBORHOOD VILLAGE (NV) LIFESTYLE MIXED-USE (LMU)	COMMUNITY COMMERCIAL (CC) FREEWAY MIXED-USE (FMU)
MINIMUM DEVELOPMENT PERIMETER BUILDING SETBACK	ADJACENT TO STREET: 30 FEET ADJACENT TO TN LUD: 1 STORY (OR 15 FEET)= 25 FEET; 2 STORY (OR 30 FEET) = 50 FEET; ADJACENT TO NV LUD, LMU LUD, AND FMU LUD: 1 STORY (OR 15 FEET)= 10 FEET; 2 STORY (OR 30 FEET) = 15 FEET; ADJACENT TO CC LUD, NATURAL OPEN SPACE (NOS) LUD, AND COMMUNITY OPEN SPACE (COS) LUD: 0 FEET	ADJACENT TO STREET: 30 FEET ADJACENT TO TN LUD: 1 STORY (OR 15 FEET)= 25 FEET; 2 STORY (OR 32 FEET) = 50 FEET; 3 STORY (OR 42 FEET)= 100 FEET; 4+ STORIES (OR 56 FEET)= 150 FEET ADJACENT TO NV LUD, LMU LUD, AND FMU LUD: 1 STORY (OR 15 FEET)= 10 FEET; 2 STORY (OR 32 FEET) = 15 FEET; 3 STORY (OR 42 FEET)= 30 FEET; 4+ STORIES (OR 56 FEET +)= 45 FEET ADJACENT TO CC LUD, NOS LUD, AND COS LUD: 0 FEET	ADJACENT TO STREET: 30 FEET ADJACENT TO TN LUD: 1 STORY (OR 15 FEET)= 25 FEET; 2 STORY (OR 32 FEET) = 50 FEET; 3 STORY (OR 42 FEET)= 100 FEET; 4+ STORIES (OR 56 FEET)= 150 FEET ADJACENT TO NV LUD, LMU LUD, AND FMU LUD: 1 STORY (OR 15 FEET)= 10 FEET; 2 STORY (OR 32 FEET) = 15 FEET; 3 STORY (OR 42 FEET)= 30 FEET; 4+ STORIES (OR 56 FEET +)= 45 FEET 80 FEET + = 100 FEET ADJACENT TO CC LUD, NOS LUD, AND COS LUD: 0 FEET
MINIMUM PERIMETER STREET LANDSCAPE SETBACK	30 FEET		
MINIMUM PERIMETER PROPERTY LINE LANDSCAPE SETBACK	10 FEET		
MAXIMUM BUILDING SETBACK	ADJACENT TO ARTERIAL AND COLLECTOR ROADWAYS: 35 FEET ADJACENT TO LOCAL ROADWAY: 20 FEET		
MAXIMUM BUILDING HEIGHT	2 STORIES OR 30 FEET	4 STORIES OR 56 FEET	4 STORIES OR 56 FEET; UP TO 80 FEET FOR HOTEL USES, UP TO 80 FEET FOR ALL OTHER USES WITH A USE PERMIT AND SITE PLAN
MAXIMUM LOT COVERAGE	50% OF THE NET LOT AREA EXCLUSIVE OF THE FIRST 6 FEET OF ROOF OVERHANG, OPEN CARPORTS, COVERED PATIOS OR COVERED WALKWAYS.		

6.1.f. Development Standards: Large Scale Commercial Retail

TABLE 4F: DEVELOPMENT STANDARDS – LARGE SCALE COMMERCIAL RETAIL	
STANDARD	PUD LAND USE DISTRICT (LUD)
	COMMUNITY COMMERCIAL (CC) FREEWAY MIXED-USE (FMU)
MINIMUM BUILDING SETBACK	60 FEET
MAXIMUM BUILDING HEIGHT	WITHIN 60 FEET OF PROPERTY LINES: MAX. 35 FEET GREATER THAN 60 FEET : PER SECTION 623.E.4.D OF THE CITY OF PHOENIX ZONING ORDINANCE
MINIMUM LANDSCAPE SETBACK ADJACENT TO STREET	30 FEET
MINIMUM PERIMETER PROPERTY LINE LANDSCAPE SETBACK (NOT ADJACENT TO A STREET)	ADJACENT TO IC LUD OR CC LUD: NONE ADJACENT TO ALL OTHER LUDS: 15 FEET
BUILDINGS THAT FACE A PUBLIC STREET	SEE SECTION 623.E.5.C.(1) AND (2) OF THE CITY OF PHOENIX ZONING ORDINANCE

6.1.g. Development Standards: Innovation Corridor

TABLE 4G: DEVELOPMENT STANDARDS – CP GENERAL COMMERCE PARK USES	
STANDARD	PUD LAND USE DISTRICT (LUD)
	INNOVATION CORE (IC)
MINIMUM PERIMETER BUILDING SETBACKS	ADJACENT TO STREET: 30 FEET FROM PERIMETER OF IC LUD 10 FEET FROM STREETS ON INTERIOR OF IC LUD ADJACENT TO PERIMETER LOT LINE: 30 FEET ADJACENT TO INTERIOR LOT LINE: 10 FEET
MINIMUM PERIMETER STREET LANDSCAPE SETBACK	30 FEET
MINIMUM PERIMETER PROPERTY LINE LANDSCAPE SETBACK	10 FEET
MAXIMUM BUILDING HEIGHT	110 FEET; NONHABITABLE MECHANICAL EQUIPMENT AND STRUCTURES THAT MAY INCLUDE, BUT ARE NOT LIMITED TO, ELEMENTS SUCH AIR SEPARATORS, EXHAUST PIPES, AND GAS PROCESSING EQUIPMENT ARE PERMITTED UP TO 225-FEET IN HEIGHT FOR A MAXIMUM OF 25% OF THE ROOF AREA.
MAXIMUM LOT COVERAGE	NONE
MINIMUM OPEN SPACE	10% OF THE NET SITE AREA SHALL BE PROVIDED AS OPEN SPACE. OPEN SPACE MAY TAKE THE FORM OF ACTIVE OR PASSIVE OPEN SPACE AND SHOULD PRIORITIZE PRESERVATION OF THE SITE'S NATURAL FEATURES AND CHARACTER.



6.1.h. Development Standards: Resort Uses

TABLE 5H: DEVELOPMENT STANDARDS – RESORT USES	
STANDARD	PUD LAND USE DISTRICT (LUD)
	TRADITIONAL NEIGHBORHOOD (TN) NEIGHBORHOOD VILLAGE (NV)
MINIMUM PERIMETER BUILDING SETBACKS	ADJACENT TO STREET : 30 FEET ADJACENT TO TN LUS OR NV LUD: 40 FEET, MAY BE REDUCED TO 25 FEET IF THE 25 FEET IF ENTIRELY LANDSCAPED ADJACENT TO ALL OTHER LUDS: 25 FEET
MINIMUM PERIMETER STREET LANDSCAPE SETBACK	30 FEET
INTERIOR BUILDING SETBACKS	FRONT: 40 FEET ALL OTHER PROPERTY LINES: 25 FEET
MAXIMUM BUILDING HEIGHT	BUILDINGS WITHIN 100 FEET OF ANY TRADITIONAL NEIGHBORHOOD OR NEIGHBORHOOD VILLAGE LAND USE DESIGNATION SHALL NOT EXCEED 25 FEET. 1-FOOT HEIGHT INCREASE FOR EACH 5 FEET IN SETBACK INCREASE TO MAXIMUM 4 STORIES AND 48 FEET HIGH.
MINIMUM NUMBER OF GUESTROOMS	THERE SHALL BE AT LEAST 50 GUESTROOMS. ANY DWELLING UNITS SHALL BE IN EXCESS OF THE MINIMUM 50 GUESTROOMS.
MAXIMUM DENSITY	20 GUESTROOMS OR DWELLING UNITS PER 1-ACRE
LOT COVERAGE	THE MAIN BUILDING AND ALL ACCESSORY BUILDINGS SHALL NOT OCCUPY MORE THAN 20% OF THE TOTAL LOT AREA.
MINIMUM LOT SIZE	THERE SHALL BE A MINIMUM OF 7.5 ACRES GROSS AREA.
MINIMUM BUILDING FRONTAGE	300 FEET ON STREETS DESIGNATED AS ARTERIAL STREETS ON THE STREET CLASSIFICATION MAP
ENTRY REQUIREMENTS	COMMON ENTRY: MINIMUM ONE PER 50 FEET OF PRIMARY BUILDING FRONTAGE, ONE PER 50 FEET OF MUT AND SUP/ PASEO FRONTAGE, AND ONE PER 80 FEET OF SECONDARY FRONTAGE. OTHER FRONTAGES AS PER TABLE 1305.1 IN THE PHOENIX ZONING ORDINANCE

6.2. Development Standards for Master Plan Tracking

TABLE 5: MDP MAXIMUM UNIT ALLOCATION TABLE							
	MDP.1	MDP.2	MDP.3	MDP.4	MDP.5	MDP.6	TOTAL SITE
GROSS MDP AREA (ACRES)	519.8	1108.6	880.8	755.8	2244.1	844.7	6353.9
PROPOSED MAX UNITS	4,150	0	2700 ⁽¹⁾	1,000	5,000	2,300	15,150
MAXIMUM DENSITY (DWELLING UNITS/ GROSS ACRE), EXCLUSIVE OF INNOVATION CORRIDOR, NATURAL OPEN SPACE, COMMUNITY OPEN SPACE, AND COMMUNITY COMMERCIAL LAND USE DISTRICT ACREAGES) ⁽²⁾	8.0	0.0	7.0	3.6	4.2	4.3	5.2
MAXIMUM DENSITY (DWELLING UNITS/ GROSS ACRE), INCLUSIVE OF INNOVATION CORRIDOR, NATURAL OPEN SPACE, COMMUNITY OPEN SPACE, AND COMMUNITY COMMERCIAL LAND USE DISTRICT ACREAGES) ⁽²⁾	8.0	0.0	3.1	1.3	2.2	2.7	2.4
LMU LUD DIVISION OF USES	MINIMUM 200 DWELLING UNITS MINIMUM 100,000 SQUARE FEET OF COMMERCIAL						
⁽¹⁾ A MINIMUM OF 200 OF THE UNITS DESIGNATED IN MDP.3 MUST BE DEVELOPED WITHIN THE LIFESTYLE MIXED USE PARCEL							
⁽²⁾ MAXIMUM DENSITY ALLOWED WITHIN HILLSIDE AREAS MAY BE LESS THAN THE BASE DENSITY ALLOWED WITHIN ANY LUD WITHIN ANY MDP BASED ON HILLSIDE ORDINANCE REQUIREMENTS PER SECTION 710 OF THE PHOENIX ZONING ORDINANCE. A SLOPE ANALYSIS WILL BE REQUIRED TO DETERMINE THE 10% SLOPE AREA IN EACH MDP.							

6.2.a. Lifestyle Mixed-Use

A maximum of 50% of the area for the LMU LUD may be developed as horizontal mixed-use (residential and commercial uses). There are no limitations on vertical-mixed use developments or commercial developments other than that a minimum of 200 dwelling units shall be provided within the LMU LUD.

6.2.b. Freeway Mixed Use

A maximum of 50% of the area for the FMU LUD may be developed as horizontal mixed-use (residential and commercial uses). There are no limitations on vertical mixed-use or commercial developments.

6.2.c. Traditional Neighborhood

MDPs 4 and 6 shall require a minimum of 2 and maximum of 10 gross acres of Local Services within the TN LUD, and MDP.5 shall require a minimum of 5 and maximum of 10 gross acres. These sites shall be designated on the MPD Master Development Plan for Local Services use and may not be converted to another use unless an alternative site has been identified and documented on the MDP Master Development Plan. The Local Services parcels shall be required to have frontage on at least one roadway type classified as an arterial or collector. Designated sites may be consolidated into a single property per MDP or distributed throughout the MDP on multiple sites.



6.3. Landscape Standards

The Landscape Standards for NorthPark establish the minimum acceptable standards for the integration of the built environment into the natural desert context of the community. These standards shall be applied to ensure that the overall aesthetic of the community is reflective of the Sonoran Desert but is also comfortable and accessible to its residents.

TABLE 6: LANDSCAPE STANDARDS

Misc. Landscape Standards	
Landscape Variety for development sites 5,000 square feet or larger	<p>Trees: Minimum 5 species Shrubs: Minimum 3 species Groundcovers: Minimum 3 species Accents: Minimum 3 species No one plant species shall comprise more than 40% of the total quantity of plants provided.</p>
Building facades within 100 feet of the public ROW	Minimum 25% of the exterior wall length shall be treated with either a landscaped planter a minimum 5 feet in width or an arcade or equivalent feature
Landscape Areas Adjacent to: Multi-Use Trails (MUTs) within Multi-Use Trail Easements (MUTES); Shared-Use Paths (SUPs) within Shared-Use Path Easements (SUPEs); Parallel MUTs and SUPs within a Public Access Easement (PAE)	<p>Trees: Minimum 2-inch caliper, single trunk, large canopy, shade trees, planted 20 feet on center or in equivalent groupings, planted on both sides of the MUT and SUP</p> <p>Live Coverage: Shrubs, accents, and vegetative groundcovers evenly distributed throughout the landscape areas to achieve a minimum of 50% live coverage at maturity. Shrubs, accents, and vegetative groundcovers shall be maintained to a maximum height of 2 feet adjacent to a street or development to maximize pedestrian visibility.</p>
Perimeter Landscape Setbacks	<p>Trees: Minimum 2-inch caliper, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings</p> <p>Shrubs: A minimum of five, 5-gallon shrubs per tree</p> <p>Live Coverage: A mixture of shrubs, accents, and vegetative groundcovers, evenly distributed throughout the landscape areas to achieve a minimum of 50% live coverage</p>
Common and Retention Areas	<p>Trees: Minimum 2-inch caliper, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings, around the perimeter of the common area / retention area</p> <p>Shrubs: A minimum of five, 5-gallon shrubs per tree</p> <p>Live Coverage: A mixture of shrubs, accents, and vegetative groundcovers, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage</p>
Parking Areas	
Interior surface area (exclusive of perimeter landscaping and all required setbacks)	Minimum 10%
Landscaped planters	At ends of each row of parking and approximately every 110'
Landscaped planters**, single row of parking	Minimum 120 sq. ft.***
Landscaped planters**, double row of parking	Minimum 240 sq. ft.***
Additional parking lot landscaping	As needed to meet 10% minimum requirement, evenly distributed throughout the entire parking lot. Minimum interior dimension 5 feet (length and width).
Lifestyle Mixed-Use Landscape and Shading Standards	
<i>All applicable standards of the City of Phoenix Zoning Code and this PUD that are not mentioned in this table shall still apply.</i>	
Building facades adjacent to a pedestrian thoroughfare	Minimum 50% of the exterior wall length shall be treated with either a landscaped planter a Minimum 5 feet in width or an arcade or equivalent feature
For pedestrian thoroughfares located along buildings	Vertical improvements shall be located along the edge of the pedestrian thoroughfare adjacent to any drive aisle or street. Trees and shrubs shall comprise a portion of the required vertical improvements.
**NOT TO EXCEED THE LENGTH OF A STANDARD CITY OF PHOENIX PARKING STALL.	
***MEASURED FROM INSIDE FACE OF CURB TO INSIDE FACE OF CURB.	

6.4. Streetscape

Transportation and multi-modal connectivity are a critical aspect of the NorthPark community. These corridors enable the efficient movement of residents, workforce and goods and services that collectively enable a functional mixed-use community. Providing safe and convenient opportunities for vehicle, bicycles, pedestrians, and other modes of travel to accommodate a broad diversity of users is critical to the overall health, safety, and mobility of a diverse community.

The circulation network, with the primary objective of managing vehicle movement within and through the community, will also prioritize alternative transportation options by including buffered bicycle lanes, detached sidewalks, and thoughtful integration with the comprehensive trail and path network within the overall community. Apart from the arterial roadway segments defined below, this PUD does not illustrate alignments of roadway classifications at the collector and local level. The NorthPark circulation network is ultimately subject to the requirements of the final approved TIA and Master Street Plan at the MDP master planning stage. All street sections included in this PUD are conceptual and subject to change.

This PUD is intended to offer a sustainable approach to transportation, focused on walking, biking, and access to transit. Key goals for the transportation planning framework of the NorthPark community include:

- Create a highly walkable community.
- Create a community where biking is a safe, convenient, fast, and fun way to get around.
- Offer rapid, dependable, and frequent transit that makes it easy to get anywhere in the community.
- Make parking convenient while minimizing traffic and its impacts on community life.
- Design land use and parking to make external transit service convenient, attractive, competitive, and effective.
- Support external transit service for peak and off-peak trips.

6.4.a. Arterial Roadways

The arterial roadway network within NorthPark will generally adhere to the street types and alignments defined in the City of Phoenix Street Classification Map, as modified herein.

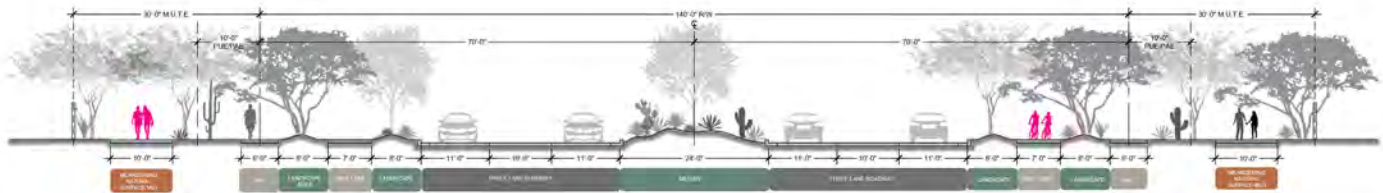
Arterial Roadway Trail and Path Requirements:

All arterial roadways will include minimum 30' landscape setbacks at the edge of right-of-way, exceeding City of Phoenix landscape setback requirements. This may overlap with any required M.U.T.E./S.U.P.E./P.A.E.s. Where SUP improvements overlap with the roadway right-of-way, the easement width may be reduced as long as 15 feet of easement area is maintained beyond the centerline of the SUP.

The following on-site roadways are classified as arterial roads:

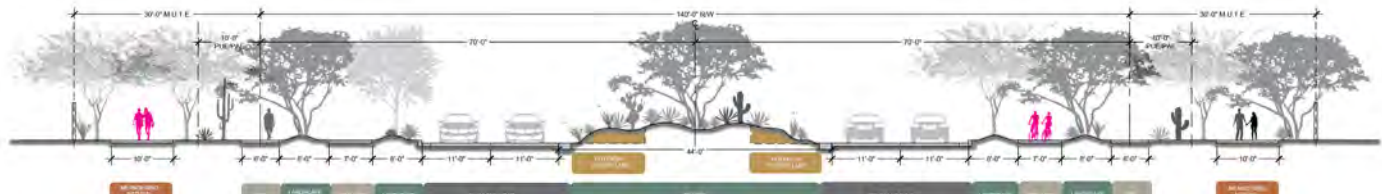
- **Dixileta Road** – Modified Section 'A' type with 140-foot right of way and six travel lanes at buildout. Extends from Interstate 17 to the 67th Avenue alignment. Modifications include wider sidewalks, separated bike lanes, and wider landscape strips.
- **43rd Avenue** - Modified Section 'A' type with 140-foot right of way and six travel lanes at buildout. Extends from Loop 303 to the Dixileta Road alignment. Modifications include wider sidewalks, separated bike lanes, and wider landscape strips.
- **51st Avenue** - Modified Section 'A' type with 140-foot right of way and four travel lanes with the potential for upgrading to six lanes at buildout. Extends from Loop 303 to the existing bridge at the CAP. Modifications include wider sidewalks, separated bike lanes, and wider landscape strips.
- **67th Avenue** - Modified Section 'B' type with 130-foot right of way and six travel lanes at buildout. Extends from Loop 303 to existing Pyramid Peak Parkway south of the CAP. Modifications include wider sidewalks, separated bike lanes, and wider landscape strips.





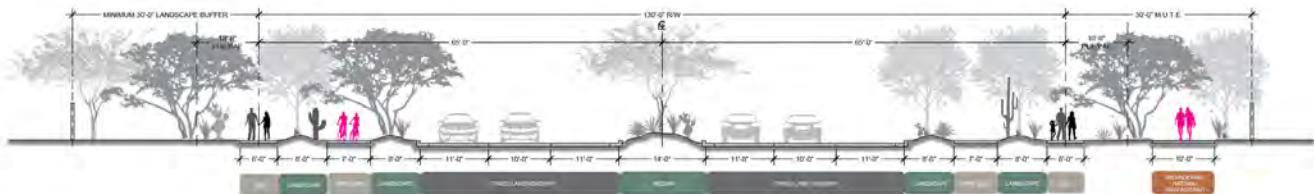
1 Modified Major Arterial "A" Ultimate Condition (43rd Avenue & Dixie Road)

SCALE: NTS



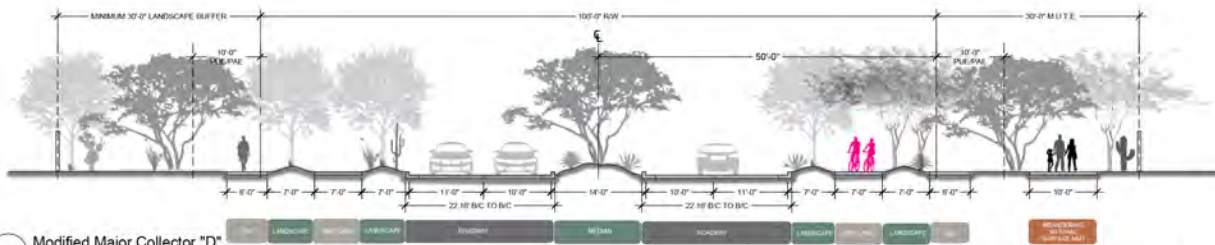
2 Modified Major Arterial "A" 4-Lane Condition (51st Avenue)

SCALE: NTS



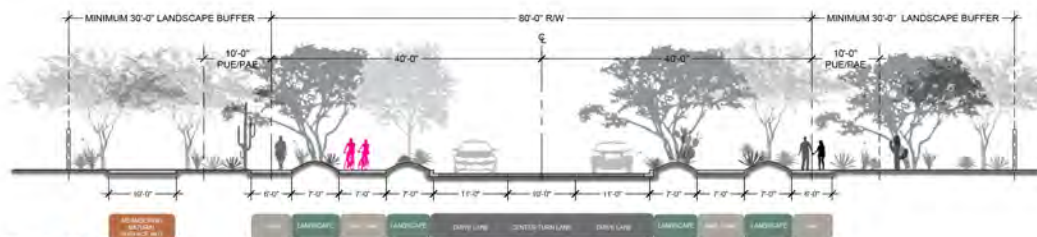
3 Modified Major Arterial "B" (67th Avenue)

SCALE: NTS



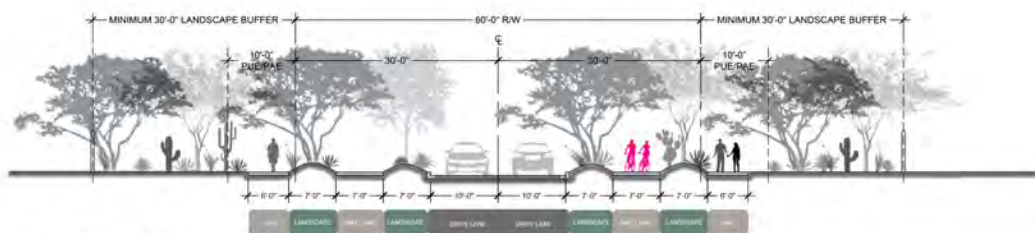
4 Modified Major Collector "D"

SCALE: NTS



5 Modified Collector "E"

SCALE: NTS



6 Modified Collector "F"

SCALE: NTS

6.4.b. Collector Roadways

NorthPark will provide for major and minor collector roads within the community, but these alignments are not specifically defined by this PUD. During subsequent master planning stages of the project, land uses and intensity will inform and document the location and level of collector roadway improvement necessary to service adjacent development. Collector roads will be constructed on a phased basis as the project is developed in accordance with an approved traffic study for each phase of development.

Major collector roads will facilitate traffic from arterial roadways to adjacent neighborhoods, commercial and employment uses. The proposed major collector section is generally consistent with the City of Phoenix's Section 'D' type with a 100-foot right of way and four travel lanes. Modifications include a wider median, buffered bike lanes, wider landscape strips, wider sidewalks, and a 10-foot M.U.T. or S.U.P. within a 30-foot M.U.T.E. or S.U.P.E. on one side of the street.

Minor collectors provide direct access to individual neighborhoods and non-residential properties but will serve areas with lower traffic volumes. The proposed minor collector section is generally consistent with the City of Phoenix's Section 'E' type with an 80-foot right of way and two travel lanes. Modifications include a wider median, buffered bike lanes, wider landscape strips, wider sidewalks, and a 10-foot M.U.T. or S.U.P. within a 30-foot M.U.T.E. or S.U.P.E. on one side of the street.

A modified industrial collector, generally consistent with the City of Phoenix's Section 'F' type with a 60-foot right of way and two travel lanes, is proposed for use within the Innovation Corridor, Community Commercial, and Freeway Mixed-Use LUDs. Modifications include buffered bike lanes, wider landscape strips, and wider sidewalks.

Collector Roadway Trail and Path Requirements:

All collector roadways will include minimum 30' landscape buffers at the edge of right-of-way, exceeding City of Phoenix landscape setback requirements. This may overlap with any required M.U.T.E.s. Where SUP improvements overlap with the roadway right-of-way, the easement width may be reduced as long as 15 feet of easement area is maintained beyond the centerline of the SUP.

6.4.c. Local Streets

The proposed modified local street section is generally consistent with the City of Phoenix's Section "I" type with a 50-foot right of way. Modifications have been made to include wider sidewalks. Where adjacent to a designated MUT along the preserve edge, a sidewalk is not required.

6.4.d. Private Accessways

In gated communities private accessways shall be permissible as a street type. In residential conditions where front doors are oriented to the accessway, a 5' attached sidewalk shall be provided on one side of the private accessway. When the residential product type is rear loaded, the private accessway may be built without any directly adjacent sidewalks as long as pedestrian connections through open space corridors or along public roadways/accessways to the front doors of the residences are provided.



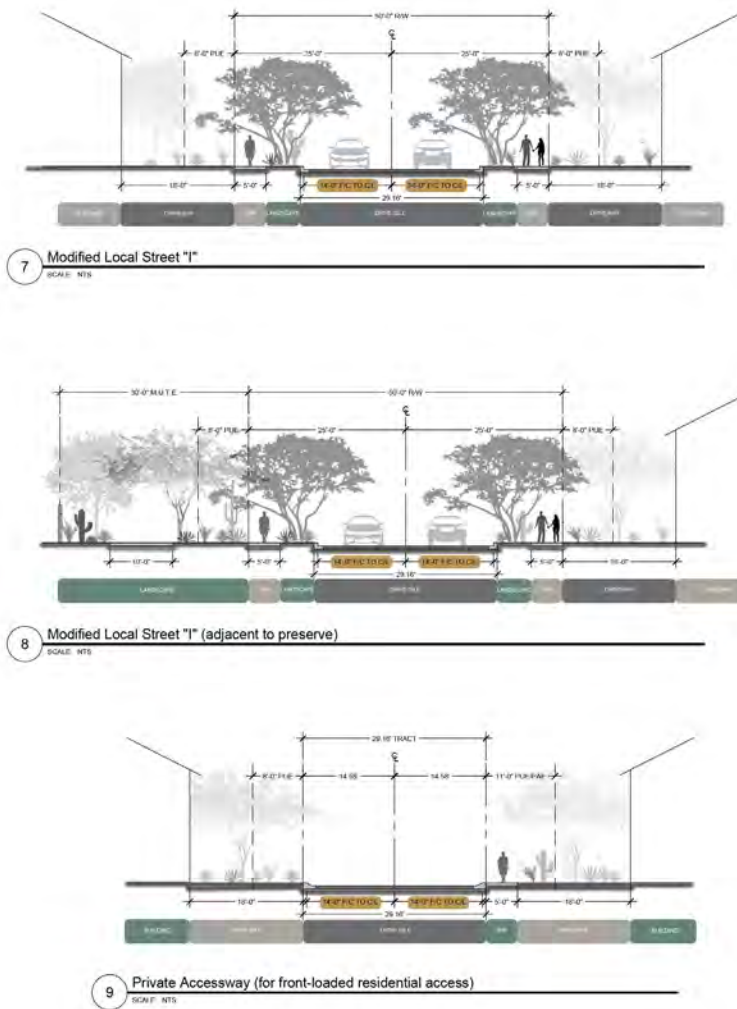


TABLE 7: STREETSCAPE

STREETSCAPE STANDARDS	MINIMUM
Both Sides of All Arterial Streets (Dixileta Drive, 43rd Avenue, 51st Avenue, 67th Avenue)	<p>1. Bike Lanes:</p> <ul style="list-style-type: none"> a. Minimum 7-foot-wide b. Raised bike lanes c. Constructed of concrete d. Separated from driving lanes by minimum 8-foot-wide landscape strip e. Landscape Strip Planting Standards: <ul style="list-style-type: none"> • Minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings • A minimum of five 5-gallon shrubs per tree <p>2. Landscape Median</p> <ul style="list-style-type: none"> a. Minimum 24 feet wide within Modified Major Arterial "A" Cross Section b. Minimum 14 feet wide within Modified Major Arterial "B" Cross Section c. Landscape Median Planting Standards: <ul style="list-style-type: none"> • Minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings • A minimum of five 5-gallon shrubs per tree • A mixture of shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.

