



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned

From: Joshua Bednarek
Planning & Development Department Director

Date: March 17, 2025

Subject: P.H.O. APPLICATION NO. PHO-1-25--Z-12-22-7 – Notice of Pending Actions by the Planning Hearing Officer

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **April 16, 2025**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by **April 23, 2025**.

DISTRIBUTION

Mayor's Office (Tony Motola), 11th Floor
City Council (Stephanie Bracken), 11th Floor
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Street Transportation - Ped. Safety Coordinator (Kurt Miyamoto), 5th Floor
Street Transportation - Floodplain Management (Tina Jensen, Priscilla Motola, Rudy Rangel), 5th Floor
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Planning and Development (Joshua Bednarek, Tricia Gomes), 3rd Floor
Planning and Development/Information Services (Ben Ernyei, Andrew Wickhorst), 4th Floor
Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor
Planning Hearing Officer (Byron Easton, Teresa Garcia), 2nd Floor
Village Planner (Nayeli Sanchez Luna, Laveen Village)
Village Planning Committee Chair (Stephanie Hurd, Laveen Village)



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-1-25--Z-12-22-7

Council District: 7

Request For: Stipulation Modification

Reason for Request: Request to modify Stipulation 2 regarding review of conceptual elevations.

Contact Information

Name	Relationship Type	Address	Phone	Fax	Email
Ashton Woods Arizona	Owner	8655 East Via De Ventura, Suite F-250, Scottsdale, AZ 85258	4806213598		melissa.vasquez@ashtonwoods.com
Melissa Vasquez, Ashton Woods Arizona	Applicant	8655 East Via De Ventura, Suite F-250, Scottsdale, AZ 85258			melissa.vasquez@ashtonwoods.com
Melissa Vasquez, Ashton Woods Arizona	Representative	8655 East Via De Ventura, Suite F-250, Scottsdale, AZ 85258			melissa.vasquez@ashtonwoods.com

Property Location: Northwest corner of 47th Avenue and Baseline Road

Acreage: 14.07

Geographic Information

Zoning Map	APN	Quarter Section
D5	104-89-004R	Q1-17
Village: Laveen		

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning@phoenix.gov or visit our website at <https://www.phoenix.gov/pdd/licensing-time-frames>

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

I declare that all information submitted is true and correct to the best of my knowledge and belief. I acknowledge that any error in my application may be cause for changing its normal scheduling.

Signature: _____ DATE: _____

Fee Information

Fee	Fee Waived	Fee Date	Purpose
\$1,080.00	\$0.00	03/10/25	PHO (1-2 stipulations)



City of Phoenix
Planning & Development Department
200 W. Washington St., 3rd Floor
Phoenix, AZ 85003

RE: PHO-4-25

Dear Planning & Zoning,

Per Stipulation 2 in zoning approval Z-12-22, Ashton Woods (buyer) is to submit conceptual elevations for review and approval by the Planning Hearing Officer (PHO) prior to approval of the Single-Family Design Review Diversity Exhibit. This request is for PHO to review and approve our conceptual elevations.

The elevations have been designed to adhere to Stipulation 2, Sections A-E. There are six plan offerings with three elevation styles each, including Spanish, Craftsman, Farmhouse, and Modern Desert. The non-Spanish elevations have a minimum of 25% non-stucco accent material, with mixed use of wood, rough sawn posts, stone veneer, and stucco. Garage doors have been enhanced with decorative stucco popouts and paneling. The homes also offer covered porches and patios, with 75% of the offerings having a minimum of 60 square feet.

Respectfully,

Melissa Vasquez
Director of Architecture

ORDINANCE G-6999

AN ORDINANCE AMENDING THE ZONING DISTRICT MAP ADOPTED PURSUANT TO SECTION 601 OF THE CITY OF PHOENIX ZONING ORDINANCE BY CHANGING THE ZONING DISTRICT CLASSIFICATION FOR THE PARCEL DESCRIBED HEREIN (CASE Z-12-22-7) FROM S-1 (RANCH OR FARM RESIDENCE DISTRICT) TO R1-18 (SINGLE-FAMILY RESIDENCE DISTRICT).

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PHOENIX, as follows:

SECTION 1. The zoning of a 14.07 acre property located on the northwest corner of 47th Avenue and Baseline Road in a portion of Section 33, Township 1 North, Range 2 East, as described more specifically in Exhibit "A," is hereby changed from "S-1" (Ranch or Farm Residence District), to "R1-18" (Single-Family Residence District).

SECTION 2. The Planning and Development Director is instructed to modify the Zoning Map of the City of Phoenix to reflect this use district classification change as shown in Exhibit "B."

SECTION 3. Due to the site's specific physical conditions and the use district applied for by the applicant, this rezoning is subject to the following stipulations, violation of which shall be treated in the same manner as a violation of the City of Phoenix Zoning Ordinance:

1. The development shall be in general conformance to the site plan date

stamped May 4, 2022, with specific regard to the following element, as approved by the Planning and Development Department.

- a. A minimum of 16% of the gross site area shall be retained as open space.

- 2. The conceptual elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process for stipulation modification prior to approval of the Single-Family Design Review Diversity Exhibit, with specific regard to the inclusion of the below elements. This is legislative review for conceptual purposes only. Specific development standards and requirements will be determined by the Planning Hearing Officer and the Planning and Development Department.

- a. All elevations shall incorporate a minimum of three of the following architectural embellishments and detailing: textural changes, pilasters, offsets, recesses, variation in window size and location, and/or overhang canopies.
- b. All elevations shall incorporate a minimum of three of the following building materials: native stone, burnt adobe, textured brick, wood (when shaded by overhangs or deep recesses), slump block, ceramic tile (matte finish), stucco, and/or exposed aggregate concrete.
- c. The front elevations shall consist of a minimum 25% non-stucco accent material.
- d. All garage doors shall have decorative embellishments such as window panels, added materials surrounding the door, and/or trellises.
- e. A minimum of 75% of the standard elevations provided shall include patios and/or covered porches in the front yard at a minimum of 60 square feet in area and a depth of at least six feet, and clearly separated from the front yard with fencing, subject to the Phoenix Zoning Ordinance.

- 3. Lots 7, 8, 9, and 10 along Baseline Road shall be limited to 26 feet, as approved by the Planning and Development Department.
- 4. No more than two two-story homes shall be built adjacent to one another along 47th Avenue, as approved by the Planning and Development Department.
- 5. Homes shall have minimum 5-foot-wide side yard setbacks.

6. The developer shall install wiring within homes for electric vehicle capabilities.
7. Required landscape setbacks shall be planted with minimum 50% 2-inch caliper and 50% 3-inch caliper large canopy drought-tolerant trees, 20 feet on center or in equivalent groupings, with 5-gallon shrubs per tree, as approved by the Planning and Development Department.
8. The entry drives shall incorporate enhanced landscaping on both sides, planted with a variety of at least three plant materials, as approved by the Planning and Development Department.
9. The developer shall dedicate a 30-foot-wide multi-use trail easement (MUTE) along the north side of Baseline Road and construct a minimum 10-foot-wide multi-use trail (MUT) within the easement in accordance with the MAG supplement detail and as approved by the Planning and Development Department. Where conflicts or restrictions exist, the developer shall work with the Site Planning section on an alternate design through the technical appeal process.
10. A minimum 22-foot setback shall be provided to the front of garages, measured from the back of the sidewalk, for each home in the development, as approved by the Planning and Development Department.
11. The developer shall dedicate 30 feet of right-of-way along the west side of 47th Avenue, as approved by the Planning and Development Department.
12. The developer shall complete the west side of 47th Avenue to include a minimum 5-foot-wide detached sidewalk and minimum 8-foot-wide landscape area located between the back of curb and sidewalk to match the northern limit of the site, as approved by the Planning and Development Department.
13. The developer shall replenish the existing streetscape along Baseline Road, as approved by the Planning and Development Department.
14. Where sidewalks are detached along 47th Avenue, Baseline Road, and internal to the site, the landscape area located between the sidewalk and back of curb shall be planted to the following standards, as approved by the Planning and Development Department:
 - a. Minimum 3-inch caliper, large canopy, single-trunk, shade trees placed a minimum of 25 feet on center or in equivalent groupings to provide a minimum of 75% shade on adjacent sidewalks.
 - b. Drought tolerant shrubs and vegetative groundcovers with a

maximum mature height of 24 inches to provide a minimum of 75% live coverage at maturity.

- c. Where utility conflicts arise, the developer shall work with the Planning and Development on an alternative design solution consistent with a pedestrian environment.
- 15. The developer shall construct a clearly defined and shaded pedestrian pathway providing access to the multi-use-trail along Baseline Road, as approved by the Planning and Development Department.
- 16. Traffic calming measures shall be installed within the development, as approved by the Street Transportation Department.
- 17. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
- 18. The developer shall rebuild the bus stop pad along westbound Baseline Road according to P1260 and P1258, unless stated otherwise by the Public Transit Department.
- 19. If determined necessary by the Phoenix Archaeology Office, the applicant shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
- 20. If Phase I data testing is required, and if, upon review of the results from the Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
- 21. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

SECTION 4. If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the

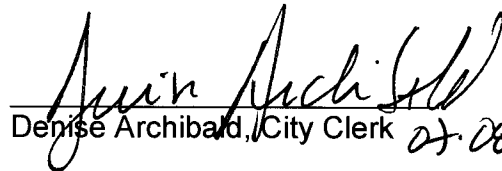
decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions hereof.

PASSED by the Council of the City of Phoenix this 1st day of July, 2022.



MAYOR

ATTEST:


Denise Archibald, City Clerk *07.08.2022*

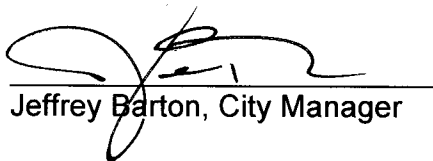
APPROVED AS TO FORM:
Cris Meyer, City Attorney

By: 

Deryck R. Lavelle, Assistant Chief Counsel

Pml

REVIEWED BY:


Jeffrey Barton, City Manager

Exhibits:

A – Legal Description (1 Page)

B – Ordinance Location Map (1 Page)

PL:tml:LF22-0853:7-1-2022:2325337v1

EXHIBIT A

LEGAL DESCRIPTION FOR Z-12-22-7

The Southeast Quarter of the Southwest Quarter of Section 33, Township 1 North,
Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

EXCEPT the South 55 feet thereof;

EXCEPT all that portion thereof lying within the Final Plat for Rogers Ranch Parcel 9,
recorded in Book 817 of Maps, Page 16;

EXCEPT all that portion thereof lying within the Final Plat of Rogers Ranch Unit 4,
recorded in Book 680 of Maps, Page 24;

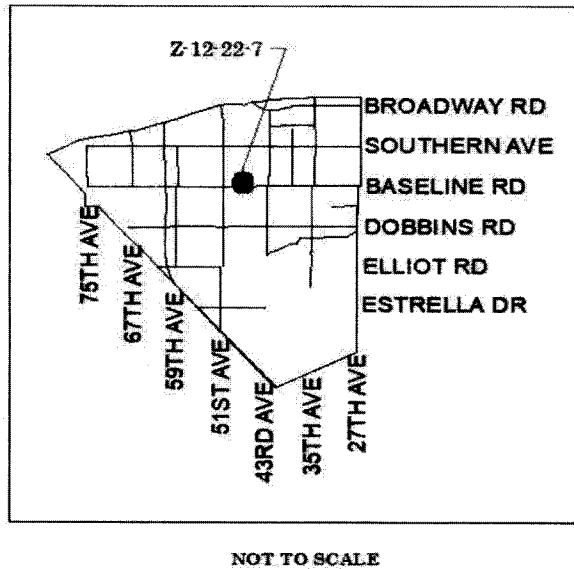
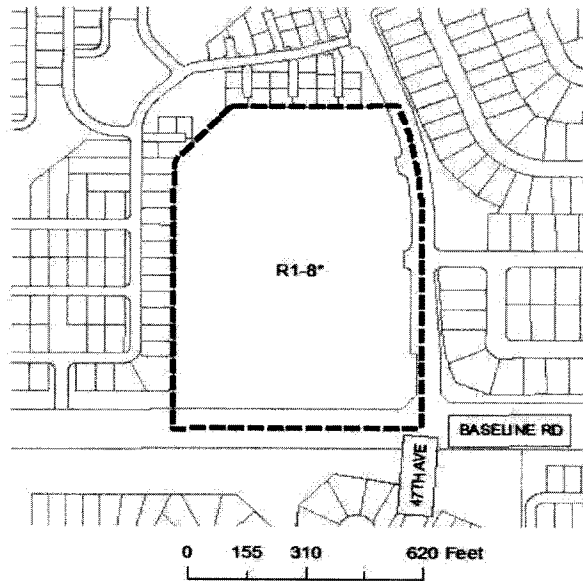
EXCEPT all that portion thereof lying within 47th Avenue and Baseline Road as shown
on Map of Dedication for Rogers Ranch, recorded in Book 623 of Maps, Page 29.

