

# 31<sup>ST</sup> STREET & WINCHCOMB DRIVE

## PLANNED UNIT DEVELOPMENT

**CASE: Z-123-23-3**

CITY COUNCIL ADOPTED  
JULY 2, 2025

HEARING DRAFT  
APRIL 15, 2025

3<sup>RD</sup> SUBMITTAL  
FEBRUARY 19, 2025

2<sup>ND</sup> SUBMITTAL  
OCTOBER 30, 2024

1<sup>ST</sup> SUBMITTAL  
JUNE 13, 2024

**CITY OF PHOENIX**

**JUL 24 2025**

Planning & Development  
Department

*A Planned Unit Development (“PUD”) is intended to be a standalone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. A PUD may include substantial background information to illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Phoenix Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of-way abandonments.*

## PRINCIPAL AND DEVELOPMENT TEAM

**Principal/Owner: LUMARPI, LLC**

2633 E. Indian School Road, Suite 230  
Phoenix, AZ 85016  
Regina Durna, Statutory Agent | 480-248-6755  
RDuran@duranbusiness.com

**Developer: Circle Road Ventures, LLC**

5134 N. Central Avenue, Suite 200  
Phoenix, AZ 85012  
David Bruner | 480-607-7373  
DBruner@CircleRoad.com

**Builder: Camelot Homes**

6607 N. Scottsdale Road, Suite H-100  
Scottsdale, AZ 85250  
Trent Hancock | 480-367-4300  
THancock@CamelotHomes.com

**Planner: Espiritu Loci Incorporated**

3344 E. Camelback Road, Suite 200  
Phoenix, AZ 85018  
Jon Carlson | 480-481-9100  
JCarlson@EspirituLoci.com

**Civil Engineer: Terrascope Consulting**

645 E. Missouri Avenue, Suite 420  
Phoenix, AZ 85012  
Scott Lucas | 480-454-8007  
SLucas@terrascope.us

## TABLE OF CONTENTS

<b>A. PURPOSE AND INTENT .....</b>	<b>6</b>
<b>B. LAND USE AND CONCEPTUAL SITE PLAN .....</b>	<b>8</b>
<b>C. LIST OF USES .....</b>	<b>9</b>
<b>D. DEVELOPMENT STANDARDS .....</b>	<b>10</b>
<b>E. DESIGN GUIDELINES .....</b>	<b>14</b>
<b>F. NEIGHBORHOOD AGREEMENTS .....</b>	<b>20</b>
<b>G. SIGNS .....</b>	<b>21</b>
<b>H. SUSTAINABILITY .....</b>	<b>22</b>
<b>I. INFRASTRUCTURE .....</b>	<b>24</b>
<b>J. COMPARATIVE ZONING STANDARDS TABLE .....</b>	<b>25</b>
<b>K. LEGAL DESCRIPTION .....</b>	<b>27</b>
<b>L. EXHIBITS .....</b>	<b>29</b>



## TABLE OF EXHIBITS

Exhibit 1. Context .....	30
Exhibit 2. Land Use and Zoning .....	37
Exhibit 3. Conceptual Site Plan.....	41
Exhibit 4. Home Elevations .....	44
Exhibit 5. Development Criteria.....	49
Exhibit 6. Neighborhood Agreements .....	52

## A. PURPOSE AND INTENT

This Planned Unit Development (the “PUD”) and the accompanying site plan for an approximately 2.55 gross acre property at the northwest corner of 31st Street and Winchcomb Drive (the “Property”) is the result of continuous conversations with the neighboring property owners, the Developer, the Property owner, and the City of Phoenix. The purpose and intent of this PUD is to enable the development of this infill site, in a manner based upon a mutually agreed with neighbors, as a single-family residential detached auto-court cluster featuring no more than eight (8) homes with attractive exterior materials and quality details.



*For illustrative purposes only. The approval of this PUD does not approve this proposed design. The design would be subject to the site plan review approval process, which may require other approvals including, but not limited to, Subdivision Ordinance and Fire Code appeals.*

The PUD includes development standards and design guidelines that respond to the surrounding environment better than conventional zoning districts. The result is a site that is zoned in cooperation with and the support of the neighboring property owners, and with standards and guidelines specifically crafted and tailored for this site and site plan. The PUD includes a request to slightly exceed the maximum density allowed by the R1-10 zoning district (from 3.0 du/ac to 3.1 du/ac). This is the only deviation from the R1-10 conventional development standards. This will result in a unique, high-quality residential setting, supported by neighbors, that complements the surrounding uses and neighborhood fabric. Furthermore, the development of the PUD will include the completion of the north half of Winchcomb Drive along the south boundary of the Property.

The PUD is located just west of 32<sup>nd</sup> Street approximately a quarter mile north of Thunderbird Road. The 32<sup>nd</sup> Street corridor, formerly the primary north/south route prior to SR 51, is centrally located between multiple employment cores. The area referred to by the City as the North 32<sup>nd</sup> Street Corridor is experiencing a renaissance of redevelopment thanks in part to policies and incentives implemented by the City to encourage residential and commercial investment. This trend is driven by investments in shopping, dining, and entertainment as well as nearby schools, hiking trails, and neighborhood services. Being near the freeway, the site benefits from quick access to Downtown Phoenix, Sky Harbor Airport and the northern suburbs. Refer to ***Exhibit 1. Context*** for a site context map, site aerial, context plan, and site photos.

## B. LAND USE AND CONCEPTUAL SITE PLAN

---

The existing and proposed permitted land use for the 2.55-acre site is single-family residential. The conceptual site plan depicts eight (8) lots, each more than 10,000 square feet, for single-family detached homes. Access to and from each lot is via a shared drive arranging the lots so that homes will face each other while providing landscaped side yards along Winchcomb Drive. All street adjacent landscape will be maintained by the adjacent property owner. This matches the neighboring residential properties; there are no common area landscape tracts along side streets. The minimum lot width is seventy-five (75) feet, and the lot depth is approximately 140 feet. Homes will be located closer to the shared drive, yet setback deep enough for a car to be parked in the driveway without encroaching into the twenty-four (24) foot wide lane. Stormwater management in terms of volume requirements will be evaluated on a lot-by-lot- basis. Easements will be provided to accommodate drainage from one lot to another when necessary. Refer to *Exhibit 2. Land Use and Zoning* for a land use plan, existing zoning map, and proposed zoning map. Refer to *Exhibit 3. Conceptual Site Plan* for a conceptual site plan and site plan context map.

The homes proposed for the site are based on homes recently constructed by Camelot Homes at Paradigm, an infill neighborhood located approximately a mile and a half to the west. This neighborhood includes the home that won Pacific Coast Builder's prestigious Gold Nugget award for Best Single Family Detached Home AND the Home Builders Association of Central Arizona MAME award for Home of the Year. Floor plans and building elevations include both single-story and two-story homes. The two-story homes include a second level above only a portion of the home. Home elevations will be similar to those included in *Exhibit 4. Home Elevations*.

## **C. LIST OF USES**

---

The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in this section, as authorized by Section 307.A.3 of the Phoenix Zoning Ordinance.

### **C.1. PERMITTED USES**

---

All permitted uses in the R1-10 zoning district, as set forth in Section 608 of the Phoenix Zoning Ordinance.

### **C.2. ACCESSORY USES**

---

All permitted accessory uses in the R1-10 zoning district, as set forth in Section 608 of the Phoenix Zoning Ordinance.

### **C.3. TEMPORARY USES**

---

All temporary uses shall comply with Section 708 of the Phoenix Zoning Ordinance.

## D. DEVELOPMENT STANDARDS

### D.1. PUD DEVELOPMENT STANDARDS

The development standards for the PUD are included in the “PUD” column provided in *Table D.1 – PUD Development Standards*, *Table D.2 – PUD Parking Standards*, and *Table D.3 – PUD Landscape Standards*, and are illustrated in *Exhibit 5. Development Criteria*. See Section I for a comparison of the conventional development standards of the R1-10 zoning district.