<p>Both Sides of All Arterial Streets (Dixileta Drive, 43rd Avenue, 51st Avenue, 67th Avenue) continued</p>	<p>3. Detached Sidewalks (where SUP is designated, no sidewalk is required):</p> <ul style="list-style-type: none"> a. Minimum Width: 6 feet b. Landscape Strip Width (between separated, raised bike lane and sidewalk): 8 feet c. Landscape Strip Planting Standards: <ul style="list-style-type: none"> • Minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings • A minimum of five 5-gallon shrubs per tree • A mixture of shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. d. Minimum Tree Shade: 75%
<p>Both Sides of All Collector Streets</p>	<ul style="list-style-type: none"> 1. Bike Lanes: <ul style="list-style-type: none"> a. Minimum 7-foot-wide b. Raised bike lanes c. Constructed of concrete d. Separated from driving lanes by minimum 7-foot-wide landscape strip e. Landscape Strip Planting Standards: <ul style="list-style-type: none"> • Minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings • A minimum of five 5-gallon shrubs per tree • A mixture of shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. 2. Landscape Median <ul style="list-style-type: none"> a. Minimum 14 feet wide b. Landscape Median Planting Standards: <ul style="list-style-type: none"> • Minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings • A minimum of five 5-gallon shrubs per tree • A mixture of shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. 3. Detached Sidewalks: <ul style="list-style-type: none"> a. Minimum Width: 6 feet (sidewalk easement dedication if necessary) b. Landscape Strip Width (between separated, raised bike lane and sidewalk): 7 feet c. Landscape Strip Planting Standards: <ul style="list-style-type: none"> • Minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings • A minimum of five 5-gallon shrubs per tree • A mixture of shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage. d. Minimum Tree Shade: 75%
<p>Both Sides of All Local Street</p>	<ul style="list-style-type: none"> 1. Detached Sidewalks (where MUT is designated adjacent to preserve edge, no sidewalk is required): <ul style="list-style-type: none"> a. Minimum 5 feet wide b. Separated from driving lanes by minimum 5-foot-wide landscape strip c. Landscape Strip Planting Standards: see <i>Table 8: Landscape Standards</i> <ul style="list-style-type: none"> • Minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center, or in equivalent groupings • A minimum of five 5-gallon shrubs per tree • A mixture of shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 50% live coverage. d. Minimum Tree Shade: 75%



6.5. Vehicular and Bicycle Parking Standards

TABLE 8: PARKING STANDARDS	
<i>Parking shall be provided per Ordinance Section 702, unless modified below or elsewhere within this PUD</i>	
EV Charging Parking Standards	<p>Single-Family Residential:</p> <ol style="list-style-type: none"> 1. All garages shall include EV Capable infrastructure <p>Multifamily Residential:</p> <ol style="list-style-type: none"> 1. Less than 50 dwelling units: A minimum of 10% of the required vehicle parking spaces shall include EV Ready infrastructure. 2. Over 50 dwelling units: A minimum of 10% of the required vehicle parking spaces shall include EV Installed infrastructure. <p>Commercial:</p> <ol style="list-style-type: none"> 1. Less than 50,000 square feet of new building area or less than 100 new parking spaces: A minimum of 10% of the required vehicle parking spaces shall include EV Ready infrastructure and a minimum of 5% shall include EV Capable infrastructure. 2. Over 50,000 square feet of new building area or more than 100 new parking spaces: A minimum of 5% of the required vehicle parking spaces shall include EV Installed infrastructure. 3. A minimum of 10% of the required ADA vehicle parking spaces shall include EV Installed infrastructure. <p>Industrial/Commerce Park:</p> <ol style="list-style-type: none"> 1. A minimum of 10% of the parking spaces for fleet truck parking shall include EV Capable infrastructure. 2. A minimum of 5% of the required vehicle parking spaces shall include EV Installed infrastructure. <p>Parking Garages:</p> <ol style="list-style-type: none"> 1. A minimum of 20% of the vehicle parking spaces in parking garages shall include EV Capable infrastructure.
Bicycle Parking	<ol style="list-style-type: none"> 1. Bicycle parking shall be provided per the requirements of Section 1307.H.6 of the Phoenix Zoning Ordinance. 2. Multifamily residential required bicycle parking spaces shall be secured. 3. Multifamily residential and single-family residential shall provide guest bicycle parking spaces at a minimum rate of 0.05 spaces per dwelling unit, up to a maximum of 50 spaces required. 4. Bicycle parking shall be provided through Inverted U and/or artistic racks located near building entrances or open space/amenity areas and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance. Artistic racks shall adhere to the City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan. 5. Minimum 10% of required bicycle parking spaces shall include standard electrical receptacles for electric bicycle charging capabilities
Vehicle Parking	<ol style="list-style-type: none"> 1. Per Section 702 of the Phoenix Zoning Ordinance, unless modified below or elsewhere within this PUD. 2. A reduction in parking of up to twenty-five percent (25%) based on the shared parking model may be granted by the Planning and Development Department Traffic Engineer. Parking reductions greater than twenty-five percent (25%) and based on the model must obtain a use permit in accordance with the standards and procedures of Section 307. 3. The Incentive Options outlined in Section 702.D.1 of the City of Phoenix Zoning Ordinance shall still apply and be measured from minimum requirements established by the City of Phoenix Zoning Ordinance.

6.6. Fences and Walls

All fences and walls shall comply with Section 703 of the Phoenix Zoning Ordinance, except as modified below.

6.6.a. Monumentation

When not prohibited by City Code, Section 31-13, community monumentation elements no higher than 16-feet are allowed along arterial and collector roadways at or near the primary entrances to individual communities or campuses within or adjacent to the required Perimeter Building Setback and/or Common Landscape Setback. Architectural embellishments and non-supporting structures, including but not limited to spires, towers, pylons, columns, trims and other similar features or projections, are allowed up to a maximum height of 30-feet, when not prohibited by Section 31-13 of the Phoenix City Code. Such architectural embellishments will be a secondary or supporting design element to the primary monumentation element.

6.6.b. Height of Fences and Retaining Walls

Where adjacent to arterial roadways, a maximum 8-foot high freestanding solid wall, partial view fence, and/or accent wall may be erected adjacent to a landscape setback, where not prohibited by City Code, Section 31-13 “obstructing visibility at intersections”. Columns may exceed the maximum allowed wall height by up to 6-inches.

Where adjacent to all other Perimeter Property lines, a maximum 8-foot high freestanding solid wall, full view fence, or partial view fence may be erected, where not prohibited by City Code, Section 31-13 “obstructing visibility at intersections”, except:

- Where internal common open space or a walk-in trailhead is immediately adjacent to a Preserve edge property boundary, a maximum 5-foot high full view fencing, or a maximum 42-inch tensile, open, split rail, or other similar fence (“Barrier Fencing”) is required. Fencing will be designed to discourage uncontrolled access.
- Freestanding solid walls are prohibited where located on a perimeter property line and immediately adjacent to a Preserve edge Property boundary as shown in **Exhibit 14: Edge Treatment Master Plan**. Any walls or fencing along a Preserve edge property boundary as shown in **Exhibit 14: Edge Treatment Master Plan**, other than walls for fencing for individual residential lots, shall be comprised of a maximum 42-inch tensile, open, split rail, or other similar fence (“Barrier Fencing”), which are designed with sufficient openings to allow the regular passage of wildlife.

Within or bounding the side yard or rear yard of any residential lot abutting a collector roadway or other internal roadways, a maximum 6-foot, 4-inch high freestanding solid wall or view fence is required. On all other side yard or rear yard residential lot property lines, a maximum 6-foot, 4-inch high freestanding solid wall, partial view fence may be erected.

Individual retaining walls are permitted by-right so long as the height is limited to 6-feet when located within 50-feet of a perimeter property line or Preserve edge. The total combined vertical height may not exceed 12-feet.

An individual retaining wall is limited to 4-feet in height within the front yard and 6-feet within the street side yard. The total combined vertical height within the street side yard may not exceed 12-feet.



6.7. Amenities

Table 6A-B: Open Space Amenities Matrix provides a matrix of open space amenities that may be included within each open space types, including Neighborhood, and Pocket Parks, landscaped trail corridors, wash corridors, and preserve open space. This matrix provides flexibility for developers to choose from a variety of improvements to include in each open space type, while ensuring a broad mix of amenities is provided within the overall community. This matrix is not intended to be exhaustive, and there may be various other amenities that are not provided within the matrix that are appropriate for each open space type. This is intended to serve as a general guide for the types of amenities that are appropriate for each open space type. Additional requirements are as follows:

Regional Parks:

- Minimum 126-acres
- Regional parks are publicly constructed and owned, and specific programming elements will be determined by the City of Phoenix Parks and Recreation Department.

Community Parks:

- Minimum 43-acres in size
- Community parks are publicly constructed and owned, and specific programming elements will be determined by the City of Phoenix Parks and Recreation Department.

Neighborhood Parks:

- Minimum 1 per MDP 1, and 3-6, constructed before or with the 1000th dwelling unit
- Minimum 1 acre in size
- Limit turf to functional turf areas; overall turf area shall not exceed 15,000 square feet.
- Provide a minimum of three (3) active and three (3) passive amenity elements from Table 11A-B: Open Space Amenities Matrix.
- Locate adjacent to a minimum of one (1) local street or minor collector street frontage; no arterial or major collector frontages shall be permitted along park perimeters.
- Include community path or trail segments within the park that provide linkages to the greater community trails and pathway network.

Pocket Parks:

- Minimum 1 per 500 dwelling units in MDPs 1 and 3-6, constructed before or with the 500th unit
- Provide a minimum of one (1) active and one (1) passive amenity elements from Table 11A-B: Open Space Amenities Matrix.

Pedestrian and Shared Use Path Corridor to Loop 303 Crossing

As depicted on **Exhibit 10: Master Trails Plan**, a segment of a parallel MUT and SUP is planned along the east edge of MDP 2. A minimum 30-foot Public Access Easement will be provided for this facility, with 10-feet of landscape area separating the 10 foot wide MUT and 10 foot wide SUP. This route shall not be gated, and the SUP, designated for bicyclists, shall be properly signed and striped per city requirements. Pathways shall meander in conformance with the natural terrain and shall adhere to ADA guidelines. These improvements shall be privately maintained.

Bicycle Repair Stations:

Bicycle repair stations (“fix it stations”): shall be provided in areas of high visibility and separated from vehicular maneuvering areas, where applicable. Bicycle repair stations (“fix it stations”) shall include, but

not be limited to, standard repair tools affixed to the station, a tire gauge and pump affixed to the base of the station or the ground, and a bicycle repair stand which allows pedals and wheels to spin freely while making adjustments to the bike.

- A minimum of one bicycle repair station ("fix it station") shall be provided and maintained on site for each individual multifamily residential development.
- A minimum of one public bicycle repair station shall be provided at all Neighborhood parks.
- Public bicycle repair stations shall be provided along SUP and MUT corridors at a minimum spacing of 1 per linear mile of path or trail
- Repair stations shall be located at intersection of SUPs and MUTs
- Repair stations shall be located at all community centers
- Locations of Public Bicycle Repair Stations will be established during the MDP master planning stage.

Office:

One outdoor employee resting area of no less than 400 square feet or two 200-square-foot areas shall be provided on site for each individual office development. Each required pedestrian area shall include a minimum of two pedestrian seating benches, constructed of quality and durable materials, and shaded to a minimum of 75% using minimum 2-inch caliper large canopy drought-tolerant shade trees and/or architectural shade, as approved by the Planning and Development Department.

TABLE 9A: OPEN SPACE AMENITIES MATRIX (PASSIVE OPEN SPACE)

	LANDSCAPED TRAIL CORRIDORS	WASH CORRIDORS	PRESERVE OPEN SPACE
Multi-Use Trails	✓	✓	✓
Shared-Use Paths	✓	✓	
Minor Trailhead			✓
Major Trailhead			✓
Shade Structure	✓		
Seating	✓	✓	✓
Retention Basins	✓		
Native Planting Areas	✓	✓	✓
Large Group Ramadas / Picnic Areas			
Small Group Ramadas	✓		
Interpretive Signage	✓	✓	✓
Natural Desert Preservation Area	✓	✓	✓
Non-Programmed Turf Areas	✓		
Signage and Wayfinding	✓	✓	✓



TABLE 9B: OPEN SPACE AMENITIES MATRIX (PARKS)

			NEIGHBORHOOD PARK	POCKET PARK
PASSIVE AMENITIES	Natural Surface Trails		✓	✓
	Paved Paths		✓	✓
	Minor Trailhead			
	Major Trailhead			
	Shade Structure		✓	✓
	Seating		✓	✓
	Demonstration Garden			
	Amphitheater / Event Area			
	BBQ		✓	✓
	Retention Basins		✓	✓
	Native Planting Areas		✓	✓
	Large Group Ramadas / Picnic Areas		✓	
	Small Group Ramadas		✓	✓
	Interpretive Signage		✓	✓
	Natural Desert Preservation Area		✓	✓
	Non-Programmed Turf Areas		✓	✓
	Drinking Fountains			
ACTIVE AMENITIES	Pickleball/Tennis Courts		✓	
	Large Playground		✓	
	Tot-Lot		✓	✓
	Multi-Use Fields		✓	
	Aquatic Center			
	Recreational Pool			
	Baseball / Softball Field			
	Soccer / Football		✓	
	Basketball		✓	✓
	Disc Golf		✓	
	Splash Pad / Water Feature		✓	
	Parkour Course		✓	
	Volleyball (Sand or Court)		✓	
	Skatepark / Bikepark			
	Recreation / Community Building			
	ECHO Play		✓	✓
OTHER	Dog Park		✓	
	Outdoor Adventure Park		✓	
	Off-Street Parking			
	Restrooms			
	Signage and Wayfinding		✓	✓
	Activity / Field Lighting			
	Low-Level Landscape Lighting		✓	✓

6.7.a. Public Art Installation Standards – NorthPark

Purpose

Public art in NorthPark shall embody a harmonious fusion of the Sonoran Desert's natural resilience and the region's emerging technological identity. Artworks will serve as visual and experiential bridges between ecological heritage and future-forward innovation, reinforcing NorthPark's role as a sanctuary for creativity, sustainability, and high-tech living.

1. Applicability

Public art shall be required in the following development scenarios:

- Commercial or Employment Projects
 - Threshold: Projects larger than 5 acres
 - Location: Art must be visible from an arterial or collector frontage, or placed within a publicly accessible space (e.g., plaza, courtyard)
- Multi-Family Residential Projects
 - Threshold: Projects with more than 250 units
 - Location: Art must be visible from an arterial or collector frontage

2. Art Element Requirements

- Minimum Size:
 - Projects under 15 acres: 100 sq ft
 - Projects 15 acres or greater: 200 sq ft, with at least 100 sq ft per element
- Type:
 - May be fixture-type (e.g., sculpture, kinetic installation) or mural-type
 - Must be permanent in nature
- Artist Selection:
 - Commissioning of local or regional artists is strongly encouraged
 - Art must be unique to each project

3. Thematic Integration: Sonoran Desert + Technology

Core Themes for Artistic Integration

1. Sonoran Resilience

- Art should reflect the rugged beauty and ecological intelligence of the desert:
- Use of natural materials (stone, sand, native wood)
- Visual storytelling of desert flora, fauna, and landforms
- Integration of water, heat, and energy themes (e.g., solar-powered installations)

2. Technological Prowess

- Art should celebrate NorthPark's role as a tech frontier, including:
- Interactive or kinetic sculptures powered by renewable energy
- Data-driven art (e.g., visualizations of climate, mobility, or community engagement)
- Smart materials or embedded sensors that respond to environmental conditions

3. Biophilic & Healing Design

- Art should promote wellbeing through nature-focused healing, such as:
- Installations that encourage reflection, mindfulness, and sensory engagement
- Use of light, sound, and movement to evoke natural rhythms



- Spaces that blend indoor/outdoor experiences
4. Multimodal & Connected Living
- Art should support placemaking through mobility and connection:
 - Wayfinding elements that double as artistic landmarks
 - Sculptures or murals along trails, greenways, and transit corridors
 - Art that celebrates electric mobility, e-bikes, and future transportation
4. Implementation Guidance
- Projects smaller than 10-acres:
 - Encouraged but not required to include art unless part of a larger public or mixed-use initiative
 - Lifestyle Mixed-Use (MU) Zones:
 - Already governed by design standards that support cultural and artistic integration
 - Art proposals shall be reviewed during the entitlement or site plan process.

6.8. Shading

Solar protection is an essential design element that contribute to pedestrian comfort and overall energy efficiency within the community. Shading strategies will vary for different uses and locations within the NorthPark community.

Shading along sidewalks, pathways and gathering areas in lower intensity areas of the community will rely largely on vegetation for natural sources of shading. In the higher intensity portions of the NorthPark community where building forms may dominate the environments, the use of shading elements such as suspended canopies, posted canopies, awnings, building overhangs, screen walls, window eyebrows, shade sails, and pergolas should be considered for all structures. The following shading requirements shall apply.

TABLE 10: SHADING STANDARDS	
Public or Private Sidewalks and Shared Use Paths on Arterials, Collectors, and Local Streets	75%
Multi-Use Trails	75%
Public and Private Pedestrian Pathways and Paseos	Minimum 75% (of 75%, a minimum 50% shall be achieved by shade trees)
Improved Open Space	50%
Usable Public Space	50%
Gathering Areas	50%
Bike Lanes	75%
Public and Private Bicycle Parking and Repair Stations	75%
Corners of Traffic Signals	75%, to allow for pedestrians to wait comfortably for the signal to change (50% within 10 feet of pedestrian indicator in current application)
Transit Stops	75%, achieved by shade trees on both sides and behind the transit stop
Surface Parking Area in MDPs 1, and 3-6	25%, achieved by shade trees
Surface Parking Area in MDP 2 ⁽¹⁾	25%, achieved by shade trees or solar panel shade structures
NOTES: WHERE UTILITY CONFLICTS EXIST, THE DEVELOPER SHALL WORK WITH THE PLANNING AND DEVELOPMENT DEPARTMENT ON AN ALTERNATIVE DESIGN SOLUTION CONSISTENT WITH A PEDESTRIAN ENVIRONMENT.	
(1) CALCULATED PER PARCEL UNDER SINGLE OWNERSHIP	

6.9. Lighting

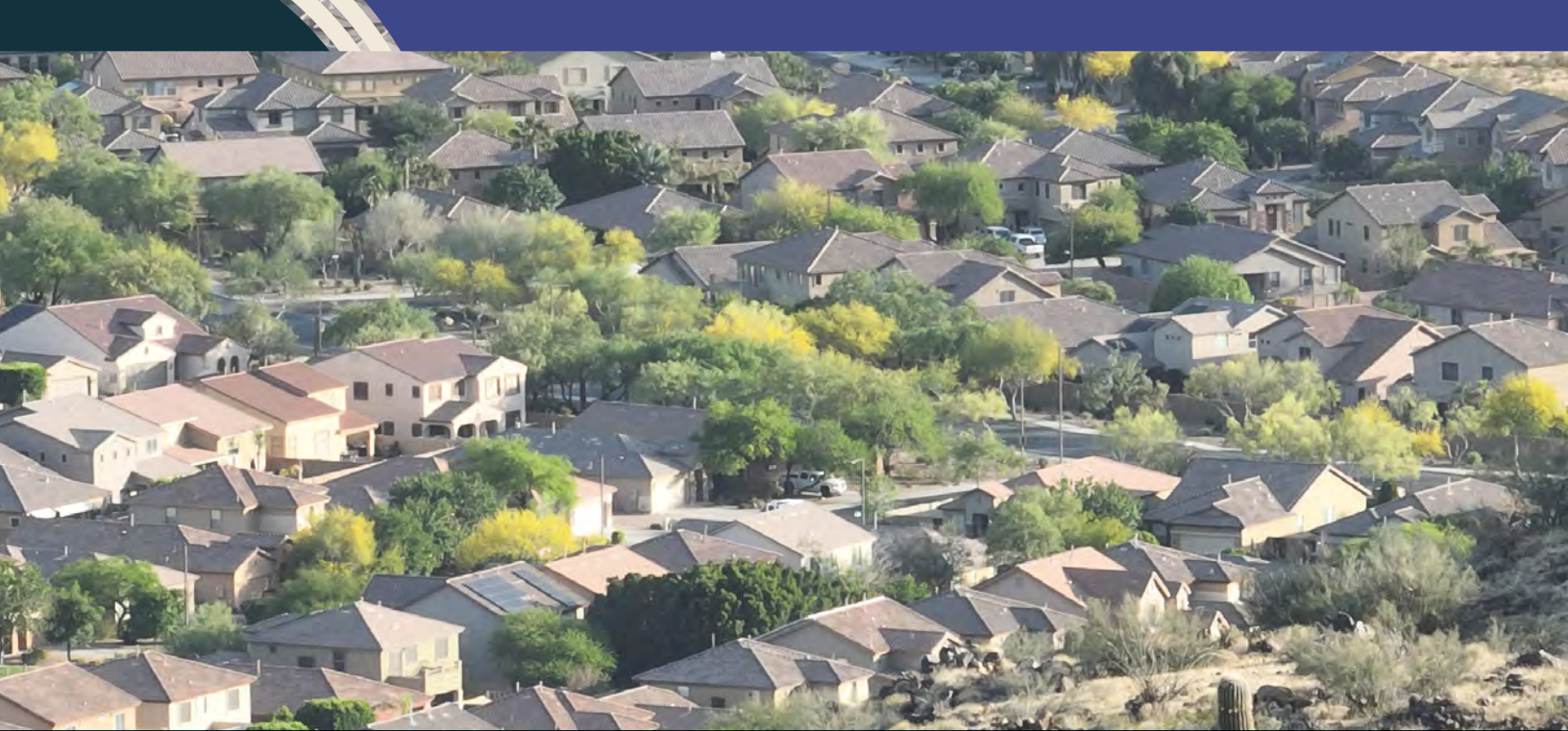
Street lighting shall be defined during the MDP master plan level and shall be in conformance with Section 507 Tab A, Section 654, and Section 704 of the Phoenix Zoning Ordinance. Additionally, lighting levels shall not exceed 2,700 kelvins.

6.10. Hillside Development

The framework of this PUD identifies a methodology for donating a minimum of 2,095 acres (approximately 33% of the NorthPark property) to the City of Phoenix for inclusion within the Sonoran Preserve. Hillside density calculations for residential development within NorthPark's hillside areas shall allow the inclusion of adjacent areas identified on the plat or site plan as a Preserve dedication subject to the City's Hillside Ordinance (Section 710) regulations. These areas that fall within the designated Preserve may be used for density calculation purposes only and shall not be subject to any development or improvement with exception of those uses allowed by the Natural Open Space Land Use District. While a majority of the property's hillside areas are contained within the Preserve boundary, there may be areas outside of the boundary on slopes greater than 10% that allow for development subject to the City's Hillside Ordinance (Section 710) regulations. Maximum density allowed within hillside areas may be less than the base density allowed within any LUD within any MDP based hillside ordinance requirements per Section 710 of the Phoenix Zoning Ordinance. A slope analysis will be required to determine the 10% slope area in each MDP.



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SECTION 7:

DESIGN GUIDELINES



NorthPark



Key Benefits

of Section 507 Tab A and the North Black Canyon Corridor Design Guidelines



1. A sense of place will be established by respecting the natural environment, creating manmade landmarks for public recognition, and using natural and man-made materials.
2. Over **9 miles** of public multi-use trails will be provided along arterial roadways.
3. The creation of and access to views and vistas will be promoted for residents and the public.
4. New public access points will be provided to the Sonoran Preserve.
5. A Master Open Space Edge Treatment will provide over **19 miles** of openness along the Sonoran Preserve.
6. Over **30%** of wash edges will remain open and the natural conditions preserved.

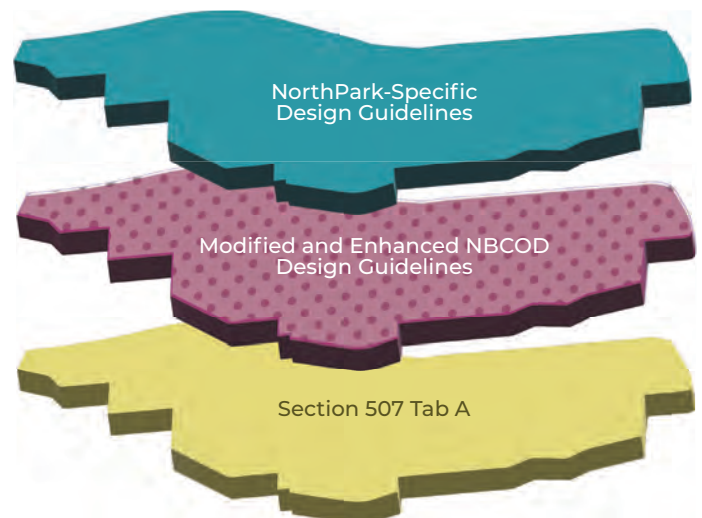
7.1. Purpose

The NorthPark Design Guidelines are general in nature, predominantly meant to guide rather than dictate. The intent is to encourage best development practices in ways that will ensure the both quality and unity is achieved throughout the overall community, with emphasis placed on creating sufficient diversity throughout the natural and built environment.

7.1.a. Design Guideline Framework and Regulatory Intent

It is the goal that development in NorthPark contributes to existing goals of the City of Phoenix and also stands out from surrounding areas as having a distinct and enhanced character that is specific to its unique site conditions. The intent is to encourage best development practices in ways that will ensure that both quality and consistency is achieved within NorthPark.

To accomplish this, NorthPark shall comply with the Phoenix Zoning Ordinance Section 507 Tab A, and the North Black Canyon Corridor (NBCOD) Overlay District Design Guidelines except as modified herein. In addition to these guidelines, the project will incorporate new guidelines that are unique to the NorthPark community.



7.2. Section 507 Tab A Design Guideline Conformance

Section 507 Tab A of the Phoenix Zoning Ordinance provides Guidelines for Design Review that aim to support a diversity of architectural styles, enhancing connectivity and neighborliness, and celebrating the unique desert setting.

Public and private developments within NorthPark will support these same goals by following applicable Guidelines for Design Review found in Section 507 Tab A. All applicable design guidelines in Section 507 Tab A of the Phoenix Zoning Ordinance shall apply to all development within the PUD unless otherwise modified herein.

7.2.a. Modified Design Guidelines:

A. Site Design/Development

2. Landscape Architecture

3.1.10. Trees shall be located adjacent to public and private walkways, and multi-use trails and paths, to provide a minimum of 75% shade and a minimum canopy clearance of 6 feet 8 inches.

3.1.14. A minimum 75% of the landscaped area at maturity (excluding hardscape areas) shall be treated with living vegetation including groundcover, shrubs and trees, as well as inorganic material and an automatic irrigation system.

3. Parking/Circulation

(6.1) Surface Parking Design

6.1.1. Ten percent of the surface parking lot, exclusive of perimeter landscaping and all setbacks, must be landscaped. Landscaping shall be dispersed throughout the parking area.

6.1.7. Surface parking design shall utilize shared access drives with adjacent, similar land use districts or similar uses.

6.1.9. Excessive asphalt/hardscape not needed for adequate vehicular maneuvering or parking, staging or material storage shall be minimized. Surface parking areas shall be minimized by utilizing shared parking models, centralizing parking within parking structures, or other methods that reduce expansive surface parking areas. A parking demand study conducted by a third party registered traffic engineer shall be submitted to the City for review and approval to justify the need of parking in excess of the minimum required by the Zoning Ordinance.

7.2.b. Elevated Design Guidelines:

The following design guidelines from Section 507 Tab A of the Phoenix Zoning Ordinance have been enhanced or elevated from Considerations (C) and Presumptions (P) to Requirements of this PUD.

A. Site Design/Development

1. Desert Preservation

(1.1.) Development shall minimize the removal of existing healthy Sonoran Desert vegetation (trees over 4 inch caliper in diameter) and cacti over 3 feet in accordance with City Native Plant Preservation Standards (Table 1). If removal is necessary, trees and cacti should be salvaged and utilized on site.



2. Grading/Drainage

(2.2) Surface, site drainage and retention shall be designed to avoid hard lined channels.

(2.3) Surface site drainage and retention shall be integrated with the overall landscape design.