ORDINANCE LOCATION MAP

EXHIBIT B

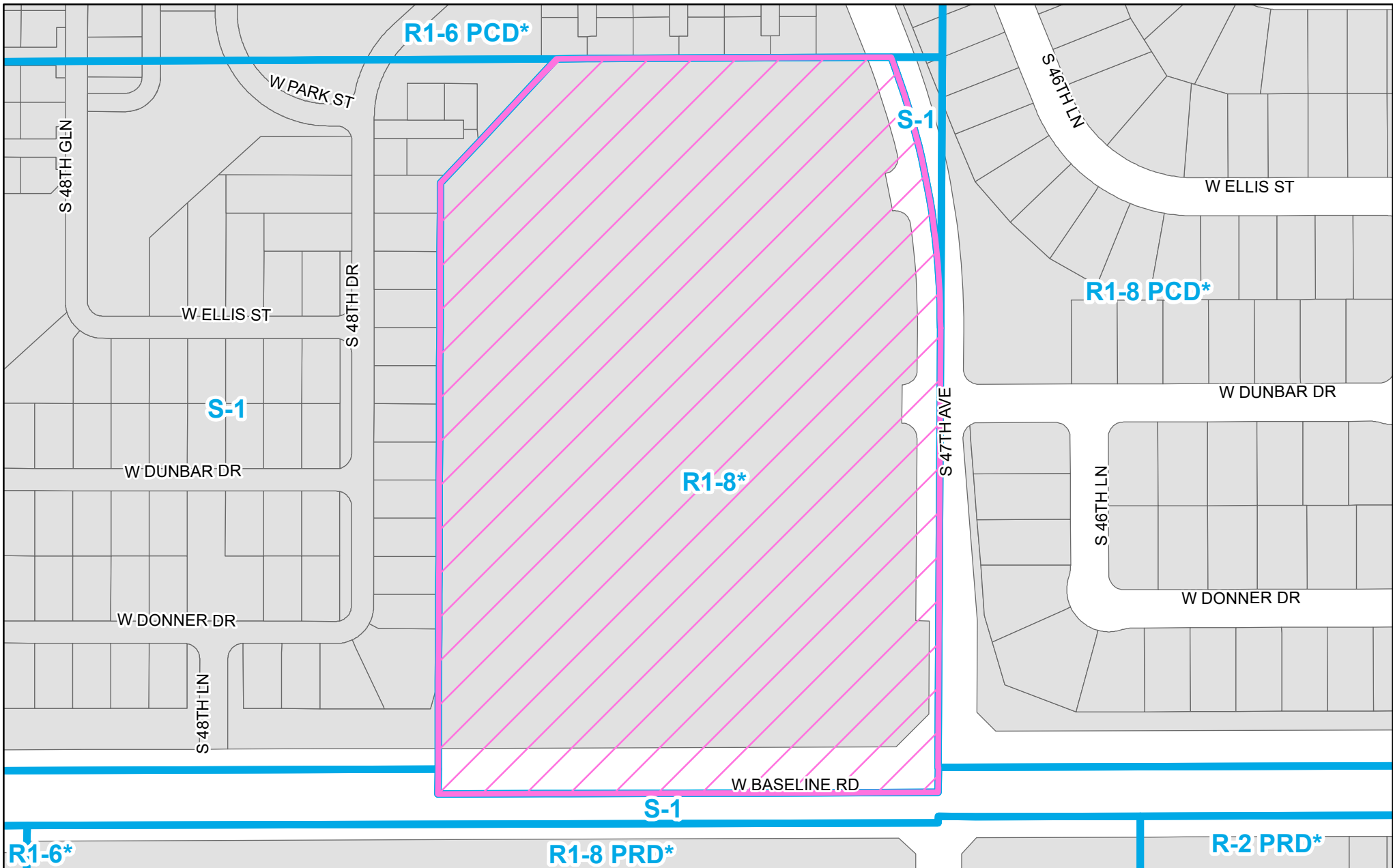
ZONING SUBJECT TO STIPULATIONS: *
SUBJECT AREA: - - - - -

Zoning Case Number: Z-12-22-7
Zoning Overlay: N/A
Planning Village: Laveen



Drawn Date: 5/31/2022

S:\Department Share\Information Systems\PL GIS\GIS_Team\Cons_Func\Cons_Zoning\Suppl\aps_Ord\aps_2022 Ord\17-1-22\Z-12-22-7.mxd



PHO-1-25--Z-12-22-7

Property Location: Northwest corner of 47th Avenue and Baseline Road

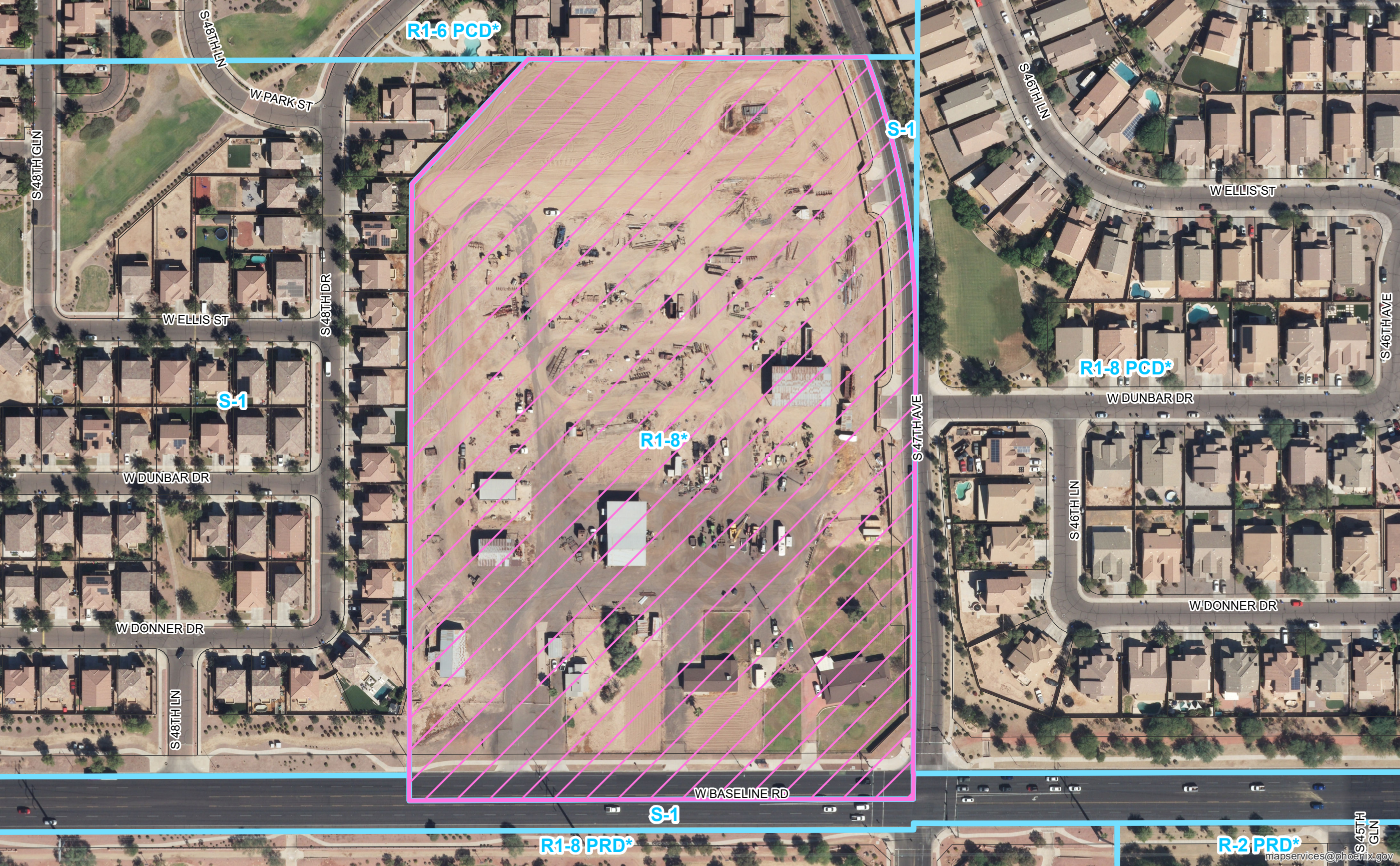


City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Planning & Development Department

0 80 160 320 Feet





R1-6 PCD*

S-1

R1-8 PCD*

R1-8*

S-1

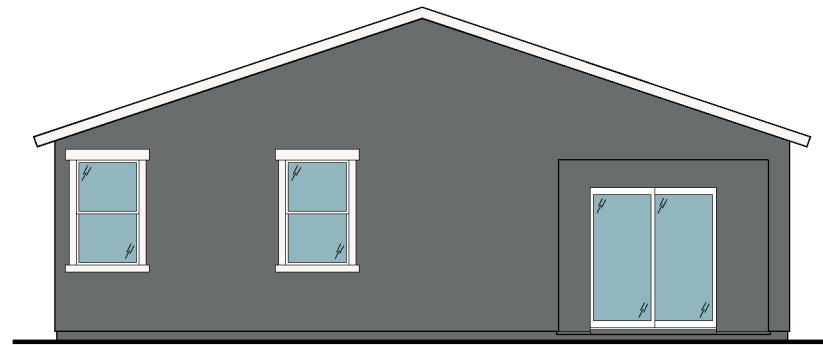
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R1-8 PRD*

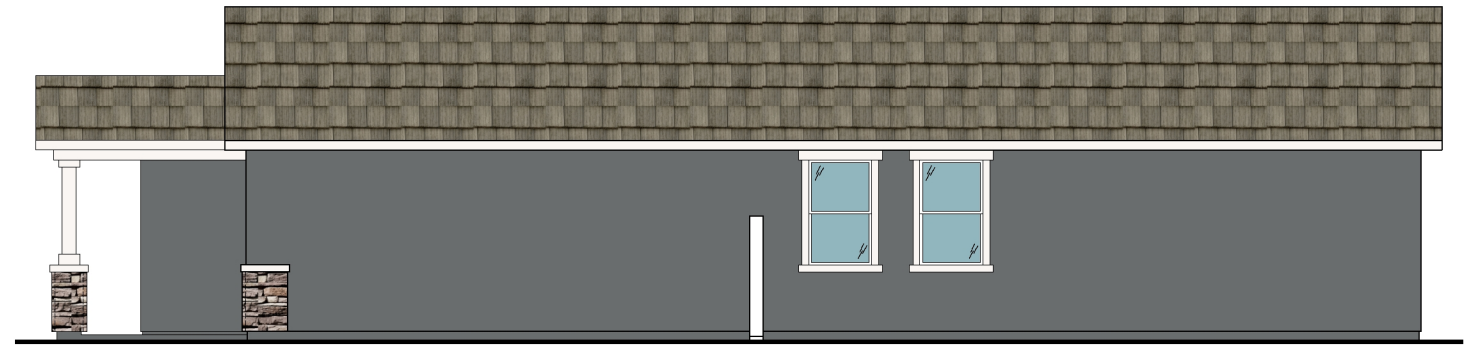
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S 45TH GLN

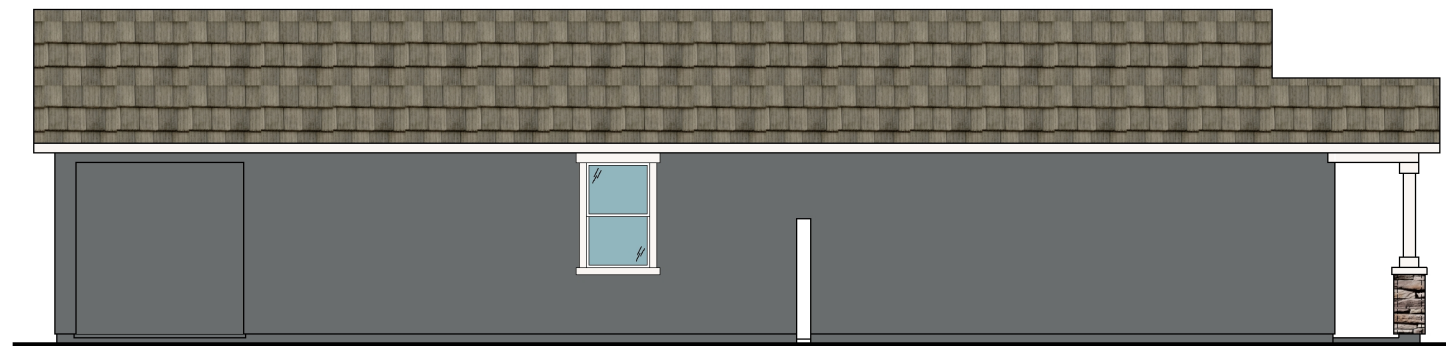
mapservices@phoenix.gov



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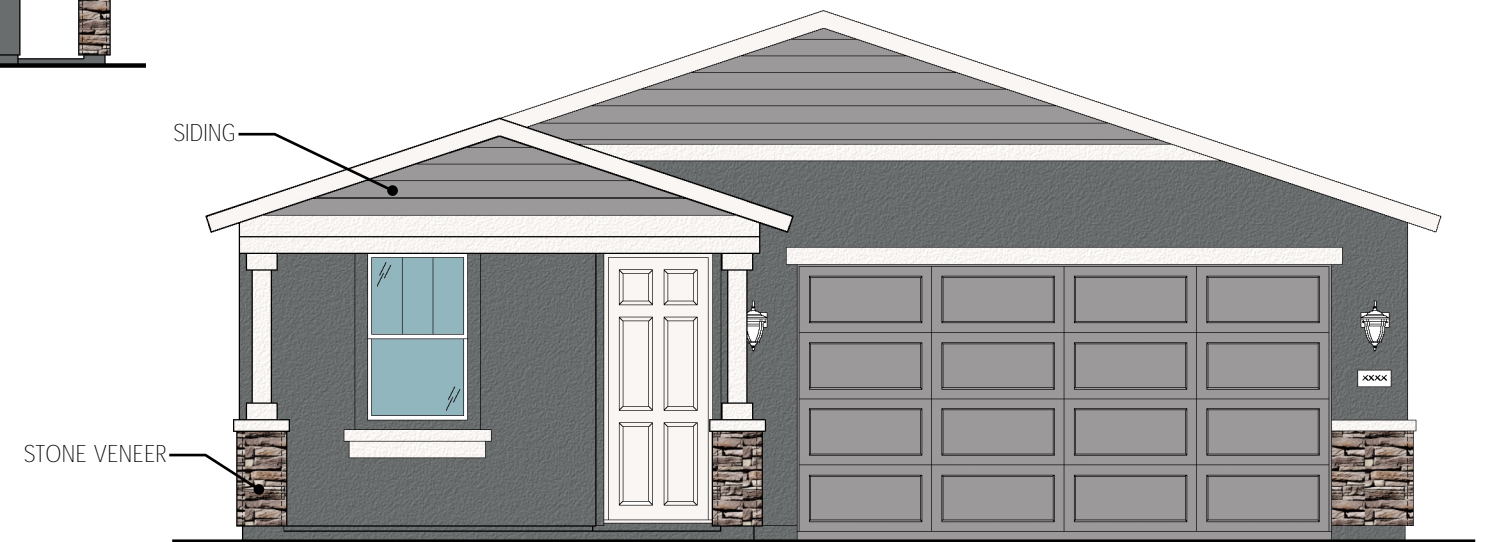