**TABLE D.1 – PUD DEVELOPMENT STANDARDS**

STANDARD	PUD DEVELOPMENT STANDARD
Minimum Lot Width	75 feet; 20 feet for a maximum of 2 lots
Minimum Lot Depth	per the Conventional development option of the R1-10 zoning district
Maximum Density	3.14 dwelling units per gross acre (8 units / 2.55 gross acres)
Minimum Perimeter Building Setbacks	Front: 15 feet Rear: 15 feet (1-story); 10 feet (1-story) for lots adjacent to the north boundary of the Property Rear: 20 feet (2-story); 15 feet (2-story) for lots adjacent to the north boundary of the Property Side: 10 feet (1-story) Side: 15 feet (2-story)
Minimum Interior Building Setbacks	Front: 10 feet Rear: 10 feet Front and Rear: 35 feet combined Street Side: 10 feet Sides: 13 feet combined (5 feet minimum)
Landscaped Setback Adjacent to Perimeter Street	15-foot average, 10-foot minimum
Minimum Building Separation	10 feet

STANDARD	PUD DEVELOPMENT STANDARD
Minimum Garage Setback	18 feet from edge of pavement for front-loaded garage; 10 feet from front property line for side-loaded garage
Maximum Garage Width	Lots < 60 feet: 2 car widths Lots ≥ 60 feet to 70 feet: 3 car widths Lots > 70 feet: No maximum
Maximum Building Height	2 stories and 30 feet
Maximum Lot Coverage	50% plus an additional 10% for an ADU and/or attached shade structures Total: 60%
Common Areas	None
Street Standards ( <i>Streetscape</i> ) ( <i>Winchcomb Drive</i> )	Public street  Sidewalk Width: minimum 5-foot ( <i>attached to match existing</i> )  Landscape Strip: none  Landscape Planting Standards: refer to Table D.3. PUD Landscape Standards  Sidewalk Tree Shade Coverage: 0%
Street Standards (internal)	Private accessway, private drive, or shared drive Sidewalk width: none Landscape standards: refer to Table D.3. PUD Landscape Standards

**TABLE D.2 – PUD PARKING STANDARDS**

Minimum Parking	2 spaces per unit;  Each lot shall include an electric vehicle capable space which may be located within a garage. This includes, at a minimum, access to electrical wiring to allow for a future junction box and appropriate voltage for an outlet capable of charging a vehicle.
-----------------	---

**TABLE D.3 – PUD LANDSCAPE STANDARDS**

STANDARD	PUD LANDSCAPE STANDARD
Tract Area Landscape	Tract areas adjacent to a lot shall be treated as an extension of the adjacent front yard area.
Front Yard Landscape of Individual Lots	<p>Trees: The builder shall install a minimum of one (1), minimum 2-inch caliper or larger, large canopy, tree within the front yard of each lot.</p> <p>Shrubs/accents/groundcover: the builder shall install shrubs, accents, and/or groundcover for a minimum 50% live coverage measured as mature plants; natural turf is not permitted within a required front yard area; live coverage area excludes hardscape, and turf areas.</p> <p>Prior to preliminary plat approval, the property owner shall record documents that disclose to purchasers of property within the development homeowner responsibility of landscape maintenance on their lot in accordance with the requirements of this PUD. The form and content of such documents shall be reviewed and approved by the City prior to recordation.</p>
Rear/Side Yard Landscape of Individual Lots	<p>Trees: The builder shall install a minimum two (2), 2-inch caliper or larger trees in the enclosed private yard of each lot.</p> <p>Shrubs/accents/groundcover: the builder shall install shrubs, accents, and/or groundcover for a minimum 50% live coverage measured as mature plants, planted within a 5-foot-wide landscape area along the side and rear property lines of each individual lot.</p> <p>The CC&amp;Rs should include a statement that the homeowner is responsible for maintaining required landscaping as required by the PUD.</p>
Landscaped Setback Landscape <i>(adjacent to Winchcomb Drive)</i>	<p>Trees: the Developer shall install at least four (4), minimum 2-inch caliper, large canopy trees within landscape setback area both east and west of the auto-court drive (total of eight (8) trees minimum); placement of trees should provide shade over the sidewalk when trees are mature.</p> <p>Shrubs/accents/groundcover: the Developer shall install shrubs, accents, and/or groundcover for a minimum 50% live coverage measured as mature plants; natural turf is not permitted with a required landscape setback area; live coverage area excludes hardscape and turf areas.</p> <p>Where utility conflicts exist, the Developer shall work with the Planning and Development Department on an alternative design solution consistent with the neighborhood context.</p>



---

**D.2. FENCES/WALLS**

---

As permitted per Section 703 of the Phoenix Zoning Ordinance, except free standing walls may be up to eight (8) feet tall along the north and east perimeter of the subdivision. No fences or walls are permitted within the Landscape Setback Adjacent to Perimeter Street area.

---

**D.3. AMENITIES**

---

None required.

---

**D.4. SHADE**

---

*Table D.3 – PUD Landscape Standards* includes standards for a landscape setback area and front yards along the auto court drive. These standards create a landscape that is tailored to and complementary with the neighboring properties.

---

**D.5. OUTDOOR LIGHTING**

---

All lighting shall comply with Section 704 and Section 507 Tab A.II.C.7.11 of the Phoenix Zoning Ordinance as applicable and as required except as amended by the PUD in addition to Section 23-100 and Chapter 32 of the Phoenix City Code.

## **E. DESIGN GUIDELINES**

---

The development shall comply with Section 507 Tab A of the Phoenix Zoning Ordinance, as applicable, and as modified/amended below.

### **E.1. MODIFIED DESIGN GUIDELINES**

---

The following design guidelines correspond with and modify design guidelines in Section 507 Tab A of the Phoenix Zoning Ordinance.

#### **II. Design Review Guidelines.**

---

##### **II.A.1. Desert Preservation.**

- 1.1. Development may remove existing healthy Sonoran Desert vegetation (trees over 4" caliper in diameter) and cacti over 3'. If salvageable and removed, mature trees and cacti should be utilized on site or another property. (P)

##### **II.A.2. Grading/Drainage.**

- 2.4 Not applicable.
- 2.5 Required landscape setbacks adjacent to Winchcomb Drive may utilize the landscape setback area for retention provided: (P)
  - The maximum depth of retention within 20 feet of right-of-way is 24-inches.
  - Side slopes are a maximum 4:1 when within four feet of a sidewalk
  - Slopes greater than 4:1 are acceptable when stabilized with vegetation, boulders, a wall, or other measure(s). (P)

##### **II.A.3. Landscape Architecture.**

- 3.1. Plant Materials.
  - 3.1.1. Development may remove existing, non-native healthy plants (trees 4" caliper in diameter) or greater) and cacti (6' high or greater). If salvageable and removed, mature trees should be utilized on site or another property. (P)

- 3.1.3. Low water use plants that reflect and enhance the image of the Sonoran Desert shall be originally installed by the builder in required landscape setback and front yard areas. (R)
- 3.1.4. A transition of landscape material should be provided where different oasis and arid landscape themes are proposed among adjacent uses. A wall, hedge row, or other similar measure is considered an acceptable transition. (P)
- 3.1.5. Any proposed landscape treatment originally installed by the builder in a required landscape setback area must be compatible with the surrounding context area. (R)
- 3.1.6. Not applicable.
- 3.1.8. Not applicable.
- 3.1.10. Refer to Table D.3. – PUD Landscape Standards for street tree requirements.
- 3.1.14. Not applicable.
- 3.1.16. Not applicable.

**II.A.4. Open Space / Amenities.**

Not applicable.

**II.A.5. Trails / Paths.**

Not applicable.

**II.A.6. Parking/Circulation.**

Not applicable.

**II.A.9. Hillside Development Guidelines.**

Not applicable.

**II.B. Building Design/Construction.**

Not applicable.

**II.C. Subdivision and Single-Family Detached Design Review.****II.C.2. Lot Layout/Orientation.**

- 2.4. Not applicable.

**II.C.3. Open Space/Amenities.**

Not applicable.

**II.C.6. Walls / Fencing.**

6.1 Not applicable.

**II.C.7. Auto Court Cluster Guidelines.**

- 7.1. Cluster subdivisions must be limited to a maximum of eight (8) dwelling units with only one point of access in each cluster. (R)
- 7.5. A shared driveway within an individual cluster should be a maximum of 200 feet in length, measured from curb line at the intersection with the public street or private accessway to termination of the shared drive. The development shall still comply with other Phoenix City Code requirements, including Phoenix Fire Code, that may require an appeal for exceeding the allowed length of 150 feet per other code requirements. This zoning provision does not override other City Code requirements. (P)
- 7.6. Cluster subdivisions should provide a minimum of three (3) parking spaces per unit in the cluster, with at least one space per unit located within 150 feet of the cluster, which may be located on the driveway of a lot if sufficient space is provided, on the shared driveway or private accessway if sufficient space is provided, or on the public street. (P)
- 7.11 Refer to *E.3.6. Additional Design Guidelines*.

**II.C.8. Single-Family Detached Design Review**

This section of 507 Tab A of the Phoenix Zoning Ordinance does not apply to these lots.

---

**E.2. ELEVATED DESIGN GUIDELINES**

---

The following design guidelines correspond with and elevate design guidelines in Section 507 Tab A of the Phoenix Zoning Ordinance.