(2.5) Required landscape setbacks adjacent to perimeter streets may utilize the required setback for retention provided:

- A maximum 50% of the required landscape setback is devoted to retention.
- The maximum depth of retention within 20 feet of right-of-way is 24 inches.
- Side slopes are a maximum 4:1

3. Landscape Architecture

(3.1) Plant Materials

3.1.1. Development shall minimize the removal of existing, non-native healthy plants (trees 4-inch caliper in diameter or greater) and cacti (6 feet high or greater). If removal is necessary, mature trees shall be salvaged and utilized on site.

3.1.3. Low water use plants that reflect and enhance the image of the Sonoran Desert shall be used.

3.1.5. Any proposed landscape treatment shall be compatible with and relate to any established distinctive character in the surrounding context area.

3.1.9. Coordinate site utility elements such as overhead power lines, transformers, meter boxes, backflow preventers, and fire protection devices, with landscape design to effectively diminish the impact of such elements on the site character.

3.1.11. Pedestrian safety and comfort shall be considered when selecting trees and plant material.

3.1.13. No more than 50% of the landscaped area at maturity or 10% of the net lot area, whichever is less, shall be planted in turf or high-water use plants. Functional turf areas such as in parks, schools, multifamily and single-family common areas, individual single-family residential lots, and golf courses are exempt.

3.1.15. If allowed by specific provisions of the zoning ordinance, the placement of recycling containers in a required landscape setback or required landscaped island shall not result in the elimination of any required trees.

(3.2) Maintenance of Landscape Areas

3.2.1. Native Sonoran Desert vegetation shall not be pruned or removed from areas identified on approved plans as permanent undisturbed open space unless demonstrated to the city that a health, safety or welfare issue exists. This includes removal of dead trees or cacti.

3.2.3. A permanent automatic irrigation system shall be installed to water all trees, cacti, and plants installed in accordance with the approved landscape plans or other development review documents to minimize maintenance and water consumption, and to maximize plant health, survivability, and viability, unless otherwise approved by the Planning and Development Department.

(3.4) Art/Water Elements

3.4.1. Water features, including fountains, shall be sited to allow significant environmental enhancement primarily to on-site and incidentally to off-site users and to minimize water consumption.

3.4.2. If there is public art, it shall be integrated into the overall design of a project.

4. Open Space/Amenities

(4.1) Improved open spaces, plazas and courtyards shall be shaded a minimum 50% and functional in terms of area, dimensions, location and amenities to promote safe human interaction.

5. Parking/Circulation

(6.3) Access/Circulation

6.3.2. The site plan shall clearly express the separation between pedestrian and vehicular traffic.

6. Walls/Fencing

(7.1) Walls adjacent to arterial and collector streets shall have a finished appearance. Untextured, unfinished block and reinforced, mortar-free concrete walls shall be avoided.

(7.2) Wall lengths exceeding 50 feet adjacent to arterial and collector streets shall be articulated or contain substantial landscaping to break the continuous wall surface and create varying shading patterns.

7. Site Lighting

(8.1) All on-site lighting shall be shielded to prevent direct visibility of the light source from adjacent property.

(8.2) Lighting shall be shielded with cut-off fixtures and deflectors to direct light downward and limit on-site lighting levels to a maximum of 1-foot candle at the property line.

(8.5) Service areas and other screened areas shall have proper security lighting.

(8.6) Lighting fixtures and illumination shall be of similar design and character as the project's building components.

(8.7) Site lighting shall be provided to ensure personal safety at building entrance/exits, and in public assembly and parking areas.

(8.8) Recommended lighting levels and uniformity ratios established by the Illumination Engineering Society of North America (IESNA), as may be modified by the City of Phoenix, shall be incorporated in lighting design for on-site non-residential and multi-family development.

B. Building Design/Construction

1. Placement/Orientation

(1.2) The proposed building orientation shall respect the orientation of surrounding buildings and surrounding streets by maintaining continuity of pedestrian routes and promoting opportunities for pedestrian interaction at the street level.

(1.5) Natural surveillance shall be maximized in project design to encourage easy observation of people and property near entryways, pathways, public spaces and parking lots.



(1.6) Projects or portions of projects in public view (adjacent to streets and residential areas) shall demonstrate a greater level of design sensitivity and detail to visual image than other development.

2. Height, Bulk, and Area

(2.2) Parapet walls shall not extend beyond the building height more than 5 feet for a building that is 20 feet or less in height or 7 feet for a building above 20 feet in height unless greater height is needed to screen mechanical equipment.

3. Architecture

(3.1) Architecture and applied treatments that express corporate identity shall be tempered to provide unique structures that complement and blend with their immediate context.

(3.3) Architectural design shall take into account the solar consequences of building height, bulk and area.

(3.2) Parking shade and canopy structures shall reflect the architecture of the primary buildings and have minimal visual impact to the public streetscape and adjacent residential areas.

(3.4) Building exposures subject to solar intensity, should minimize the use of glass and provide landscaping and architectural surface relief to reduce heat gain on the building itself.

4. Articulation

(4.1) Building facades visible from public streets and adjacent to residential property that exceed 100 feet shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies.

(4.2) The building facade shall be designed to provide a sense of human scale at ground level by providing a clear architectural distinction between ground floor levels and all additional levels.

(4.3) Building entrances shall be identifiable and directly accessible from a public sidewalk.

5. Colors/Materials

(5.1) All sides of a structure shall exhibit design continuity and contain multiple exterior accent materials that exhibit quality and durability. Examples include materials such as brick, stone, colored textured concrete or stucco. Roof materials may include treated metal, concrete, and clay tiles, decorative wood, or similar materials.

(5.2) Multiple buildings on the same site shall borrow and incorporate (not duplicate) architectural styles, materials, forms, features, colors and compatible elements from the same site. These shall include: continuation of distinctive rooflines, covered walkway alignments, consistent detailing of finish, accent features on all visible sides of structures, compatible shapes, material, wall and landscaping treatment.

(5.3) The extensive use of the following architectural treatments and details are strongly discouraged and shall be limited in their proposed application:

- Colored plastic or fiberglass
- Shiny metal details or reflective materials
- Untextured concrete, unfinished block, steel panels, or asphalt shingles as a predominant exterior material.

(5.4) Corporate colors, associated graphics, and highly contrasting bands of vibrant colors on buildings and on accessory structures (excluding signage) shall be used as an accent feature with restraint as a minor element of the building's exterior.

(5.5) Pre-engineered metal building visible from public streets or residential areas should have at least 30% of exterior elevations composed of alternative building materials such as glass, brick, masonry, stone and stucco.

6. Public Amenities/Environmental Protection

(6.1) Public and private pedestrian walkways and gathering areas shall be shaded (minimum 75% at maturity) for the health, safety, and welfare of pedestrians and to encourage use.

(6.3) There shall be convenient accessible pedestrian walkways between bus stop/shelter and the building entry and/or activity area(s).

(6.4) Where provided, bus shelters shall be incorporated in the building design and in accordance with the "transit stop guidelines for developers" published by the Public Transit Department.

7. Screening

(7.1) Service areas shall be located away from public view.

(7.3) All screening shall be architecturally compatible with the primary structure.

(7.5) All new or relocated electric lines 12 kv and smaller, communications and cable television and all on premise wiring shall be placed underground in all developments where visible from streets or adjoining properties.

8. Hillside Development Guidelines

(9.4) Disturbed hillside areas shall be revegetated with irrigation to prevent erosion and establish plant material of similar type, size, coloration and amount as the context area when mature.

C. Subdivision and Single-Family Detached Design Review

1. Streets/Circulation

(1.8) Residential and non-residential projects shall use upgraded or custom street lights and street signs as approved by the Street Transportation Department and consistent with the adopted Street Lighting Policy.



2. Single-Family Detached Design Review

(8.1) Subdivision Design. Provide subdivision designs which address the goal of diversity by incorporating these or substantially equivalent design characteristics: 1) Vary the building's relationship to the street, 2) Vary the driveway orientation or location, 3) Vary the relationship between buildings, and 4) Vary street orientation.

Design Guidelines: All are required (R*), unless otherwise noted.

HOUSE WIDTH(1)		≤40'	>40' TO 50'	>50' TO 59'
Vary building's relationship to the street:		1 of A or B	1 of A or B	1 of A or B
A	Stagger front setbacks for covered building elements by a minimum of 5 feet for 25% of each block face.			
B	Provide curvilinear or angled streets.			
Vary the driveway orientation or location for 50% of the lots in each subdivision by using one or a combination of the following design guidelines:		1 (or a combination) of C, D, E or F	1 (or a combination) of C, D, E or F	1 (or a combination) of C, D, E or F
C	Provide elbow, circular or angled driveways.			
D	Provide alternate driveway surfaces, such as exposed aggregate, tire strips, patterns, or textures, etc.			
E	Provide shared driveways for 25% of each block.			
F	Provide side-entry garages for all corner lots, excluding collectors or where prohibited by site visibility regulations.			
Vary the relationship between buildings:		1 of G or H	1 of G or H	1 of G or H
G	Provide a combined side yard of 10 feet for 60% of the lots on each block face.			
H	Vary the lot width by 5 feet for 20% of the lots on each block face.			
Vary street orientation:		R*	R*	R*
I	Provide street patterns that minimize the impact of sequential garages, e.g. cul-de-sac, short block lengths, eyebrows, etc.			
(1) Lots greater than 65 feet in width are exempt.				

(8.5) Individual Unit Design Standards. The goal of these individual unit design standards is to ensure a minimum level of design quality for detached single-family dwelling units, duplexes, manufactured homes, and modular homes. For information on relief from requirements (R) and (R*), and presumptions (P), refer to Section 507.C of the Zoning Ordinance.

(b) The front yard, excluding areas approved for vehicle access, should be landscaped with the following elements: (R)

- (1) A minimum of one, two-inch caliper or greater, drought resistant, accent tree.
- (2) A minimum of five, five gallon or greater, drought resistant shrubs.
- (3) Dustproofed with ground cover, turf, rock, decomposed granite, or equivalent material as approved by the Planning and Development Department.
- (4) An irrigation system.

(f) All dwelling units should provide the following architectural design elements: (R)

- (1) Consistent detailing and design for each side of the building.
- (2) Window and door trim as well as accent detailing should be incorporated and vary from the primary color and materials of the building.

(3) Garage doors should be provided with windows, raised or recessed panels, architectural trim, or single doors.

(4) Materials such as untextured concrete, unfinished block, steel panels, and shiny or highly reflective detailing should not be used as a predominant exterior material.

D. Specialized Uses

1. Large Scale Commercial Retail.

(1.2) Compatibility

1.2.1. Multiple buildings on the same site shall borrow and incorporate (not duplicate) architectural styles, materials, forms, features, colors and compatible elements from the same site. These should include: continuation of distinctive rooflines, covered walkway alignments, consistent detailing of finish, accent features on all visible sides of structures, compatible shapes, material, wall and landscaping treatment.

(1.4) Building Accents

1.4.1. Where building accents are used, they shall be built with quality materials or contain architectural detailing. The sole use of finishes such as paint, graphics, forms of plastic, or metal panels shall not be used.

E. Specialized Areas

1. Sonoran Preserve Edge Design Guidelines

The following standards are applicable to the Preserve edge within the NorthPark PUD.

(3.3) Grading/Drainage

3.3.1. Box gabions and concrete channels shall not be allowed unless designed to look natural in the desert setting through color, texture, landscaping or other means.

3.3.2. Riprap shall not be used at the Sonoran Preserve edge to mitigate drainage unless used with restraint and designed to blend with the desert setting through color, texture, soil plating, landscaping and other means.

3.3.3. Where culverts are constructed, concrete shall be minimized while providing the opening required by the hydrology and to blend with the adjacent desert via materials and landscaping after construction.

(3.4) Walls/Fencing

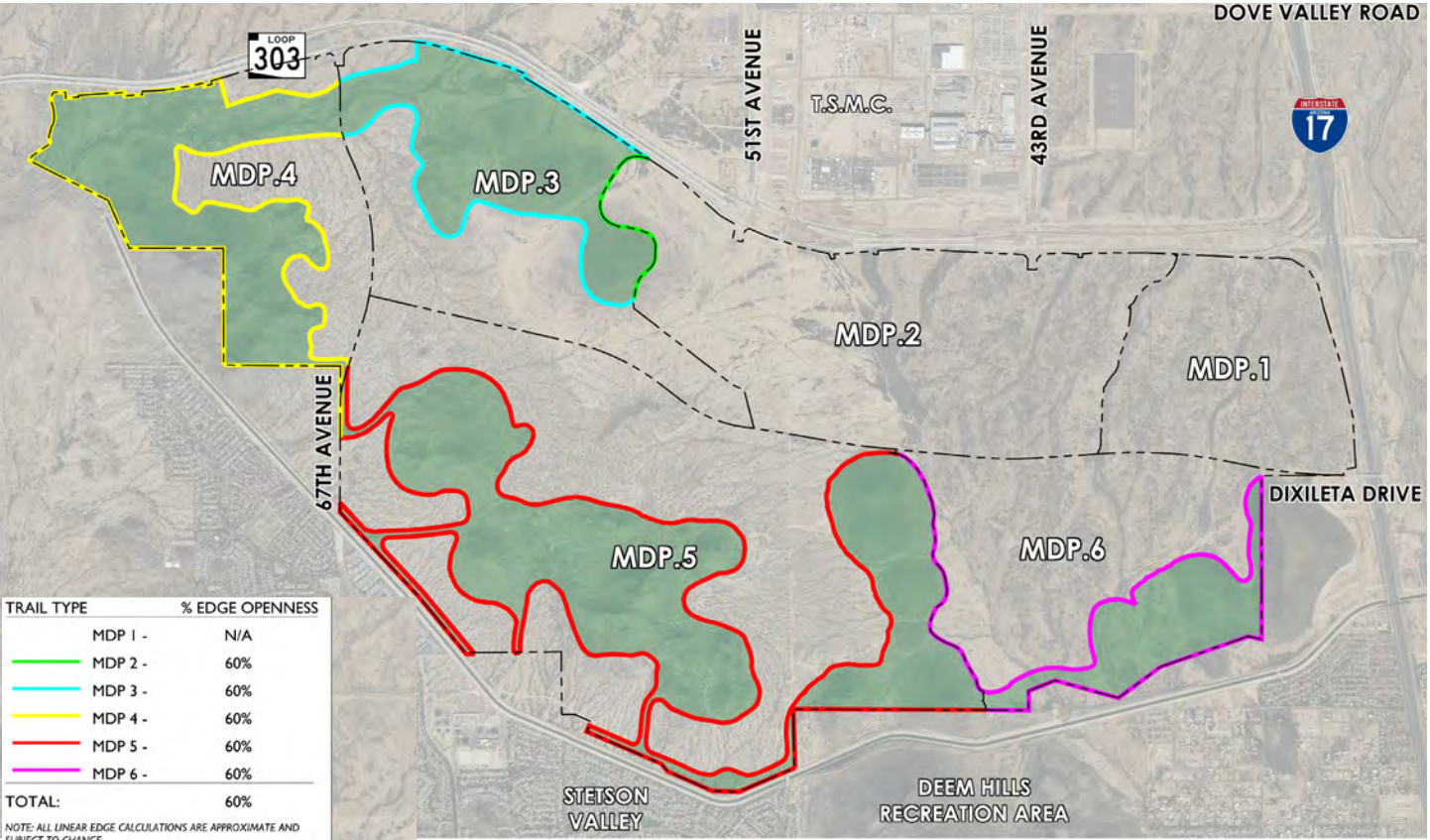
3.4.2. Walls and fences should be designed to blend into the desert environment by addressing the color, materials, and alignment of the structure. (R)

(3.6) Trails/Paths

3.6.3. All residential development shall provide a minimum of one unrestricted public access to a perimeter trail in the Sonoran Preserve for neighborhood use at a rate not to exceed four access points per mile of the Sonoran Preserve Edge, or as approved by the City. There shall be no required access points within a gated community except to serve the residents of such community and access points shall not be required within 100 feet of a gated community boundary. Site conditions may impact the exact location of the access point. The width of the access shall be a minimum of 40 feet and a maximum of 50 feet.



EXHIBIT 11: EDGE TREATMENT MASTER PLAN



(3.7) Open Edge Treatment

In conformance with the Sonoran Preserve Edge Treatment Guidelines (Section 507 Tab A.II.E.3. of the Phoenix Zoning Ordinance), 60% of the Sonoran Preserve edge on an MDP by MDP basis within the NorthPark community will require compliance with the open edge treatment guidelines.

Edge openness minimum requirements for the overall NorthPark PUD are conceptually established in **Exhibit 11: Edge Treatment Master Plan**. More specific depictions of open edge treatment shall be approved in conjunction with Master Edge Treatment Plan submitted with future plans within Master Development Parcels or functional segments or master plan areas.

(3.9) Multi-family

3.9.4. In multi-family development adjacent to Sonoran Preserve or adjacent private undisturbed open space, a minimum of 50% of the required improved private open space shall be located adjacent to the preserve edge.

(3.12) Commercial Buildings Adjacent To Preserve

3.12.2. Commercial uses adjacent to the Sonoran Preserve shall include public pedestrian access through the site to the public open space and connected to designated trailheads per the approved Sonoran Preserve Master Edge Plan. Design for access to the Sonoran Preserve at all locations shall be approved by the City.

7.3. North Black Canyon Overlay District (NBCOD) Design Guideline Conformance

All development within the NorthPark PUD shall comply with the North Black Canyon Overlay District (NBCOD), in accordance with Section 654 of the Phoenix Zoning Ordinance, except as modified below. The following design guidelines are selected NBCOD design guidelines that either contain modified language (Modified Design Guidelines) or are elevated from Presumptions (P) to Requirements of this PUD (Elevated Design Guidelines).

7.3.a. Modified Design Guidelines

II. Design guidelines common to all development areas (residential and commercial)

1. Structures

II.B.10. View fencing shall consist of a maximum 6-foot high fencing, which may have a solid base of no more than 4 feet above finished grade of the lot, with the upper portion open to allow visibility, such as with a wrought iron fence. (R)

II.B.11. When adjacent to the landscape area residential subdivision and commercial perimeter walls and other walls along arterial or collector streets shall vary by a minimum of 4 feet every 400 lineal feet to visually reflect a meandering or staggered setback; or design features shall be used to break up the appearance of a long, straight wall. Such design features may include, but shall not be limited to, planters, pony walls, columns, or alternative contrasting materials or finishes, and dense landscaping adjacent to the wall to screen it. If design features other than meandering or staggered setbacks are used, the developer shall demonstrate how the design visually breaks up long, straight wall appearance and the plan must be approved by the City. (R)

II.B.12. Perimeter walls shall be designed to complement the natural context of the NorthPark property. Stone detail of rock, stone veneer, stonework or faux stone are encouraged to be incorporated in the perimeter walls. In place of stone or rock materials, wall height, texture, site placement, linear or curvilinear nature, or relationship to surrounding landscaping or stone outcroppings may achieve a similar effect.

2. Wash Corridors, Open Space and Retention Basins

II.D.14. Significant views of the Sonoran Preserve shall be maintained from trail and roadway corridors.

3. Streetscape

II.E.9. Parking lots located adjacent to arterials shall be screened along the roadway by a wall incorporating stone, stone veneer, faux stone or rock, or by an earth berm rising a minimum of 3 feet above the grade of the parking lot. In place of stone or rock materials, wall height, texture, site placement, linear or curvilinear nature, or relationship to surrounding landscaping or stone outcroppings may similarly complement the natural surrounding area.

IV. Residential

5. Single-Family

III.C.7. Along Sonoran Preserve edges, where a building envelope is not used, no more than 50% of the detached single-family homes shall have a building height greater than 1-story or 24 feet measured to top of the parapet or the top of the ridge on sloping roofs. This restriction shall not apply to alternative single family detached product types (such as auto-court cluster and alley loaded) where a single story product elevation is not available. Where building envelopes



are used, there is no restriction on the number of homes greater than 1 story, except as noted below. Regardless of lot grading, no more than 2 detached single-family homes above 1 story or 24 feet may be adjacent to one another. A chimney may be constructed to a maximum of 3 feet above the highest point of the structure.

7.3.b. Elevated Design Guidelines

VI. Design guidelines common to all development areas (residential and commercial)

7. Structures

II.B.5. Signs shall be designed to reflect the desert character of the area. Native materials, such as rock, stone, stone veneer or faux stone shall be used. Design features, such as color or materials, should be incorporated in the sign structure to complement the architecture on-site. Masonry signs may be constructed as an extension of a wall. (R*)

II.B.13. Building and wall colors shall be muted and blend with rather than contrast strongly with the surrounding desert environment. A color palette shall be provided to the Planning and Development Department Site Planner for review and approval. Reflective materials shall not be used. Accent colors may be appropriate, but shall be used judiciously and with restraint. (R*)

8. Wash Corridors, Open Space and Retention Basins

II.D.1. All washes and floodplains identified on ***Exhibit 13: Washes, Floodplains and Bridges (NBCOD Map B)*** shall be preserved in an undisturbed condition.

II.D.14. Significant views of the Sonoran Preserve shall be maintained from trail and roadway corridors. (P)

9. Streetscape

II.E. 51st Avenue, 43rd Avenue and Dixileta Road are planned as major arterial streets requiring a minimum 140 feet of right-of-way for 6 lanes, with bicycle lanes and a sidewalk set back from the curb. 67th Avenue shall be designed to include similar improvements within a minimum 130 right-of-way. Public multi-use trails are designated on at least one side of all arterial and collector roadways. (R)

II.E.5. The landscape setback along Dixileta Drive, as required by the appropriate land use district, shall at a minimum meet the average required depth, but shall vary in depth by minimum of 2 feet to create a meandering or staggered wall setback. Walls within or adjacent to the landscape area should vary by minimum of 2 feet every 400 lineal feet to visually reflect the meandering or staggered area, or design features should be used to break up the appearance of a long straight wall. Such design features shall include, but shall not be limited to, planters, pony walls, and dense landscaping adjacent to the wall to screen it. If design features other than meandering or staggered setbacks are used, the developer shall demonstrate how the design visually breaks up the long straight wall appearance and the plan must be approved by the City.

II.E.10. A public multi-use trail or shared use path is identified and is to be provided along at least one side of all arterial and collector roadways, in addition to the required sidewalk (except where shared-use paths are provided in lieu of a sidewalk), with the exact alignment to be approved by the City.

7.4. NorthPark Design Guidelines

The following are additional design guidelines applicable to development within this PUD.

7.4.a. Trail and Path Guidelines

All Shared Use Path (SUP) and Multi-Use Trail (MUT) segments shall be located within corridors of no less than 50 feet in width unless located adjacent to or within the public right-of-way.

Rationale: Designating minimum corridor width requirements ensures accessibility for a variety of uses, space for the appropriate improvements and landscaping and for maintenance.

All SUP and MUT segments shall be located within a minimum of a 30-foot-wide public shared-use-path easement (SUPE) or multi-use trail easement (MUTE), in accordance with the MAG supplemental detail, and as approved or modified by the Planning and Development Department. SUPEs may be reduced to 15 feet if the SUP is constructed within public right-of-way in lieu of the sidewalk. Additionally, the NorthPark Paseo Loop must be located within an open space corridor that is a minimum of 50-feet wide.

Rationale: Placing trails within public rights-of-way or easements ensures access for public use and maintenance.

All public shared use paths (SUPs) and multi-use trails (MUTs) shall be shaded a minimum of 75 percent to promote pedestrian comfort and integration with the natural environment.

Rationale: Shaded walkways enhance the pedestrian environment and are necessary for pedestrian health, safety, and welfare while providing a means to integrate with the natural environment.

The edge of the paved path shall be no closer than 10-feet from a property line of a residential dwelling unit.

Rationale: Requiring a minimum separation between the path and private spaces will assist with reducing potential impacts upon residential uses, provide additional opportunities for shading and buffering, ensure privacy for adjacent residents, while providing an accessible paths and trails.

With the exception of path intersections, 90-degree turns shall be avoided.

Rationale: Reducing the quantity of ninety-degree turns allows for a variety of users to use the paths with greater ease and increase overall safety. Inclusion of ninety-degree turns increases hazards such as blind spots and opportunities for accidents due to turn radius limitations.

Where major trail or path intersections occur, wayfinding and distance signage shall be provided that orient users to popular destinations or landmarks.

Rationale: Wayfinding and distances promote user safety while using trails and path. Additionally, they reduce user conflict, and keep users informed and connected while they travel the trail.

Where pedestrian walkways, MUTs, SUPs, and Paseos cross a vehicular path or street, the pathway shall be constructed of decorative pavers, stamped or colored concrete, or other alternative materials, that visually contrasts parking, drive aisle, and street surfaces.

Rationale: Change in materials, colors, textures, will provide clear visual cues that signal potential hazards or designated pathways for both pedestrians and vehicular users.



Enhanced pedestrian connections shall be designed and constructed at all public street crossing locations to interconnect the pedestrian trails throughout the entirety of the site.

Rationale: Providing enhanced and ample connections promotes the use of these trails and increases the opportunities for natural surveillance that discourages criminal behavior and enhances public safety through user activity.

To ensure seamless integration and accessibility, individual developments or platted subdivisions adjacent to a multi-use trail, shared-use path, or neighborhood trail corridor shall provide direct pedestrian access to the trail, path, or neighborhood trail corridor. This access shall be provided for every 600 lineal feet of frontage along the trail, path, or neighborhood trail corridor on each side. However, the exact spacing and design of these access points may be subject to adjustment based on:

- **Existing conditions:** Topography, natural features, or existing infrastructure that may impact the feasibility or desirability of access points at strict intervals.
- **Connectivity to public spaces:** Opportunities to align access points with existing or planned public amenities, parks, or community gathering areas.
- **Safety and security considerations:** Ensuring that access points are well-lit, visible, and designed to promote user safety.
- **Overall network integration:** How individual access points contribute to a comprehensive and user-friendly pedestrian network.

The specific location and design of these access points will be reviewed during the development application process to ensure they best serve the community while maintaining the integrity and functionality of the trails and paths.

Rationale: To ensure seamless integration and accessibility, well designed access points must be provided to ensure cohesive experience for all users.

A. NorthPark Paseo Loop Path

As conceptually shown in **Exhibit 10: Master Trails Plan**, a portion of the Share Use Path network within the NorthPark community has been conceptually shown as a double paseo 'loop'. This paseo is intended as a combination of on-street and off-street segments that provide connectivity to all portions of the community. The paseo is highlighted on **Exhibit 12: NorthPark Paseo Loop**, and the alignment shall follow the intent of the conceptual alignment shown. Any MDP that includes a segment of the paseo shall be required to show the alignment of the paseo on the MDP master plan, including connectivity with segments on adjacent MDPs.

Rationale: Inclusion of the Paseo, on multiple plans, including the Master Trails Plan and appropriate MDP master plans, will show the path at various scales and contexts allowing viewers a chance to understand how integrates through various perspectives. This will also assist with providing appropriate connections, access points, and other features.

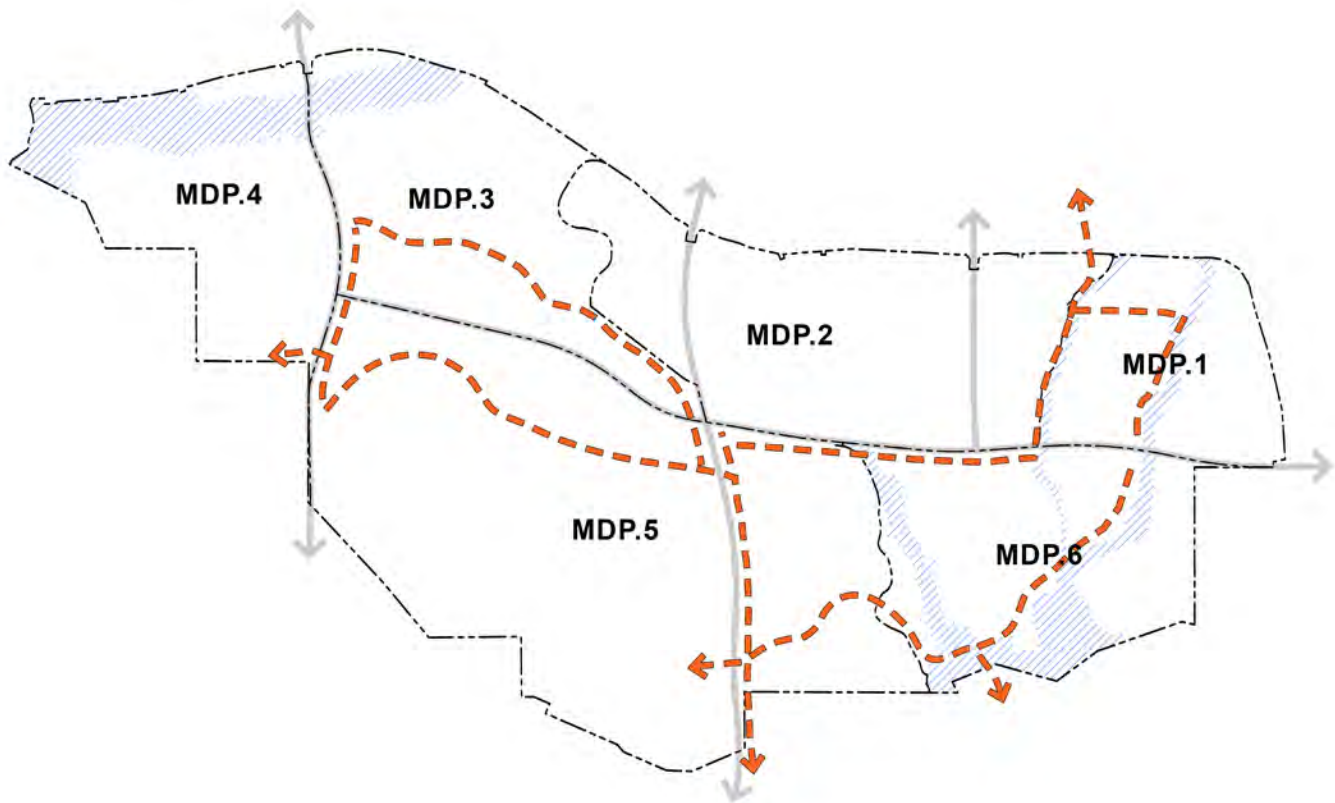
The Paseo shall comply with Section 1304.H of the Phoenix Zoning Ordinance.