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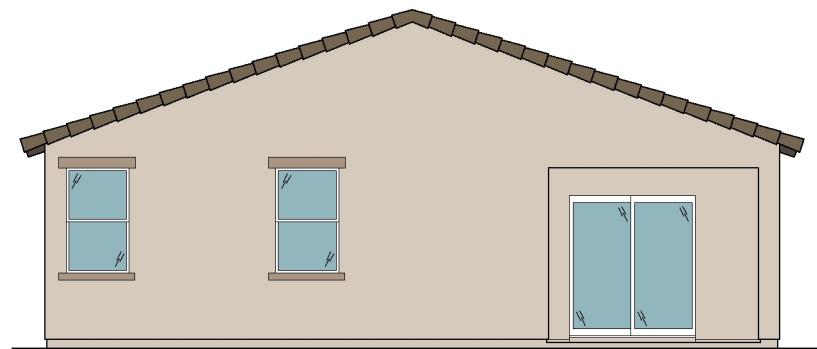
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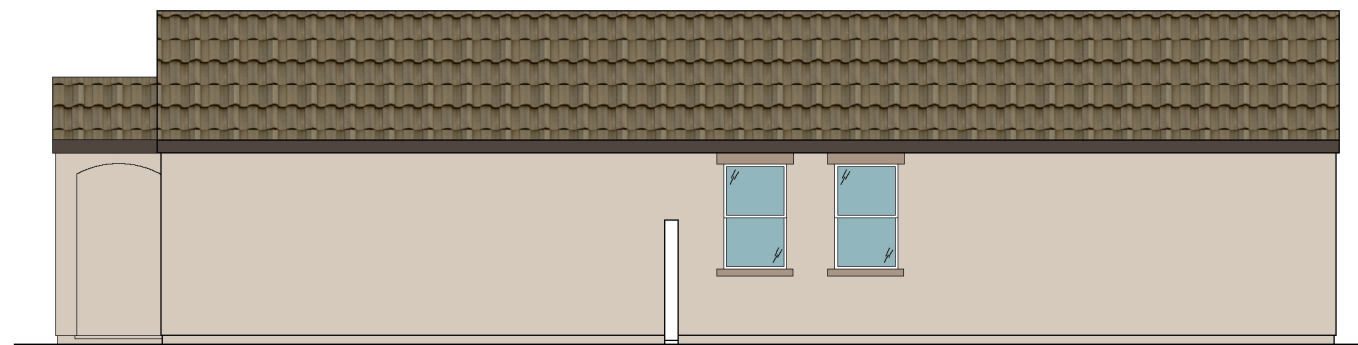
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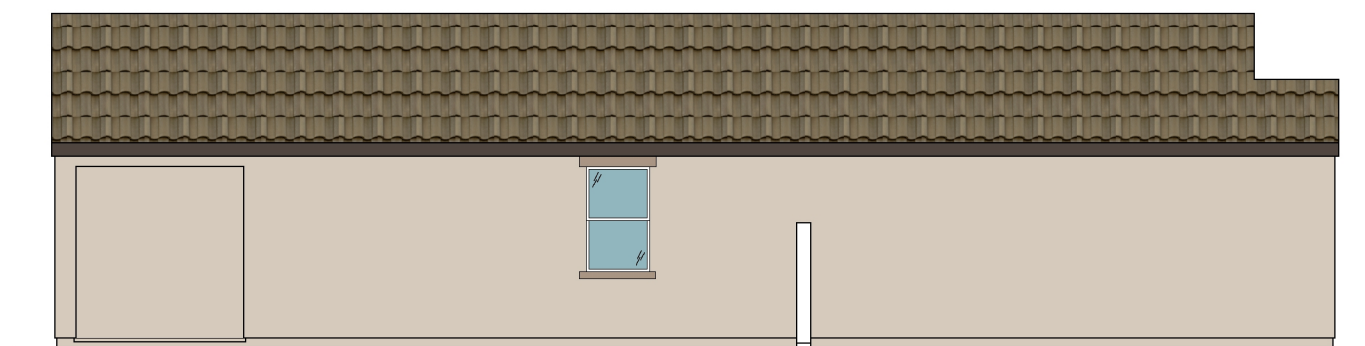
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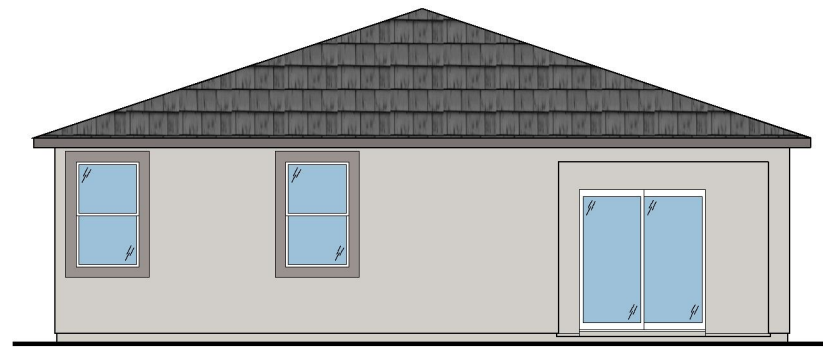
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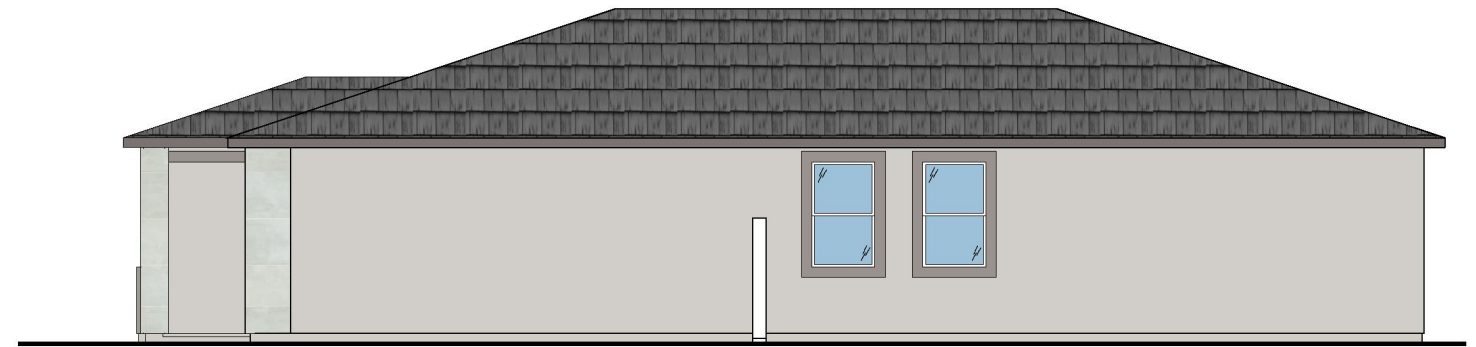
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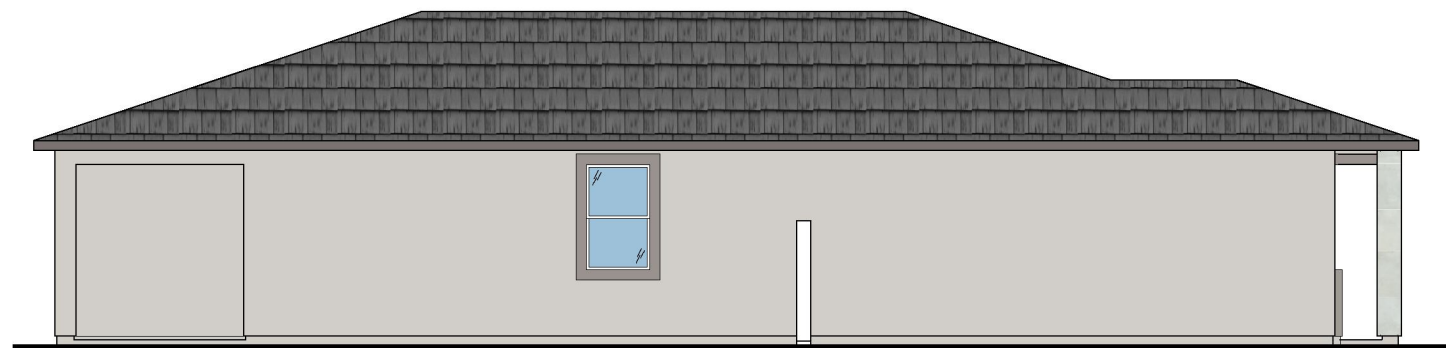
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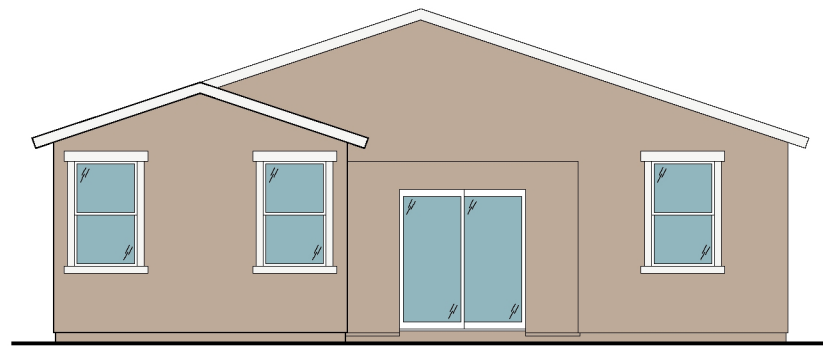
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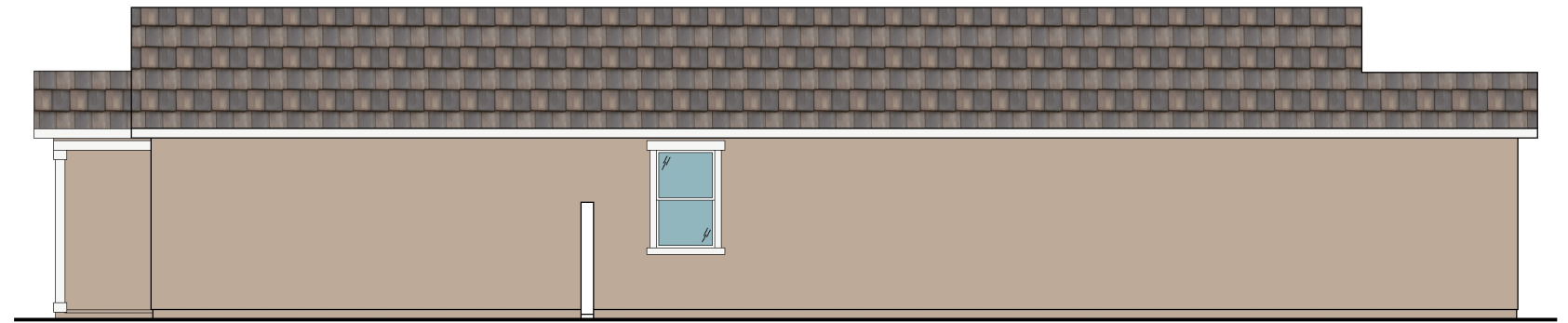
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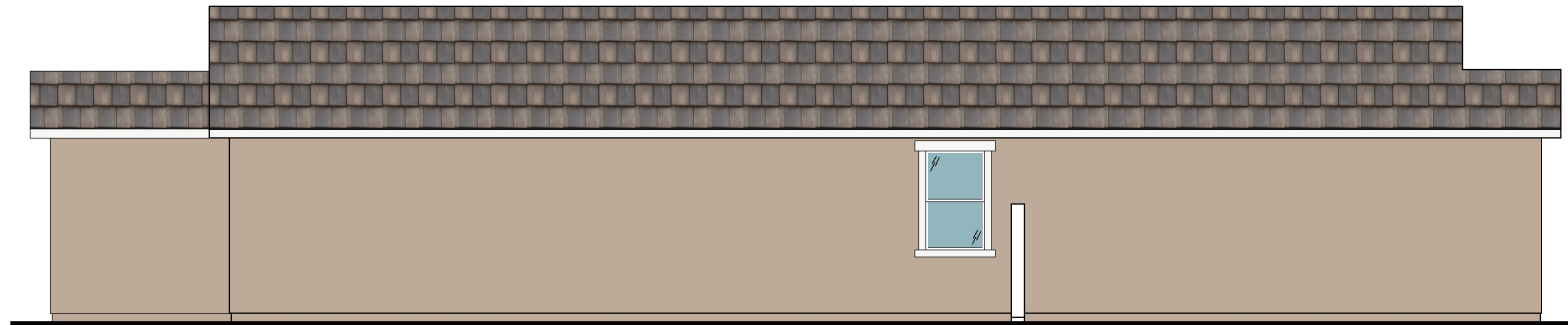
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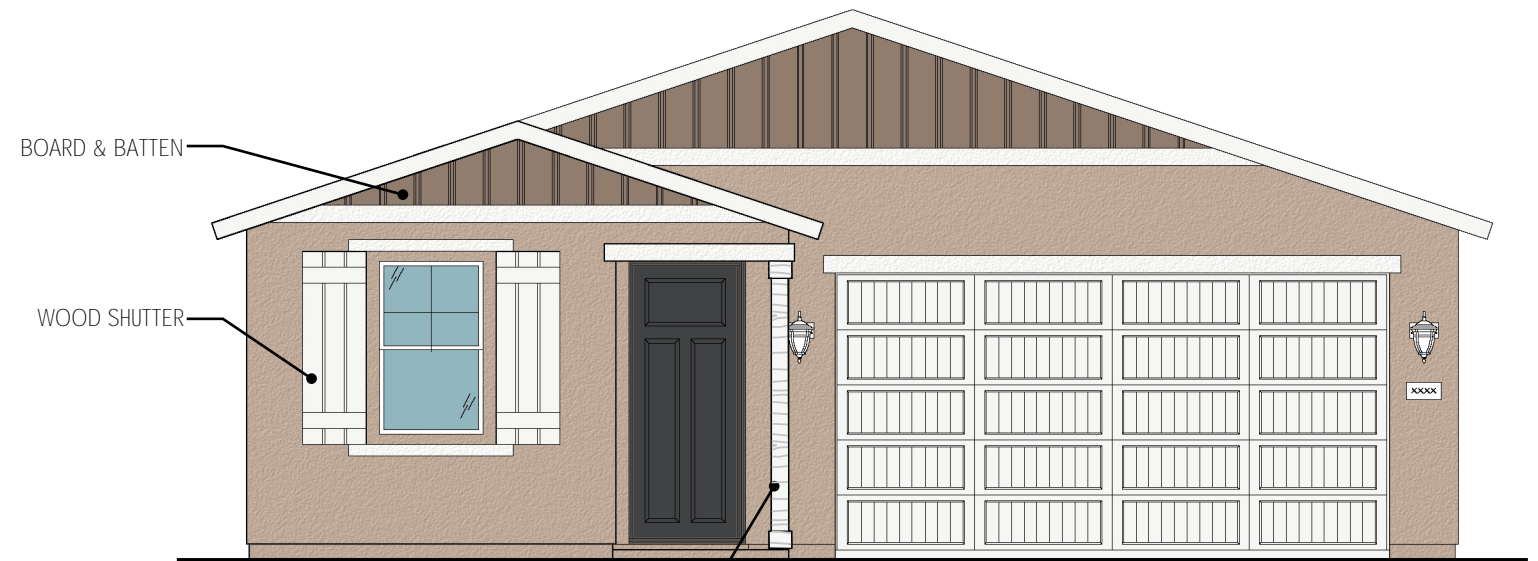
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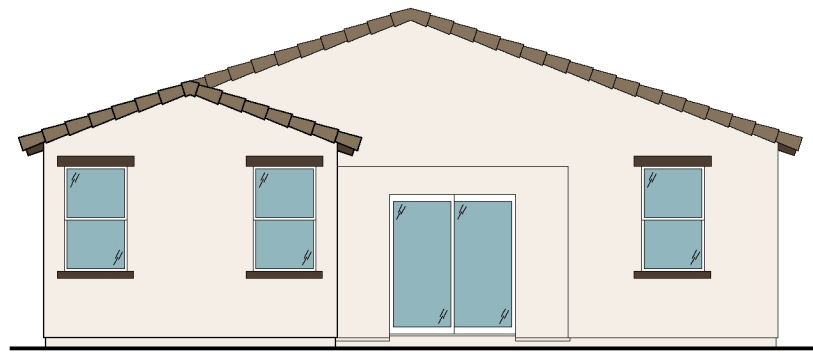