---

**II. Design Review Guidelines.**

---

**II.C.6. Walls/Fencing.**

- 6.2. Subdivision walls adjacent to perimeter streets should have a decorative finished appearance. (R\*)

**II.C.7. Auto Court Cluster Guidelines.**

- 7.7. If additional parking is provided internal to the cluster, driveways to accommodate such parking must be a minimum of 18 feet long and a minimum 8 feet wide/per garage bay. If the garage door of any unit faces a private accessway or public street serving other clusters in the subdivision, then a minimum of 18 feet must be provided between the back of sidewalk (or curb, if no sidewalk) to the face of the garage door. (R)
- 7.9. Trash and recycle container locations (storage and collection) in each cluster are to be clearly illustrated on the site plan. (R\*)

---

**E.3. ADDITIONAL DESIGN GUIDELINES**

---

The following design guidelines are in addition to the guidelines in Section 507 Tab A of the Phoenix Zoning Ordinance. The design review guidelines indicated with the markers (R), (R\*), (P), (T), and (C) shall be applied and enforced in the same manner as indicated in Section 507. Items not indicated with an (R), (R\*), (P), (T), and (C) shall be treated as (R\*).

1. The Builder shall build homes with a style in general conformance with those included in *Exhibit 4. Home Elevations*. (R\*)
2. The Builder homes shall include complementary massing, colors, materials, and detailing in general conformance with those included in *Exhibit 4. Home Elevations*. (R\*)
3. The Builder shall incorporate at least two (2) different materials on the front elevation (i.e., stucco and brick, stucco and wood, stucco and pre-cast) in general conformance with those included in *Exhibit 4. Home Elevations*. (R\*)
4. The Builder shall incorporate a home front entry that is visible from the auto-court drive. (R\*)

5. The Builder shall elevate the level of garage door finish (i.e. wood, glass, or architectural embellishment). (R\*)
6. The builder shall install at least two (2) outdoor light fixtures on the front elevation of each home, or landscape lighting in the front yard to provide a safe environment for residents of the cluster. Examples of sufficient lighting include outdoor wall sconces, can lighting in an eave, and landscape lighting. (R)
7. Homes should include lower flow plumbing fixtures. (C)
8. Homes should include dual-glazed windows. (C)
9. Where pedestrian walkways cross a vehicular path, the pathway shall be constructed of concrete, or may be constructed of decorative pavers, stamped, or colored concrete that visually contrasts parking and drive aisle surfaces. (R\*)
10. A minimum of two green stormwater infrastructure (GSI) elements for stormwater management should be implemented. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management. (C)
11. Prior to preliminary plat approval, documentation should be provided that demonstrates participation in the Environmental Protection Agency's WaterSense certification program, or an equivalent program. (C)
12. A WaterSense inspection report from a third-party verifier should be submitted that demonstrates successful participation in the Environmental Protection Agency's WaterSense certification program, or an equivalent program, prior to certificate of occupancy. (C)
13. Natural turf should only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas such as residential common areas. (C)
14. Natural turf should not be utilized on individual single-family lots (including the side and rear yards). This restriction should be included in the Covenants, Conditions, and Restrictions for the subdivision. (C)

15. Participation in the City of Phoenix Homeowner's Association Water Efficiency Program should be incorporated into to Covenants, Conditions, and Restrictions for the subdivision, prior to final site plan approval. (C)
16. Swimming pools on individual single-family lots should be limited to 600 square feet in size. (C)

## F. NEIGHBORHOOD AGREEMENTS

*Table F.1 – Coordination with Adjacent Property Owners* describes agreements that are not enforceable by the City but are mutually agreed upon between adjacent property owners and the Developer that may be accomplished separate from zoning through a private agreement with the neighbors.

**TABLE F.1 – COORDINATION WITH ADJACENT PROPERTY OWNERS**

Tree Coordination	A minimum of two (2) 24" box trees on each of the northernmost lots at locations mutually agreed up by the owner immediately north of the site and the Developer <i>See Exhibit 6. – Neighborhood Agreements – Tree Coordination</i>
North Wall Paint Coordination	The north face of a subdivision perimeter wall along the north boundary of the site shall be painted by the Developer to match the existing wall color <i>See Exhibit 6. – Neighborhood Agreements – North Wall Paint Coordination</i>
RV Gate Coordination	The existing RV gate along the north boundary of the site shall be replaced by the Developer with a block wall that matches the existing character and is painted to match the existing wall color <i>See Exhibit 6. – Neighborhood Agreements – RV Gate Coordination</i>
Wall Gap Coordination	Space between the existing wall along the north boundary of the site and a subdivision perimeter wall shall be filled with a rock groundplane treatment installed by the Developer <i>See Exhibit 6. – Neighborhood Agreements – Wall Gap Coordination</i>
Access Restriction Coordination	The Developer shall coordinate with the adjacent property owner on a solution for restricting access to the area between the existing wall and the west boundary of the site <i>See Exhibit 6. – Neighborhood Agreements – Access Restriction Coordination</i>



## **G. SIGNS**

---

Signage shall comply with Section 705 of the Phoenix Zoning Ordinance.

## H. SUSTAINABILITY

---

The following sustainability practices are enforceable by the City:

1. Landscaping for common areas shall be maintained by permanent and automatic/water efficient WaterSense labeled irrigation controllers (or similar smart controller) to minimize maintenance and irrigation water consumption for all on and offsite landscape irrigation.
2. Pressure regulating sprinkler heads and/or drip lines shall be utilized in any turf areas in common areas to reduce water waste.
3. A minimum of two green stormwater infrastructure (GSI) elements for stormwater management should be implemented. This includes but is not limited to stormwater harvesting basins, bioswales, permeable pavement, etc., per the Greater Phoenix Metro Green Infrastructure and Low Impact Development Details for Alternative Stormwater Management.
4. Prior to preliminary plat approval, documentation should be provided that demonstrates participation in the Environmental Protection Agency's WaterSense certification program, or an equivalent program.
5. A WaterSense inspection report from a third-party verifier should be submitted that demonstrates successful participation in the Environmental Protection Agency's WaterSense certification program, or an equivalent program, prior to certificate of occupancy.
6. Natural turf should only be utilized for required retention areas (bottom of basin, and only allowed on slopes if required for slope stabilization) and functional turf areas such as residential common areas.
7. Natural turf should not be utilized on individual single-family lots (including the side and rear yards). This restriction should be included in the Covenants, Conditions, and Restrictions for the subdivision.

8. Participation in the City of Phoenix Homeowner's Association Water Efficiency Program should be incorporated into to Covenants, Conditions, and Restrictions for the subdivision, prior to final site plan approval.
9. Swimming pools on individual single-family lots should be limited to 600 square feet in size.

The following sustainability practices are encouraged and planned to be utilized, but are not enforceable by the City:

1. Encourage the design of the home HVAC system to eliminate the usage of CFC's and CFC based refrigerants.
2. Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
3. Encourage the use of Energy Star Rated appliances.
4. Recycling services will be provided by the City of Phoenix.

## I. INFRASTRUCTURE

---

The site is in a designation “X” flood zone per F.E.M.A. Flood Insurance Rate Map number 04013C1735L, panel 1735 of 4425, dated 10/16/13. Zone “X” indicates areas of 0.2% annual chance of flood; areas of 1% annual chance of flood with an average annual chance of flood with average depths of less than one foot or with drainage areas less than one square mile; and areas protected by levees from 1% annual chance of flood. A storm drain grate is located on the east side of 31<sup>st</sup> Street. The installation of north half-street curb and gutter will help direct storm water flows to the drain area. The site will be mass graded. On site stormwater will be managed on each lot and with easements when flow from one lot crosses another.

The vacant infill site is surrounded by residential uses to the north, south and west. East of the site is a charter school. As a result, water and wastewater services to serve the site are located beneath Winchcomb Drive. Additional water and sewer infrastructure will be installed within the shared drive/private accessway to serve each lot. Fire hydrants exist on the south side of Winchcomb Drive. A hydrant, standpipe, or combination thereof may be necessary for on-site fire protection.

The circulation system is in place to access the site. However, to serve the site, the north half of Winchcomb Drive will be installed along with an attached sidewalk to complete the vehicular and pedestrian systems within the right-of-way. This includes completing the ninety (90) degree intersection at 31<sup>st</sup> Street and Winchcomb Drive, just east of the site. An existing right-of-way and PUE are described on the ALTA along the north and east boundaries of the site. These will be abandoned as part of the subdivision plat. The right-of-way along Winchcomb Drive will be refined to match the existing width to the west (50 foot ROW or 25 foot half street ROW).