Rationale: Adherence to these guidelines will ensure adherence to standards that expected of all trails and paths within Phoenix.

The Paseo shall be a minimum of 10 feet in width and constructed of a concrete surface.

Rationale: The Paseo needs to accommodate a variety of users and different directions of traffic.

EXHIBIT 12: NORTHPARK PASEO LOOP



The alignment of the NorthPark Paseo Loop shall provide convenient connections to each Land Use District, trails along washes, parks, and to the Sonoran Preserve.

Rationale: The alignment of the Paseo provides additional connectivity between the multiple trails, paths, sidewalks, land use districts, and more within the area and contributes towards a more robust network for non-vehicular users.

Neighborhood trail alignments shall be documented on the MDP master plans and demonstrate connectivity to the higher hierarchy trails and pathways identified on the Trails Master Plan. (R)

Rationale: Consistency between provided plans ensures proper construction of the anticipated trails and contributes towards creating a well-connected network.

Where SUP and MUT alignments intersect with roadways, entryways, or commercial driveways, the use of bollards or other similar elements shall be provided to ensure for safe crossing zones. Path alignment may also jog in order to slow speeds and ensure pedestrians and bicyclists look towards vehicle traffic prior to crossing.

Rationale: Creating visual and physical cues to users of various modes of transportation increases the overall health, safety, and welfare of all users by decreasing user conflicts at these intersection points.



Where the Paseo is located between privacy walls for a distance of 300 feet or longer, it is required that corridor widths greater than 50 feet be provided to avoid creating extended narrow corridors. (R)

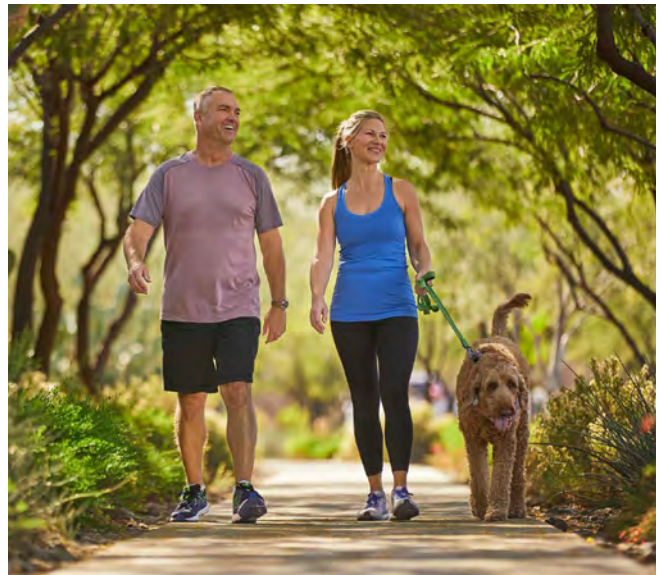
Rationale: Narrow corridors often create environments that do not allow users and generally diminishes the overall user experience.

Where the Paseo is located next to washes, natural open spaces, or parks, path or trail connections shall be provided to secondary trail or path alignments within these areas as conditions reasonably allow.

Rationale: Secondary trails provide opportunities to expand the overall trail and path network through alignment extensions that penetrate into communities and public spaces not located directly on primary corridors.

For segments of the Paseo that are adjacent to collector roadways, the path shall be separated from the back of sidewalk or back of curb by a landscape area that is a minimum of 8 feet in depth. Where unique conditions warrant, alternative separation design may be considered.

Rationale: The separation of sidewalks/ landscape areas and the Loop provide for higher safety conditions, improved user experience, and clearer purposes for each path or landscape area.



B. Neighborhood Trails

Neighborhood trails shall be provided through both residential and non-residential areas and shall facilitate connection opportunities between larger community-wide trails and paths with schools, parks, community centers, open spaces, and public gathering and activity spaces.

Rationale: When trails facilitate connection opportunities, it increases the overall user activity on these trails and at the destinations. A natural by-product of this increased activity is the built-in natural surveillance that increases the overall safety of both the trails and destinations.

Neighborhood trails may elect to be constructed of natural surface, concrete or other stabilized surface, meeting ADA accessibility requirements, and shall be characteristic of the adjacent context (i.e. design natural surface pathways near natural areas).

Rationale: Trails should be constructed in a manner that allows for a safe and stabilized natural surface that allows users to experience a nature-based context in character with Preserve areas within the community.

Neighborhood trails shall be shaded a minimum of 75%.

Rationale: Shaded walkways promote usability for pedestrians and cyclists during extreme seasonal periods that may otherwise prevent or limit usage.

Where neighborhood trails are not located adjacent to streets, pedestrian lighting shall be provided to allow for safe and comfortable use during nighttime hours.

C. Singletrack Trails

Singletrack trails shall be located in locations where a more primitive hiking or biking experience is desired. Single track trails may be located along secondary natural wash and open space corridors and within corridors that provide linkages to the Preserve where similar trail types are provided.

Rationale: Singletrack Trails provides users that want to experience a close connection to nature an opportunity to do so while minimizing disturbance and increasing connectivity to existing networks.

Singletrack trails shall not have lighting or shading requirements.

Rationale: Singletrack trails are intended to emulate the experience of traversing the natural desert environment which includes a limited use of lighting.



7.4.b. Site Design / Development

D. Roadways and Driveways

All landscape areas within arterial and collector roadways and adjacent landscape setbacks shall be designed to achieve a minimum of 75% live coverage at maturity to promote the natural desert character of the community.

Rationale: Vegetation that is aligned with the natural desert character reduces the overall water demand when compared to those vegetation materials that do not promote this character.

Hardscape elements within arterial roadway corridors shall generally adhere to a common thematic style of materials and colors to promote character uniformity throughout the NorthPark community. These themes shall be representative of the native materials and Sonoran Desert context of the property.

Rationale: Hardscape elements within arterial roadway corridors contribute towards how the overall areas fits into the context of its surroundings.

Primary entry/exit drives onto arterials or collectors shall incorporate decorative pavers, stamped concrete, or similar alternative material.

Rationale: Change in materials, colors, textures, will provide clear visual cues that signal potential hazards or designated pathways for both pedestrians and vehicular users.

Traffic calming measures shall be provided at entries and exits along major arterial and collector streets to slow down vehicular speeds as they approach sidewalks and trails.

All arterial and collector roadways shall provide a detached shared use path or multi-use trail along at least one edge of the roadway in addition to detached sidewalks, unless specified otherwise by this PUD. (R)

Rationale: Well-connected and complete networks should be available for pedestrian and other active modes of transportation, not just for vehicular users.

E. Surface Parking Design

Parking areas shall be buffered from adjacent residential properties and screened from streets with a screen wall or landscaping that is a minimum of 3-feet in height.

Rationale: Buffering and screening requirements reduces the negative impacts created by vehicles, such as noise and light pollution, upon residential properties.

Parking areas of 50 spaces or more shall not be located within 50 feet of the property line shared with the CAP Canal or the Sonoran Preserve excluding public or private trailheads.

Rationale: Providing vehicular access outside of the 50-foot setback will ensure visual and physical access to trails but will minimize potential impacts or encroachments to the CAP Canal and the Sonoran Preserve.

Service entrances must be located to not disturb the reasonable enjoyment of on-site or off-site uses and shall be screened from view by a screen wall or adjacent buildings.

Rationale: Appropriate location of service entrances decreases the negative impacts upon on-site and off-site uses.

Within MDP.2 a minimum of 25% of surface parking spaces shall be shaded by solar panel shade structures.



Rationale: Parking areas are ideal locations for the placement of solar panels and provide meaningful shading within these areas.

F. Pedestrian Circulation

Building entries for commercial, office, and multifamily residential developments shall be oriented towards street frontages, multi-use trails, shared-use paths, and paseos, and shall provide minimum 6-foot-wide direct pedestrian pathways from each building entry to the sidewalk, multi-use trail, shared-use path, or paseo.

Commercial developments shall provide pedestrian access to adjacent developments along shared property lines to reduce pedestrian travel distance as much as possible. The development shall be designed to provide direct and convenient pedestrian access from the shared property lines to building entries using the most direct and shortest route.

Rationale: Providing efficient and direct pedestrian connectivity between adjacent commercial uses will encourage higher rates of pedestrian foot traffic and reduce reliance on vehicular trips.

Subdivisions shall be designed to provide direct pedestrian access to perimeter public sidewalks, MUTs, SUPs, or Paseos by penetrating the perimeter of the neighborhood at corners of the subdivision and at 600 foot intervals along linear edges.

Rationale: The NorthPark community emphasizes pedestrian and non-vehicular circulation routes. Providing distributed access from neighborhoods onto the larger network of public sidewalks and trail system should be prioritized.

Trails and circulation paths shall utilize stabilized rock surfaces such as 1/4" minus decomposed granite. (P)

Stained or integral colored concrete walkways with sandblasted finishes, exposed aggregate, or stamped concrete may be used in high traffic areas for accenting. (P)





Pavers, stamped concrete, or stamped asphalt are to be used at pedestrian crossings and intersections to highlight pavement changes in pedestrian areas. This is intended to visually cue drivers near areas of high pedestrian traffic to slow down. (R)

Pavers shall be incorporated to be used as a semi-permeable surface material within parks, activated open spaces, and plazas as an accent surface. (P)

Public pedestrian bridges across the preserved washes identified in **Exhibit 13: Washes/Bridges (NBCOD Map B)** shall be incorporated to link neighborhoods, commercial, recreational, and public uses. (R)

G. Lighting

Pedestrian lighting shall be provided adjacent to all public and private sidewalks, shared-use paths, multi-use trails, and walkways per Section 1304.H.5 of the Phoenix Zoning Ordinance.

Rationale: Inclusion of appropriate scaled lighting increases the overall health, safety, and welfare of sidewalk, share-use path, multi-use trail, and walkway users. This type of lighting reduces chances of accidents and increases visibility while minimizing the potential impacts upon surrounding uses.

Lighting south of Dixileta Road shall be Dark Sky compliant, except where public safety and security require elevated lighting standards.

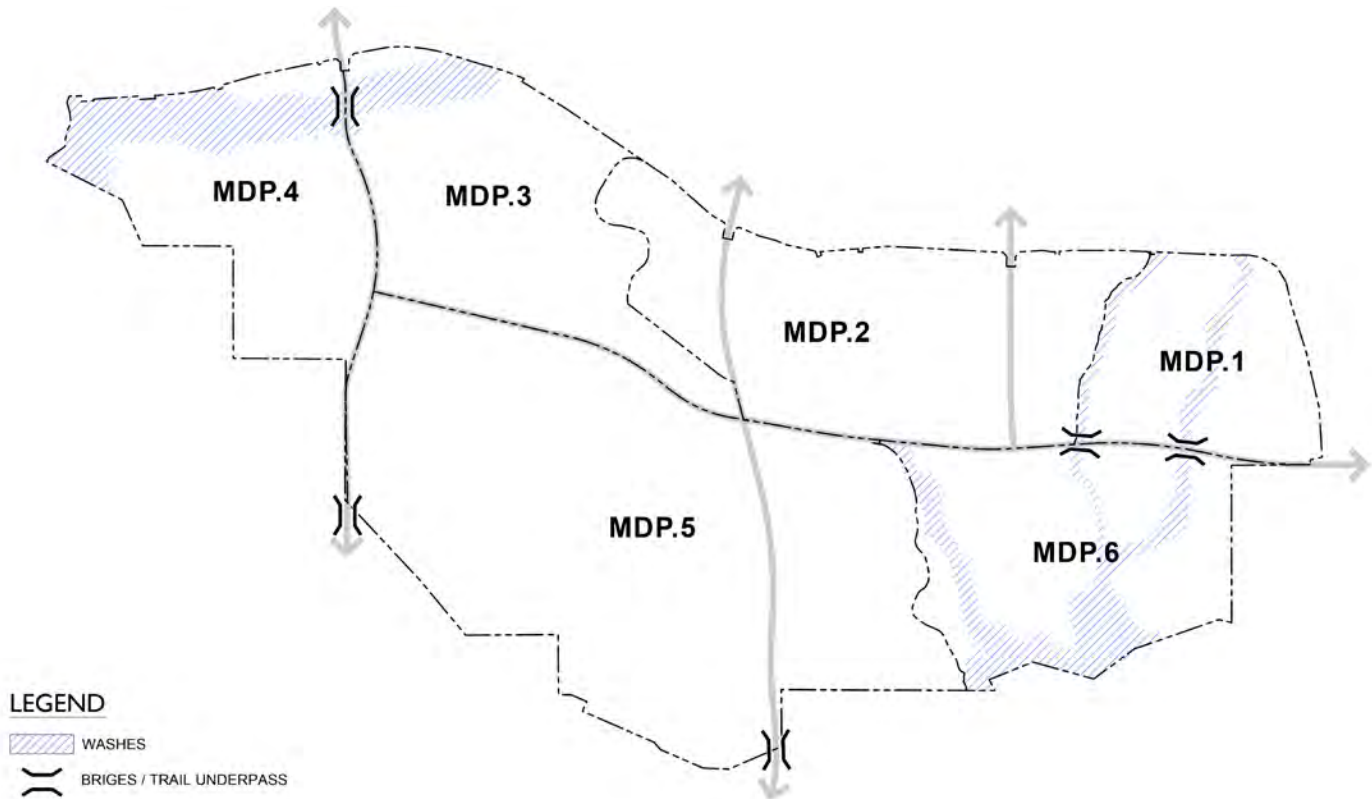
All Lights shall be fully shielded with limited use of uplighting (used sparingly around monuments, or major features).

All lighting designs shall minimize glare and light trespass to keep the natural nighttime characteristics of NorthPark intact.

Fully shielded down lights, Bollards, and path light fixtures shall be naturally colored to blend into the environment while providing safety to pedestrians.

Colored lights or filters shall be prohibited.

EXHIBIT 13: WASHES, FLOODPLAINS AND BRIDGES (NBCOD MAP B)



H. Grading and Drainage

Drainage channels shall be designed to look natural in the desert setting through color, texture, landscaping, or other means.

Rationale: Where engineered erosion control is necessary, a more natural looking drainage way will preserve the scenic qualities of the desert. Additionally, concrete channels can contribute to drainage problems where they interface with natural washes.

Wash corridors delineated on **Exhibit 13: Washes, Floodplains and Bridges** (NBCOD Map B) shall be preserved in the historic alignments but allow for floodplain area to be reduced or revised subject to further drainage analysis and FEMA approval.

Rationale: The preservation of natural washes allows for the natural function of the floodplain and desert washes where feasible allows for es into consideration of the site's unique conditions, based on engineering parameters and public safety.

Natural drainageways shall be preserved in their historic alignment where feasible to provide communities with passive open space, maintain wildlife corridors, and maintain desert character.

Rationale: This will provide communities with passive open space and maintain wildlife corridors. Natural washes can provide a significant landscape open space amenity and ecological infrastructure.

Scarring resulting from site grading shall be planted with natural vegetation or other methods that reduce the visual impact of these area from adjacent properties or public areas.

Rationale: Reducing the visual impact created will allow for a more seamless transition between a development and its surrounding context.



I. Noise Mitigation

The indoor noise levels of residential units for residential developments adjacent to a freeway shall not exceed a decibel day night level (DNL) of 45 decibels. A sealed and signed analysis by an acoustical professional with a proficiency in residential sound mitigation or noise control shall be included with the building plans submitted for Phoenix Building Construction Code compliance review to the Planning and Development Department. The acoustical consultant shall note in the analysis that the building design is capable of achieving the required Noise Level Reduction.

J. Water Consumption Guidelines

The following water consumption guidelines shall apply to the NorthPark community:

1. For single-family residential subdivisions, prior to preliminary plat approval, documentation shall be provided that demonstrates participation in the Environmental Protection Agency's WaterSense certification program, or an equivalent program, as approved by the Planning and Development and Water Services departments.
2. For single-family residential subdivisions, a WaterSense inspection report from a third-party verifier shall be submitted that demonstrates successful participation in the Environmental Protection Agency's WaterSense certification program, or an equivalent program, prior to certificate of occupancy, as approved by the Planning and Development Department.
3. For common areas of all development, natural turf shall only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas located on properties for uses such as parks, schools, and residential common areas, as approved by the Planning and Development Department.
4. On individual single-family lots, natural turf shall only be utilized in the rear or side yards, not in the front yard. This restriction shall be included in the Covenants, Conditions, and Restrictions for the subdivision.
5. A leak detection device shall be installed for the irrigation system of landscape areas larger than 10,000 square feet.
6. A minimum of two green stormwater infrastructure (GSI) elements for stormwater management shall be implemented for each individual development, as approved or modified by the Planning and Development and/or Street Transportation departments. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.
7. For office and commercial developments, prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Businesses Water Efficiency Program for a minimum of 20 years, or as approved by the Planning and Development Department.
8. For industrial developments, prior to final site plan approval, documentation shall be provided that demonstrates a commitment to participate in the City of Phoenix Water Efficiency Checkup Program for a minimum of 20 years, or as approved by the Planning and Development Department.
9. For single-family subdivisions, participation in the City of Phoenix Homeowner's Association Water Efficiency Program shall be incorporated into to Covenants, Conditions, and Restrictions for the subdivision, prior to final site plan approval.
10. For single-family subdivisions with lots not exceeding 5,000 square feet, if a community pool is proposed, swimming pools shall be prohibited on individual single-family lots.



11. For all single-family lots, swimming pools on individual single-family lots shall be limited to 600 square feet in size.
12. Any wet-cooling systems shall be designed and installed per the standards in the latest adopted version of the International Green Construction Code (IGCC) [or State equivalent code].

M. Landscape Character Elements

All landscape character elements play on a strong connection to the surrounding natural environment. Blending the surrounding preserved desert with the built environment through landscape design aims to draw nature into all levels of the NorthPark experience. By tying the denser built-environment areas to the north to the more natural areas to the south, all users are able to experience the natural beauty and character that is unique to NorthPark.

1. Entry Monuments

Entry Monuments are used to denote major entrances along roadways to residential neighborhoods, commercial areas, and business parks.

Entry monuments shall tie into the landscape using earthen berming, swales, etc. to create the appearance of transitioning back to nature to blend man-made elements with the natural desert as much as possible.

Plantings nearby entry monuments shall be denser and use more accent species from the NBCOD approved plant list such as ocotillos, agaves, aloes, etc. to give natural form and massing.

The addition and increased use of textured block, treated metals, and accent coloring shall be incorporated.

The images to the left are examples of entry monuments and design elements that are to serve as a basis for design intent for NorthPark.

2. Entries

Primary entry/exit drives shall incorporate enhanced landscaping on both sides within minimum 250-square-foot landscape areas, and shall incorporate a minimum 8-foot-wide





landscape median a minimum of 60 feet in depth, planted with a variety of at least three plant materials, and minimum 2-inch caliper single-trunk, large canopy, shade trees planted 20 feet on center, or in equivalent groupings, and a mixture of shrubs, accents, and vegetative groundcovers, maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage within the landscape median.

Entry/exit drives for subdivisions or large commercial or office developments shall incorporate a minimum 8-foot wide center landscape median for a minimum of the first 40 feet of the driveway, planted with minimum 2-inch caliper, single-trunk, large canopy, shade trees, planted 20 feet on center or in equivalent groupings, and a mixture of shrubs, accents, and vegetative groundcovers maintained to a maximum height of two feet, evenly distributed throughout the landscape areas to achieve a minimum of 75% live coverage.

3. Gateway Monuments

Gateway monuments are aimed at being larger scale and more vertical wayfinding elements located at major arrival points at the edge of the community.

Primary Gateway Monuments are located along major roadways at the project perimeter and freeway interchanges to draw users into the site. These larger wayfinding elements may be more sculptural or artistic in nature and serve as a beacon that is visible throughout the community.

Secondary Gateway Monuments serve as wayfinding monumentation that compliment the Primary Gateways, but are smaller in scale. These elements provide direction and orientation throughout the community. These entrance gateways are located along major arterial roads connecting to the adjacent freeways. Secondary Entry Gateways will draw users into the space and let them know they have arrived in NorthPark.

The incorporation of metals, stonework, earthen berming, and desert accent plantings shall be incorporated near gateway monuments.

4. Fences and Walls

Theme walls along arterial roadways within the NorthPark community shall utilize a variety of materials such as stamped concrete, rammed earth, exposed aggregate or splitface, masonry block, cobble/stacked stone, or similar materials. Theme walls are intended to be used to accent natural view corridors and maintain important viewsheds throughout the community.

Low accent walls and other ornamental features associated with monumentation may be located within the landscape setback.

Theme Walls and Privacy Walls shall not encroach into the landscape setback along arterial and collector roadways throughout the community.

The use of stucco for wall surfaces shall be minimized.

Slump block, masonry blocks, and the use of natural cobbles, stone veneer walls, and accents shall be maximized into design.

Curvilinear wall patterns that respond to natural forms along curving roads, washes, mountain edges, etc. shall be incorporated.

Retaining walls and theme walls proximate to washes, floodplains, or the Phoenix Sonoran Preserve shall encompass natural colors to blend with the surrounding environment.

Design features shall be used to break up the appearance of a long, straight wall. Such design features shall include, but shall not be limited to planters, decorative walls less than 3 feet in height, and dense landscaping adjacent to the wall to screen it. If design features other than meandering, curvilinear, or staggered setbacks are used, the developer shall demonstrate how the design visually breaks up the long, straight wall/fence appearance and such alternate design features must be approved by the Planning and Development Department at the time of MDP Master Plan review.



5. Furnishings and Amenities

Site furnishings shall be constructed out of high quality materials such as metals and/or recycled wood composites and plastics.

All furnishings are required to be resilient to the desert environment to reduce the need of frequent replacement.

Seating shall be consistent throughout North Park to achieve a cohesive, distinct experience. Benches, tables and other forms of seating shall be provided throughout public and private spaces including building entries, parks, trails, paseos, resting areas, plazas, and along sidewalks and pedestrian pathways, to promote pedestrian use and social interaction. Seating shall be shaded a minimum of 75% to provide comfort and shall be oriented to maximize views to the mountain preserve and natural landscape.

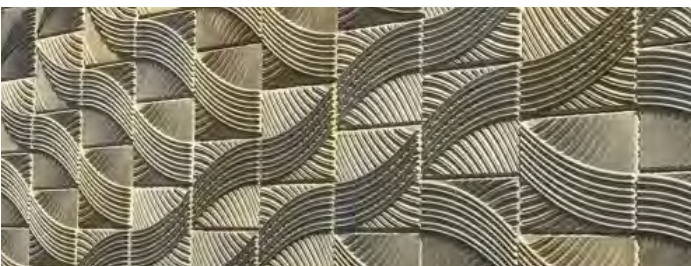
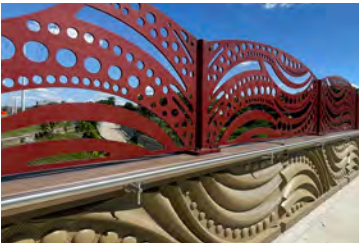


The style of benches and seating at NorthPark shall be contemporary and include details that provide visual interest. Fixed seating with backrest shall be provided and may be supplemented with additional backless seating. Seating shall be constructed of metal or high-quality wood composite or recycled materials for durability. Metal shall be powder-coated, and color shall be compatible with the adjacent building or natural landscape.

Waste stations, including a landfill receptacle, composting receptacle, and recycling receptacle, with informational signs indicating what type of waste should go in which receptacle, shall be provided at all building entrances/exits (except for emergency only exits) and shall be allocated throughout the site in common open space areas and along sidewalks, multi-use trails, shared-use paths, paseos, and pedestrian pathways, at convenient locations, typically within a quarter mile of each other. Additionally, recycling containers shall be provided for each garbage container provided. Receptacles shall be selected from the same or similar design style as other site furnishings. Receptacles shall be constructed of durable, high-quality materials with a powder-coated finish and color compatible with the adjacent building or natural landscape.

Bicycle racks shall complement other furnishings within the development. The design shall be simple, space effective and functional. Racks shall be placed close to building entrances but out of way of pedestrian traffic. Racks shall be constructed of metal that is finished in powder-coat and of a color compatible with the adjacent building or other site furnishings.

Benches and tables should be located throughout active public spaces including parks and amenity



areas in addition to along circulation walkways throughout the community.

Drinking fountains in addition to pet-water stations and pet waste stations shall be provided along multi-use trails, shared-use paths, paseos, and pedestrian pathways, generally every quarter mile, and within amenity areas

ADA options shall be incorporated throughout the community to increase accessibility to all open spaces for a diversity of users.

6. Arterial Road Bridge Crossings

The following section applies to the Thematic Crossings show on **Exhibit 13: Washes, Floodplains, and Bridges (NBCOD Map B)**

Decorative bridge elements will compliment the overall theme of the community while blending with the surrounding desert.

Bridge design and gateways into the NorthPark community shall incorporate thematic elements of the Gateway Monuments as much as possible. (P)

Embanked roadway crossings can be used to create the sense of a wash crossings without an actual bridge through the use of decorative guardrails, landscape buffers between the sidewalk and back of curb, and medians between lanes with denser plantings. (P)

Decorative bridge elements shall be used for bridge crossings along the perimeter of the NorthPark community to promote a sense of arrival for the community. (R)

Along bridge crossings, separated travel lanes with densely planted native plant materials will create a sense of uninterrupted landscape. (P)

Bridges may be comprised of metal structural elements with masonry or stone end-caps. (P)

Areas where bridge crossings are elevated above the surrounding wash grade, the design shall utilize terraced wall elements with natural breaks to allow trails to tie into the crossing grade. These nodes may incorporate accent walls, stonework, and possible monumentation. Sculptures or artistic elements in addition to wayfinding elements can serve as trail access points while tying the theme to the Gateway Monuments. (P)



7. Open Spaces

Open space areas provide the opportunity for humans to experience the natural environment. Open space is of vital importance to the desirability of the NorthPark community as a place to work, live, visit or recreate. Open space areas are used for buffering adjacent land uses, establishing pedestrian circulation routes, providing gathering spaces, active and passive recreation, site beautification, and as natural storm water retention areas. These areas should be designed to provide a network of natural and programmed spaces throughout the NorthPark community that will provide a common aesthetic, emphasize shading within usable spaces and include a variety of amenities for residents, visitors, and employees. Open spaces should seek to achieve the following:

Establish visually and physically connected uses by providing walkways, gathering and activity areas, and greenways where feasible.

Provide enhanced landscape at arterial-arterial, arterial-collector, and collector-collector intersections to promote pedestrian comfort and elevated natural aesthetic.

A variety of public and private open spaces shall be provided across the NorthPark site. These areas will be amenitized or landscaped to provide passive and active use by residents and members of the public.

Active recreational uses shall be provided in proximity to natural or structural shading elements.

A diversity of open space amenity types shall be provided to appeal and respond to the various interests of the local workforce, residents and guests.

Public and private parks shall be located to support connections to trails or paths to enhance and widen connectivity options for residents.



8. Use of Crushed Rock Guidelines

For public open spaces, parks, and amenity areas the desert pavement should be reestablished to aesthetically blend with the existing desert floor. For this reason desert cobble, +/- 3" minus size with 6" rock seeded (outside of public right-of-ways), may be used as accent to further blend the improved areas with the natural surrounding desert. The color shall be Mountain Vista Brown or similar to assimilate to the foothills and mountainous areas within NorthPark.

For all other areas such as commercial sites and residential areas, screened decomposed granite materials at a minimum of ½" size shall be used. These screened materials shall be selected to match the surrounding desert in color and may range in ½" screened to 1" screened.

Rationale: The use of crushed rock has been used as a dust mitigation technique within the Phoenix Metropolitan Area for decades. Regardless of when this type of material is being used, such as for dust control, part of landscaped areas, etc., the crushed rocks need to be appropriately sized to be safe and have the desired outcome. Additionally, rocks that are cohesive with the site context and the surrounding natural desert will contribute towards the sense of place that is being curated.