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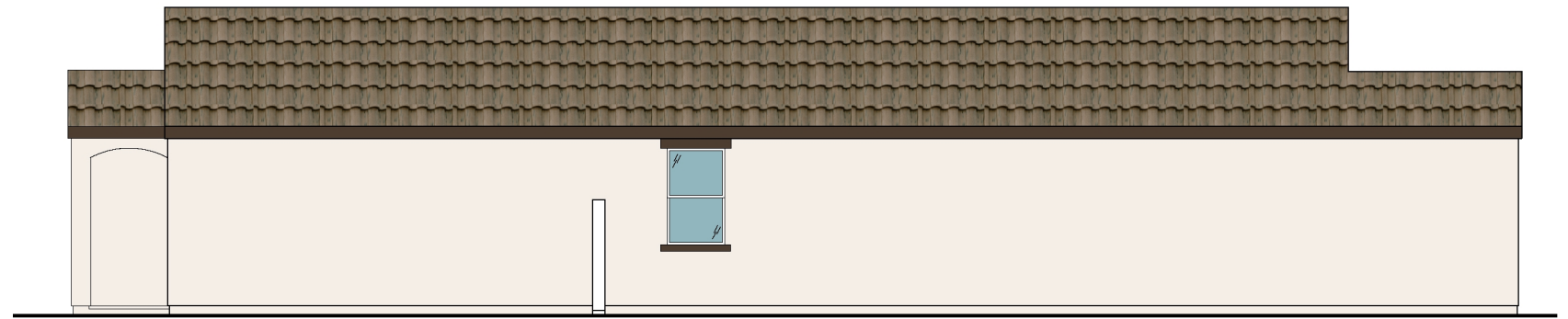