## J. COMPARATIVE ZONING STANDARDS TABLE

**TABLE I.1 – DEVELOPMENT STANDARDS COMPARISON**

STANDARD	R1-10 CONVENTIONAL	PUD
Minimum Lot Width	75 feet	75 feet; 20 feet for a maximum of 2 lots
Minimum Lot Depth	None, except 110 feet adjacent to freeway or arterial	None
Maximum Density	3.0	3.14 dwelling units per gross acre (8 units / 2.55 gross acres)
Minimum Perimeter Building Setbacks	Front: 15 feet Rear: 15 feet (1-story) Rear: 20 feet (2-story) Side: 10 feet (1-story) Side: 15 feet (2-story)	Front: 15 feet Rear: 15 feet (1-story); 10 feet (1-story) for lots adjacent to the north boundary of the Property Rear: 20 feet (2-story); 15 feet (2-story) for lots adjacent to the north boundary of the Property Side: 10 feet (1-story) Side: 15 feet (2-story)
Landscaped Setback Adjacent to Perimeter Street	None	15-foot average; 10' minimum
Minimum Interior Building Setbacks	Front: 10 feet Rear: 10 feet Front and Rear: 35 feet combined Street Side: 10 feet Sides: 13 feet combined (3 feet minimum, unless 0 feet)	Front: 10 feet Rear: 10 feet Front and Rear: 35 feet combined Street Side: 10 feet Sides: 13 feet combined (5 feet minimum)
Minimum Building Separation	10 feet	10 feet
Minimum Garage Setback	18 feet from back of sidewalk for front-loaded garage, 10 feet from property line for side-loaded garage	18 feet from edge of pavement, or back of sidewalk when a sidewalk is present for front-loaded garage; 0 feet from property line for side-loaded garage

STANDARD	R1-10 CONVENTIONAL	PUD
Maximum Garage Width	For lots ,60 feet: 2 car widths, for lots $\geq$ 60 feet to 70 feet: 3 car widths, for lots >70 feet: no maximum	For lots ,60 feet: 2 car widths, for lots $\geq$ 60 feet to 70 feet: 3 car widths, for lots >70 feet: no maximum
Maximum Building Height	2 stories and 30 feet	2 stories and 30 feet
Maximum Lot Coverage	50% plus an additional 10% for an ADU and/or attached shade structures Total: 60%	50% plus an additional 10% for an ADU and/or attached shade structures Total: 60%
Common Areas	None	None
Allowed Development	Single-family detached	Single-family detached
Required Review	Development review per Section 507, and subdivision to create 4 or more lots	Development review per Section 507, and subdivision to create 4 or more lots
Street Standards	Public street or private accessway	Public street, private accessway, and shared drive

## K. LEGAL DESCRIPTION

**Legal Description  
For  
Zoning Boundary  
APN: 214-55-015B**

Located in the Southeast Quarter of Section 11, Township 3 North, Range 3 East, Gila and Salt River Meridian, Maricopa County, Arizona. Described as follows:

Commencing at the East Quarter Corner of said Section 11;

Thence South 00°12'31" East, along the East line of said Southeast Quarter, a distance of 1,344.96 feet;

Thence departing said East line, South 89°11'11" West, a distance of 661.80 feet;

Thence North 00°16'36" West, a distance of 335.79 feet to the Point of Beginning;

Thence South 89°08'20" West, a distance of 331.14 feet;

Thence North 00°14'47" West, a distance of 335.98 feet;

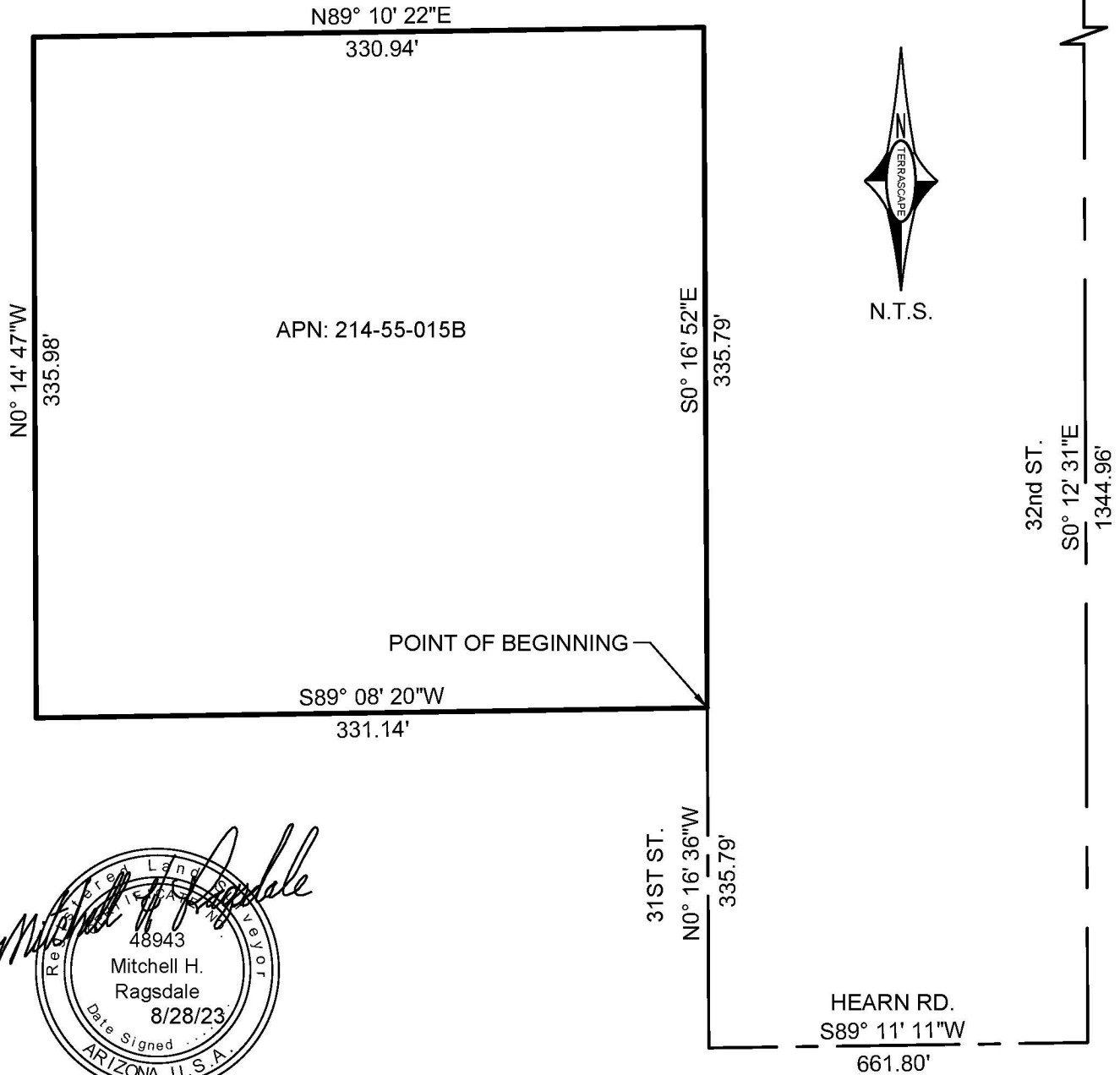
Thence North 89°10'22" East, a distance of 330.94 feet;

Thence South 00°16'52" East, a distance of 335.79 feet to the Point of Beginning.

Containing 111,184.69 square feet or 2.55 acres, more or less.



E 1/4 COR, SEC. 11, T 3 N., R 3 E.  
POINT OF COMMENCEMENT



645 E. MISSOURI AVE., STE. 420  
PHOENIX, ARIZONA 85012

P: 602.297.8732 • F: 602.230.8458

## EXHIBIT

### ZONING BOUNDARY

31st ST. & WINCHCOMB DR.