9. Monarch Pledge

Monarch Pledge – NorthPark is committed to addressing the threats to the Monarch Butterfly population including the extensive loss of habitat throughout North America. Through a pledge

process coupled with these guidelines, the community is committed to expanding the Monarch Butterfly's habitat by providing for widespread establishment of native plant species that are conducive to the feeding and breeding lifecycle of this species. Areas that are specifically designated for this habitat may include identification signage to elevate awareness and education about the efforts to protect and promote Monarch habitat.

Monarch Pledge design guidelines include the following:

Each Master Development Parcel will include a minimum of one programmed demonstration garden element that includes milkweed and other species that promote the proliferation of Monarch Butterfly populations.

A minimum of 10% of the required shrubs, shall be a milkweed or other native nectar species, and shall be planted in groups of three or more, as approved by the Planning and Development Department.



J. Architecture

All applicable design guidelines of Section 507 Tab A and the North Black Canyon Overlay District per Section 654 of the Phoenix Zoning Ordinance shall apply to the architecture in NorthPark. The following design guidelines shall also apply:

1. Residential Architectural Design Guidelines:

Where alley-loaded product is utilized and residence access is located on the non-alley side of the unit, each unit shall provide a pathway that provides a direct connection from sidewalk to front-door. The maximum width for alleys for rear-loaded garages shall be 20 feet. Private accessways shall not be permitted for rear-loading of garages.

2. Commercial, Employment, and Multi-Family Architecture Design Guidelines:

Buildings shall integrate architectural features that respond to the surrounding natural Sonoran Desert environment by providing opportunities for shaded outdoor open spaces and entries, and seasonal shade produced by vegetation.

For multi-story buildings, design elements shall be incorporated to create a heightened sense of architectural detail at the pedestrian level. Alternatively, where modern simplified facades are proposed, the design of the ground floor shall clearly orient pedestrians toward the main building entrances.

Shaded outdoor areas shall be integrated into the design of the buildings. On employment campuses, these shaded open spaces shall relate to building entrances, outdoor open areas, and walkways to link buildings together.

To support a Modern Sonoran aesthetic a minimum of three of the following elements shall be used in the design of each commercial, multi-family, or employment buildings, and at least one shall be used in the design of each single-family home:

- Pitched roofs and/or flat roofs with articulated parapet lines
- Exposed wood, structural wood decorative detailing;
- Deep set windows on south and west facing facades,
- Signature or unique expanses of glazing on north facing facades,
- Exposed Rafter, beams, rustic or distinctive statement columns;
- Rusted or patina finish metal accents;
- Tubular metal (weathered/patina finish) or exposed wood frame trellis;
- Deep overhangs and/or building-attached shade elements;

Building facades on all multi-family development, facing publicly dedicated rights-of-way that exceed 75 feet in length, shall contain a minimum of one architectural embellishment and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadowboxes and overhead/canopies every 75 linear feet.

C. Hillside Design Guidelines

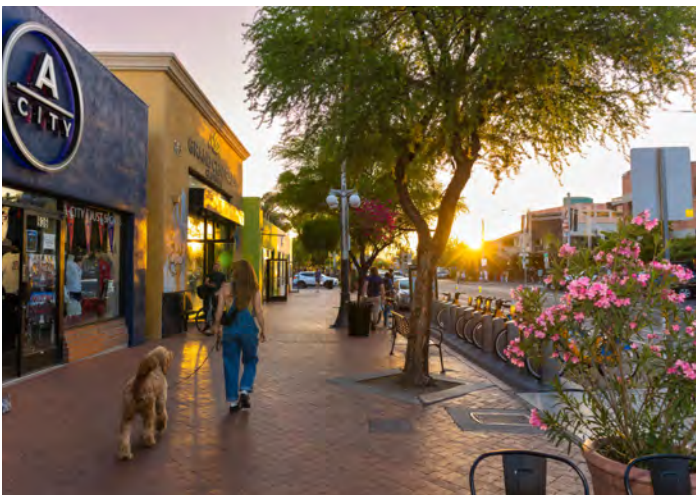
Special architectural consideration will be given to hillside parcels to ensure the architectural design recognizes and responds to the unique slope of the land. Building design should blend to the natural shape and texture of the land and minimize disturbances in hillside areas.



We boldly craft pedestrian experiences, where shaded colonnades shield comfortable walkways from adjacent drives, and hand-scaled materials, decorative paving, integrated seating, and lush landscaping harmonize with deep building recesses, forging an undeniably engaging and captivating pedestrian realm.



Lifestyle Commercial prioritizes pedestrian experience, orienting storefronts towards interconnected open spaces, fostering vibrant environments with lush landscaping and inviting seating/dining areas, compelling guests to embrace leisurely strolls and abandon fragmented vehicle trips.



A main street theme becomes possible with a low-volume road design. This allows options for on-street parking, balanced with features like curb bump-outs and raised pedestrian walkways, creating a more accessible and welcoming environment.

D. Lifestyle Mixed-Use

The Lifestyle Mixed-Use (LMU) Land Use District has been designated for the northeast corner of 67th Avenue and Dixileta Drive, comprising 50 acres. This corner will be a vibrant, horizontally or vertically integrated activity hub, blending a diversity of land uses including retail, dining, leisure, office and multi-family residential to create a dynamic micro-community that is connected by inviting open spaces and pedestrian-friendly corridors, serving both the daily needs of its residents while creating an attractive retail and restaurant destination for NorthPark residents and the region.

The intent of Lifestyle Mixed-Use is to encourage a cohesively designed mixed use activity center within the NorthPark community. These development standards will provide for an elevated design aesthetic while linking various commercial and residential uses through the integration community spaces, architectural elements, and natural environments that combine with a comfortable pedestrian network with intuitive vehicular circulation.

The design quality of Lifestyle Mixed-Use will exceed typical standards found in traditional retail and residential developments and will complement the greater NorthPark community by providing a strong sense of place. The design guidelines will promote these elevated standards by addressing the following elements:

- Walkability
- Gathering Areas
- Parking
- Architecture
- Landscape
- Mixed Use Development
- Larger Retailer Frontage Areas

Architecture within the Lifestyle Mixed-Use District will be intentionally varied to create an interesting appearance and to better orient guests. The layout may emulate classic main street designs by incorporating tree-lined sidewalks, storefronts that face a low-volume, two-lane street, outdoor cafes, and plenty of shared gathering spaces. Similarly, small specialty shops may frame a shared open space that may be programmed for outdoor community entertainment events. Lifestyle Mixed-Use may also be inclusive of larger retailers with enhanced open spaces and connections for pedestrians.



Lifestyle Commercial boldly redefines urban space, minimizing the visual dominance of parking by strategically dispersing it away from pedestrian hubs, and forging powerful connections between diverse uses, thus championing walking and biking as the preferred modes of movement.



Large planters and trees serve as vertical separation between the plaza and the main drive aisle. Specialty paving slows down vehicles and enhances the quality of the area. Tables and chairs are available to invite guests to dine or stay longer.



Larger retailers can fit into Lifestyle Commercial with enhanced frontage areas that provide landscaping, monumentation, shade, and seating for pedestrians.

1. Walkability

The overall design of the LMU LUD will seek to encourage walkability and reduced dependence on the car during visits. Pedestrian spaces and routes that are efficient, encourage curiosity and protected from the climactic extremes of the desert will be prioritized.

All Lifestyle Mixed-Use developments shall provide a Walkability Plan. These plans shall include the following:

- A defined hierarchical network of route and path types extending through the development to demonstrate efficient linkages between all uses.
- Connection points at the perimeter of the development showing locations of accessible routes that link to the surrounding community and support the NorthPark trail and path principals.

The pedestrian network shall prioritize the overall walkability of the site over vehicular circulation to promote safety and comfort.

Use simple paving patterning and textures to enhance the ground plane throughout the pedestrian network.

The maximum continuous length of blocks within the LMU LUD, measured along the centerline of the street, and between intersecting street centerlines, shall not exceed 600 feet unless conditions of Section 1304.G.2 of the Phoenix Zoning Ordinance are met.

Pedestrian routes, including paseos and primary corridors, shall meet the following minimum standards:

- Pedestrian ways shall be open for public access from 7:00 a.m. to 10:00 p.m., or during the public hours of any off-street parking areas to which they provide access, whichever is longer.
- Pedestrian routes shall be designed to avoid narrow corridors with 'blind spots' where the safety of pedestrians is compromised. Corridors should demonstrate clear line-of-sights and high visibility.

All ADA guidelines shall apply to pedestrian routes with the LMU LUD.

Shading along designated pedestrian routes as documented in the Walkability Plan shall be no less than 75% and may be achieved through a combination of vegetation, building architecture and structural shading. (R)

2. Primary Pedestrian Connections and Pathways

Primary connections shall be defined as pathways that extend from the perimeter of the property into the commercial area and required along all entry drives. The following guidelines are applicable to primary pathways:

- Pathways shall be detached from the drives by a minimum of six feet.
- Pedestrian pathways shall be constructed of stamped or colored concrete, brick, pavers, or an alternative decorative material, as approved by the Planning and Development Department. Only very limited areas of the primary pedestrian connection paths shall utilize decomposed granite, except for a walking/jogging path or where it serves as an alternative route option.
- Where primary pedestrian pathways cross drive aisles, parking areas, or streets, they shall be constructed of stamped or colored concrete, brick, pavers, or an alternative decorative material that visually contrasts the parking aisle, drive aisle, or street surface.
- Primary pedestrian pathways including paths and sidewalks along building frontages and shall be a minimum of 8 feet wide in high activity locations and where outdoor seating and dining is provided.
- Minimum pedestrian pathway widths for connection points shall be no less than 8 feet in width to provide ample room for pedestrian traffic flow in and around the site and its buildings.

3. Secondary Pedestrian Pathways

The following guidelines are applicable to secondary pathways:

- Secondary pathways shall be a minimum of six feet in width and shall be paved with a hard surface such as concrete or pavers.

4. Natural Surface Pathways

Natural surface pathways should be encouraged in areas where they are complementary to the more heavily trafficked primary and secondary network of traditional sidewalks and pathways. The following guidelines are applicable to natural surface pathways:

- Natural surface pathways shall be a minimum width of 6 feet unless otherwise mandated along arterial and collector frontages and should provide opportunities for passive or recreation-based connectivity with adjacent uses.
- Natural surface paths may run along the perimeter of the property with intermittent connections with the primary and secondary pathway network and may be comprised of stabilized decomposed granite.
- Benches and waste stations with landfill, compost, and recycling receptacles shall be provided at a minimum interval of 1 per 500 linear feet.





5. Public Gathering Areas

One of the defining elements of the LMU LUD is a requirement to provide public gathering spaces intended for adjacent residents, visitors and the greater NorthPark Community. These spaces should be dynamic and flexible, allowing for a diversity of recreation and entertainment uses including parks, community concerts, farmers markets and special events.

At least 5% of the net land area designated on each Lifestyle Mixed-Use corner aggregated lot area shall be established as public gathering areas accessible by the general public.

The public gathering areas may be dispersed throughout the LMU LUD, but shall be no less than 10,000 contiguous square feet in area.

A minimum of 50% of the public gathering area edge shall be lined with buildings with storefronts and outdoor dining oriented towards the public gathering area.

Gathering areas shall be privately constructed and maintained.

Public space shall be configured to allow for special events including festivals, farmers markets and live entertainment under the parameters of the permitted uses for the LMU LUD within this PUD.

Open gathering areas of pavers or turf shall be provided in the following amounts:

- Gathering areas designed to include turf (natural or artificial) shall be required to provide a minimum of 1,000 square feet.
- Gathering areas designed with natural turf shall be limited to a maximum of 5,000 square feet.
- If individual gathering areas are designed with pavers or similar alternative surface, a minimum of 1,000 square feet shall be provided

Enhanced pedestrian connectivity shall be demonstrated on the Walkability Plan / Pedestrian Circulation Plan within the walkable network of the overall LMU LUD.

A minimum of one shaded public drinking fountain shall be provided per public gathering space.

Bike parking with receptacles for electric bike charging shall be provided within 50 feet of each gathering area.

Projects within the LMU LUD shall include integrated outdoor seat walls and planters/gardens, specifically where proximate to gathering areas.

6. Parking

All areas for vehicular use including parking areas shall be paved with a suitable base and surfaced with asphalt, pavers, or concrete for areas devoted primarily to loading and delivery.

Parking areas shall be located in areas in indirect proximity to retail and restaurant uses. Parking areas may be located behind buildings to allow storefronts and outdoor dining areas to be oriented towards pedestrian-centric areas.

Pedestrian access to indirect parking areas shall be provided between buildings or at the ends of 'blocks'. These inter-block connections shall be sufficiently sized and lighted to ensure safe and efficient access.

'Main Street' design concepts in Lifestyle Mixed-Use shall be incorporated to activate retail and restaurant uses with broad sidewalks and on-street parking.

Surface parking areas shall be broken up into multiple smaller parking areas, or shall be centralized within a parking structure, in order to avoid "seas of parking". Surface parking areas shall be broken up for a minimum of every 40 parking spaces.

Shared parking shall be allowed where a Lifestyle Mixed-Use development includes a mix of residential and non-residential uses. A shared use parking study shall be submitted to the City of Phoenix for review and approval.

Protected pedestrian routes that extend through parking lots shall be provided at intervals of one (1) per 100,000 square feet of parking lot area. These sidewalks shall be a minimum of 6-feet in width and be vertically separated from the adjoining parking surface.



This site layout provides a block design and avoids a large consolidated parking field. Parking is broken apart and placed away from primary pedestrian areas. Direct walkways connect parking to main areas.



Protected pedestrian sidewalks to connect pedestrians through parking lots.





7. Architecture

The following architectural design guidelines for commercial, office, and multi-family uses within the LMU LUD are intended to establish an engaging human-scaled character that is complementary to the greater NorthPark community:

- Use modern materials and systems such as steel, block, brick, stone, wood, stucco, concrete and similar materials, some of which may include exposed applications. The use of hand-scale materials is required where buildings front on to a pedestrian plaza or open space.
- Architecture within the LMU LUD shall vary in materials, colors, rooflines, and heights to create an interesting environment for pedestrians and to aid with orientation of patrons. Pedestrian-scale detailing shall be incorporated into the architecture that interacts with the pedestrian realm

8. Landscape

Landscape within the LMU LUD is intended to serve several purposes. It will be employed to not only enhance the pedestrian experience, provide shade, and frame open spaces, but also to strategically soften the built environment, creating visual edges that soften the edges of parking areas and roadways, and harmoniously integrate with building facades to enhance the aesthetic character of the development.

Landscaping shall be used to create shaded paths and to increase walkability and improve the pedestrian experience.

Large landmarks or 'specimen' trees at key locations to spotlight distinct locations within the commercial area.



Landscaping shall not detract from the pedestrian environment and shall support biking or walking to Lifestyle Mixed-Use destinations and encourage guests to move at a leisurely pace throughout all areas of the development.

Areas shall be identified for the installation of bioswales or stormwater runoff capture to facilitate sustainable landscape design and rainwater harvesting where practical.

9. Mixed-Use Development

The LMU LUD allows for and encourage a blend of commercial, employment and residential uses. Where either horizontal or vertical mixed-use development is provided:

A well-defined and efficient pedestrian connection, or series of connections, between uses shall be provided that minimizes pedestrian/vehicle interface.

Architectural and landscape themes shall be complimentary between adjoining uses including consistent colors and materials.

Gathering spaces shall be designed as a shared public amenity to both commercial patrons and residents of the mixed-use community.



Lifestyle Mixed-Use:

Shaded walkways extend across this site connecting single-family, duplexes, multi-family, large retailers, small shops along a main street, and patios, and open spaces. A coordinated block pattern and hardscape treatment extends the feel of a cohesive district across multiple developments.

10. Large Retailer Frontage Areas

When pertaining to large retailers, “frontage area” refers to the façade of the retailer and the edge of the adjacent parallel drive aisle.

A minimum prevailing frontage area depth of 30-feet is required.

Multiple deeper frontage areas should be provided by setting storefronts back or curving the drive aisle outward. These deeper frontage areas may be designed as courtyards, shared open air dining, multiple different types of individual seating areas, or other types of gathering spaces.

In instances where drive aisles curve or the building exteriors frame a deep frontage area, a unique minimum frontage area depth of 20-feet may be appropriate.

A pedestrian corridor that is no less than 10-feet in width shall be provided. This pedestrian corridor must be clear of vertical obstructions such as landscaping, signs, chairs or tables, outdoor storage, utilities, walls, or other storefront appurtenances.

The pedestrian corridor shall be paved with stamped or colored concrete, brick, pavers, or an alternative decorative material, and enhanced with a variety of textures, patterns, colors, and/or materials that relate to the surrounding buildings, landscaping, and furnishings.





Between the pedestrian corridor and the adjoining drive aisle, improvements must be provided that frame and enhance the comfort of the pedestrian corridor by creating vertical separation between pedestrians and the drive aisle.

Examples of vertically separating improvements may include:

- Landscaped areas with street trees planted approximately 20 feet on center
- Low accent walls
- Large signature planters
- Ornamental fences
- Large aesthetic bollards
- In unique circumstances, a stepped grade separation
- Low ornamental grasses or shrubs
- Pedestrian lighting
- Colonnade columns or aesthetic columns
- Monumentation
- Themed or aesthetic bollards
- Other similar improvements
- A combination of vertical elements and landscaping shall be incorporated.

Where space provides, vertical improvements are not required to be located adjacent to the drive aisle edge; however, vertical improvements, such as columns towards the edge of the drive aisle, and landscaping, including trees, shall extend along a minimum of 30% of drive aisle edges, slow vehicle speeds and increase the level of pedestrian safety and comfort.

Within frontage areas, but outside of the 10-foot-wide pedestrian corridor, plazas with amenities that activate the space and encourage guests to gather and dine shall be provided.



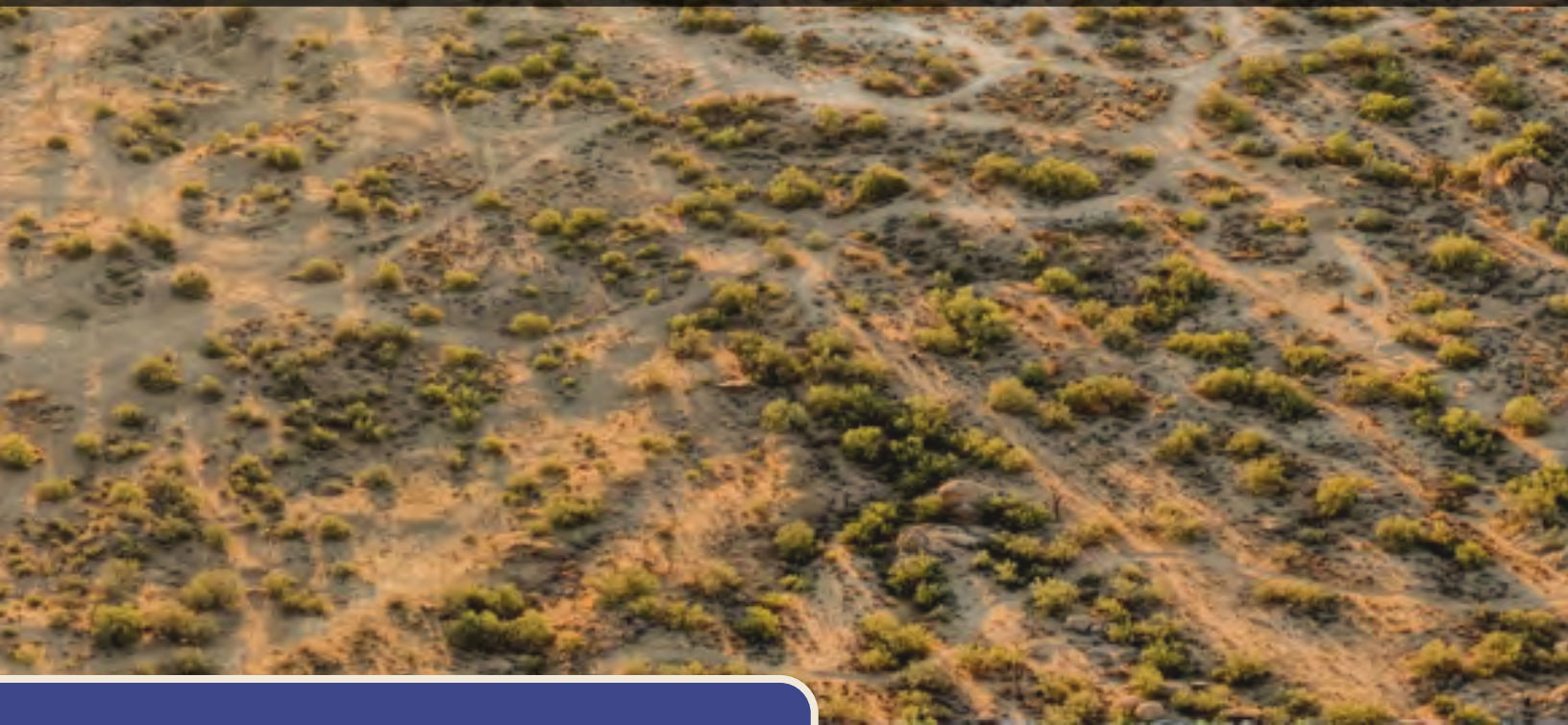


SECTION 8:

SIGNS



NorthPark



8.1. Signs

Signage within NorthPark will be subject to compliance with Section 705, Signs of the Phoenix Zoning Ordinance, unless modified herein, including that a Comprehensive Sign Plan, or series of plans for each development area, may be approved under a separate application from this PUD. The scope of the CSP shall generally incorporate project monument signage, secondary community signage, on-premise signage, building mounted signage, temporary signage and wayfinding.

All permanent signs within NorthPark shall be compatible with the design of buildings, reflecting the architectural style, building materials, textures, colors, and landscape elements of the overall project. The following design standards will promote the establishment of signage that is compatible with the character and environment of the overall PUD.

- Signage shall convey a sense of quality, sustainability and style. Creativity is encouraged and some signage regulations may be exceeded in certain circumstances via a comprehensive sign plan for signs that are well designed and have a high degree of character and inventiveness.
- Architecturally, building signage shall utilize and/or enhance the architectural elements of the building and be placed to logically relate to the overall composition of the building's façade.
- Signs shall enhance the visual environment, protect against visual clutter, promote general safety and ensure compatibility with the character of the area.
- Simple designs that utilize natural materials such as wood, concrete, and metal is encouraged.
- Signage should be thematically synonymous throughout the entire community regardless of landscape zone.



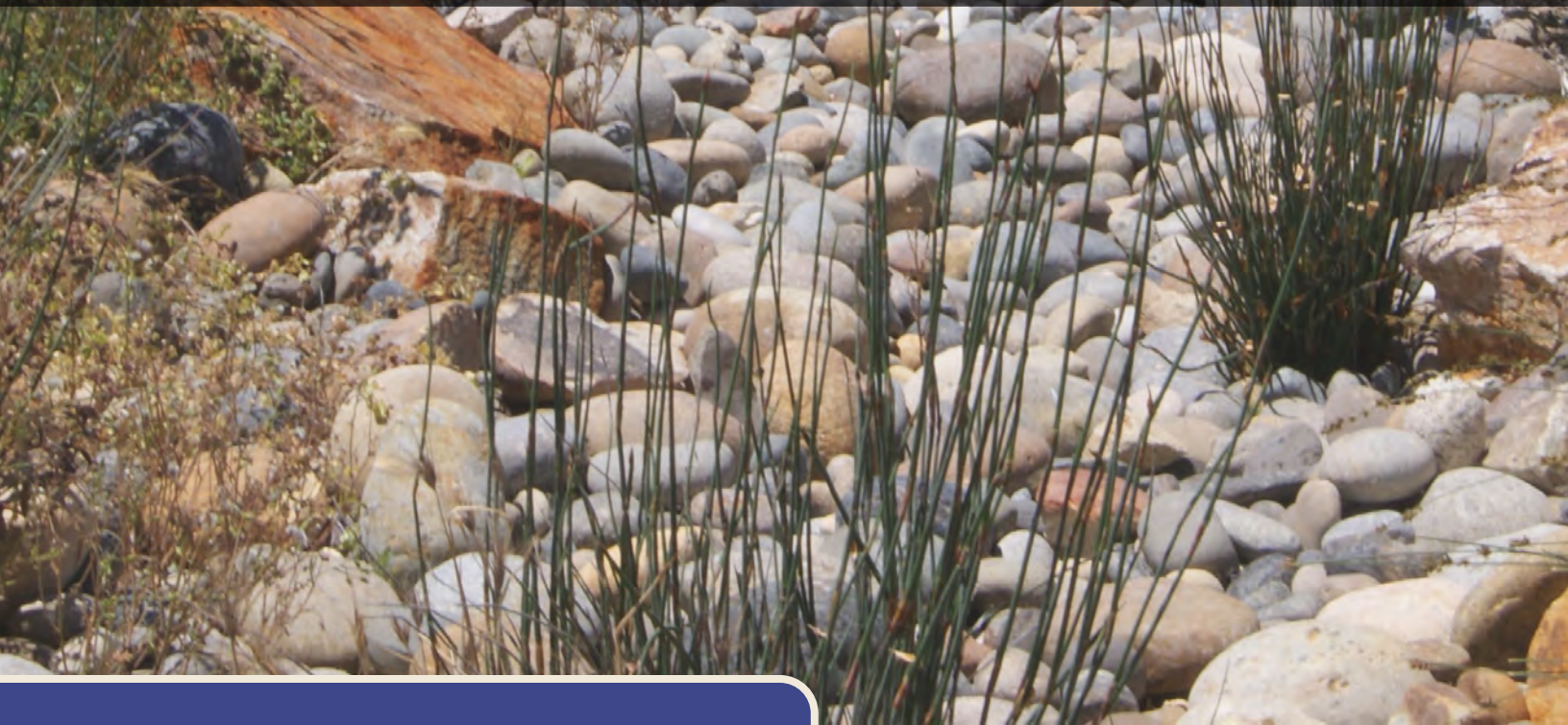


SECTION 9:

SUSTAINABILITY



NorthPark



NorthPark is planned as a sustainable development that carefully prioritizes a focus on the surrounding Sonoran environment. Energy efficient building and site design and long-term operational practices can create a superior experience for residents and visitors of NorthPark. The following sustainability design guidelines aim to support this sustainable vision.

9.1. Stormwater Management

- Each project within the PUD shall implement a minimum of two Green Infrastructure (GI) techniques for stormwater management, per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management. (R)

9.2. Heat Mitigation

At least one of the following heat mitigation guidelines should be followed as part of each NorthPark development (R):

- It is encouraged that buildings, campuses, and courtyards be designed to support passive cooling or wind flow through the open spaces.
- Reflective roof materials may help reduce the temperature within the vicinity of a building.
- 75% shade should be provided in courtyards and patios that are provided in conjunction with commercial or employment buildings.
- The installation of awnings, canopies, arcades, colonnades or other shading elements is encouraged to support passive solar benefits to interior spaces.
- While exaggerated fountains are discouraged in order to be water sensitive, modest water features may be supported in shaded areas where it contributes to the cooling of a shared public courtyard.

9.3. Energy Diversification

At least one of the following Energy Diversification guidelines will be followed as part of each NorthPark development (R):

- Charging stations for electric vehicles and/or bikes will be provided as part of commercial, employment, and multi-family developments.
- It is encouraged that home builders acknowledge where EV improvements may be installed on the exterior or interior of homes. Where these improvements are provided, they should be screened or limited in view from the public right of way.
- The design of commercial, employment, or multi-family buildings and sites should consider how solar improvements may be included at the time of development or in the future.

9.4. Waste Management

- Waste stations should include a compost receptacle whenever possible, with informational signs indicating what type of waste should go in which receptacle. (P)
- Waste stations, including a landfill receptacle and recycling receptacle with informational signs indicating what type of waste should go in which receptacle, shall be provided at all building entrances/exits (except for emergency only exits) and shall be allocated throughout the site in common open space areas and along sidewalks, shared- use paths and pedestrian pathways at convenient locations, typically within a quarter mile of each other. Additionally, recycling containers shall be provided for each garbage container provided. (R)
- Composting receptacles will be provided within public parks, public trailheads and at key areas along public pathways where they are reasonably accessible for collection by the City of Phoenix. (R)





SECTION 10:

INFRASTRUCTURE



NorthPark

10.1. Circulation Systems

The City of Phoenix Complete Streets Design Document was adopted in October of 2018 and is applied throughout the City. As such, Complete Streets vary in their design, function and appearance throughout the City. Consideration of their application should be done in a context-sensitive way in relation to surrounding land uses, street type, available right-of-way, adopted general and specific plans and overall intent of the corridor in coordination with other city codes and ordinances.

DESIGN FOR CONTEXT

The bikeway system should expand and complement the existing network. For the purpose of this document, sharrows are not bicycle lanes.