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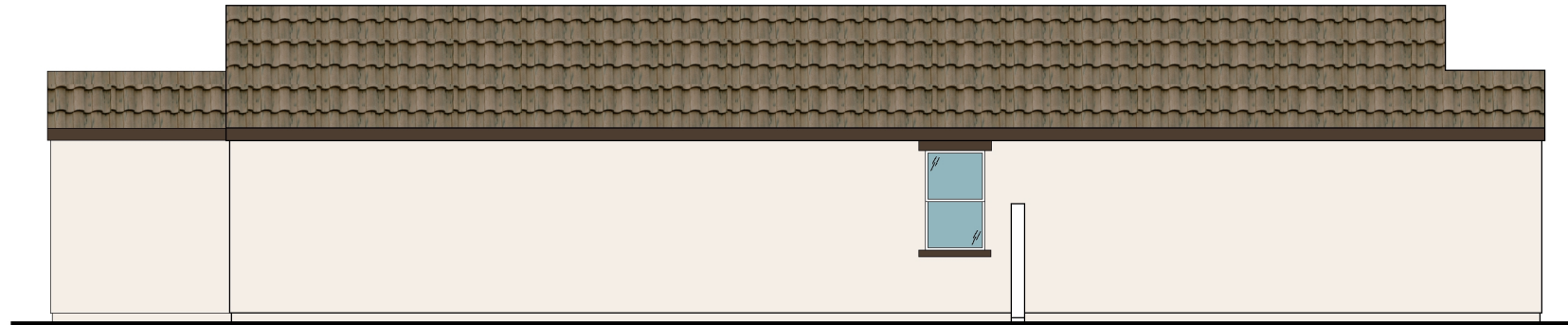
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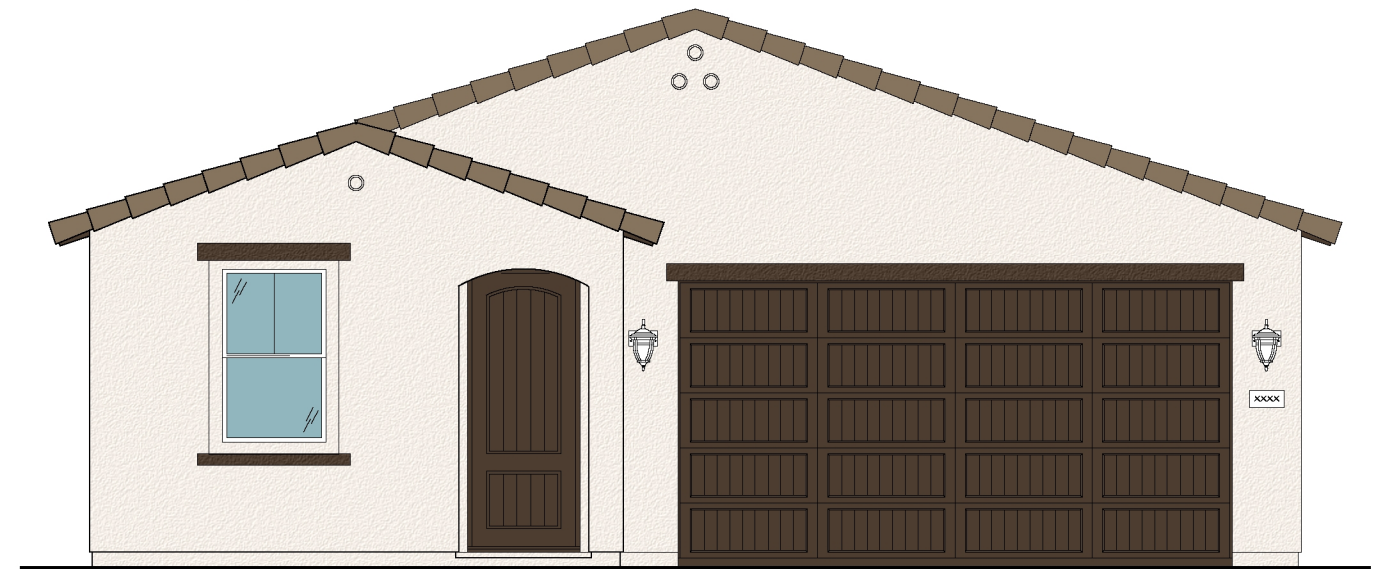
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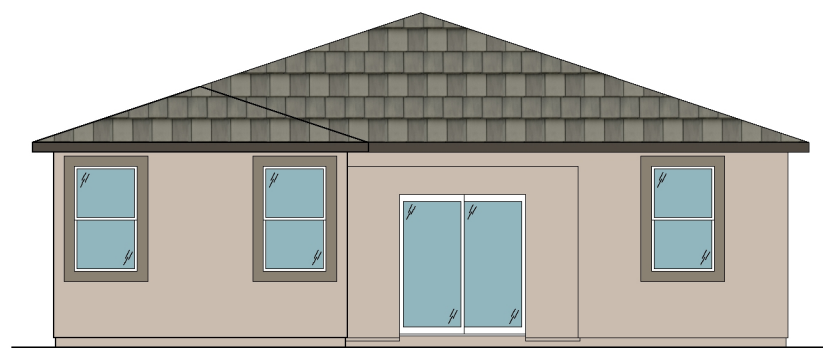
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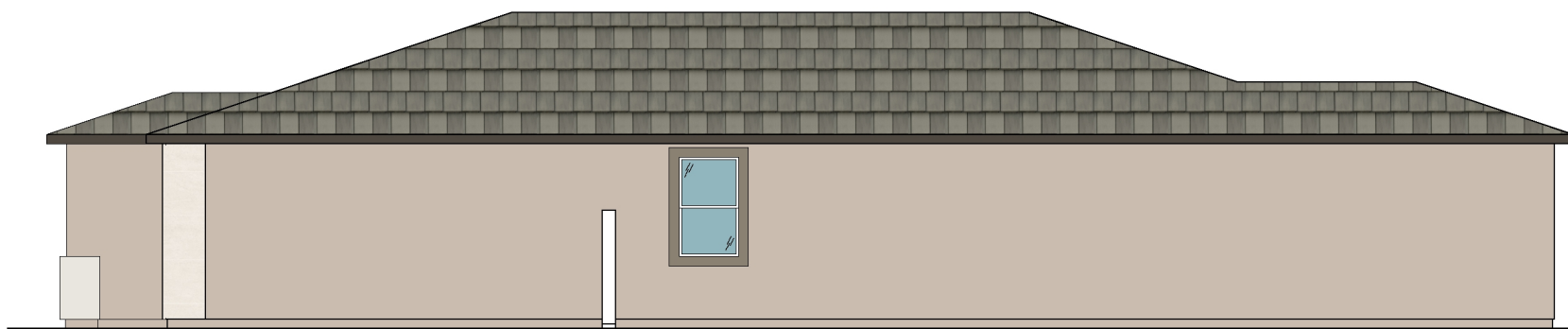
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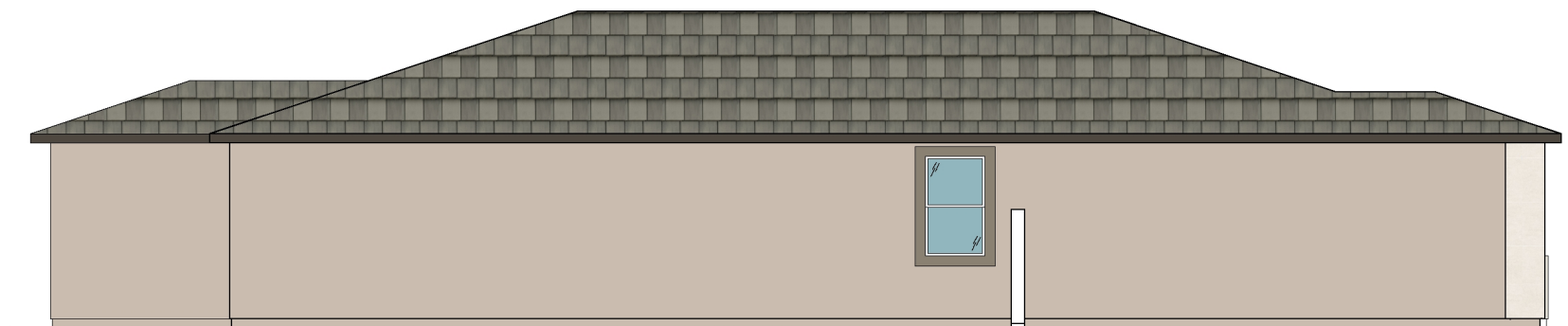
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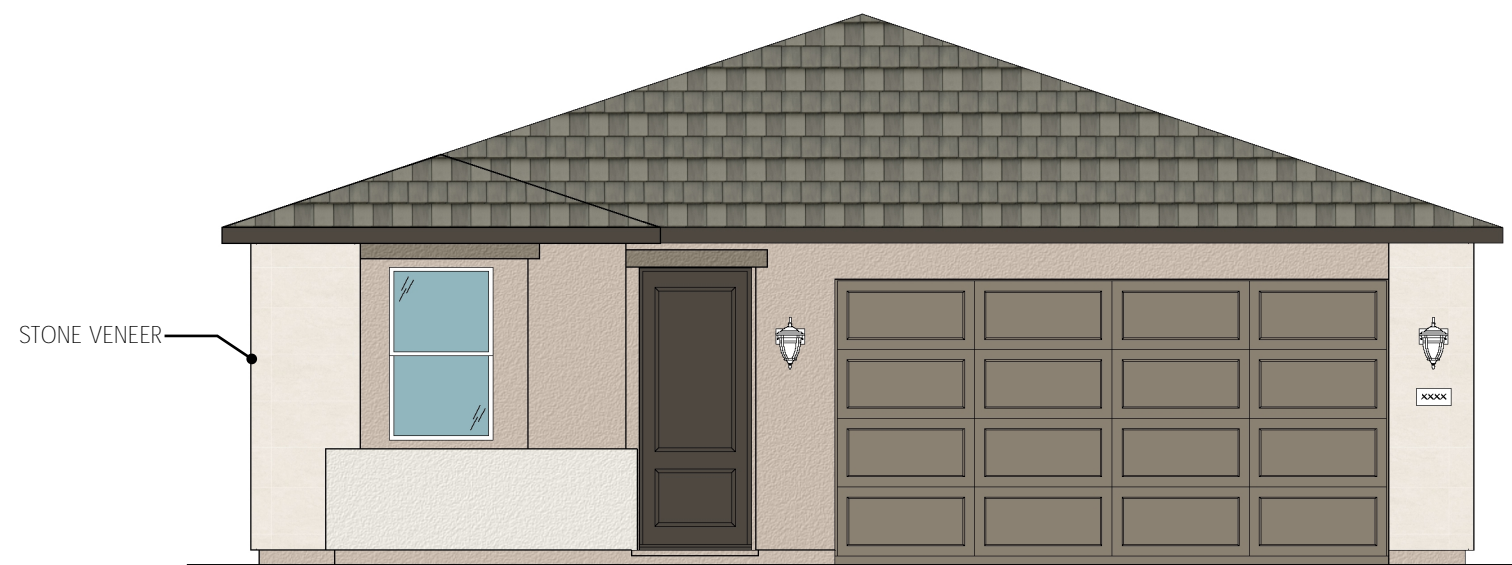
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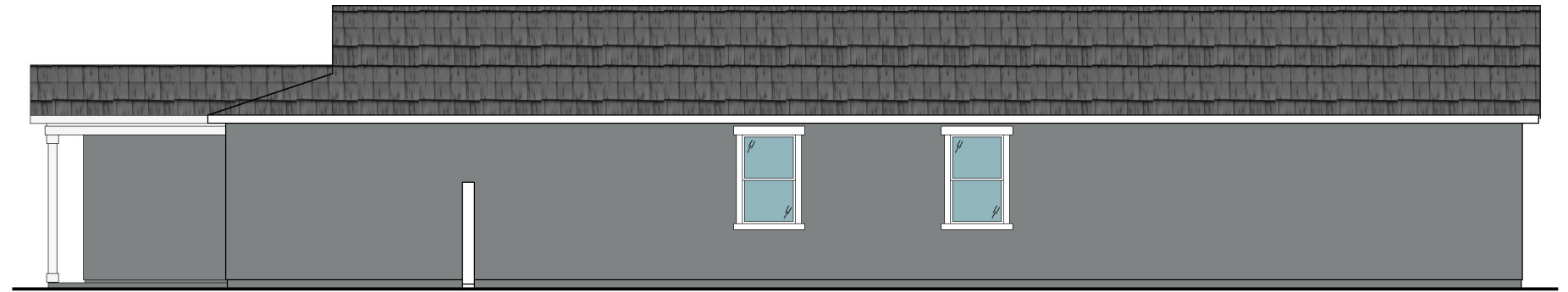
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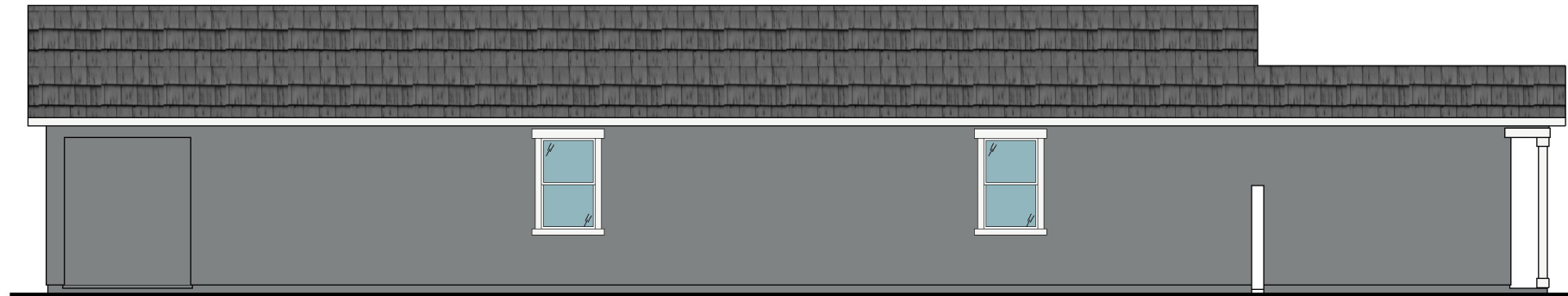
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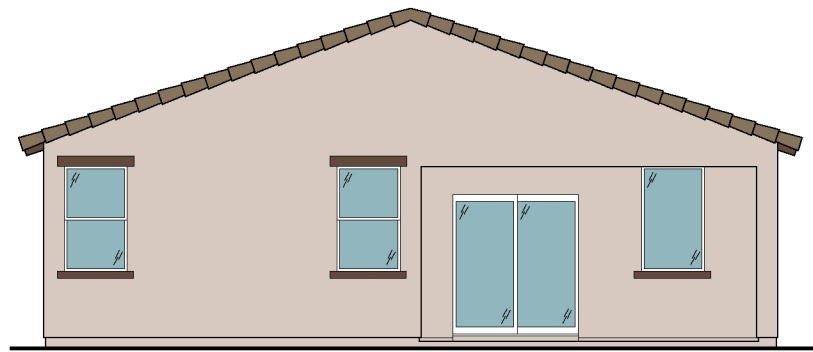