CITY OF PHOENIX

Project No. 1579  
Sheet 1 of 1

Date : 09/28/23



## **L. EXHIBITS**

---

## **EXHIBIT 1. CONTEXT**



## REGIONAL CONTEXT





**SITE AERIAL**





**SITE PHOTOGRAPHS | CONTEXT PLAN**





**SITE PHOTOGRAPHS | CONTEXT PLAN**



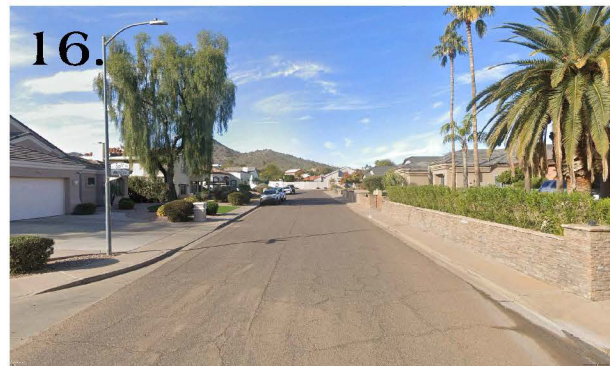


SITE PHOTOGRAPHS | CONTEXT PLAN





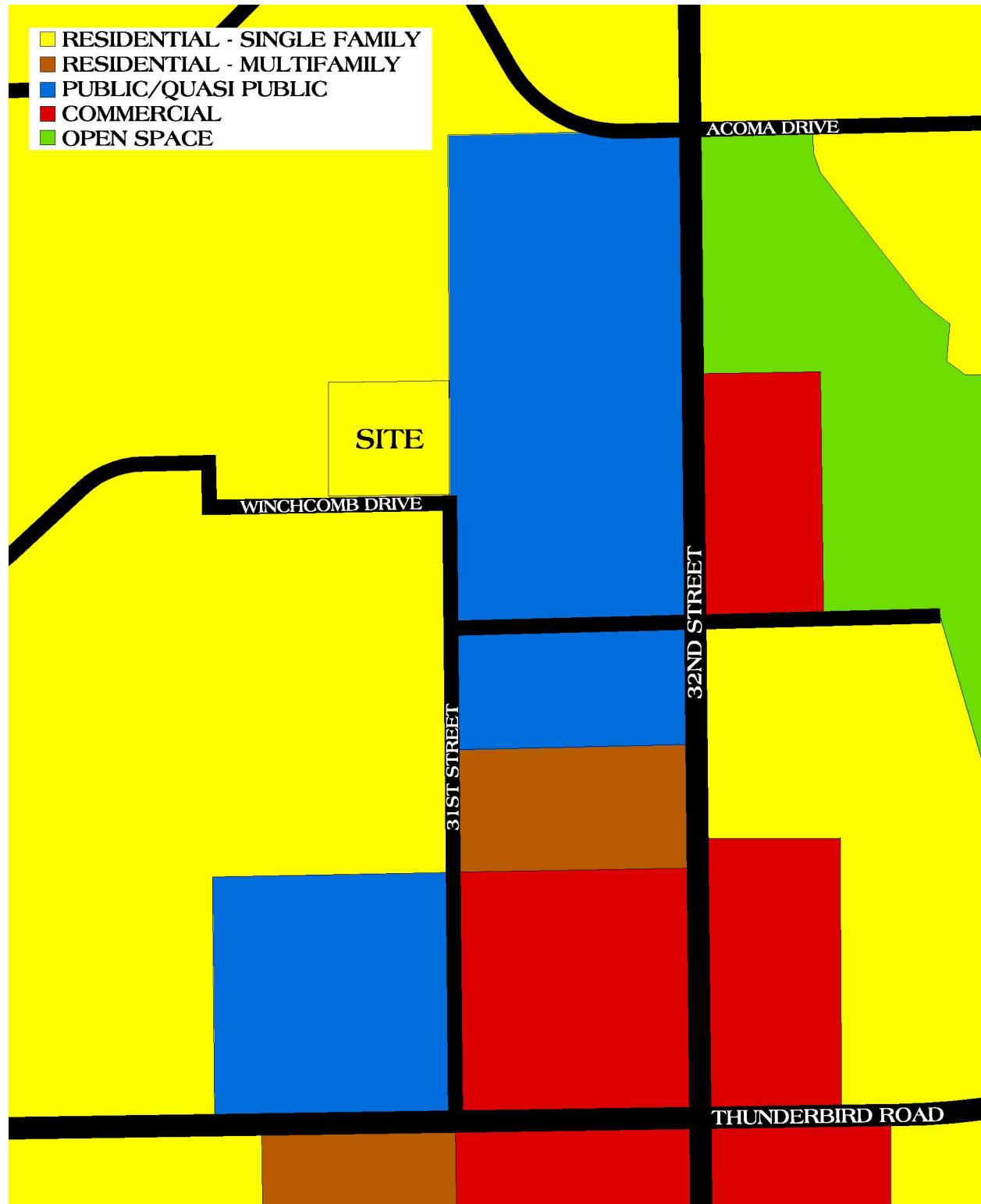
**SITE PHOTOGRAPHS | CONTEXT PLAN**



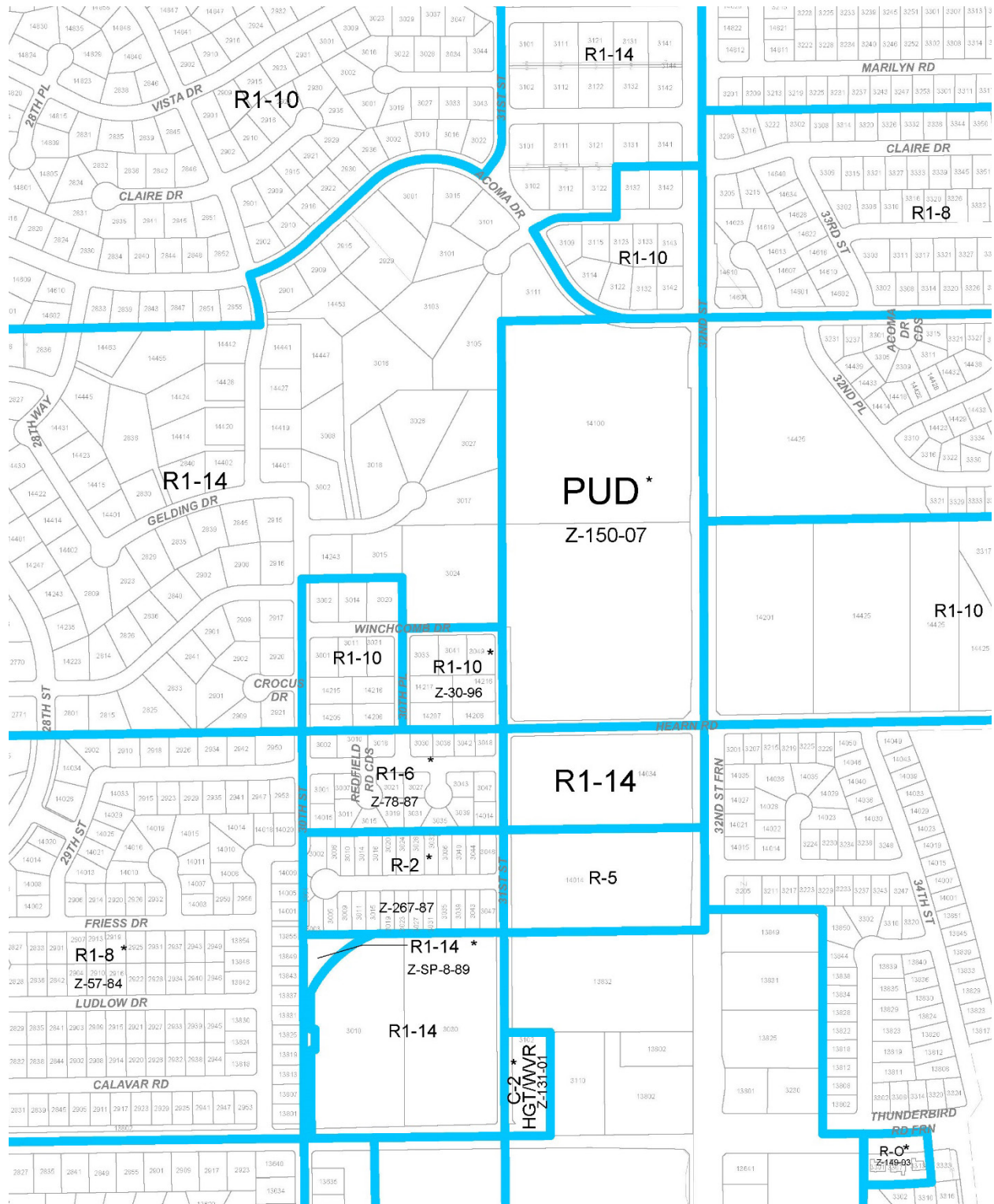


**EXHIBIT 2.**  
**LAND USE AND ZONING**

LAND USE



## EXISTING ZONING





**EXHIBIT 3.**  
**CONCEPTUAL SITE PLAN**



## CONCEPTUAL SITE PLAN



*For illustrative purposes only. The approval of this PUD does not approve this proposed design. The design would be subject to the site plan review approval process, which may require other approvals including, but not limited to, Subdivision Ordinance and Fire Code appeals.*



## SITE PLAN CONTEXT



*For illustrative purposes only. The approval of this PUD does not approve this proposed design. The design would be subject to the site plan review approval process, which may require other approvals including, but not limited to, Subdivision Ordinance and Fire Code appeals.*