The NorthPark PUD will provide buffered bike lanes along all arterial and collector roadways as shown on the modified street sections within this document. Additionally, there is an extensive trail and path network planned throughout the community, providing biking infrastructure that connects residential to commercial and recreational opportunities.

DESIGN FOR SAFETY

Design streets safely for all users, particularly children, the elderly, those with disabilities, transit users and more vulnerable modes (walking, bicycling, transit).

All modifications to the street sections proposed in this PUD have pedestrian and bicyclist safety in mind. By buffering the bike lanes, detaching sidewalks, and providing alternative off-street routes, all heavily shaded, the NorthPark PUD has every intent of providing safe routes both on and off street for all users.

DESIGN FOR COMFORT AND CONVENIENCE

Shade should be a primary technique in projects to reduce ambient temperatures and reduce direct sunlight exposure for pedestrians and cyclists.

75% shading will be provided throughout the site on all detached sidewalks within public right-of-way. Additionally, trees planted within the landscape strip adjacent to bike lanes will ensure moderate shade coverage for bicyclists.

DESIGN FOR SUSTAINABILITY

Reduce streets' rate of heat absorption by maximizing tree canopy cover, reducing asphalt, and using high reflectivity materials or lighter colors.

Streets have been designed to meet minimum pavement widths required by the city, and require 75% shading will be provided on proposed sidewalks and paths adjacent to public collector and arterial roadways.

DESIGN FOR COST-EFFECTIVENESS

When practicable, identify opportunities to partner and share resources (e.g., driveways, parking, etc.)

As future development occurs, during the review of MDPs or site plans, additional opportunities to consolidate resources will be evaluated further including driveways, plaza spaces, parking, bike parking, and other elements conducive to a pedestrian friendly environment.

DESIGN FOR CONNECTIVITY

Design and connect neighborhoods via streets, sidewalks, and trails. Discourage the abandonment of streets, sidewalks, and in urban areas alleys identified for preservation and or use, that compromise connectivity.

The roadway and pedestrian circulation network of NorthPark has been thoughtfully designed to promote multi-modal connectivity across the site and ample access to all proposed uses within the community. While collector and local roadway layouts will be determined in the MDP master planning phase, connectivity will be promoted by additional sidewalk and trail connections in surplus of what is pictured in the various NorthPark circulation graphics.



10.2. Water

NorthPark is located within the City's water service area. The nearest existing water infrastructure include a 16-inch water line in 51st Avenue south of the CAP Canal and the property. There is a 16-inch water line in 43rd Avenue and a 54-inch transmission line in 51st Avenue north of the 303 and the site. These existing water lines all operate within Pressure Zone 5ED and will serve as the connection points for NorthPark's offsite water improvements.

As illustrated in **Exhibit 15: Conceptual Water Master Plan**, water improvements for NorthPark include a proposed extension of the large diameter transmission water main through the project along the 51st Avenue alignment. In the future, a 5-10 million gallon storage tank and booster pump station campus are expected to be required on one of the natural hills located northwest of the intersection of 51st Avenue and Dixileta Drive.

The proposed onsite water system infrastructure for the conventional portions of NorthPark is expected to consist of internal 16-inch to 24-inch distribution water lines located along the arterial roadways traversing the site. Additional water line extensions may be provided for uses requiring supplemental supply. 8-inch to 12-inch lines will be extended to these distribution lines to serve the individual parcels and development units. The onsite water lines will be generally located within NorthPark's roadways with some water lines located within easements. These water lines will create a looped network within NorthPark and ensure that each parcel has two points of connection for redundancy. Final water line sizing and alignments will be determined through the master planning process with hydraulic modeling to verify pressures and flows.

Water infrastructure for the NorthPark will be phased based on the needs of each respective development unit. It is anticipated that the initial phase of development will require connectivity to at least one of the existing mains located along the Loop 303 at 51st Avenue and/or 43rd Avenue. The extension(s) will consist of a new 16- or 24-inch main that will run along the arterial alignments and connect to the existing main within 51st Avenue near the CAP. This new extension will create a looped system through the interior of NorthPark. Additional connections to the City's existing system at the Property's periphery will be added, as warranted, as additional phases of NorthPark come online. It is expected that the construction of the larger diameter transmission line in 51st Avenue as well as the future water campus at the northwest corner of 51st Avenue and Dixileta will occur at some when warranted by regional demands.

Water infrastructure for NorthPark will be designed in accordance with current city design criteria as outlined in the city's 2022 Design Standards Manual for Water and Wastewater Systems. The water system will be designed to serve NorthPark's demands, along with the required fire flows, in accordance with city design criteria and other applicable requirements.

10.3. Wastewater

NorthPark is in the City's wastewater service area. The nearest existing wastewater system in the region includes a 15-inch gravity sewer main along 51st Avenue south of the CAP Canal. This gravity main continues southward. Lift Station 77 and sewer force mains are located along the north side of the Loop 303 and the northern edge of the project. These force mains convey wastewater produced by TSMC eastward. The City has recently constructed a system of dual 24-inch force mains and 36-inch gravity main southward through the project from Lift Station 77 to a gravity outfall downstream of the CAP Canal crossing. These systems all eventually outfall into the City's 91st Avenue Waste Reclamation Facility (91st Ave WRF).

To build in resilience to the water and wastewater system, the city plans for an additional water reclamation facility to be constructed to serve this region. This North Gateway Water Reclamation Facility (NGWRF) is planned south of Dixileta Drive between I-17 and North Valley Parkway. An advanced water treatment facility and system of potable water reuse infrastructure are also envisioned to be designed and constructed to serve the region. It is expected that the NGWRF and potable reuse system will ultimately serve the wastewater treatment needs for most of NorthPark and the surrounding region.



Due to the topography of the Property and surrounding area, it is not anticipated that NorthPark can be fully served by a gravity-only sewer solution. The city's requirements for depth of cover, scour protection at wash crossings, and the existing invert elevations of the downstream tie-in manholes make an all-gravity sewer solution unfeasible. Therefore, NorthPark will require public lift stations at the site's low points located along the southern and western boundaries of the Property. A total of four lift stations are currently expected to serve the Property at build out. See ***Exhibit 16: Conceptual Wastewater Master Plan***.

The lift stations and associated force mains will be built to city standards and will require redundancy, including but not limited to, the installation of a dual force main, a backup pump, and a backup generator. Onsite sewer mains ranging from 8- to 12-inches in diameter will route wastewater flows from each of the lots in the individual parcels to the proposed lift stations, where they will then be pumped through a force main system towards either the gravity wastewater trunk in 51st Avenue at the CAP Canal or the gravity wastewater trunk line that will be constructed in Dixileta Drive to route flows to the future NGWRF. Additional analysis will need to be completed to evaluate the capacity of the existing gravity sewer main in 51st Avenue. The final onsite sewer, including offsite sewer improvements, and force main sizing and alignments will be determined through the master planning process, which will include an evaluation of potential service areas for the lift stations.

The initial phase of development may be served by a gravity outfall into the recently constructed 51st Avenue sewer trunk main or potentially through connectivity to Lift Station 77. The availability of capacity within these systems is dynamic and not guaranteed. As such, the ability to serve the initial phase of development via these connections will continue to be evaluated. Beyond these potential connections to existing city infrastructure, the early phases of NorthPark's conventional development are expected to be served by a new lift station to be constructed near 51st Avenue's intersection with the CAP and/or a new lift station to be constructed near the intersection of 43rd Avenue alignment and the CAP. Gravity collection systems will flow from NorthPark to these lift stations and then force mains will be extended north and eastward toward the Dixileta Drive alignment. These lines will then transition into a gravity sewer main in Dixileta Drive at a point just east of 43rd Avenue. This gravity line will flow to an eventual outfall into the city's existing Lift Station 66 or the future NGWRF. With future development in the western extents of NorthPark, additional lift stations will likely be required near the intersection of 67th Avenue and the CAP and near Deadman Wash. Similar to the system envisioned for the initial phases of development, a gravity collection system will feed from NorthPark toward these future lift stations and the lift stations will, in turn, pump into a force main system that will flow to the gravity outfall into the gravity trunk main in Dixileta Drive.

The proposed wastewater collection system infrastructure for NorthPark will be designed in accordance with current city design criteria as outlined in the city's 2022 Design Standards Manual for Water and Wastewater Systems. The wastewater system will be designed to convey the anticipated wastewater flows in accordance with City design criteria and other applicable requirements.

10.4. Drainage

The region surrounding the Property generally drains southward. NorthPark is impacted by a system of natural washes and engineered drainage infrastructure that approach the Property from the north and convey regional stormwater flows through and around the Property. These watercourses include, from west to east, New River, Deadman Wash, Upper Buchanan Wash, CAP Wash West, and CAP Wash East. The flows from New River and Deadman Wash cross the CAP Canal siphon and join those conveyed by New River a short distance downstream of the site. These combined flows are impounded behind New River Dam approximately 3-miles downstream of NorthPark. Flows from Upper Buchanan, CAP Wash West, and CAP Wash East are impounded along the north side of the CAP Canal after departing NorthPark and eventually pass beneath the canal via an existing culvert crossing located near the 43rd Avenue alignment.



The most current FEMA Flood Insurance Study (FIS) has been referenced in identifying the drainage conditions for each of the washes. According to FEMA Flood Insurance Rate Maps (FIRM) 04013C0840L, 04013C0845L, 04013C0865L and 04013C1260M the Project is primarily located within Zone X. FEMA defines Zone X as:

The flood insurance rate zone that corresponds to areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood. No base flood elevations or depths are shown within this zone.

Portions of the western extents of the site located along New River and Deadman Wash are designated as Zone AE special flood hazard. It is anticipated that a portion of the Zone AE floodplain within the site can be recovered through the FEMA CLOMR/LOMR process. FEMA defines Zone AE as:

The flood insurance rate zone that corresponds to the 100-year floodplains as determined in the Flood Insurance Study by detailed methods. In most instances, base flood elevations derived from the detailed hydraulic analyses are shown at selected intervals within this zone.

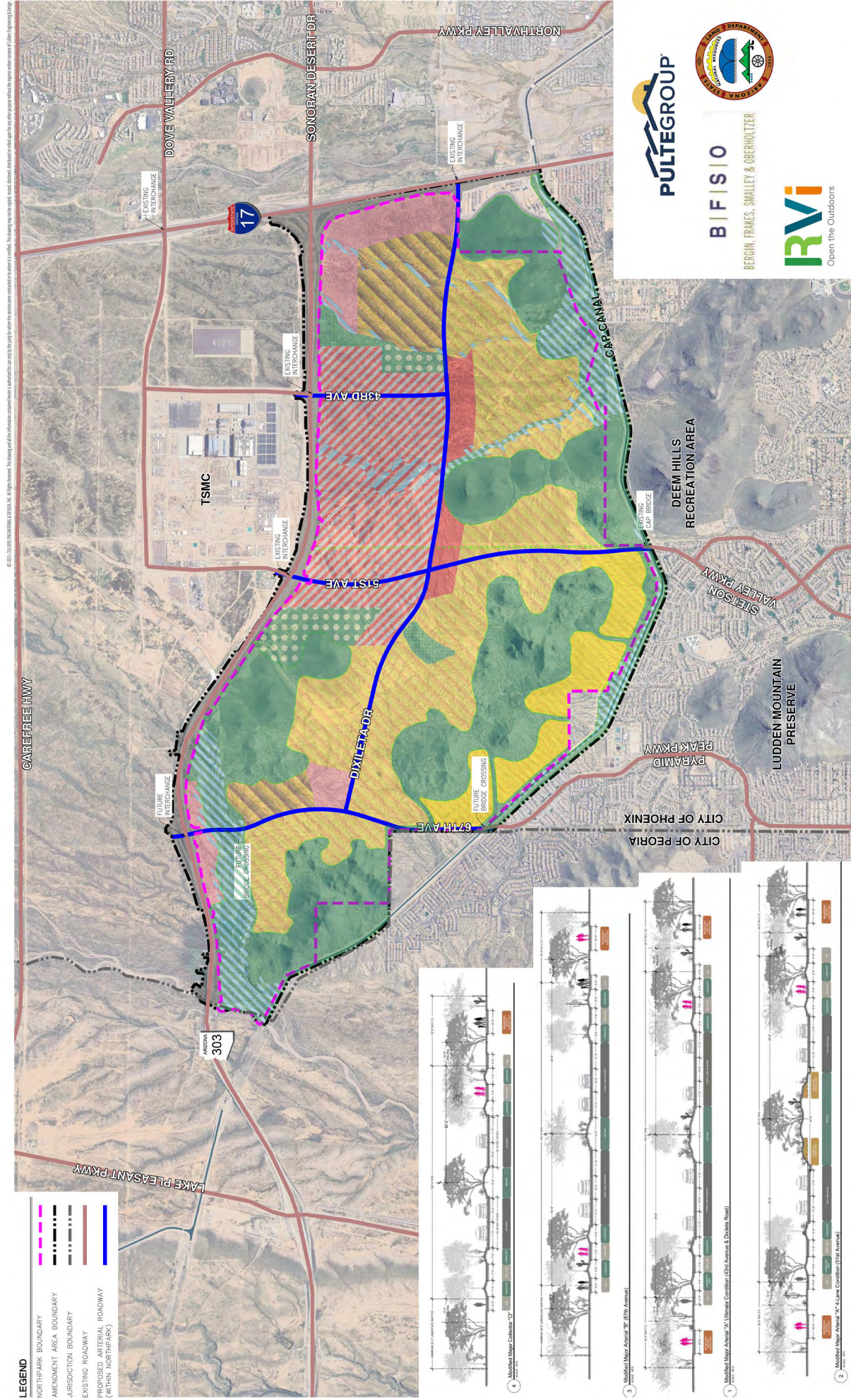
Portions of the eastern extents of the site located along Upper Buchanan Wash, CAP West Wash, and CAP East Wash are designated as Zone A special flood hazard. It is anticipated that a portion of the Zone A floodplain within the site can be rerouted and/or recovered through the FEMA CLOMR/LOMR process. FEMA defines Zone A as:

The flood insurance rate zone that corresponds to the approximate 100-year floodplains. Because detailed analyses are not performed for such areas, no depths or base flood elevations are shown within these zones.

The drainage and floodplain management approach for NorthPark will mimic conditions seen in other established communities in and around the site, including Sonoran Mountain Ranch, Stetson Valley, and Dynamite Mountain Ranch. The proposed encroachment into and management of the floodplains will incorporate soft-structural mitigation measures to preserve the natural desert character of the Property where possible. The soft-structural approach is intended to be a more natural and environmentally conscious mitigation strategy and may include the use of fill to raise the proposed development above the 100-year water surface elevations in the washes as well as bank protection as needed in limited areas. Due to the magnitude of flows conveyed by New River and Deadman Wash as well as their location along the western perimeter of the property, limited encroachment is proposed to occur within the associated floodplains. The Upper Buchanan Wash, CAP Wash West and CAP Wash East, which traverses the interior of the Property and convey considerably less flow in comparison, have conditions and characteristics that enable proposed encroachment into or rerouting of their floodplains. It is expected that the amount of flow reaching these drainageways will continue to diminish with the continued development of TSMC, Halo Vista, and other upstream improvements. Minor, more localized sources of offsite flow, which approach the site from the north and off the hillside areas internal to the Property as sheet flow and/or in shallow washes, are proposed to be mitigated via designated channels that convey offsite flow around the site and outfall to the natural washes.

In accordance with City storm water guidelines, NorthPark will be designed so that onsite rainfall runoff from the Property will be routed via street flow and/or storm drains to retention facilities located throughout the Property. Due to the proximity of the Property to the watercourses described above, a reduced retention requirement (the greater of the Pre vs Post or First Flush volume) may be pursued for those areas that have a direct overflow path to one of the large washes that impact the Property. If an overflow path is not available for a designated area, then the 100-year, 2-hour retention volume will be provided. The proposed drainage improvements for NorthPark will be designed in accordance with all city and Maricopa County drainage design standards. See **Exhibit 17: Conceptual Master Drainage Plan**.





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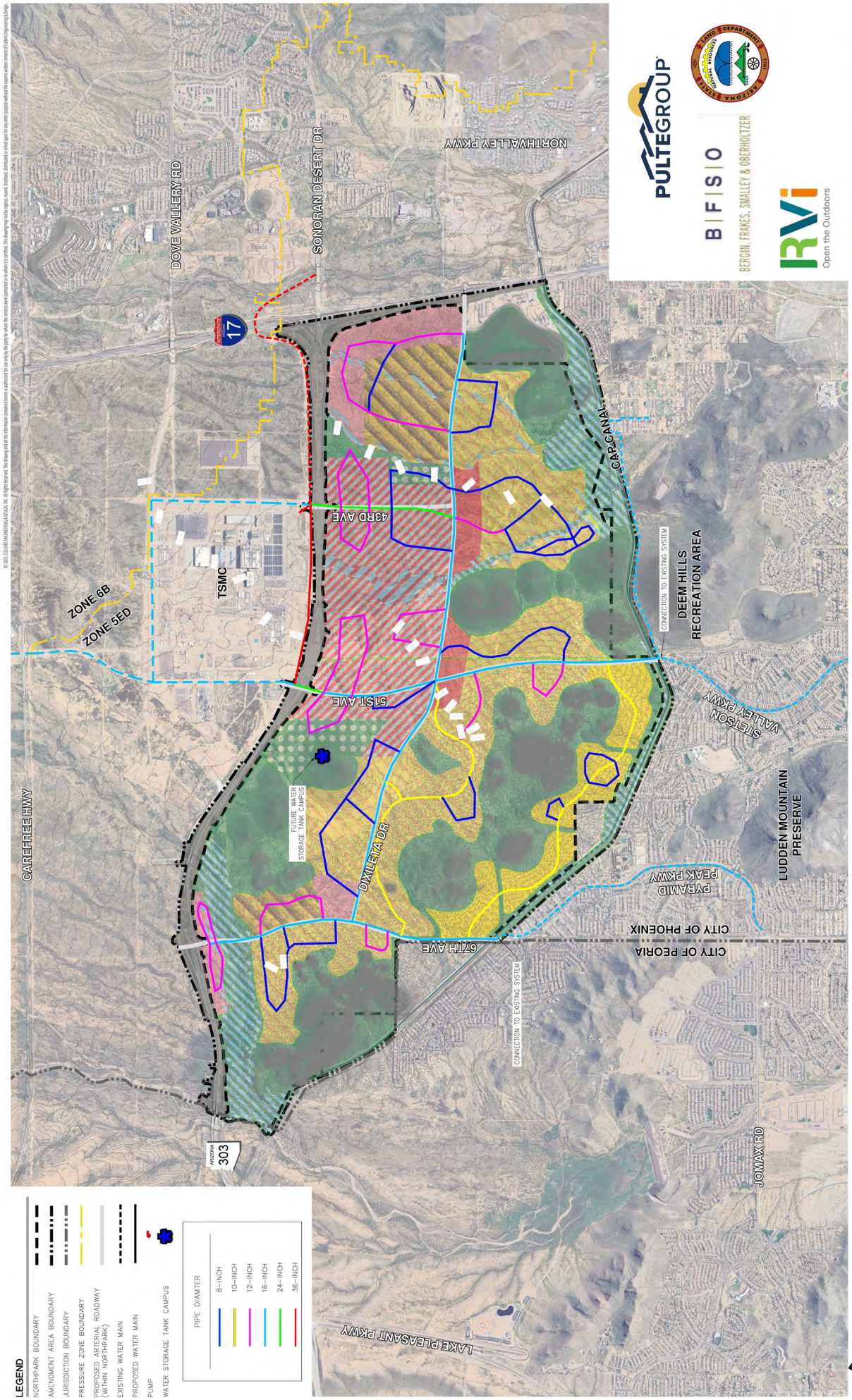
Open the Outdoors

NorthPark
CITY OF PHOENIX, ARIZONA

EXHIBIT 14: CONCEPTUAL ROADWAY MASTER PLAN

This plan is conceptual and subject to change through the planning and development process.

14 NORTH PARK MASTER PLAN - CONCEPTUAL ROADWAY MASTER PLAN - 10/22/2025 1834



LEGEND

- NORTH PARK BOUNDARY
- AMENDMENT AREA BOUNDARY
- JURISDICTION BOUNDARY
- PRESSURE ZONE BOUNDARY
- PROPOSED ARTERIAL ROADWAY
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- PUMP
- WATER STORAGE TANK CAMPUS

PIPE DIAMETER

- 8-INCH
- 10-INCH
- 12-INCH
- 16-INCH
- 24-INCH
- 36-INCH

NorthPark

CITY OF PHOENIX, ARIZONA

EXHIBIT 15: CONCEPTUAL WATER MASTER PLAN

BERGIN, FRANKS, SWALLEY & OBERHOLZER

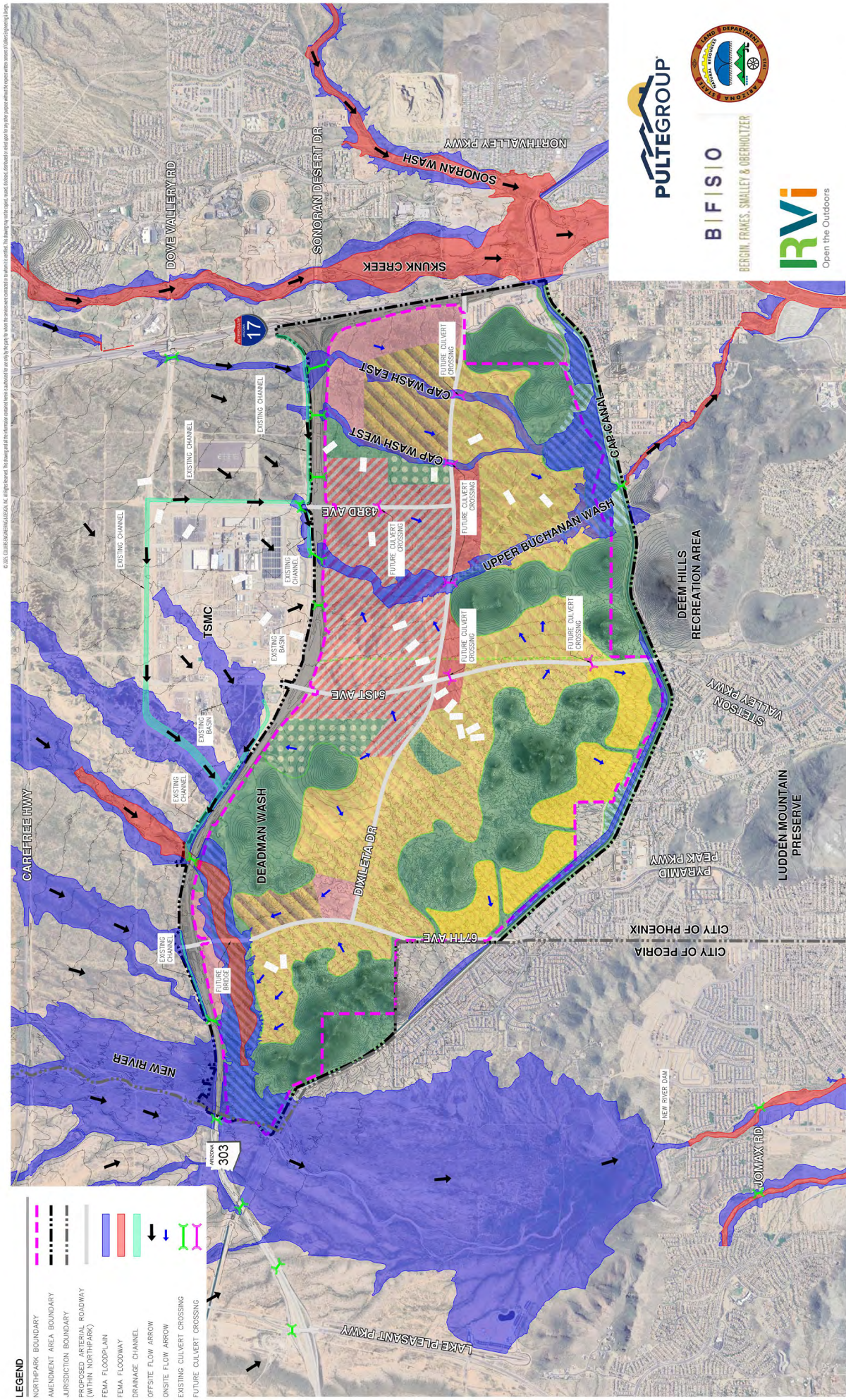
Open the Outdoors

Engineering & Design

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ARIZONA DEPARTMENT OF WATER RESOURCES

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This plan is conceptual and subject to change through the planning and development process.

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APPENDIX A: LEGAL DESCRIPTION



NorthPark



NorthPark

PUD

**NORTHPARK
LEGAL DESCRIPTION**

A parcel of land situate within portions of Sections 13, 14 and 24, Township 5 North, Range 1 East and portions of Sections 17, 18, 19, 20, 21, 22, 23, 27, 28, 29, 30, and 32, Township 5 North, Range 2 East of the Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

BEGINNING at the Northeast corner of Section 27, monumented by a 2-inch aluminum cap stamped 29891, 2001;

THENCE South $00^{\circ}06'42''$ East (as the Basis of Bearings) along the easterly line of the Northeast quarter of said Section 27, a distance of 2645.93 feet to the East quarter of said Section 27, monumented by a 2-inch aluminum cap stamped 29891;

THENCE South $00^{\circ}01'40''$ West along the easterly line of the Southeast quarter of said Section 27, a distance of 1069.05 feet to the northerly line of the Central Arizona Project right of way reservation;

THENCE the following Six (6) courses along the northerly line of the Central Arizona Project right of way reservation;

THENCE North $77^{\circ}04'23''$ West, 311.84 feet;

THENCE South $70^{\circ}48'58''$ West, 2109.14 feet;

THENCE South $53^{\circ}33'36''$ West, 1192.13 feet;

THENCE North $74^{\circ}25'21''$ West, 1490.75 feet;

THENCE South $67^{\circ}58'53''$ West, 647.76 feet to the easterly line of the Southeast quarter of Section 28;

THENCE South $00^{\circ}09'02''$ East along said easterly line, 433.84 feet to the Southeast corner of said Section 28, monumented by a 3-inch aluminum cap stamped 29891, 2001;

THENCE North $89^{\circ}45'03''$ West along the southerly line of the Southeast quarter of said Section 28, a distance of 2646.87 feet to the South quarter corner of said Section 28, monumented by a 2-inch aluminum cap stamped 29891, 2001;

THENCE North $89^{\circ}45'12''$ West along the southerly line of the Southwest quarter of said Section 28, a distance of 2661.05 feet to the Southwest corner of said Section 28, monumented by an aluminum cap stamped 39325, 2013;

April 30, 2025

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THENCE South 89°50'45" West along the southerly line of the Southeast quarter of Section 29, a distance of 32.61 feet to the northerly line of the Central Arizona Project right of way reservation;

THENCE the following Ten (10) courses along the northerly line of the Central Arizona Project right of way reservation;

THENCE South 00°25'21" East, 1339.82 feet;

THENCE South 66°45'21" West, 1357.11 feet;

THENCE North 87°44'42" West, 608.05 feet;

THENCE North 66°34'09" West, 1098.32 feet;

THENCE North 40°35'21" West, 225.94 feet;

THENCE North 66°32'21" West, 1846.63 feet;

THENCE North 23°23'00" East, 250.00 feet;

THENCE North 66°32'21" West, 399.66 feet;

THENCE North 89°56'21" West, 296.59 feet to the westerly line of the Northwest quarter of Section 32;

THENCE North 00°44'12" West along said westerly line, 97.83 feet to the Southwest corner of Section 29;

THENCE North 00°24'11" West along the westerly line of the Southwest quarter of Section 29 and the easterly line of that property described in Deed recorded at Instrument Number 2012-0632438, Maricopa County Recorder's Office, Maricopa County, Arizona, 1323.21 feet;

THENCE leaving said Westerly line South 89°32'20" West along the northerly line of said property, 2179.99 feet to the northerly line of the Central Arizona Project right of way reservation;

THENCE North 39°43'40" West along the northerly line of the Central Arizona Project right of way reservation, 1685.88 feet;

THENCE North 43°04'31" West along the northerly line of the Central Arizona Project right of way reservation, 2592.13 feet to the westerly line of the Northwest quarter of Section 30;

April 30, 2025

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THENCE North 00°06'02" East along the westerly line of the Northwest quarter of said Section 30, a distance of 686.65 feet to the Southwest corner of Section 19, monumented by a 2-inch aluminum cap stamped 29891, 2001;

THENCE North 00°18'40" East along the westerly line of the Southwest quarter of said Section 19, a distance of 2627.59 feet to the West quarter corner of said Section 19, monumented by a 2-inch aluminum cap stamped 29891, 2001, said point also being the East quarter corner of Section 24, Township 5 North, Range 1 East of the Gila and Salt River Meridian, Maricopa County, Arizona;

THENCE North 89°33'45" West along the southerly line of the Northeast quarter of said Section 24, a distance of 2655.49 feet to the Center of said Section 24;

THENCE North 00°05'20" West along the westerly line of the Northeast quarter of said Section 24, a distance of 2648.38 feet to the North quarter corner of said Section 24 monumented by a 2-inch aluminum cap stamped 29891, 2001, said point also being the South quarter corner of Section 13;

THENCE North 89°45'52" West along the southerly line of the Southwest quarter of said Section 13, a distance of 2137.41 feet to the northerly line of the Central Arizona Project right of way reservation;

THENCE North 23°55'10" West along the northerly line of the Central Arizona Project right of way reservation, 1177.53 feet;

THENCE North 63°00'22" West along the northerly line of the Central Arizona Project right of way reservation to the westerly Phoenix City limits boundary line, 2008.76 feet;

THENCE the following courses along the westerly Phoenix City limits boundary line;

THENCE North 30°42'00" East, 113.93 feet;

THENCE North 55°34'54" East, 446.08 feet;

THENCE North 27°33'10" East, 88.39 feet;

THENCE North 16°30'16" East, 93.95 feet;

THENCE North 13°51'05" East, 256.18 feet;

THENCE North 30°15'23" East, 94.67 feet;

THENCE North 06°00'33" East, 130.19 feet;

THENCE North 04°29'05" West, 174.30 feet;

THENCE North 15°43'55" West, 251.33 feet;

April 30, 2025

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THENCE North $20^{\circ}33'21''$ East, 116.45 feet;

THENCE North $27^{\circ}21'00''$ East, 44.98 feet to the southerly right of way line of ADOT Loop 303 as described in the Right-of-Way plans of the Bob Stump Memorial Parkway Happy Valley Road – I-17 303L MA 025 H5946 01R S 303-A-700, Dated September, 2012 and also as described in the Right-of-Way plans of the Bob Stump Memorial Parkway 51ST Avenue & 43RD Avenue T.I'S 303L MA 136 F0424 303-A(228)T Dated October, 2024.