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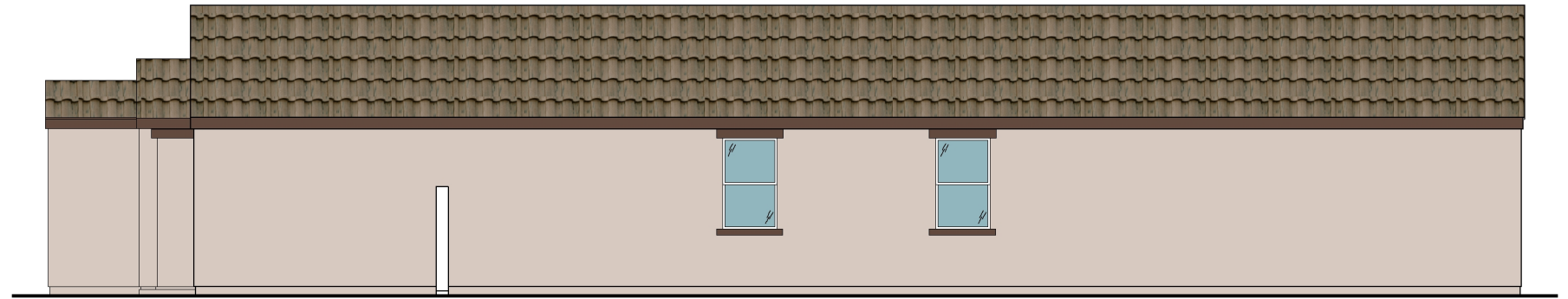
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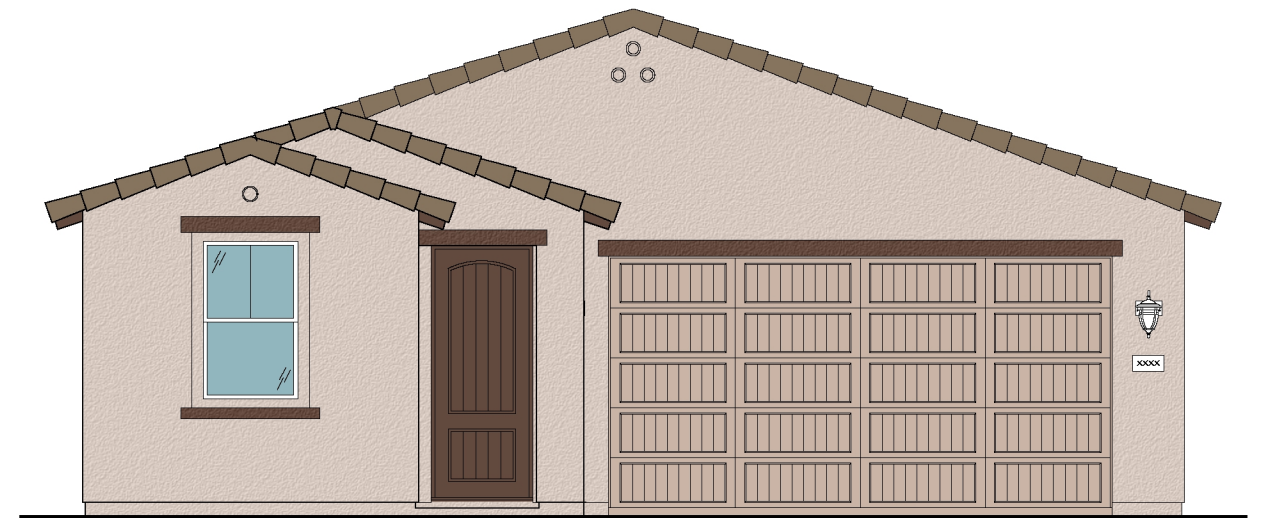
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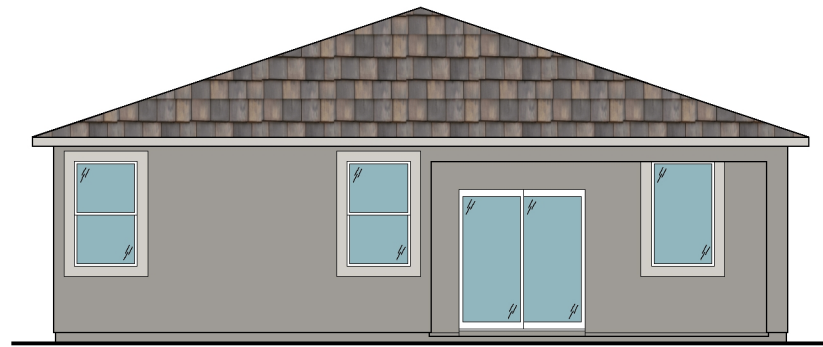
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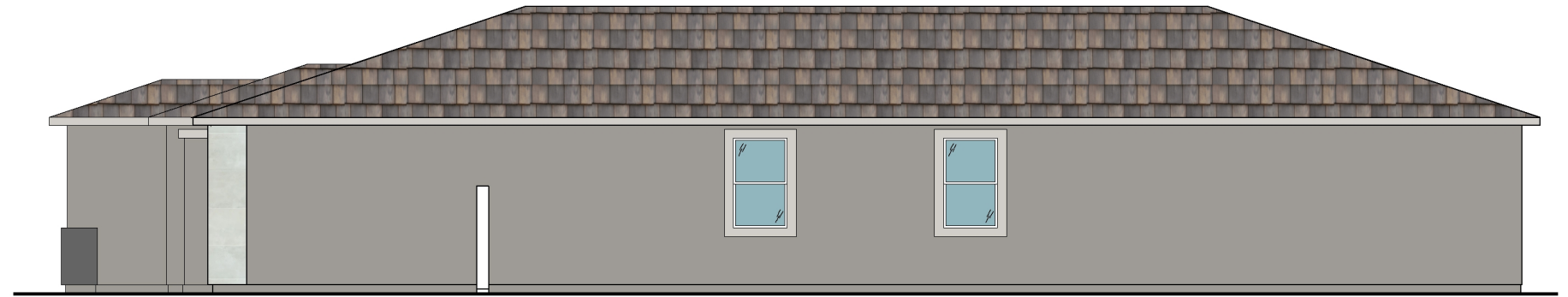
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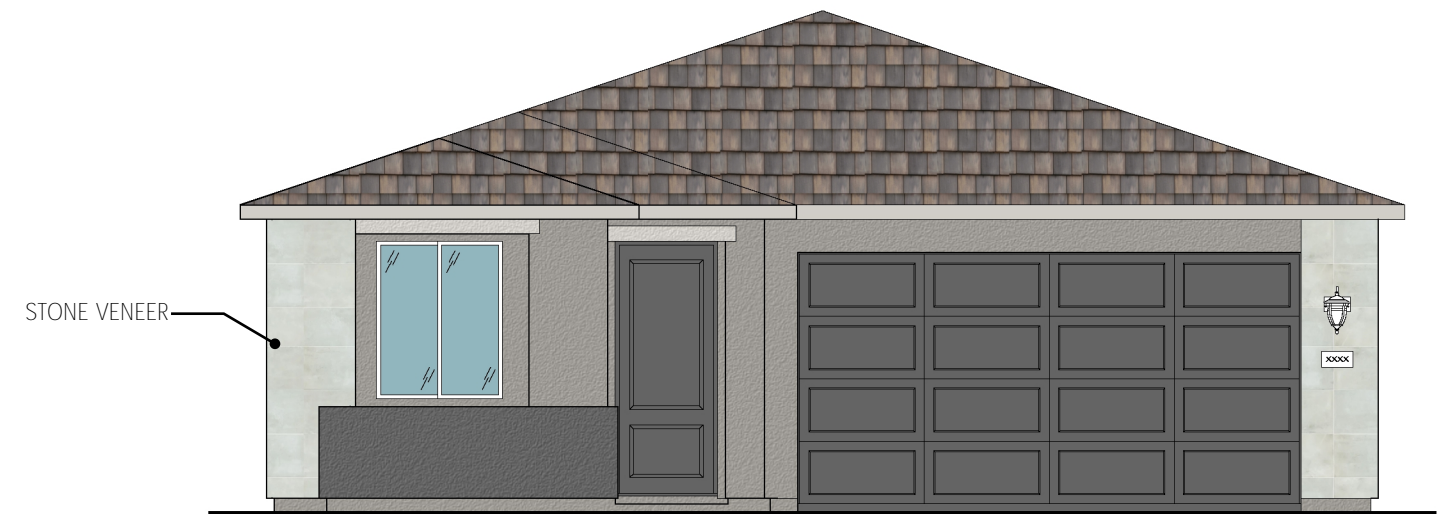
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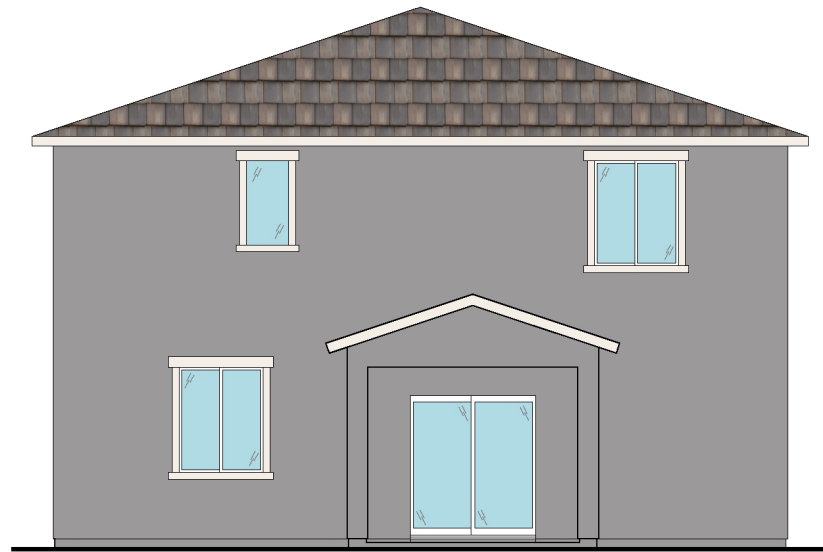
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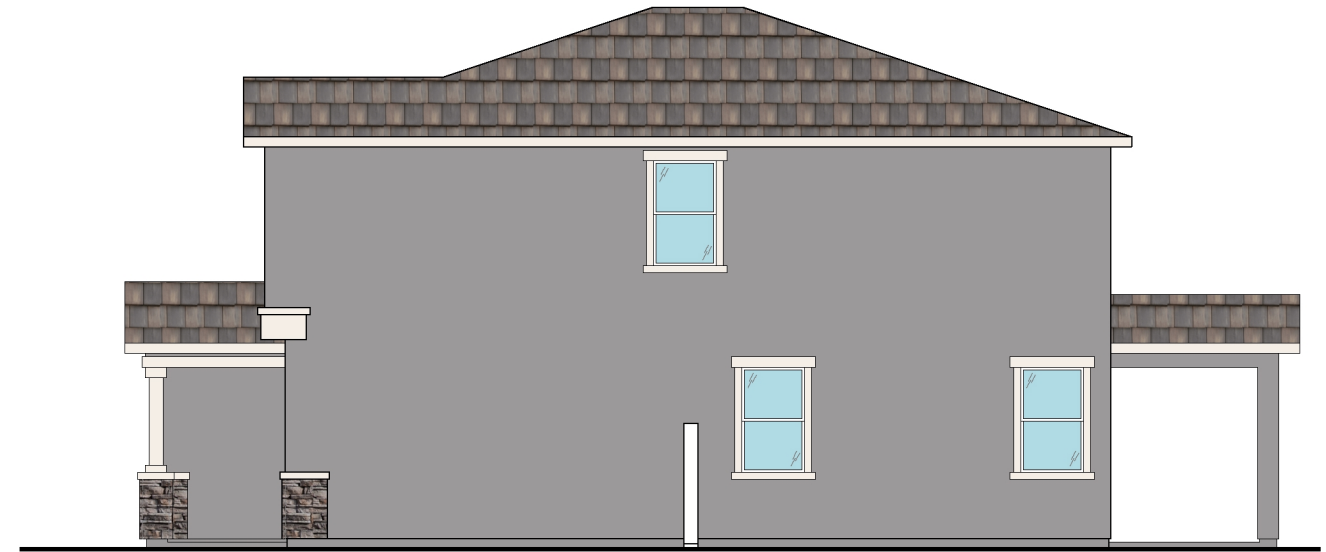
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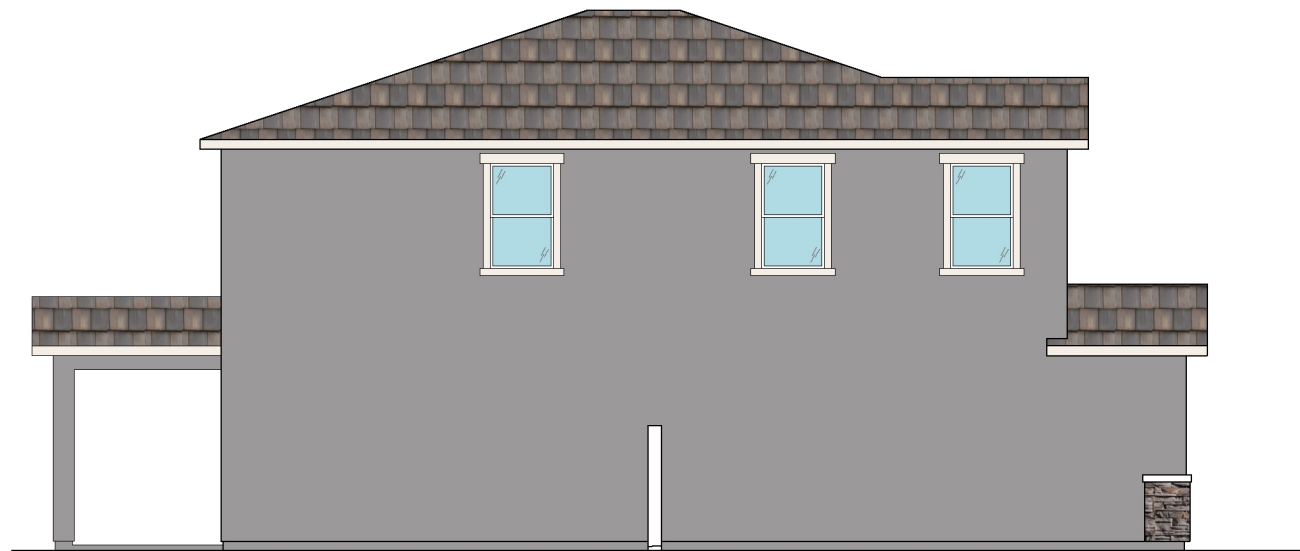