**EXHIBIT 4.**  
**HOME ELEVATIONS**





*For illustrative purposes only.*





*For illustrative purposes only.*





*For illustrative purposes only.*

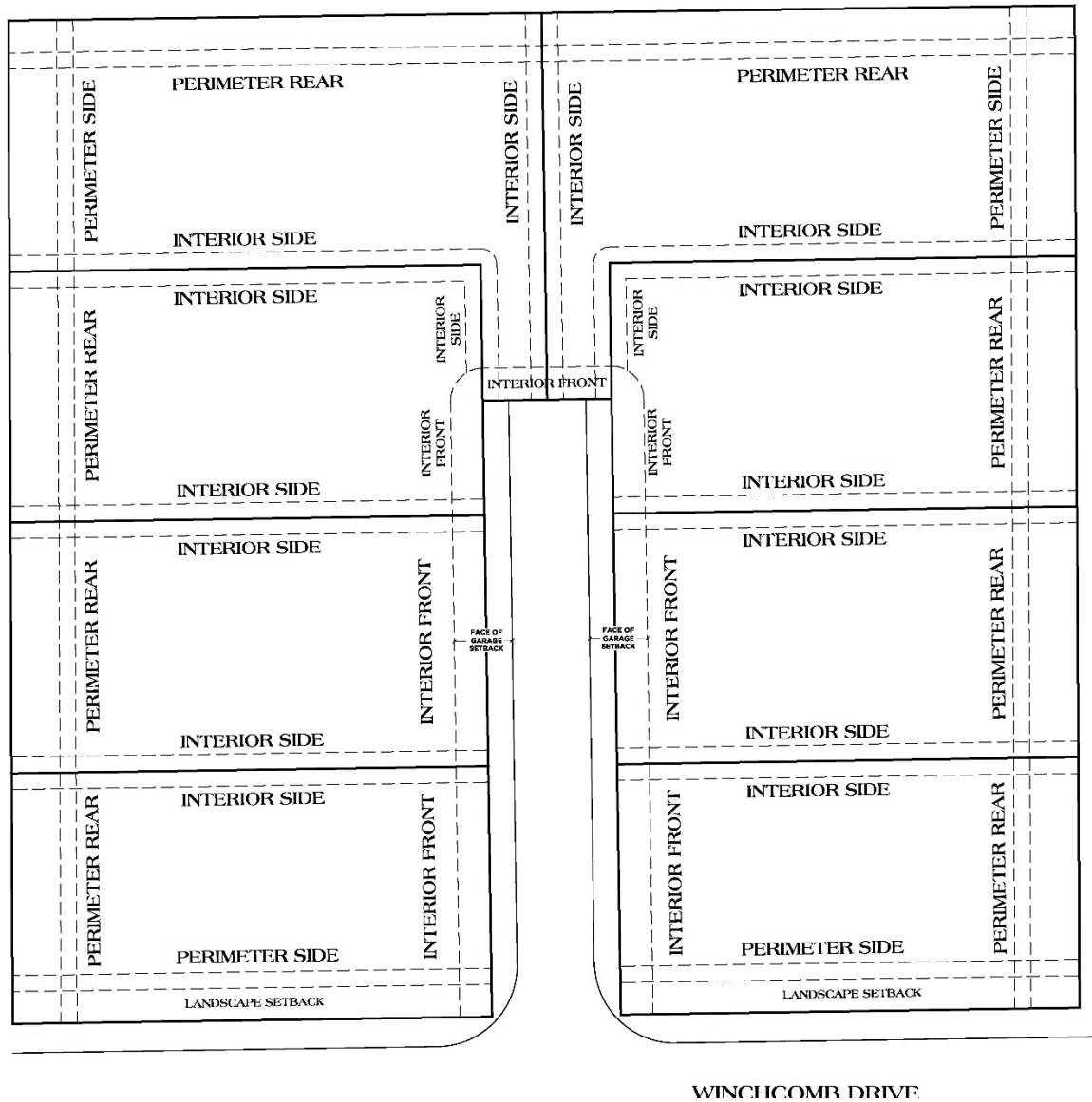




*For illustrative purposes only.*

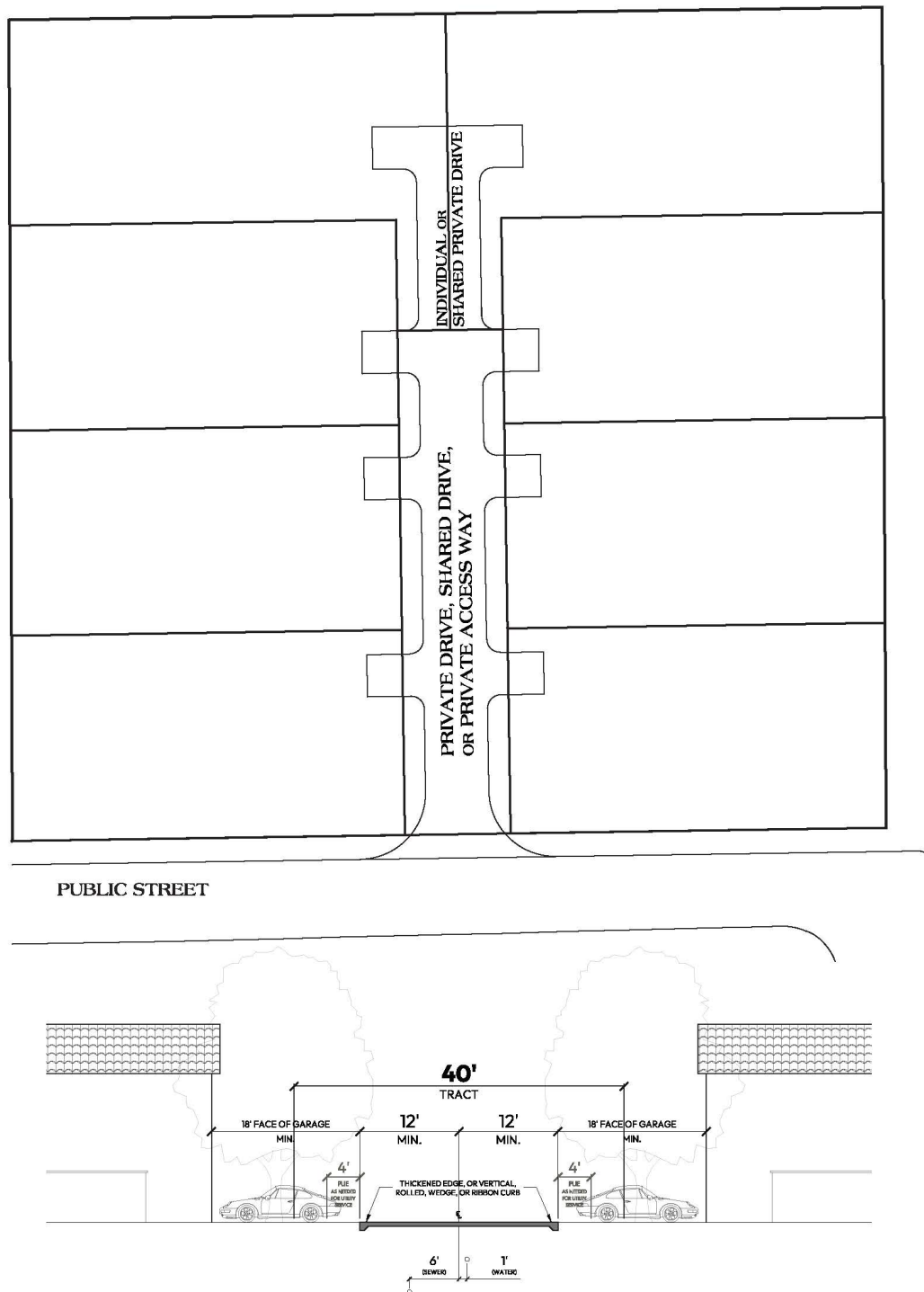
**EXHIBIT 5.**  
**DEVELOPMENT CRITERIA**

## BUILDING SETBACKS



*For illustrative purposes only. The approval of this PUD does not approve this proposed design. The design would be subject to the site plan review approval process, which may require other approvals including, but not limited to, Subdivision Ordinance and Fire Code appeals.*