THENCE the following courses along said southerly right of way line of ADOT Loop 303 until otherwise noted;

THENCE North $89^{\circ}16'02''$ East, 276.50 feet;

THENCE South $00^{\circ}43'58''$ East, 132.78 feet;

THENCE North $86^{\circ}08'00''$ East, 295.45 feet;

THENCE North $03^{\circ}52'00''$ West, 36.50 feet;

THENCE North $86^{\circ}08'00''$ East, 1046.82 feet;

THENCE South $03^{\circ}52'01''$ East, 80.00 feet;

THENCE North $86^{\circ}08'00''$ East, 301.20 feet;

THENCE North $88^{\circ}59'15''$ East, 99.78 feet;

THENCE North $01^{\circ}33'48''$ West, 80.00 feet to the beginning of a non-tangent curve, concave northerly, whose radius bears North $00^{\circ}56'27''$ West, 5933.89 feet;

THENCE easterly along said curve to the left, through a central angle of $13^{\circ}35'28''$, an arc length of 1407.57 feet to a non-tangent line;

THENCE South $15^{\circ}09'51''$ East, 77.00 feet;

THENCE North $74^{\circ}07'34''$ East, 183.06 feet;

THENCE North $15^{\circ}56'47''$ West, 77.00 feet;

THENCE North $74^{\circ}03'13''$ East, 894.14 feet;

THENCE North $78^{\circ}29'42''$ East, 1446.81 feet;

THENCE South $15^{\circ}40'00''$ East, 50.00 feet;

April 30, 2025

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THENCE North 78°17'53" East, 101.24 feet;

THENCE North 15°40'00" West, 50.00 feet;

THENCE North 78°22'59" East, 339.85 feet;

THENCE South 52°37'18" East, 130.23 feet;

THENCE South 00°06'58" East, 201.60 feet;

THENCE South 89°59'59" East, 199.45 feet;

THENCE North 00°00'00" East, 273.00 feet;

THENCE North 42°02'14" East, 175.51 feet;

THENCE North 79°20'19" East, 796.61 feet to the beginning of a non-tangent curve, concave southerly, whose radius bears South 04°54'38" East, 3752.45 feet;

THENCE easterly along said curve to the right, through a central angle of 20°24'29", an arc length of 1336.58 feet to a non-tangent line;

THENCE South 72°50'39" East, 269.94 feet;

THENCE South 72°50'39" East, 694.21 feet to the beginning of a non-tangent curve, concave southerly, whose radius bears South 12°53'35" West, 5347.61 feet;

THENCE easterly along said curve to the right, through a central angle of 11°09'26", an arc length of 1336.58 feet to a non-tangent line;

THENCE South 31°28'09" West, 86.85 feet;

THENCE South 58°27'40" East, 1173.62 feet;

THENCE South 55°59'46" East, 1086.20 feet;

THENCE South 56°00'00" East, 1977.10 feet;

THENCE South 48°21'12" East, 1,232.07 feet;

THENCE South 59°59'53" East, 359.66 feet;

THENCE South 22°29'53" East, 79.32 feet;

THENCE South 15°00'07" West, 83.26 feet to the beginning of a non-tangent curve concave easterly whose radius bears South 74°59'53" East, 2,104.66 feet;

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THENCE southerly along said curve to the left, through a central angle of $5^{\circ}56'54''$, an arc length of 218.40 feet to a non-tangent line;

THENCE South $80^{\circ}56'47''$ East, 231.26 feet to the beginning of a non-tangent curve concave easterly whose radius bears South $81^{\circ}17'40''$ East, 1,677.26 feet

THENCE northerly along said curve to the right, through a central angle of $6^{\circ}18'41''$, an arc length of 194.52 feet to a non-tangent line;

THENCE North $15^{\circ}00'07''$ East 59.97 feet;

THENCE North $64^{\circ}34'50''$ East, 105.81 feet;

THENCE South $66^{\circ}46'17''$ East, 504.64 feet;

THENCE South $74^{\circ}24'07''$ East, 402.59 feet;

THENCE South $69^{\circ}00'44''$ East, 323.78'

THENCE South $77^{\circ}45'22''$ East, 671.06 feet;

THENCE South $19^{\circ}37'06''$ East, 142.71 feet;

THENCE North $70^{\circ}25'49''$ East, 99.97 feet;

THENCE North $19^{\circ}37'06''$ West, 90.07 feet;

THENCE North $85^{\circ}24'18''$ East, 903.48 feet;

THENCE South $00^{\circ}11'23''$ East, 76.75 feet;

THENCE North $89^{\circ}51'43''$ East, 100.00 feet;

THENCE North $00^{\circ}11'25''$ West, 84.63 feet;

THENCE North $85^{\circ}24'18''$ East, 630.86 feet;

THENCE South $86^{\circ}53'33''$ East, 93.69 feet;

THENCE South $86^{\circ}56'58''$ East, 2599.77 feet;

THENCE South $42^{\circ}10'50''$ East, 127.09 feet;

THENCE South $01^{\circ}26'33''$ West, 237.91 feet;

THENCE South $88^{\circ}31'59''$ East, 205.00 feet;

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THENCE North 01°26'27" East, 237.09 feet;

THENCE North 44°19'22" East, 160.86 feet;

THENCE North 86°57'15" East, 537.78 feet;

THENCE South 81°53'44" East, 228.25 feet;

THENCE North 85°56'29" East, 62.16 feet;

THENCE South 00°02'45" West, 72.36 feet;

THENCE South 89°54'11" East, 100.00 feet;

THENCE North 00°02'43" East, 79.62 feet;

THENCE North 85°56'29" East, 284.73 feet;

THENCE North 89°50'43" East, 1152.10 feet;

THENCE South 87°26'41" East, 724.71 feet;

THENCE South 00°01'20" West, 59.88 feet;

THENCE South 89°55'34" East, 100.00 feet;

THENCE North 00°01'20" East, 55.44 feet;

THENCE South 87°26'10" East, 1769.71 feet to the westerly right of way line of ADOT Interstate 17;

THENCE the following Ten (10) courses along the westerly right of way line of ADOT Interstate 17;

THENCE North 89°35'09" East, 439.46 feet;

THENCE South 81°46'01" East, 284.24 feet;

THENCE South 59°20'45" East, 442.45 feet;

THENCE South 31°13'22" East, 431.10 feet;

THENCE South 13°06'44" East, 562.38 feet;

THENCE South 17°25'14" East, 1157.34 feet;

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THENCE South 13° 04' 46" East, 1358.58 feet;

THENCE South 03° 21' 53" East, 1146.66 feet;

THENCE South 77° 34' 52" West, 284.49 feet;

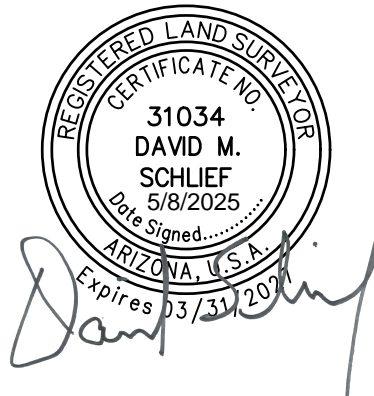
THENCE South 00° 19' 47" East, 120.18 feet to the northerly line of the Northwest quarter of Section 26;

THENCE South 89° 45' 17" West along said northerly line, 1863.53 feet to the **POINT OF BEGINNING**.

The above-described parcel of land contains 276,923,677 Square Feet or 6,357.2929 acres and being subject to any easements, restrictions, rights-of-way of record or otherwise.

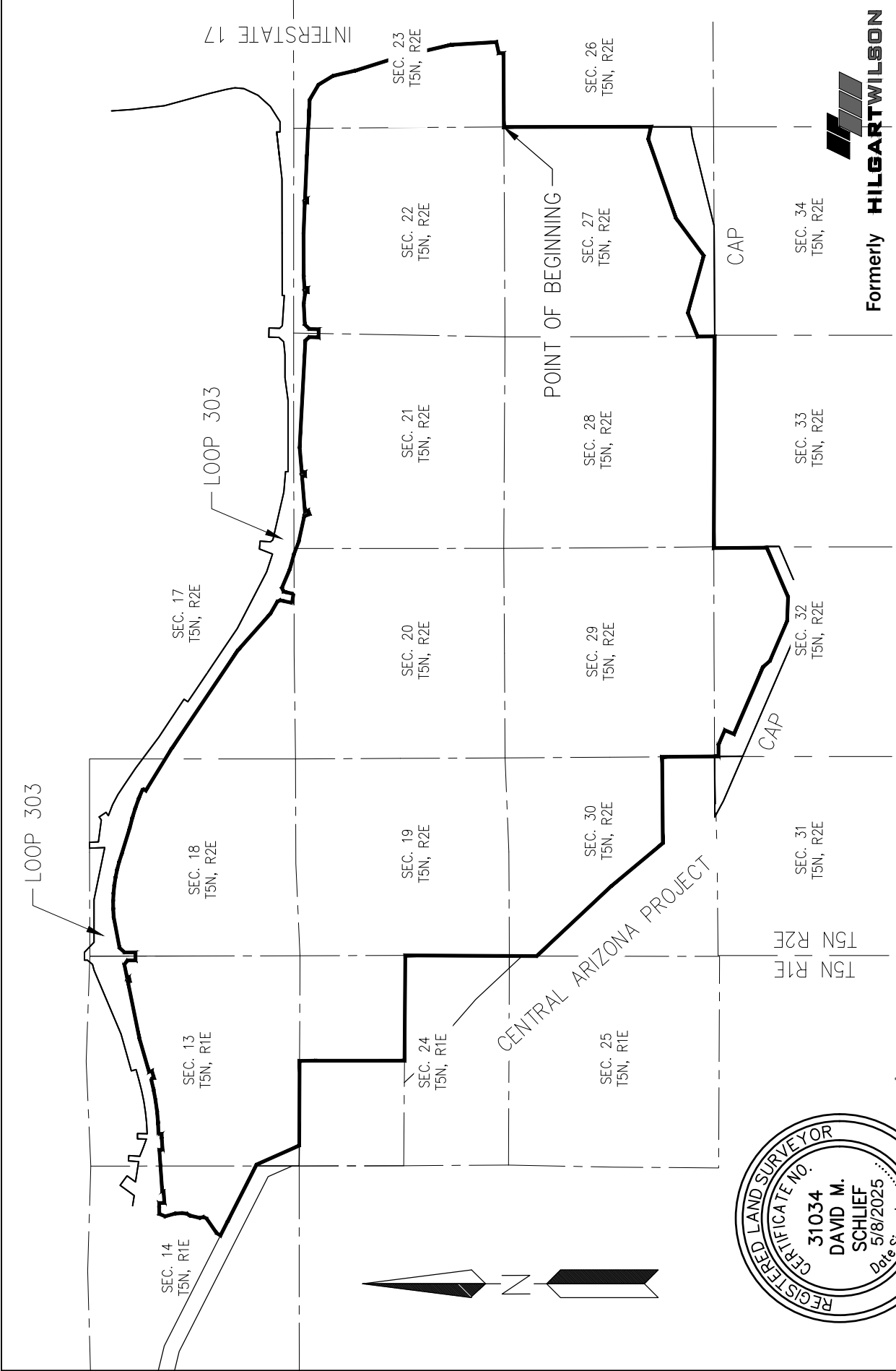
The description shown hereon is not to be used to violate any subdivision regulation of the state, county and/or municipality or any land division restrictions.

Prepared by: COLLIERS ENGINEERING AND DESIGN
4742 N 24TH Street Suite 270
Phoenix, AZ 85016
Project No. 1834
Date: May 8, 2025



April 30, 2025

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Formerly **HILGARTWILSON**

NORTHPARK	
PROJ.NO.: 1834	Engineering & Design
DATE: MAY, 2025	Colliers
SCALE: 1" = 3500'	4742 N 24th Street, Suite 270
DRAWN BY: BMG	PHOENIX, AZ 85016
CHECKED BY: DMS	EXHIBIT
P: 602.490.0535 / F: 602.368.2436	



Expires 03/31/2026

Parcel Map Check Report

Parcel Name: 1834 NEW ADOT L303 RIGHT-OF-WAY

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 1,002,163.2290' East: 633,776.3600'

Segment# 1: Line

Course: S0° 06' 42"E Length: 2,645.93'
North: 999,517.3040' East: 633,781.5168'

Segment# 2: Line

Course: S0° 01' 40"W Length: 1,069.05'
North: 998,448.2542' East: 633,780.9985'

Segment# 3: Line

Course: N77° 04' 23"W Length: 2.48'
North: 998,448.8089' East: 633,778.5813'

Segment# 4: Line

Course: N77° 04' 23"W Length: 309.36'
North: 998,518.0154' East: 633,477.0617'

Segment# 5: Line

Course: S70° 48' 58"W Length: 2,109.14'
North: 997,824.9497' East: 631,485.0448'

Segment# 6: Line

Course: S53° 33' 36"W Length: 1,192.13'
North: 997,116.8476' East: 630,526.0009'

Segment# 7: Line

Course: N74° 25' 21"W Length: 1,490.75'
North: 997,517.1759' East: 629,090.0090'

Segment# 8: Line

Course: S67° 58' 53"W	Length: 647.76'
North: 997,274.3256'	East: 628,489.4952'

Segment# 9: Line

Course: S0° 09' 02"E	Length: 433.84'
North: 996,840.4871'	East: 628,490.6352'

Segment# 10: Line

Course: N89° 45' 03"W	Length: 2,646.87'
North: 996,851.9978'	East: 625,843.7902'

Segment# 11: Line

Course: N89° 45' 12"W	Length: 2,661.05'
North: 996,863.4539'	East: 623,182.7649'

Segment# 12: Line

Course: S89° 50' 45"W	Length: 32.61'
North: 996,863.3662'	East: 623,150.1550'

Segment# 13: Line

Course: S0° 25' 21"E	Length: 1,339.82'
North: 995,523.5826'	East: 623,160.0348'

Segment# 14: Line

Course: S66° 45' 21"W	Length: 1,357.11'
North: 994,987.9987'	East: 621,913.0795'

Segment# 15: Line

Course: N87° 44' 42"W	Length: 608.05'
North: 995,011.9237'	East: 621,305.5004'

Segment# 16: Line

Course: N66° 34' 09"W	Length: 1,098.32'
North: 995,448.6615'	East: 620,297.7470'

Segment# 17: Line

Course: N40° 35' 21"W	Length: 225.94'
North: 995,620.2391'	East: 620,150.7435'

Segment# 18: Line
Course: N66° 32' 21"W Length: 1,846.63'
North: 996,355.4233' East: 618,456.7699'

Segment# 19: Line
Course: N23° 23' 00"E Length: 250.00'
North: 996,584.8908' East: 618,555.9901'

Segment# 20: Line
Course: N66° 32' 21"W Length: 399.66'
North: 996,744.0043' East: 618,189.3690'

Segment# 21: Line
Course: N89° 56' 21"W Length: 296.59'
North: 996,744.3192' East: 617,892.7792'

Segment# 22: Line
Course: N0° 33' 54"W Length: 201.79'
North: 996,946.0994' East: 617,890.7894'

Segment# 23: Line
Course: N0° 24' 11"W Length: 1,219.25'
North: 998,165.3192' East: 617,882.2124'

Segment# 24: Line
Course: S89° 32' 20"W Length: 2,179.99'
North: 998,147.7750' East: 615,702.2930'

Segment# 25: Line
Course: N39° 43' 40"W Length: 1,685.88'
North: 999,444.3681' East: 614,624.7784'

Segment# 26: Line
Course: N43° 04' 31"W Length: 2,592.13'
North: 1,001,337.8077' East: 612,854.4608'

Segment# 27: Line

Course: N0° 06' 02"E	Length: 686.65'
North: 1,002,024.4566'	East: 612,855.6659'

Segment# 28: Line

Course: N0° 18' 40"E	Length: 2,627.59'
North: 1,004,652.0079'	East: 612,869.9334'

Segment# 29: Line

Course: N89° 33' 45"W	Length: 2,655.49'
North: 1,004,672.2845'	East: 610,214.5208'

Segment# 30: Line

Course: N0° 05' 20"W	Length: 2,648.38'
North: 1,007,320.6614'	East: 610,210.4121'

Segment# 31: Line

Course: N89° 45' 52"W	Length: 2,137.41'
North: 1,007,329.4487'	East: 608,073.0202'

Segment# 32: Line

Course: N23° 55' 10"W	Length: 1,177.53'
North: 1,008,405.8482'	East: 607,595.5885'

Segment# 33: Line

Course: N63° 00' 22"W	Length: 2,008.76'
North: 1,009,317.6152'	East: 605,805.6729'

Segment# 34: Line

Course: N30° 42' 00"E	Length: 113.93'
North: 1,009,415.5782'	East: 605,863.8391'

Segment# 35: Line

Course: N55° 34' 54"E	Length: 446.08'
North: 1,009,667.7164'	East: 606,231.8251'

Segment# 36: Line

Course: N27° 33' 10"E	Length: 88.39'
North: 1,009,746.0817'	East: 606,272.7112'

Segment# 37: Line
Course: N16° 30' 16"W Length: 95.95'
North: 1,009,838.0783' East: 606,245.4528'

Segment# 38: Line
Course: N13° 51' 05"E Length: 256.18'
North: 1,010,086.8086' East: 606,306.7834'

Segment# 39: Line
Course: N30° 15' 23"E Length: 94.67'
North: 1,010,168.5826' East: 606,354.4848'

Segment# 40: Line
Course: N6° 00' 33"E Length: 130.19'
North: 1,010,298.0572' East: 606,368.1141'

Segment# 41: Line
Course: N4° 29' 05"W Length: 174.30'
North: 1,010,471.8236' East: 606,354.4850'

Segment# 42: Line
Course: N15° 43' 55"W Length: 251.33'
North: 1,010,713.7389' East: 606,286.3401'

Segment# 43: Line
Course: N20° 33' 21"E Length: 116.45'
North: 1,010,822.7746' East: 606,327.2280'

Segment# 44: Line
Course: N27° 21' 00"E Length: 44.98'
North: 1,010,862.7266' East: 606,347.8930'

Segment# 45: Line
Course: N89° 16' 02"E Length: 276.50'
North: 1,010,866.2628' East: 606,624.3704'

Segment# 46: Line

Course: S0° 43' 58"E	Length: 132.78'
North: 1,010,733.4936'	East: 606,626.0685'

Segment# 47: Line

Course: N86° 08' 00"E	Length: 295.45'
North: 1,010,753.4172'	East: 606,920.8460'

Segment# 48: Line

Course: N3° 52' 00"W	Length: 36.50'
North: 1,010,789.8342'	East: 606,918.3846'

Segment# 49: Line

Course: N86° 08' 00"E	Length: 1,046.82'
North: 1,010,860.4263'	East: 607,962.8217'

Segment# 50: Line

Course: S3° 52' 01"E	Length: 80.00'
North: 1,010,780.6084'	East: 607,968.2169'

Segment# 51: Line

Course: N86° 08' 00"E	Length: 301.20'
North: 1,010,800.9198'	East: 608,268.7312'

Segment# 52: Line

Course: N88° 59' 15"E	Length: 99.78'
North: 1,010,802.6830'	East: 608,368.4957'

Segment# 53: Line

Course: N1° 33' 48"W	Length: 80.00'
North: 1,010,882.6532'	East: 608,366.3131'

Segment# 54: Curve

Length: 1,407.56'	Radius: 5,933.89'
Delta: 13°35'28"	Tangent: 707.10'
Chord: 1,404.27'	Course: N82° 15' 50"E
Course In: N0° 56' 27"W	Course Out: S14° 31' 54"E
RP North: 1,016,815.7432'	East: 608,268.8792'
End North: 1,011,071.6836'	East: 609,757.7815'

Segment# 55: Line
Course: S15° 09' 51"E Length: 77.00'
North: 1,010,997.3648' East: 609,777.9236'

Segment# 56: Line
Course: N74° 07' 34"E Length: 183.06'
North: 1,011,047.4355' East: 609,954.0028'

Segment# 57: Line
Course: N15° 56' 47"W Length: 77.00'
North: 1,011,121.4725' East: 609,932.8480'

Segment# 58: Line
Course: N74° 03' 13"E Length: 894.14'
North: 1,011,367.1265' East: 610,792.5808'

Segment# 59: Line
Course: N78° 29' 42"E Length: 1,446.81'
North: 1,011,655.6978' East: 612,210.3204'

Segment# 60: Line
Course: S15° 40' 00"E Length: 50.00'
North: 1,011,607.5553' East: 612,223.8225'

Segment# 61: Line
Course: N78° 17' 53"E Length: 101.24'
North: 1,011,628.0889' East: 612,322.9583'

Segment# 62: Line
Course: N15° 40' 00"W Length: 50.00'
North: 1,011,676.2313' East: 612,309.4563'

Segment# 63: Line
Course: N78° 22' 59"E Length: 339.85'
North: 1,011,744.6661' East: 612,642.3447'

Segment# 64: Line

Course: S52° 37' 18"E	Length: 130.23'
North: 1,011,665.6067'	East: 612,745.8312'

Segment# 65: Line

Course: S0° 06' 58"E	Length: 201.60'
North: 1,011,464.0071'	East: 612,746.2398'

Segment# 66: Line

Course: S89° 59' 59"E	Length: 199.45'
North: 1,011,464.0061'	East: 612,945.6898'

Segment# 67: Line

Course: N0° 00' 00"E	Length: 273.00'
North: 1,011,737.0061'	East: 612,945.6898'

Segment# 68: Line

Course: N42° 02' 14"E	Length: 175.51'
North: 1,011,867.3591'	East: 613,063.2136'

Segment# 69: Line

Course: N79° 20' 19"E	Length: 796.61'
North: 1,012,014.7355'	East: 613,846.0722'

Segment# 70: Curve

Length: 1,336.58'	Radius: 3,752.45'
Delta: 20°24'29"	Tangent: 675.45'
Chord: 1,329.53'	Course: S84° 42' 23"E
Course In: S4° 54' 38"E	Course Out: N15° 29' 52"E
RP North: 1,008,276.0587'	East: 614,167.2838'
End North: 1,011,892.0727'	East: 615,169.9422'

Segment# 71: Line

Course: S72° 50' 39"E	Length: 269.94'
North: 1,011,812.4481'	East: 615,427.8715'

Segment# 72: Line

Course: S72° 50' 39"E	Length: 694.21'
North: 1,011,607.6758'	East: 616,091.1933'

Segment# 73: Curve

Length: 1,041.34'

Delta: 11°09'26"

Chord: 1,039.69'

Course In: S12° 53' 35"W

RP North: 1,006,394.8885'

End North: 1,011,278.2628'

Radius: 5,347.61'

Tangent: 522.32'

Course: S71° 31' 42"E

Course Out: N24° 03' 01"E

East: 614,897.9705'

East: 617,077.3255'

Segment# 74: Line

Course: S31° 28' 09"W

North: 1,011,204.1866'

Length: 86.85'

East: 617,031.9864'

Segment# 75: Line

Course: S58° 27' 40"E

North: 1,010,590.2927'

Length: 1,173.62'

East: 618,032.2455'

Segment# 76: Line

Course: S55° 59' 46"E

North: 1,009,982.8363'

Length: 1,086.20'

East: 618,932.7049'

Segment# 77: Line

Course: S56° 00' 00"E

North: 1,008,877.2560'

Length: 1,977.10'

East: 620,571.7951'

Segment# 78: Line

Course: S48° 21' 12"E

North: 1,008,058.5023'

Length: 1,232.07'

East: 621,492.4681'

Segment# 79: Line

Course: S59° 59' 53"E

North: 1,007,878.6617'

Length: 359.66'

East: 621,803.9367'

Segment# 80: Line

Course: S22° 29' 53"E

North: 1,007,805.3786'

Length: 79.32'

East: 621,834.2887'

Segment# 81: Line

Course: S15° 00' 07"W
North: 1,007,724.9563'

Length: 83.26'
East: 621,812.7367'

Segment# 82: Curve

Length: 218.50'
Delta: 5°56'54"
Chord: 218.40'
Course In: S74° 59' 53"E
RP North: 1,007,180.1612'
End North: 1,007,511.3475'

Radius: 2,104.66'
Tangent: 109.35'
Course: S12° 01' 40"W
Course Out: N80° 56' 47"W
East: 623,845.6636'
East: 621,767.2245'

Segment# 83: Line

Course: S80° 56' 47"E
North: 1,007,474.9568'

Length: 231.26'
East: 621,995.6033'

Segment# 84: Curve

Length: 194.52'
Delta: 6°38'41"
Chord: 194.41'
Course In: S81° 17' 40"E
RP North: 1,007,221.0923'
End North: 1,007,665.0955'

Radius: 1,677.26'
Tangent: 97.37'
Course: N12° 01' 40"E
Course Out: N74° 38' 59"W
East: 623,653.5400'
East: 622,036.1154'

Segment# 85: Line

Course: N15° 00' 07"E
North: 1,007,723.0215'

Length: 59.97'
East: 622,051.6387'

Segment# 86: Line

Course: N64° 34' 50"E
North: 1,007,768.4396'

Length: 105.81'
East: 622,147.2052'

Segment# 87: Line

Course: S66° 46' 17"E
North: 1,007,569.4091'

Length: 504.64'
East: 622,610.9384'

Segment# 88: Line

Course: S74° 24' 07"E
North: 1,007,461.1579'

Length: 402.59'
East: 622,998.7016'

Segment# 89: Line
Course: S69° 00' 44"E Length: 323.78'
North: 1,007,345.1900' East: 623,301.0011'

Segment# 90: Line
Course: S77° 45' 22"E Length: 671.06'
North: 1,007,202.8760' East: 623,956.7969'

Segment# 91: Line
Course: S19° 37' 06"E Length: 142.71'
North: 1,007,068.4503' East: 624,004.7123'

Segment# 92: Line
Course: N70° 25' 49"E Length: 99.97'
North: 1,007,101.9356' East: 624,098.9074'

Segment# 93: Line
Course: N19° 37' 06"W Length: 90.07'
North: 1,007,186.7770' East: 624,068.6662'

Segment# 94: Line
Course: N85° 24' 18"E Length: 903.48'
North: 1,007,259.1566' East: 624,969.2423'

Segment# 95: Line
Course: S0° 11' 23"E Length: 76.75'
North: 1,007,182.4070' East: 624,969.4964'

Segment# 96: Line
Course: N89° 51' 43"E Length: 100.00'
North: 1,007,182.6479' East: 625,069.4961'

Segment# 97: Line
Course: N0° 11' 25"W Length: 84.63'
North: 1,007,267.2775' East: 625,069.2151'

Segment# 98: Line

Course: N85° 24' 18"E	Length: 630.86'
North: 1,007,317.8169'	East: 625,698.0474'

Segment# 99: Line	
Course: S86° 53' 33"E	Length: 93.69'
North: 1,007,312.7380'	East: 625,791.5996'

Segment# 100: Line	
Course: S86° 56' 58"E	Length: 2,599.77'
North: 1,007,174.3858'	East: 628,387.6857'

Segment# 101: Line	
Course: S42° 10' 50"E	Length: 127.09'
North: 1,007,080.2080'	East: 628,473.0227'

Segment# 102: Line	
Course: S1° 26' 33"W	Length: 237.91'
North: 1,006,842.3734'	East: 628,467.0336'

Segment# 103: Line	
Course: S88° 31' 59"E	Length: 205.00'
North: 1,006,837.1254'	East: 628,671.9664'

Segment# 104: Line	
Course: N1° 26' 27"E	Length: 237.09'
North: 1,007,074.1404'	East: 628,677.9280'

Segment# 105: Line	
Course: N44° 19' 22"E	Length: 160.86'
North: 1,007,189.2220'	East: 628,790.3208'

Segment# 106: Line	
Course: N86° 57' 15"E	Length: 537.78'
North: 1,007,217.7969'	East: 629,327.3411'

Segment# 107: Line	
Course: S81° 53' 44"E	Length: 228.25'
North: 1,007,185.6186'	East: 629,553.3115'

Segment# 108: Line
Course: N85° 56' 29"E Length: 62.16'
North: 1,007,190.0181' East: 629,615.3156'

Segment# 109: Line
Course: S0° 02' 45"W Length: 72.36'
North: 1,007,117.6582' East: 629,615.2578'

Segment# 110: Line
Course: S89° 54' 11"E Length: 100.00'
North: 1,007,117.4890' East: 629,715.2576'

Segment# 111: Line
Course: N0° 02' 43"E Length: 79.62'
North: 1,007,197.1089' East: 629,715.3205'

Segment# 112: Line
Course: N85° 56' 29"E Length: 284.73'
North: 1,007,217.2612' East: 629,999.3365'

Segment# 113: Line
Course: N89° 50' 43"E Length: 1,152.10'
North: 1,007,220.3724' East: 631,151.4323'

Segment# 114: Line
Course: S87° 26' 41"E Length: 724.71'
North: 1,007,188.0625' East: 631,875.4217'

Segment# 115: Line
Course: S0° 01' 20"W Length: 59.88'
North: 1,007,128.1825' East: 631,875.3985'

Segment# 116: Line
Course: S89° 55' 34"E Length: 100.00'
North: 1,007,128.0535' East: 631,975.3984'

Segment# 117: Line

Course: N0° 01' 20"E	Length: 55.44'
North: 1,007,183.4935'	East: 631,975.4199'

Segment# 118: Line	
Course: S87° 26' 10"E	Length: 1,769.71'
North: 1,007,104.3284'	East: 633,743.3583'

Segment# 119: Line	
Course: N89° 35' 09"E	Length: 439.46'
North: 1,007,107.5051'	East: 634,182.8068'

Segment# 120: Line	
Course: S81° 46' 01"E	Length: 284.24'
North: 1,007,066.8019'	East: 634,464.1174'

Segment# 121: Line	
Course: S59° 20' 45"E	Length: 442.45'
North: 1,006,841.2166'	East: 634,844.7396'

Segment# 122: Line	
Course: S31° 13' 22"E	Length: 431.10'
North: 1,006,472.5579'	East: 635,068.2076'

Segment# 123: Line	
Course: S13° 06' 44"E	Length: 562.38'
North: 1,005,924.8405'	East: 635,195.7886'

Segment# 124: Line	
Course: S17° 25' 14"E	Length: 1,157.34'
North: 1,004,820.5842'	East: 635,542.2767'

Segment# 125: Line	
Course: S13° 04' 46"E	Length: 1,358.58'
North: 1,003,497.2495'	East: 635,849.7259'

Segment# 126: Line	
Course: S3° 21' 53"E	Length: 1,146.66'
North: 1,002,352.5662'	East: 635,917.0254'

Segment# 127: Line

Course: S77° 34' 52"W

North: 1,002,291.3846'

Length: 284.49'

East: 635,639.1920'

Segment# 128: Line

Course: S0° 19' 47"E

North: 1,002,171.2066'

Length: 120.18'

East: 635,639.8836'

Segment# 129: Line

Course: S89° 45' 17"W

North: 1,002,163.2290'

Length: 1,863.53'

East: 633,776.3707'

Perimeter: 86,287.80'

Error Closure: 0.0107

Error North : -0.00002

Area: 276,923,677Sq.Ft.