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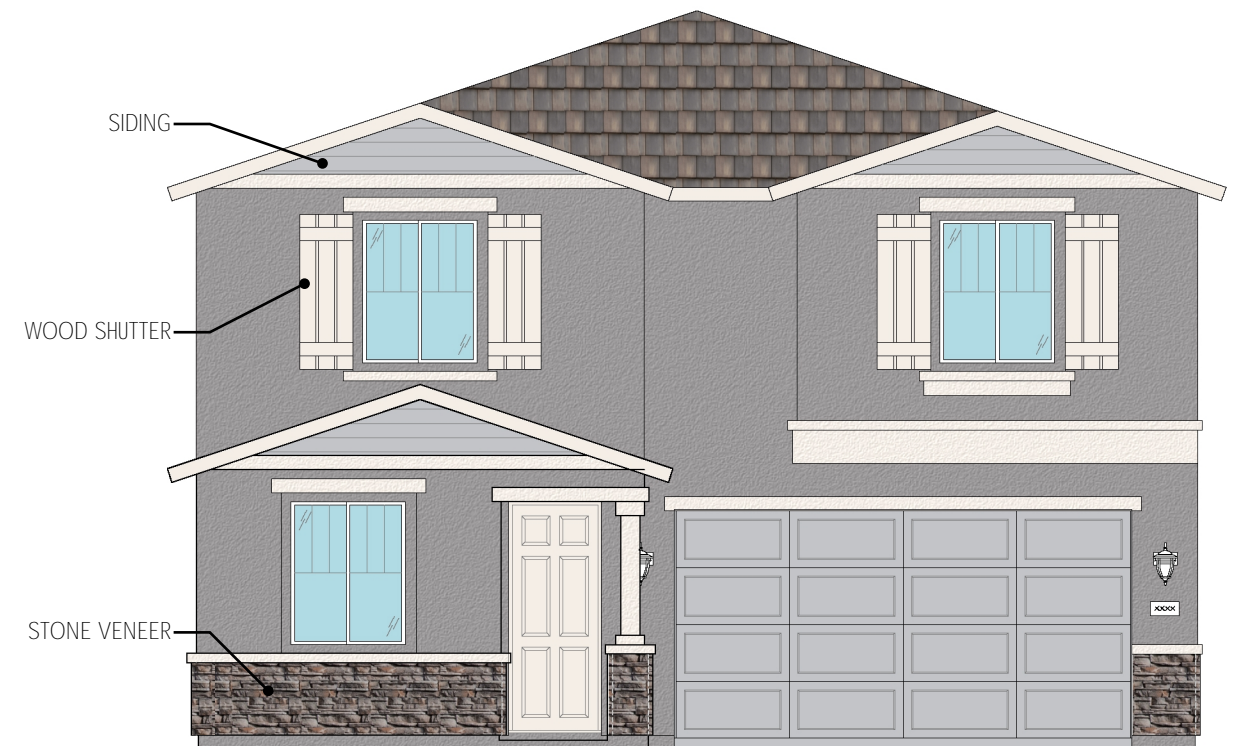
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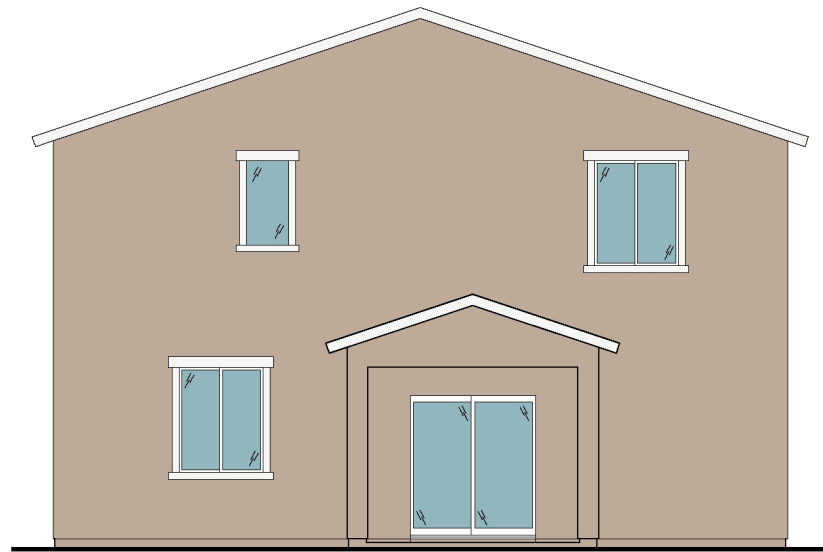
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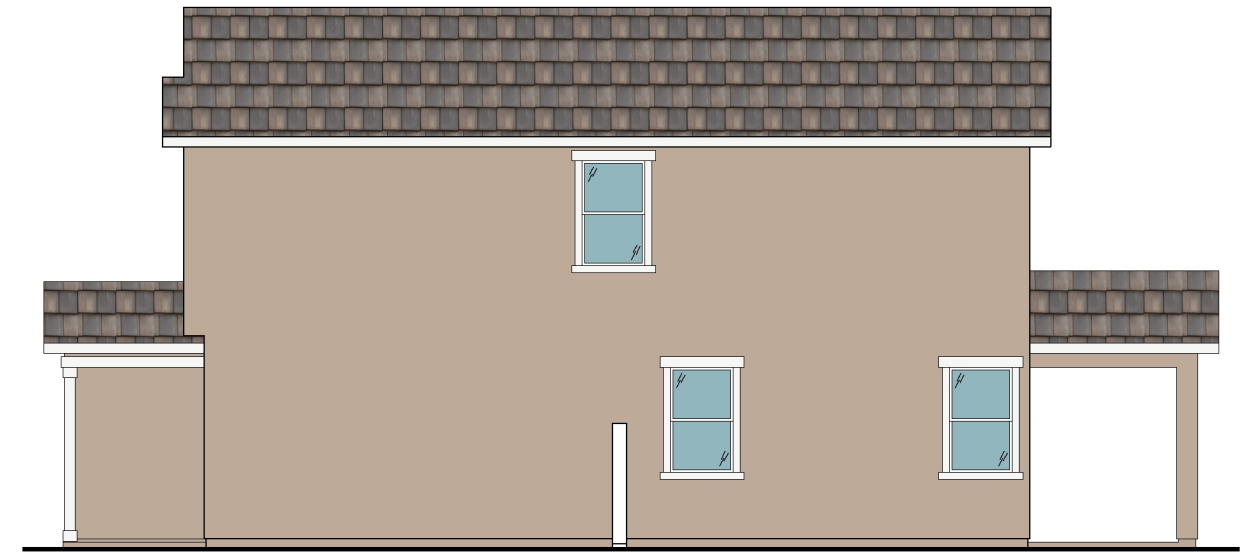
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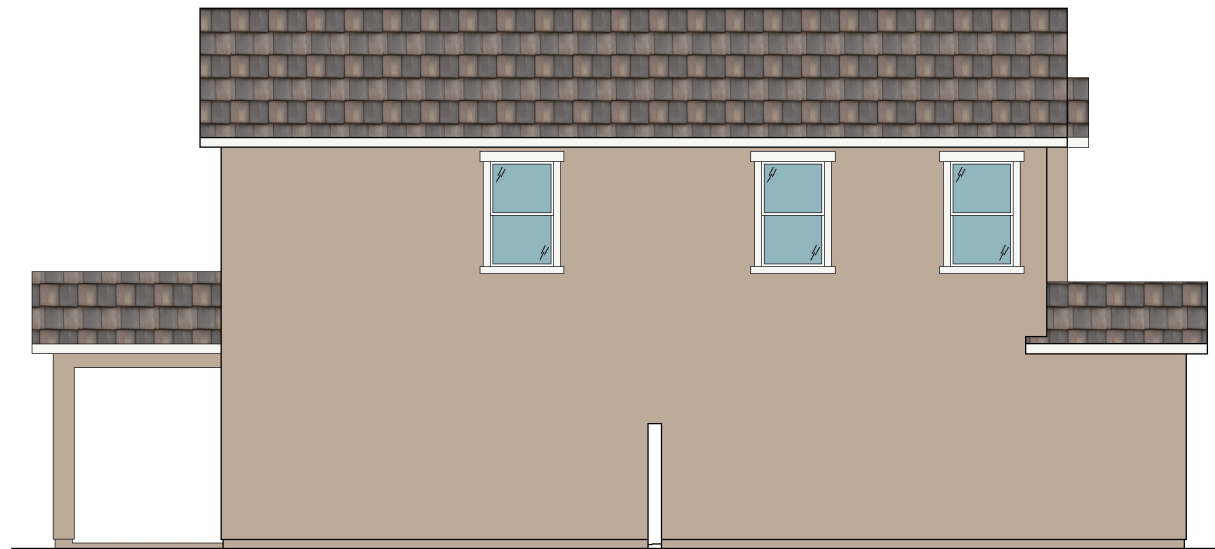
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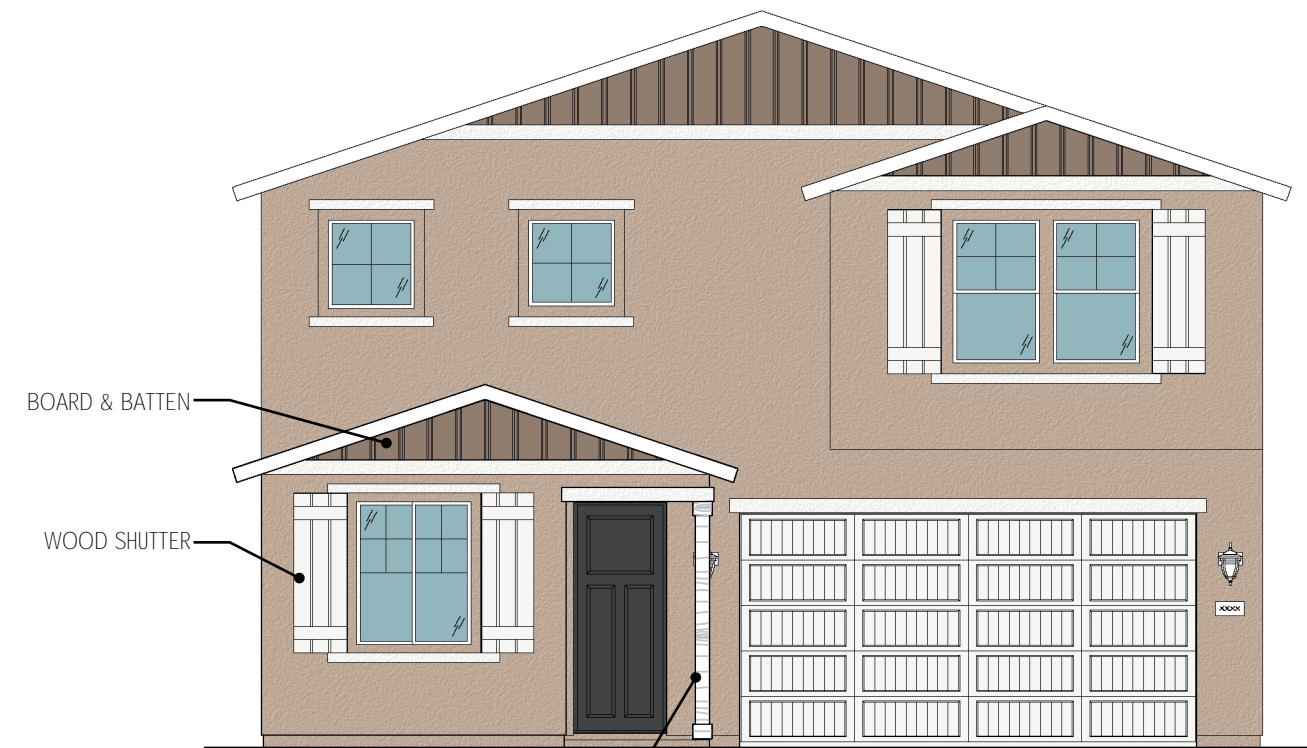
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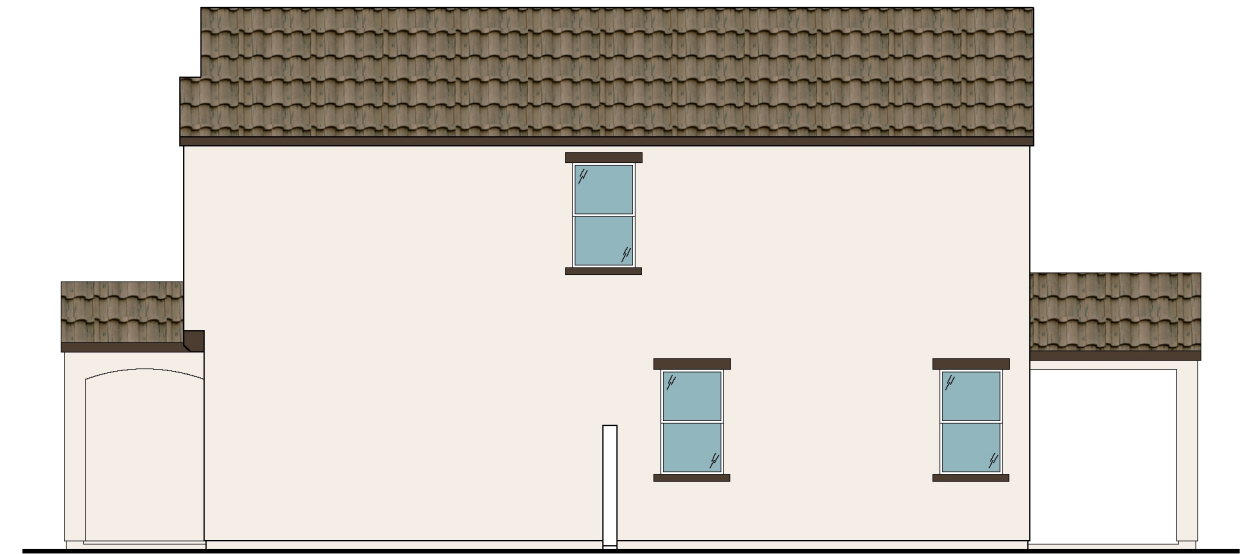
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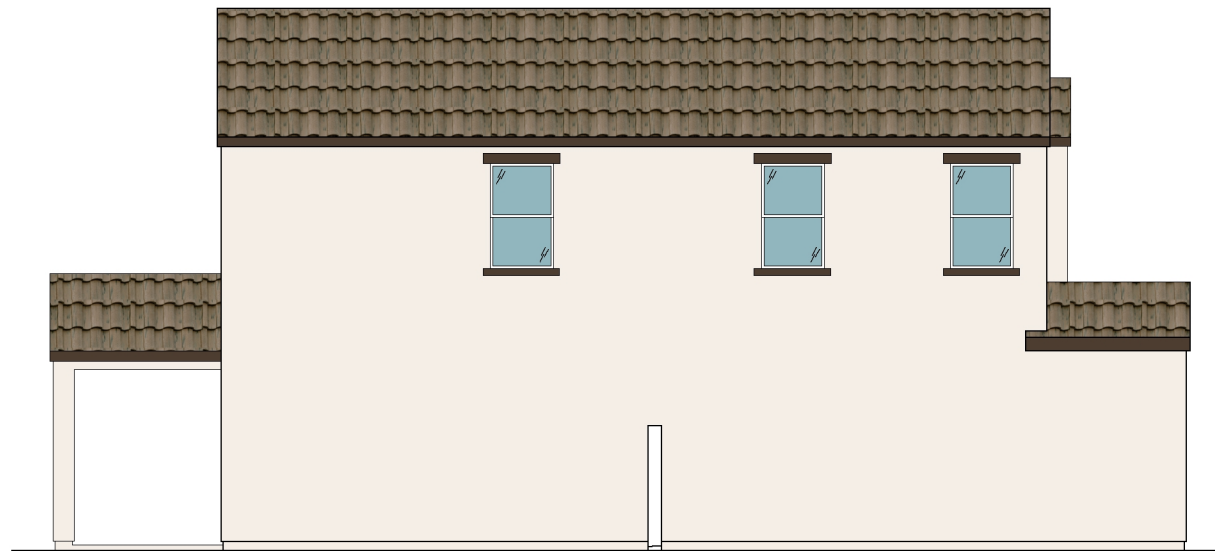
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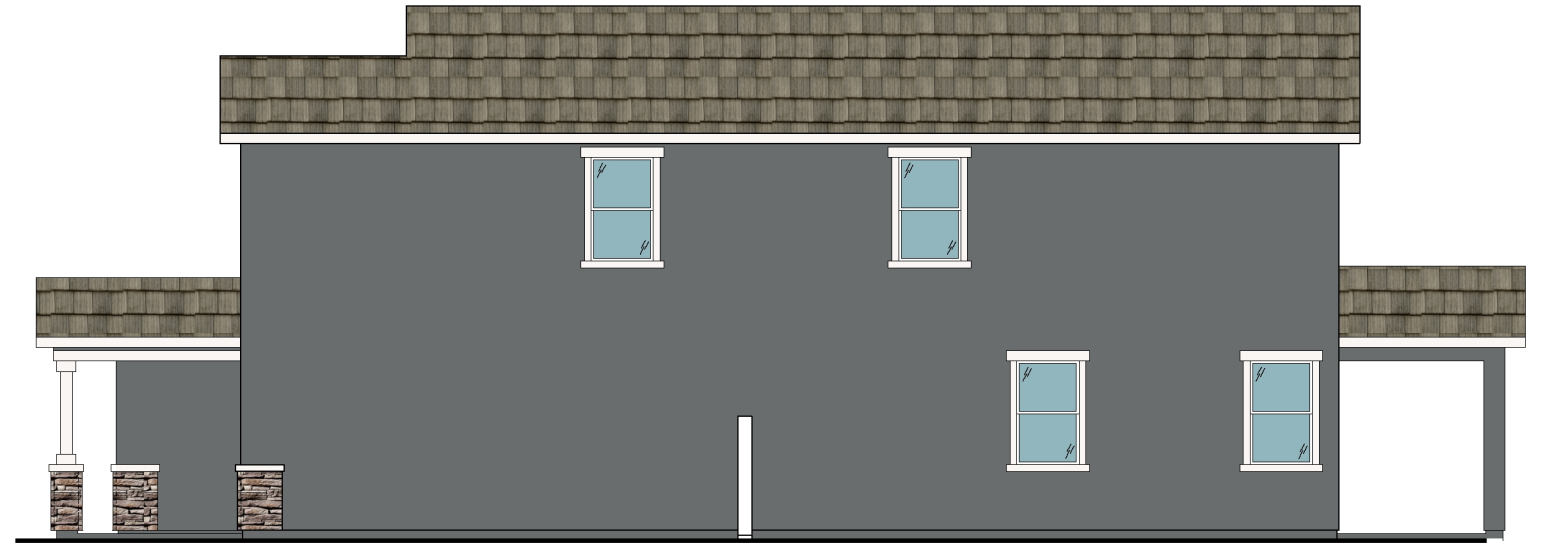
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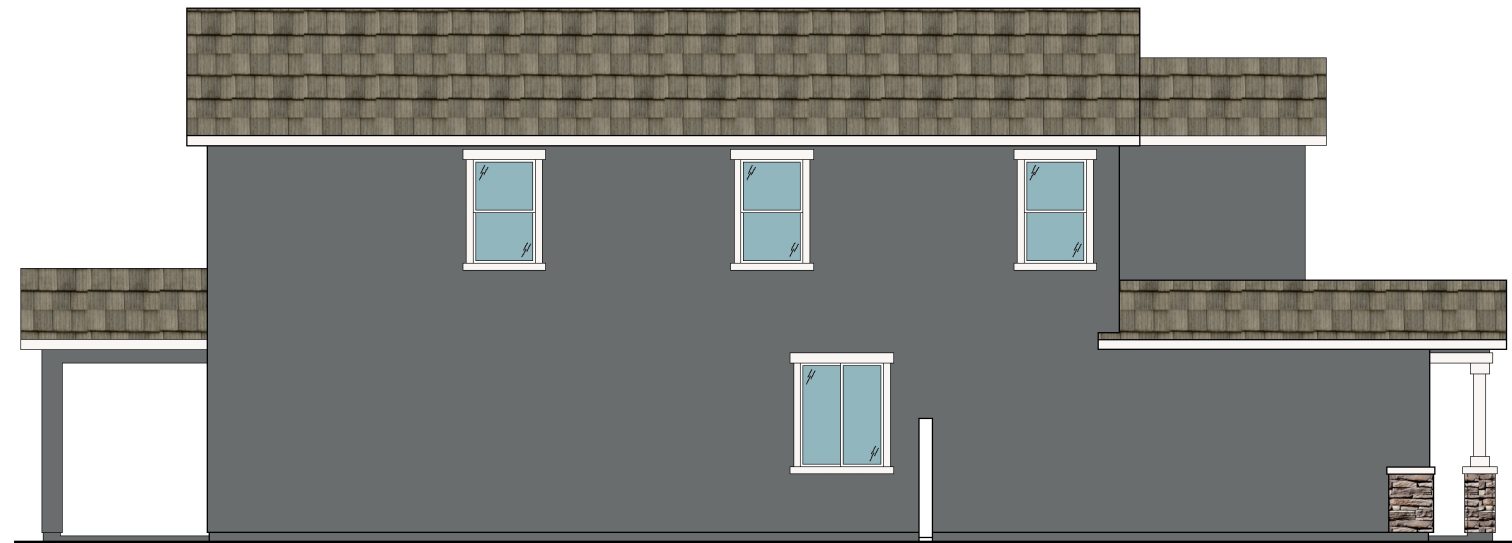