## CIRCULATION

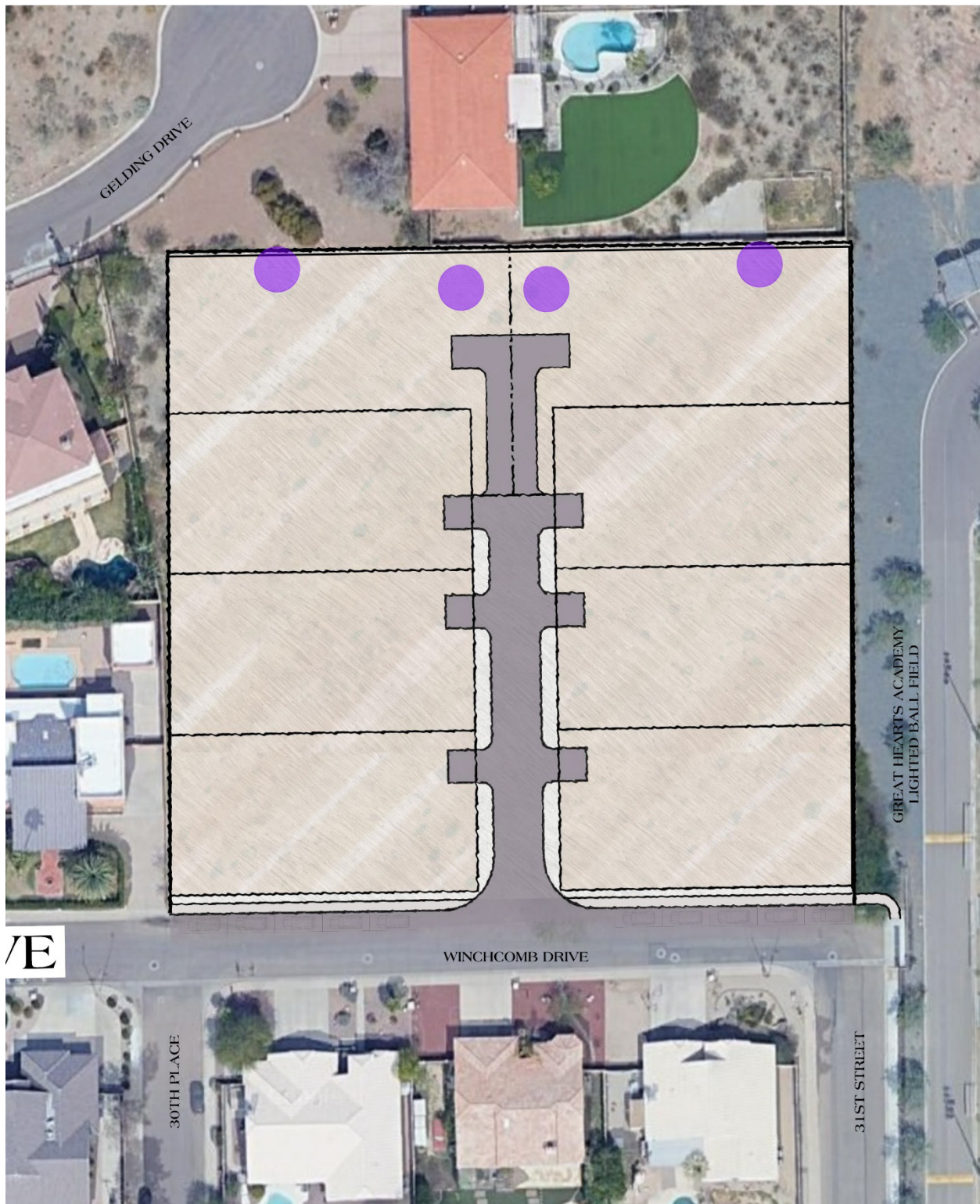


*For illustrative purposes only. The approval of this PUD does not approve this proposed design. The design would be subject to the site plan review approval process, which may require other approvals including, but not limited to, Subdivision Ordinance and Fire Code appeals.*