Course: S89° 54' 20"E

East: 0.01069

Precision 1: 8,064,279.44



APPENDIX B: DWELLING UNIT BUDGET TABLE

MASTER DEVELOPMENT PARCEL	MAXIMUM RESIDENTIAL UNITS PER MDP	RESIDENTIAL UNITS APPROVED TO-DATE	DATE OF UPDATE
1	4,150		
2	0	-	-
3	2,700 ⁽¹⁾		
4	1,000		
5	5,000		
6	2,300		
TOTAL	15,150		

Notes:

- (1) A MINIMUM OF 200 OF THE UNITS DESIGNATED IN MDP.3 MUST BE DEVELOPED WITHIN THE LIFESTYLE MIXED USE PARCEL AT THE NEC OF 67TH AVENUE AND DIXILETA DRIVE.
- (2) UNITS ASSOCIATED AND ENTITLED WITH ANY PROPOSED DEVELOPMENT PLAN THAT FAIL TO TRANSFER OUT OF ASLD'S OWNERSHIP (ISSUED A LAND PATENT) SHALL BE RETURNED TO THE LAND USE BUDGET TABLE FOLLOWING NOTICE TO THE CITY BY ASLD.



APPENDIX C: COMPARATIVE DEVELOPMENT STANDARDS TABLES

COMPARATIVE DEVELOPMENT STANDARDS TABLE			
STANDARD	CITY STANDARD	SINGLE-FAMILY DETACHED RESIDENTIAL	
	TABLE 618.A R-5 DEVELOPMENT OPTIONS SINGLE-FAMILY DETACHED DEVELOPMENT PLANNED RESIDENTIAL DEVELOPMENT	(FR)	(TN/NV)
Perimeter Building Setbacks			
ADJ TO ARTERIAL & COLLECTOR	15 FEET IN ADDITION TO LANDSCAPE SETBACK	30 FEET	
ADJ TO PRESERVE	REAR: 15 FEET (1-STORY), 20 FEET (2-STORY); SIDE: 10 FEET (1-STORY), 15 FEET (2-STORY)	PERIMETER STREET: 30 FEET. OTHER PROPERTY LINE: 15 FEET	
ADJ TO SINGLE-FAMILY			
ADJ TO MULTI-FAMILY			
ADJ TO CP/RH			
ADJ TO COMMERCIAL			
Perimeter Landscape Standards			
PERIMETER LANDSCAPE SETBACKS ⁽¹⁾	ADJACENT TO PERIMETER STREETS: 15 FEET AVERAGE, 10 FEET MINIMUM (DOES NOT APPLY TO LOTS FRONTING ONTO PERIMETER STREETS)	30 FEET ADJACENT TO ARTERIALS OR COLLECTOR ROADWAYS, 15 FEET ADJACENT TO LOCAL STREETS EXCEPT NONE ON LOTS WHICH FRONT ON A LOCAL STREET. MAY BE PROVIDED AS PART OF THE REQUIRED BUILDING SETBACK.	
Maximum Building Height			
	2 STORIES AND 30 FEET (EXCEPT THAT 3 STORIES NOT EXCEEDING 30 FEET ARE PERMITTED WHEN APPROVED BY THE DESIGN ADVISOR FOR DEMONSTRATING ENHANCED ARCHITECTURE)	2 STORIES AND 30 FEET	2 STORIES AND 30 FEET FOR FIRST 150 FEET FROM DEVELOPMENT PERIMETER; 1-FOOT HEIGHT INCREASE FOR EACH 5 FEET IN SETBACK INCREASE TO MAXIMUM 3 STORIES AND 42 FEET HIGH**
Interior Building Setbacks			
FRONT	10 FEET LIVABLE; 18 FEET FROM BACK OF SIDEWALK FOR FRONT-LOADED GARAGES, 10' FROM PROPERTY LINE FOR SIDE-LOADED GARAGES	10 FEET 18 FEET (MINIMUM GARAGE DOOR/CARPORT ENTRY SETBACK)	
REAR	NONE (ESTABLISHED BY BUILDING CODE)	NONE	
STREET SIDE	10 FEET	10 FEET	
SIDE	NONE (ESTABLISHED BY BUILDING CODE)	NONE	
Miscellaneous			
MINIMUM OPEN SPACE	MINIMUM 5% OF GROSS AREA	MINIMUM 10% OF GROSS AREA	
MAXIMUM RESIDENTIAL DENSITY	6.5; 12 WITH BONUS	3.5 LOTS/AC (GROSS); 4.5 WITH BONUS	5.5 PDU/AC (GROSS); 6.5 WITH BONUS
LOT COVERAGE	50%, PLUS AN ADDITIONAL 10% FOR AN ADU AND/OR ATTACHED SHADE STRUCTURES TOTAL: 60%	70% TOTAL FOR DEVELOPMENT (CALCULATED WITH PRD METHOD)	
MINIMUM LOT WIDTH	45 FEET MINIMUM (UNLESS APPROVED BY EITHER THE DESIGN ADVISOR OR THE DESIGN REVIEW COMMITTEE FOR DEMONSTRATING ENHANCED ARCHITECTURE THAT MINIMIZES THE IMPACT OF THE GARAGE)	NONE	NONE
MINIMUM LOT DEPTH	NONE, EXCEPT 110 FEET ADJACENT TO FREEWAY OR ARTERIAL	NONE	



COMPARATIVE DEVELOPMENT STANDARDS TABLE			
STANDARD	CITY STANDARD	SINGLE-FAMILY ATTACHED AND MULTI-FAMILY RESIDENTIAL	
	TABLE 614.B R-2 DEVELOPMENT OPTIONS SINGLE-FAMILY ATTACHED AND MULTI-FAMILY DEVELOPMENT PLANNED RESIDENTIAL DEVELOPMENT	(TN)	(NV/LMU/FMU)
Perimeter Building Setbacks			
ADJ TO ARTERIAL & COLLECTOR	20 FEET ADJACENT TO A PUBLIC STREET; THIS AREA IS TO BE IN COMMON OWNERSHIP UNLESS LOTS FRONT ON THE PERIMETER PUBLIC STREET	MINIMUM: PERIMETER STREET: 30 FEET MINIMUM: OTHER PROPERTY LINE: 15 FEET MAXIMUM: 30 FEET (35 FEET WHEN ADJACENT TO DESIGNATED MUT)	
ADJ TO PRESERVE	15 FEET		
ADJ TO SINGLE-FAMILY			
ADJ TO MULTI-FAMILY			
ADJ TO CP/RH			
ADJ TO COMMERCIAL			
Perimeter Landscape Standards			
PERIMETER LANDSCAPE SETBACKS ⁽¹⁾	20 FEET ADJACENT TO A PUBLIC STREET; THIS AREA IS TO BE IN COMMON OWNERSHIP UNLESS LOTS FRONT ON THE PERIMETER PUBLIC STREET	30 FEET ADJACENT TO ARTERIALS OR COLLECTOR ROADWAYS, 15 FEET ADJACENT TO LOCAL STREETS EXCEPT NONE ON LOTS WHICH FRONT ON A LOCAL STREET. MAY BE PROVIDED AS PART OF THE REQUIRED BUILDING SETBACK.	
Maximum Building Height			
	2 STORIES AND 30 FEET FOR FIRST 150 FEET; 1 FEET IN 5 FEET INCREASE TO 48 FEET HEIGHT, 4-STORY MAXIMUM	3 STORIES AND 30 FEET FOR FIRST 150 FEET FROM DEVELOPMENT PERIMETER; 1-FOOT HEIGHT INCREASE FOR EACH 5 FEET IN SETBACK INCREASE TO MAXIMUM 4 STORIES AND 48 FEET HIGH**	4 STORIES AND 48 FEET**
STEPBACKS	THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN TEN FEET OF A SINGLE-FAMILY ZONED DISTRICT, WHICH HEIGHT MAY BE INCREASED 1-FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT.	**THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN 10 FEET OF AN EXISTING SINGLE-FAMILY USE, WHICH HEIGHT MAY BE INCREASED 1-FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT.	
Interior Building Setbacks			
FRONT	10 FEET	FRONT: 10 FEET FRONT (GARAGE/CARPORT ENTRY): 18 FEET	
REAR	NONE	NONE	
INTERIOR SIDE	NONE	NONE	
STREET SIDE	NONE	10 FEET	
Miscellaneous			
MINIMUM OPEN SPACE	MINIMUM 5% OF GROSS AREA	10% OF GROSS AREA	
MAXIMUM RESIDENTIAL DENSITY	10.50; 12.00 WITH BONUS	10.5 PDU/AC (GROSS); 12.0 WITH BONUS	45.5 PDU/AC (GROSS); 52.5 WITH BONUS
LOT COVERAGE	50%, PLUS AN ADDITIONAL 10% FOR AN ADU AND/OR ATTACHED SHADE STRUCTURES; TOTAL: 60%	70% TOTAL FOR DEVELOPMENT (CALCULATED WITH PRD METHOD)	



COMPARATIVE DEVELOPMENT STANDARDS TABLE			
STANDARD	CITY STANDARD	SINGLE FAMILY ATTACHED AND MULTI-FAMILY RESIDENTIAL	
	TABLE 618.B R-5 DEVELOPMENT OPTIONS SINGLE-FAMILY ATTACHED AND MULTI-FAMILY DEVELOPMENT PLANNED RESIDENTIAL DEVELOPMENT	NV/LMU	FMI
Perimeter Building Setbacks			
ADJ TO FREEWAY	20 FEET ADJACENT TO A PUBLIC STREET; THIS AREA IS TO BE IN COMMON OWNERSHIP UNLESS LOTS FRONT ON THE PERIMETER PUBLIC STREET	30 FEET	
ADJ TO ARTERIAL AND COLLECTOR			
ADJ TO PRESERVE	15 feet	15 FEET	
ADJ TO SINGLE-FAMILY			
ADJ TO MULTI-FAMILY			
ADJ TO CP/RH			
ADJ TO COMMERCIAL			
Perimeter Landscape Standards			
PERIMETER LANDSCAPE SETBACKS ⁽¹⁾	20 FEET ADJACENT TO A PUBLIC STREET; THIS AREA IS TO BE IN COMMON OWNERSHIP UNLESS LOTS FRONT ON THE PERIMETER PUBLIC STREET	PERIMETER STREET: 30 FEET ADJACENT TO ARTERIALS OR COLLECTOR ROADWAYS, 15 FEET ADJACENT TO LOCAL STREETS EXCEPT NONE ON LOTS WHICH FRONT ON A LOCAL STREET. MAY BE PROVIDED AS PART OF THE REQUIRED BUILDING SETBACK. PROPERTY LINE: 10 FEET; REAR YARDS ARE PERMITTED WITHIN THE PERIMETER PROPERTY LINE LANDSCAPE SETBACK	
Maximum Building Height			
	4 STORIES OR 48 FEET	5 STORIES AND 60 FEET **	6 STORIES AND 80 FEET**
STEPBACKS	THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN 10 FEET OF A SINGLE-FAMILY ZONED DISTRICT, WHICH HEIGHT MAY BE INCREASED ONE FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT.	**THERE SHALL BE A 15-FOOT MAXIMUM HEIGHT WITHIN 10 FEET OF A SINGLE-FAMILY ZONED DISTRICT, WHICH HEIGHT MAY BE INCREASED 1-FOOT FOR EACH ADDITIONAL 1-FOOT OF BUILDING SETBACK TO THE MAXIMUM PERMITTED HEIGHT.	
Interior Building Setbacks			
FRONT	10 FEET	10 FEET MAXIMUM: ADJACENT TO PUBLIC STREET: 30 FEET (35 FEET WHEN ADJACENT TO A DESIGNATED MUT)	
Miscellaneous			
MINIMUM OPEN SPACE	MINIMUM 5% OF GROSS AREA	MINIMUM 10% OF GROSS AREA	
MAXIMUM RESIDENTIAL DENSITY	45.68; 52.20 WITH BONUS	45.68; 52.20 WITH BONUS	
LOT COVERAGE	50%, PLUS AN ADDITIONAL 10% FOR AN ADU AND/OR ATTACHED SHADE STRUCTURES; TOTAL: 60%	70% TOTAL FOR DEVELOPMENT (CALCULATED WITH PRD METHOD)	



COMPARATIVE DEVELOPMENT STANDARDS TABLE		
STANDARD	CITY STANDARD	RESORT
	SECTION 629. RH RESORT DISTRICT	(TN/NV)
Perimeter Building Setbacks		
ADJ TO ARTERIAL & COLLECTOR	25 FEET	30 FEET
ADJ TO PRESERVE	25 FEET	25 FEET
ADJ TO SINGLE-FAMILY	40 FEET, MAY BE REDUCED TO 25 FEET IF THE 25 FEET IF ENTIRELY LANDSCAPED	40 FEET, MAY BE REDUCED TO 25 FEET IF THE 25 FEET IF ENTIRELY LANDSCAPED
ADJ TO MULTI-FAMILY		
ADJ TO CP/RH	25 FEET	25 FEET
ADJ TO COMMERCIAL		
Perimeter Landscape Standards		
PERIMETER LANDSCAPE SETBACKS	NONE	30 FEET
Maximum Building Height		
HEIGHT AND STEPBACKS	STARTING AT 100 FEET FROM ANY ABUTTING RESIDENTIAL DISTRICT OR PERIMETER STREET, OR 25 FEET FROM PROPERTY LINES WHICH ABUT NONRESIDENTIAL DISTRICTS, THE HEIGHT OF STRUCTURES MAY BE INCREASED 1-FOOT FOR EACH FIVE OF HORIZONTAL DISTANCE.	BUILDINGS WITHIN 100 FEET OF ANY TRADITIONAL NEIGHBORHOOD OR NEIGHBORHOOD VILLAGE LAND USE DESIGNATION SHALL NOT EXCEED 25 FEET. 1-FOOT HEIGHT INCREASE FOR EACH 5 FEET IN SETBACK INCREASE TO MAXIMUM 4 STORIES AND 48 FEET HIGH.
Interior Building Setbacks		
FRONT	40 FEET	40 FEET
ALL OTHER PROPERTY LINES	25 FEET	25 FEET
Miscellaneous		
MINIMUM NUMBER OF GUESTROOMS	THERE SHALL BE AT LEAST 50 GUESTROOMS. ANY DWELLING UNITS SHALL BE IN EXCESS OF THE MINIMUM 50 GUESTROOMS 10 GUESTROOMS OR DWELLING UNITS PER 1/2-ACRE	THERE SHALL BE AT LEAST 50 GUESTROOMS. ANY DWELLING UNITS SHALL BE IN EXCESS OF THE MINIMUM 50 GUESTROOMS 20 GUESTROOMS OR DWELLING UNITS PER 1-ACRE
LOT COVERAGE	THE MAIN BUILDING AND ALL ACCESSORY BUILDINGS SHALL NOT OCCUPY MORE THAN 20% OF THE TOTAL LOT AREA.	THE MAIN BUILDING AND ALL ACCESSORY BUILDINGS SHALL NOT OCCUPY MORE THAN 20% OF THE TOTAL LOT AREA.
LOT COVERAGE	THERE SHALL BE A MINIMUM OF 7.5 ACRES GROSS AREA.	THERE SHALL BE A MINIMUM OF 7.5 ACRES GROSS AREA.
MINIMUM FRONTAGE	300 FEET ON STREETS DESIGNATED AS ARTERIAL STREETS ON THE STREET CLASSIFICATION MAP	300 FEET ON STREETS DESIGNATED AS ARTERIAL STREETS ON THE STREET CLASSIFICATION MAP



COMPARATIVE DEVELOPMENT STANDARDS TABLE		
STANDARD	CITY STANDARD	COMMERCIAL
	SECTION 622 AND 623 COMMERCIAL C-1 AND C-2 DISTRICTS NEIGHBORHOOD RETAIL / INTERMEDIATE COMMERCIAL	(LMU/CC/FMU/TN/NV)
Perimeter Building Setbacks		
ADJACENT TO FREEWAY	FOR STRUCTURES NOT EXCEEDING TWO STORIES OR 30 FEET: AVG. 25 FEET, MIN. 20 FEET PERMITTED FOR UP TO 50% OF STRUCTURE, INCLUDING PROJECTIONS, FOR STRUCTURES NOT EXCEEDING TWO STORIES OR 30 FEET: AVG. 30 FEET, MINIMUM 20 FEET PERMITTED FOR UP TO 50% OF STRUCTURE, INCLUDING PROJECTIONS	30 FEET
ADJACENT TO ARTERIAL AND COLLECTOR		
ADJACENT TO PRESERVE	NONE	NONE
ADJACENT TO SINGLE-FAMILY	1 STORY (OR 15 FEET)= 25 FEET; 2 STORY (OR 30 FEET) = 50 FEET; 3 STORY (OR 42 FEET)= 100 FEET; 4 STORY (OR 56 FEET)= 150 FEET	1 STORY (OR 15 FEET)= 25 FEET; 2 STORY (OR 32 FEET) = 50 FEET; 3 STORY (OR 42 FEET)= 100 FEET; 4+ STORIES (OR 56 FEET)= 150 FEET
ADJACENT TO MULTI-FAMILY	1 story (or 15 FEET)= 10 FEET; 2 story (or 30 FEET) = 15 FEET; 3 story (or 42 FEET)= 30 FEET; 4 story (or 56 FEET)= 45 FEET	1 STORY (OR 15 FEET)= 10 FEET; 2 STORY (OR 32 FEET) = 15 FEET; 3 STORY (OR 42 FEET)= 30 FEET; 4+ STORIES (OR 56 FEET +)= 45 FEET 80 FEET + = 100 FEET
ADJACENT TO CP/RH	10 FEET	NONE
ADJACENT TO COMMERCIAL	0 FEET	0 FEET
Perimeter Landscape Standards		
PERIMETER LANDSCAPE SETBACKS	AVERAGE 25 FEET FOR STRUCTURES NOT EXCEEDING 2 STORIES OR 30 FEET, MINIMUM 20 FEET PERMITTED FOR UP TO 50% OF THE FRONTAGE. AVERAGE 30 FEET, FOR STRUCTURES EXCEEDING 2 STORIES OR 30 FEET, MINIMUM 20 FEET FOR UP TO 50% OF THE FRONTAGE.	30 FEET
PERIMETER LANDSCAPE BUFFERS	NONE	30 FEET
Maximum Building Height		
	A MAXIMUM BUILDING HEIGHT OF 2 STORIES NOT TO EXCEED 30 FEET SHALL BE PERMITTED. UP TO 4 STORIES NOT TO EXCEED 56 FEET UPON RECOMMENDATION FROM THE PLANNING COMMISSION OR THE ZONING HEARING OFFICER	FR AND TN: 2 STORIES OR 30 FEET NV, CC AND LMU: 4 STORIES OR 56 FEET FMU: 4 STORIES OR 56'; UP TO 80 FEET FOR HOTEL USES, UP TO 80 FEET FOR ALL OTHER USES WITH A USE PERMIT AND SITE PLAN
STEPBACKS	AN ADDITIONAL ONE FOOT SETBACK SHALL BE PROVIDED FOR EVERY ONE FOOT OF HEIGHT ABOVE 30 FEET.	N/A
Miscellaneous		
LOT COVERAGE	Lot Coverage: Lot coverage shall not exceed 50 percent (50%) of the net lot area exclusive of the first six (6) feet of roof overhang, open carports, covered patios or covered walkways.	Lot Coverage: Lot coverage shall not exceed 50 percent (50%) of the net lot area exclusive of the first six (6) feet of roof overhang, open carports, covered patios or covered walkways.



COMPARATIVE DEVELOPMENT STANDARDS TABLE		
STANDARD	CITY STANDARD	CP-GENERAL COMMERCE PARK
	SECTION 626.D COMMERCE PARK DISTRICT GENERAL COMMERCE PARK OPTION	(IC)
Perimeter Building Setbacks		
ADJ TO FREEWAY	30 FEET FROM PERIMETER LOT LINE, 20 FEET FROM INTERIOR LOT LINE ON A STREET	30 FEET FROM PERIMETER LOT LINE, 10 FEET FROM INTERIOR LOT LINE ON A PUBLIC STREET
ADJ TO ARTERIAL & COLLECTOR		
ADJ TO PRESERVE		20 FEET
ADJ TO SINGLE-FAMILY		
ADJ TO MULTI-FAMILY		
ADJ TO CP/RH	20 FEET PERIMETER, 0 FEET INTERIOR	20 FEET PERIMETER, 0 FEET INTERIOR
ADJ TO COMMERCIAL	20 FEET	20 FEET
Perimeter Landscape Standards		
PERIMETER LANDSCAPE SETBACK	NONE	30 FEET
Maximum Building Height		
	18 FEET WITHIN 30 FEET OF PERIMETER LOT LINE; MAXIMUM 56 TO 80 FEET WITH USE PERMIT AND SITE PLAN	110 FEET; NONHABITABLE MECHANICAL EQUIPMENT AND STRUCTURES THAT MAY INCLUDE, BUT ARE NOT LIMITED TO, ELEMENTS SUCH AIR SEPARATORS, EXHAUST PIPES, AND GAS PROCESSING EQUIPMENT ARE PERMITTED UP TO 225- FEET IN HEIGHT FOR A MAXIMUM OF 25% OF THE ROOF AREA.
STEPBACKS	1-FOOT INCREASE PER 3 FEET ADDITIONAL SETBACK	N/A
Interior Building Setbacks		
FRONT	20 FEET from interior lot line on a street, 0 FEET not on a street	N/A
REAR		
STREET SIDE		
SIDE		
Miscellaneous		
LOT COVERAGE	50%	NONE
OPEN SPACE	N/A	A MINIMUM OF 10% OF THE NET SITE AREA SHALL BE PROVIDED AS OPEN SPACE. OPEN SPACE MAY TAKE THE FORM OF ACTIVE OR PASSIVE OPEN SPACE AND SHOULD PRIORITIZE PRESERVATION OF THE SITE'S NATURAL FEATURES AND CHARACTER.



COMPARATIVE DEVELOPMENT STANDARDS TABLE				
STANDARD	CITY STANDARD	PROPOSED		
	SECTION 705 TABLE D-1: IDENTIFICATION SIGNAGE GROUND AND COMBINATION SIGNS	GROUND AND COMBINATION SIGNS		
	SINGLE-FAMILY RESIDENTIAL	PRIMARY COMMUNITY	SECONDARY COMMUNITY	SINGLE-FAMILY RESIDENTIAL
NUMBER OF SIGNS	1 ⁽²⁾	4	4	1 ⁽²⁾
HEIGHT (FEET)	5(8) ⁽¹⁾⁽³⁾	35	16	5(8) ⁽¹⁾⁽³⁾
AREA (SQUARE FEET)	16	200	110	16(80 per sign)
SPACING (FEET)	300 ft between entrance	100 min.	100 min.	300 ft between entrance
	MULTI-FAMILY RESIDENTIAL	MULTI-FAMILY RESIDENTIAL		
NUMBER OF SIGNS	1 per driveway	2 per driveway		
HEIGHT (FEET)	5(8) ⁽¹⁾	5(8) ⁽¹⁾		
AREA (SQUARE FEET)	16(32) ⁽¹⁾	16(32 per sign) ⁽¹⁾		
SPACING (FEET)	150	150		
<p>(1) Numerals in parentheses () represent height and area possible through design review. Special regulations for ground signs on corner parcels are set forth in Section 705.D.2.d.</p> <p>(2) Two subdivision identification signs permitted at each entrance to a subdivision. For a multi-family residential project, each driveway per street frontage shall be permitted one double-faced identification sign or two single faced identification signs placed one on each side of one entry driveway.</p> <p>(3) Only subdivision identification signs shall be able to use design review to achieve a height of eight feet.</p>				



TABLE 7: SHADING STANDARDS

	CITY STANDARD	NORTHPARK PROPOSED
Public and Private Walkways on Arterials or Collectors	50% (507.II.C.1.9)	75%
Detached Sidewalks in Local ROW or Private Street Tract		60%
Attached Sidewalk in Local ROW or Private Street Tract Adjacent to Single-Family Development		Where attached sidewalks are provided along local streets, 1 min. 24" box shade tree shall be planted within the front yard of all residential lots. Where this design guideline conflicts with an easement, utility, etc., the tree may be planted outside of the easement, utility, etc., a minimum of 4' from the lot or right-of-way side of the easement.
Multi-Use Trails and Paths	50% (507.II.A.3.1.10)	50%
Improved Open Space	50% (507.II.A.4.1)	50%
Usable Public Space	50% (507.II.A.4.2)	50%
Gathering Areas	50% (507.II.B.6.1)	50%
Bike Lanes	No Requirement	75%
Corners of Traffic Signals	No Requirement	75% (50% w/in ten feet of pedestrian indicator in current application)
Transit Stops	No Requirement	75%
Uncovered Surface Parking Area	No Requirement	25%
NOTES: WHERE ANY SIDEWALK, TRAIL, OR PATH IS LOCATED WITHIN, PROXIMATE TO, OR IN CONFLICT WITH A UTILITY EASEMENT, TREE SHADING MAY BE LIMITED TO THE AMOUNT PERMITTED BY THE EASEMENT.		