**EXHIBIT 6.**  
**NEIGHBORHOOD AGREEMENTS**



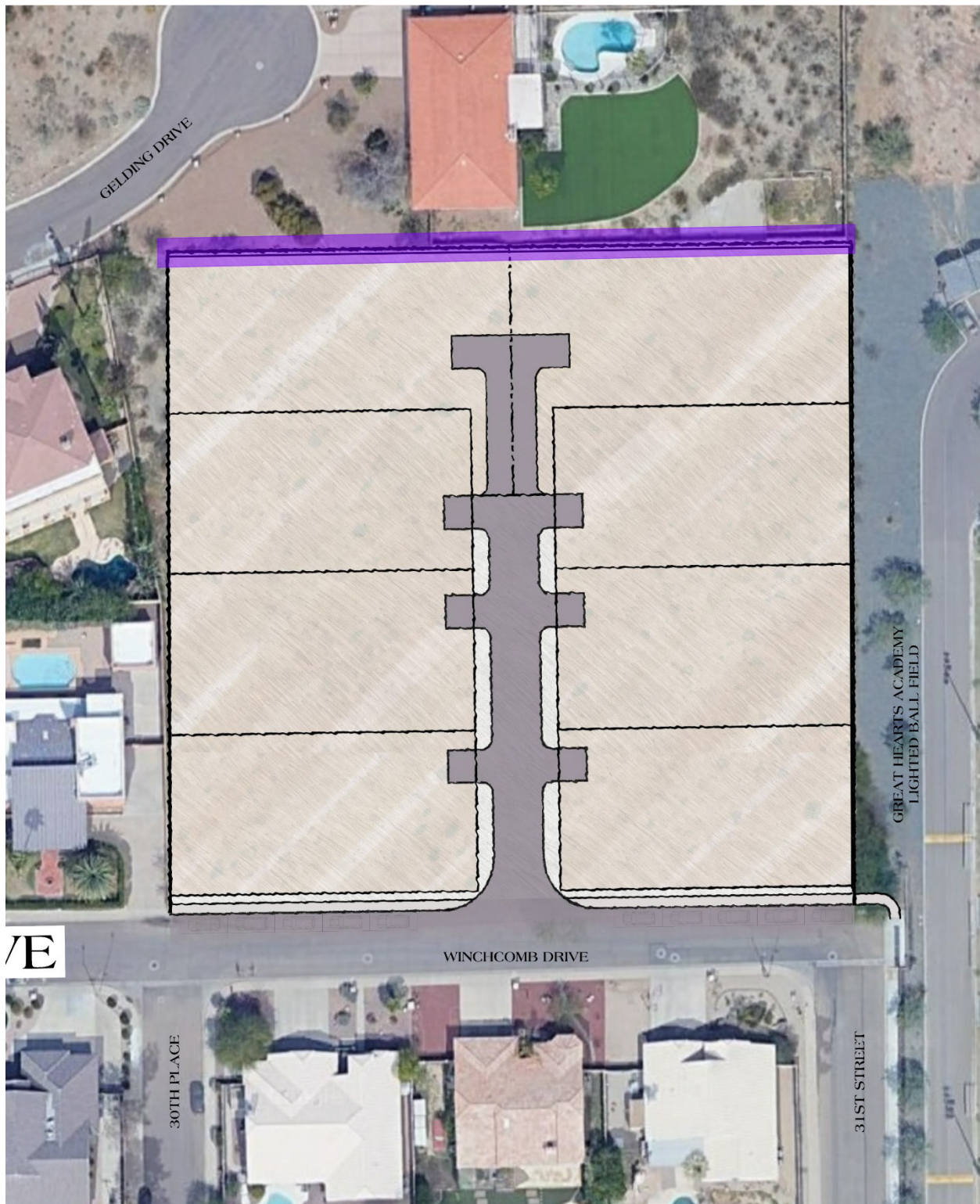
# TREE COORDINATION



 LOCATION OF TREES TO COORDINATE



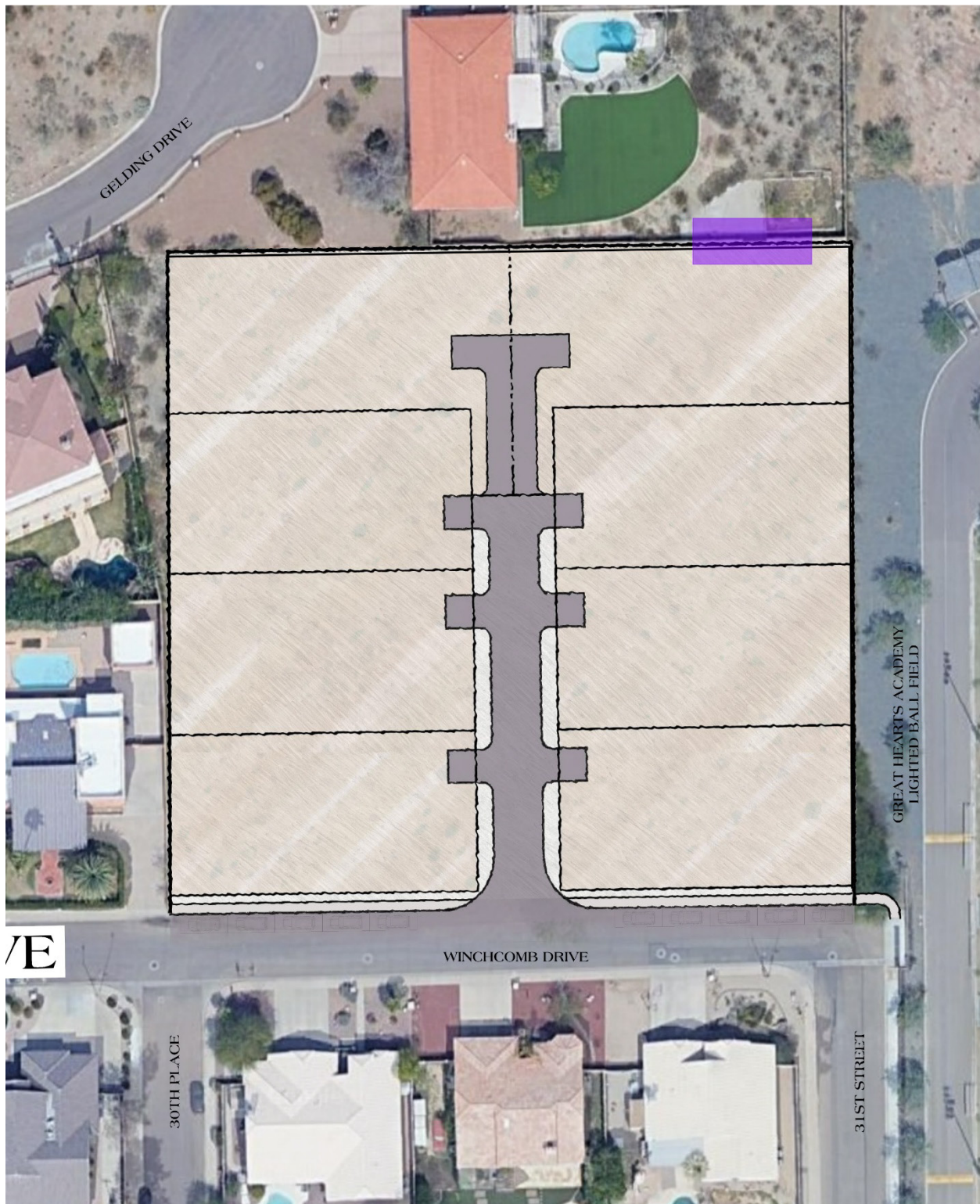
# NORTH WALL PAINT COORDINATION



LOCATION OF PAINT COLOR COORDINATION



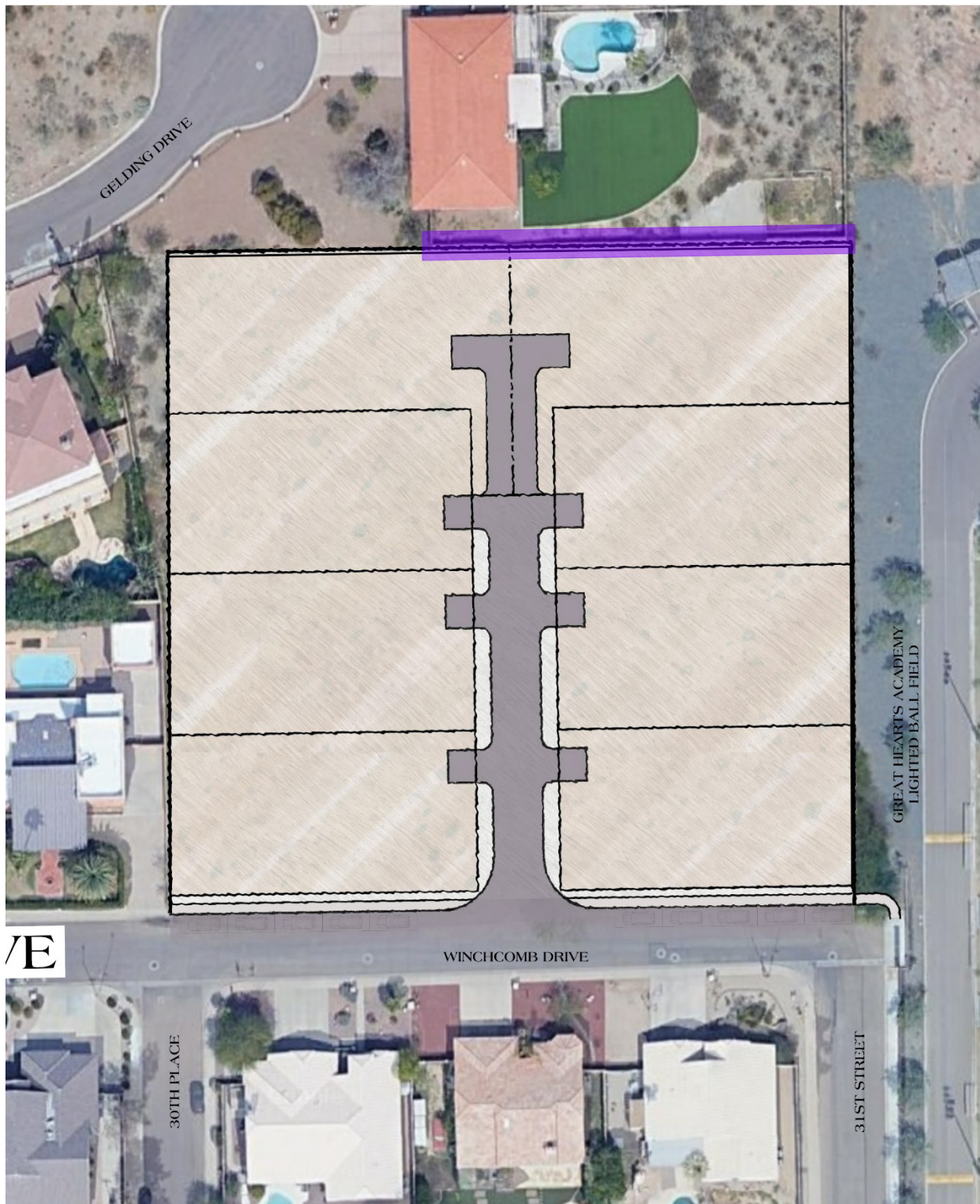
# RV GATE COORDINATION



 **RV GATE LOCATION**



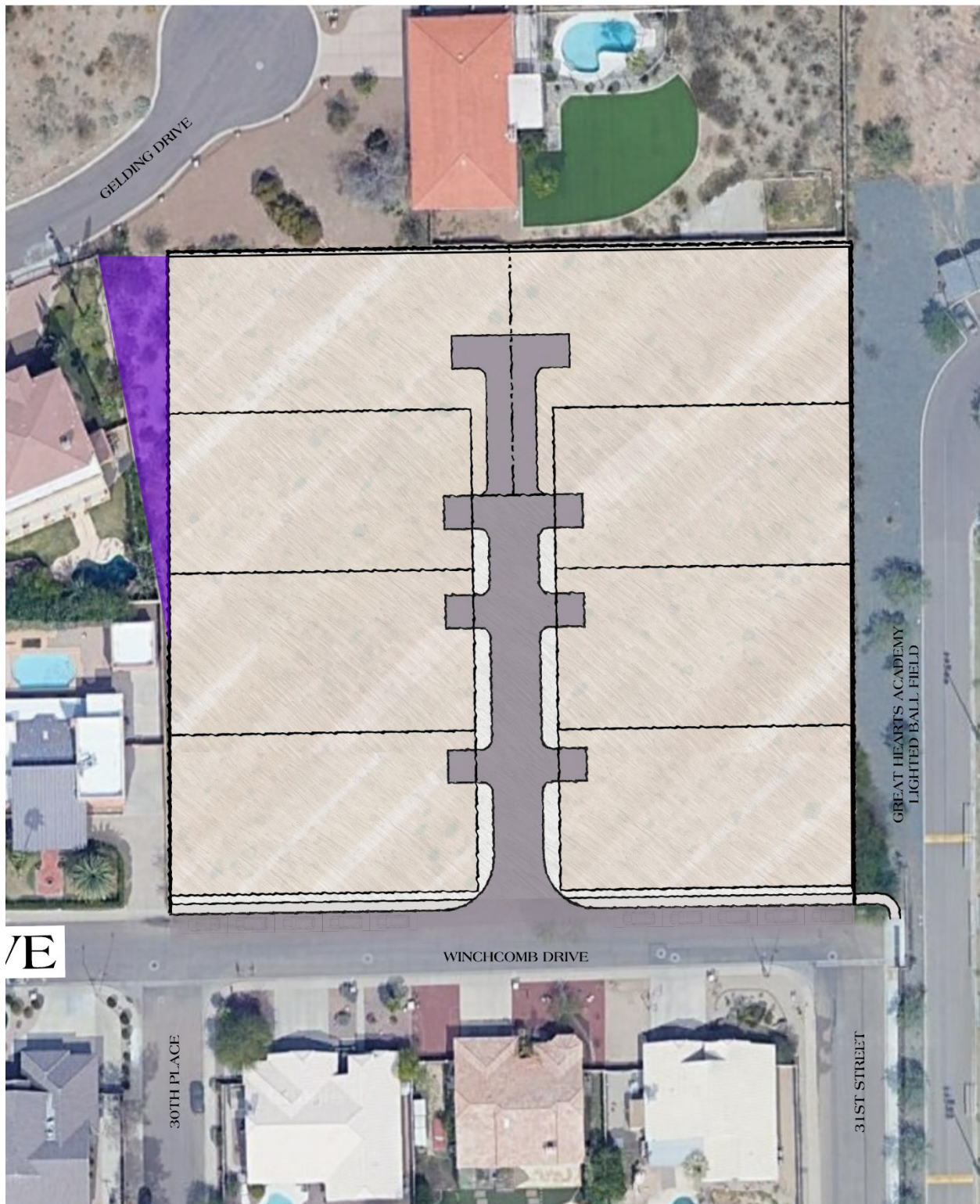
# NORTH WALL GAP COORDINATION



LOCATION OF WALL GAP COORDINATION



# ACCESS RESTRICTION COORDINATION



/E



AREA OF ACCESS RESTRICTION COORDINATION