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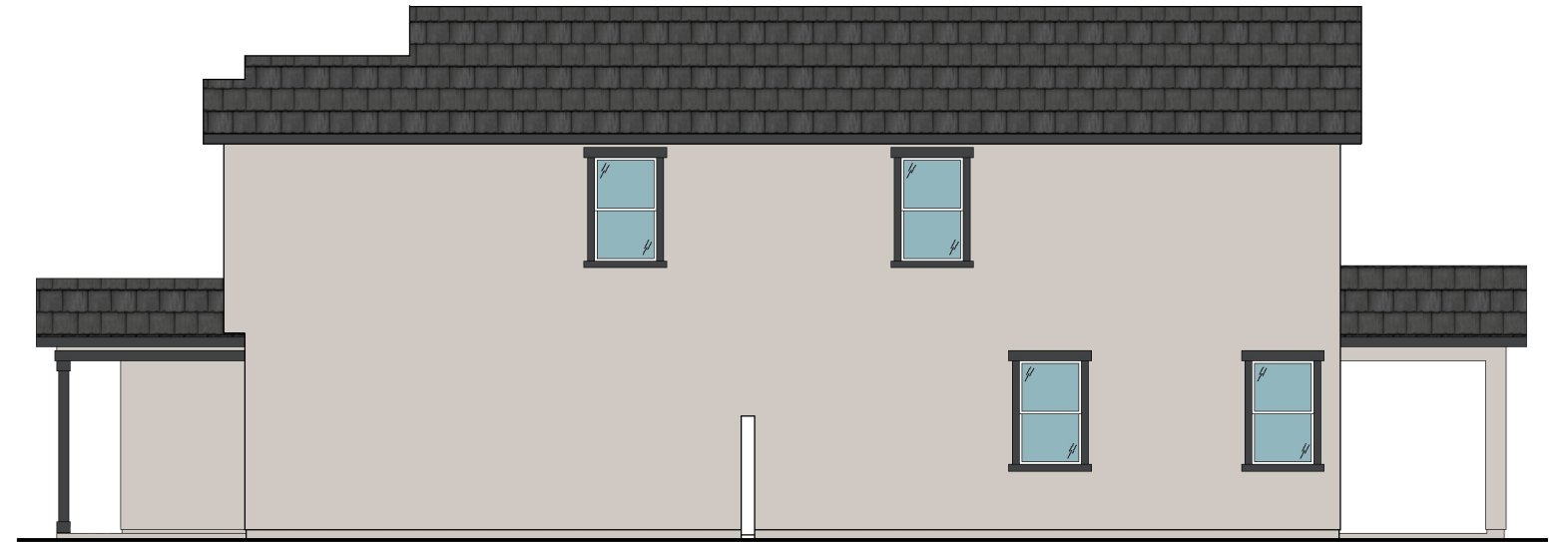
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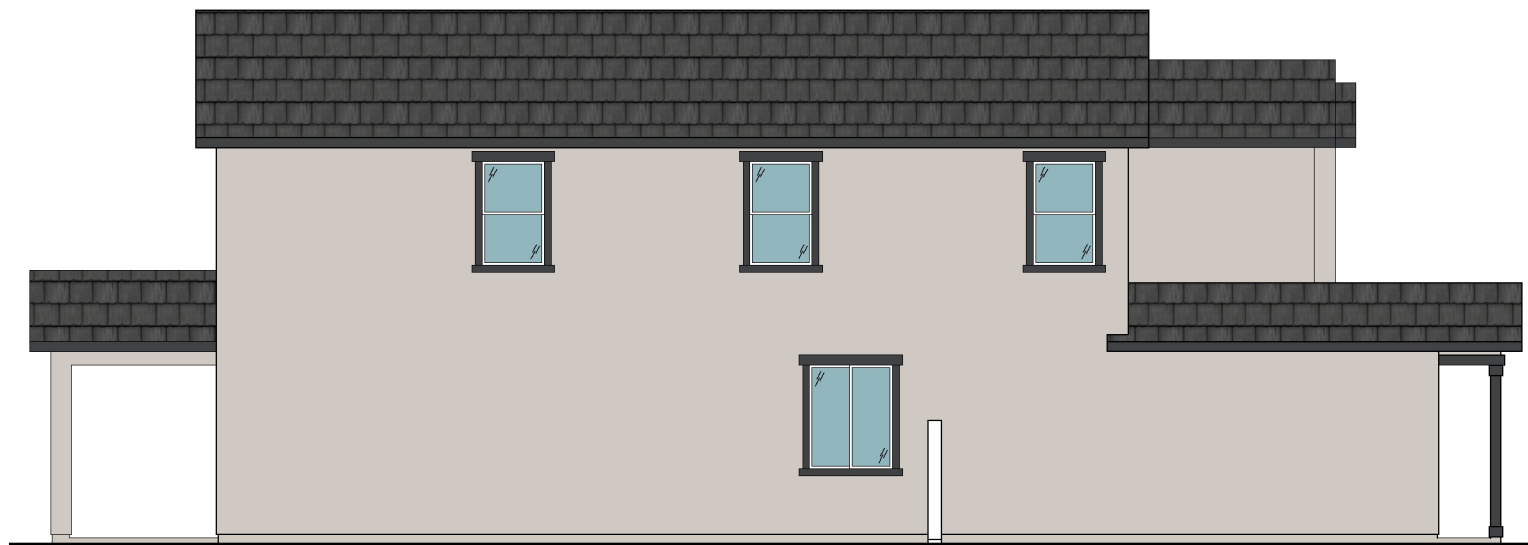
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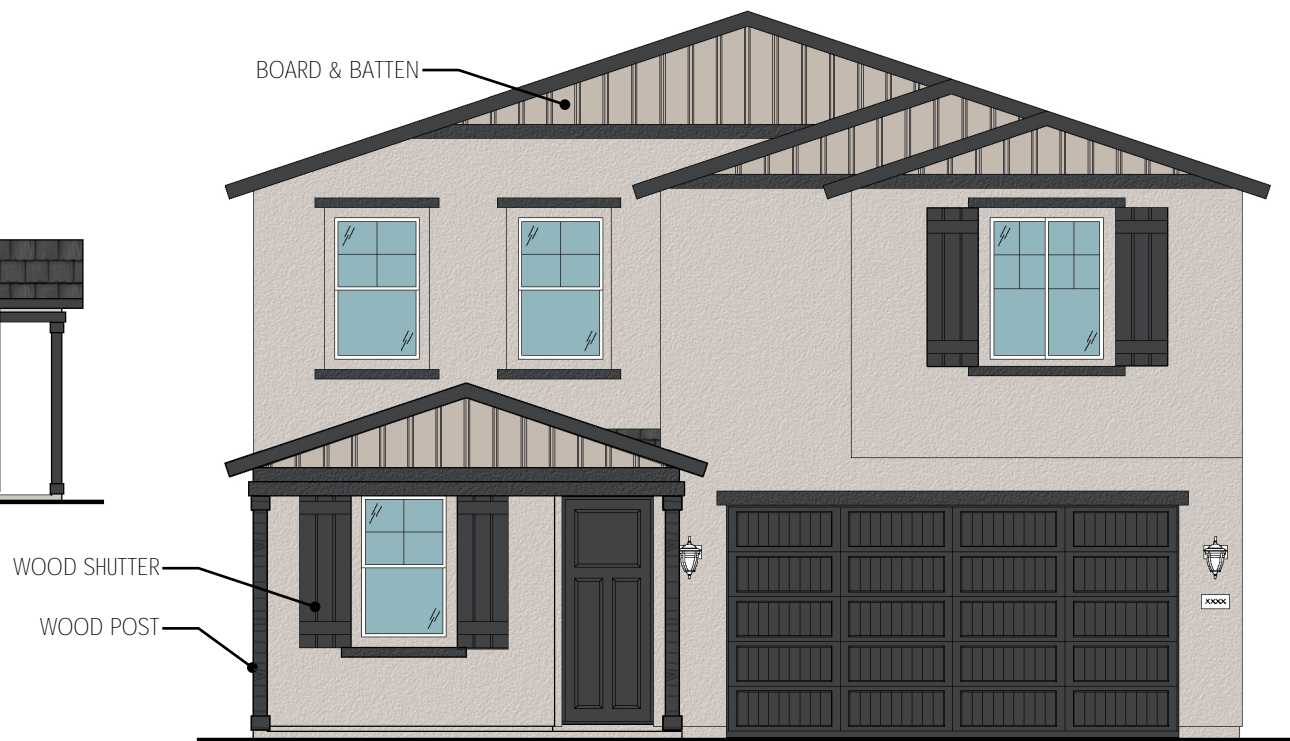
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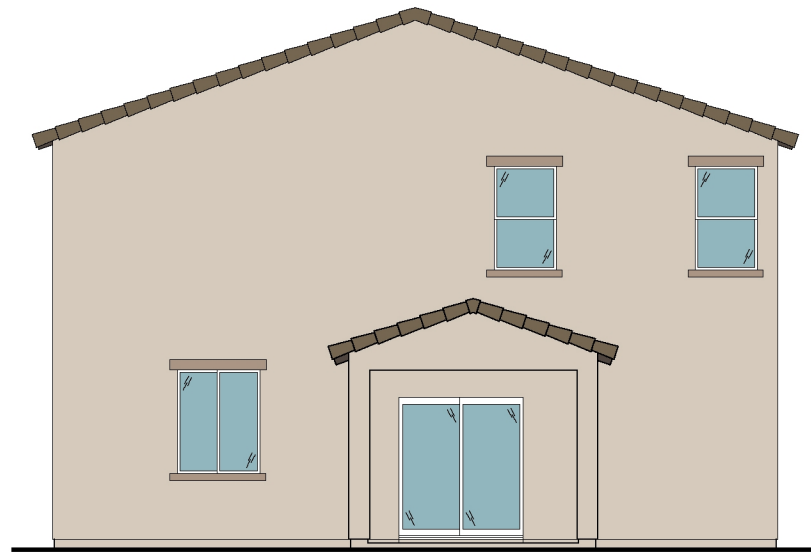
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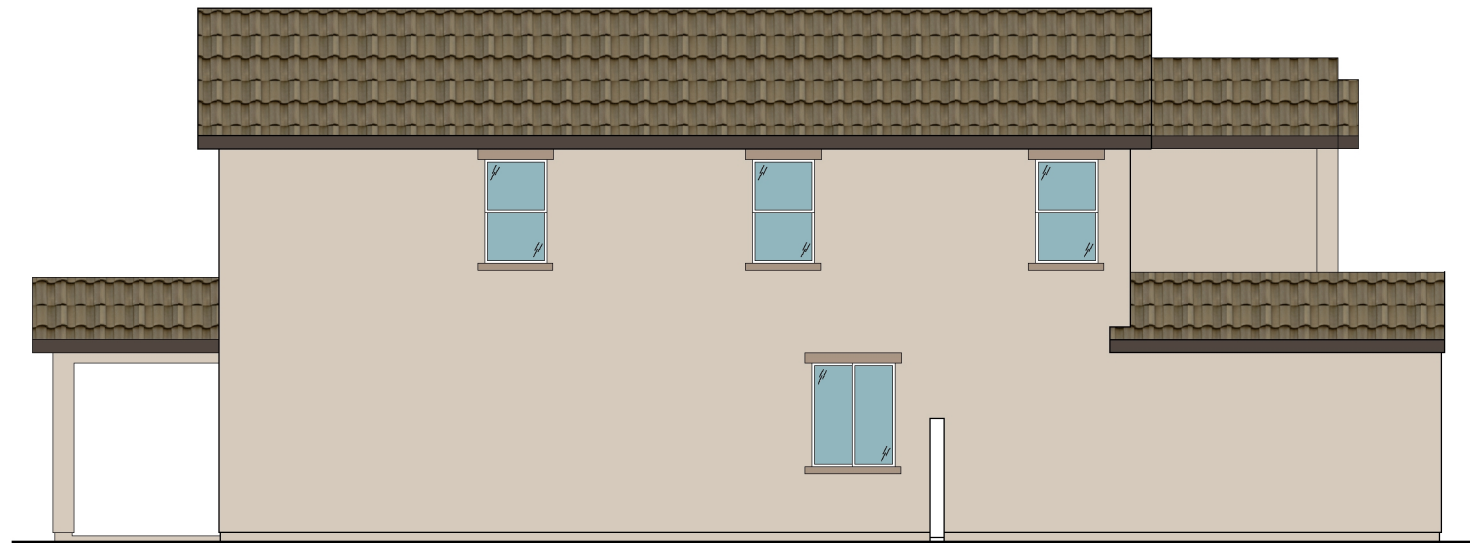
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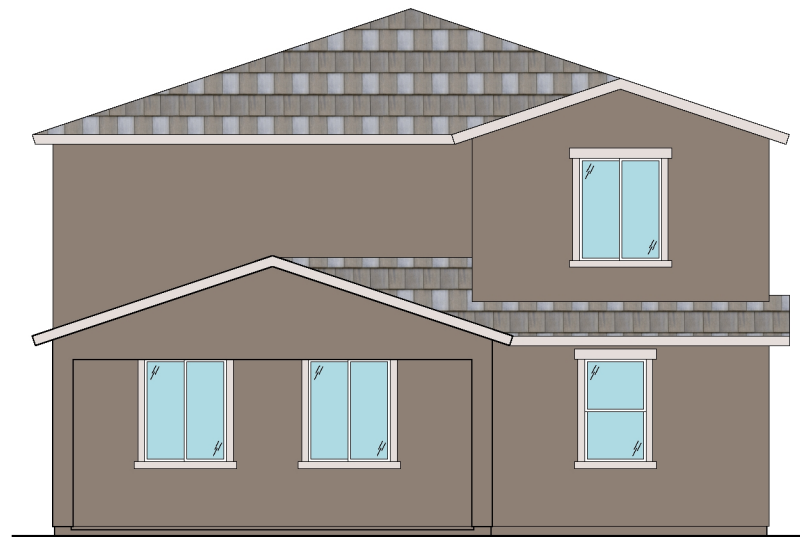
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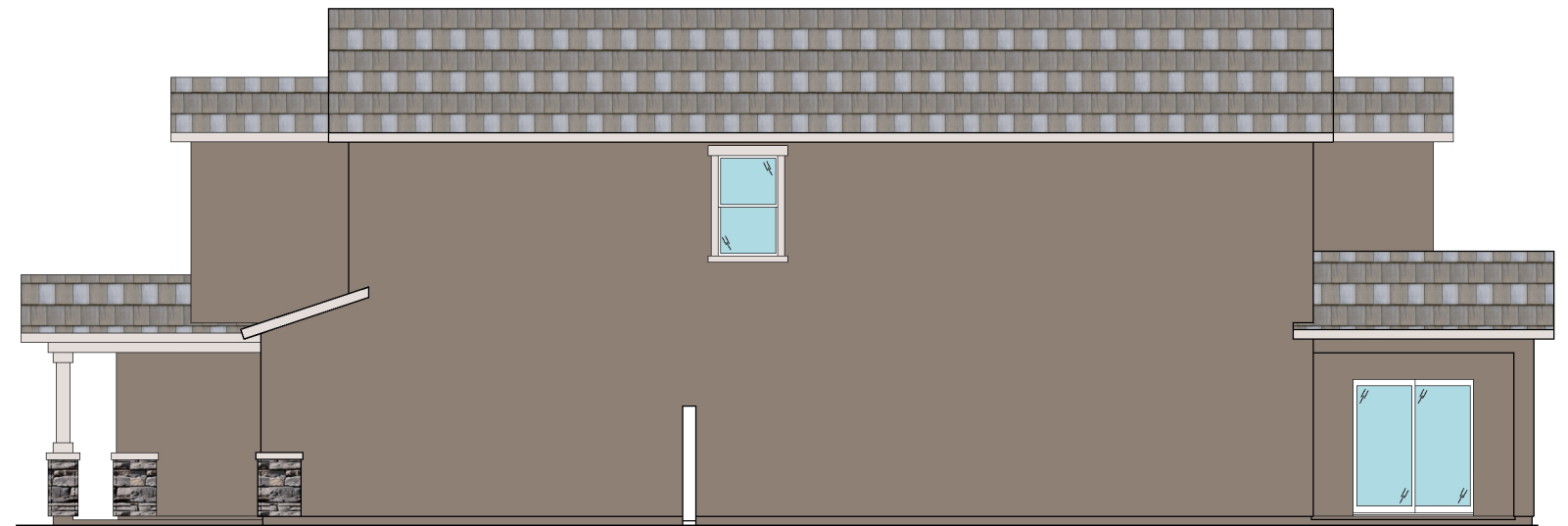
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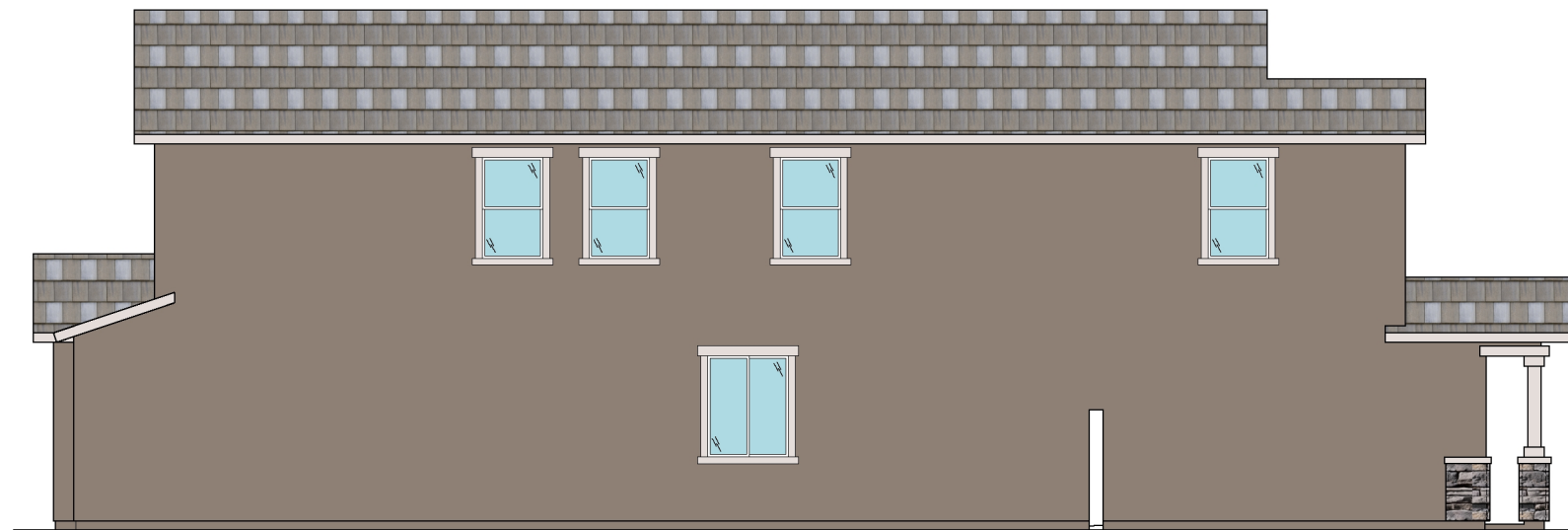
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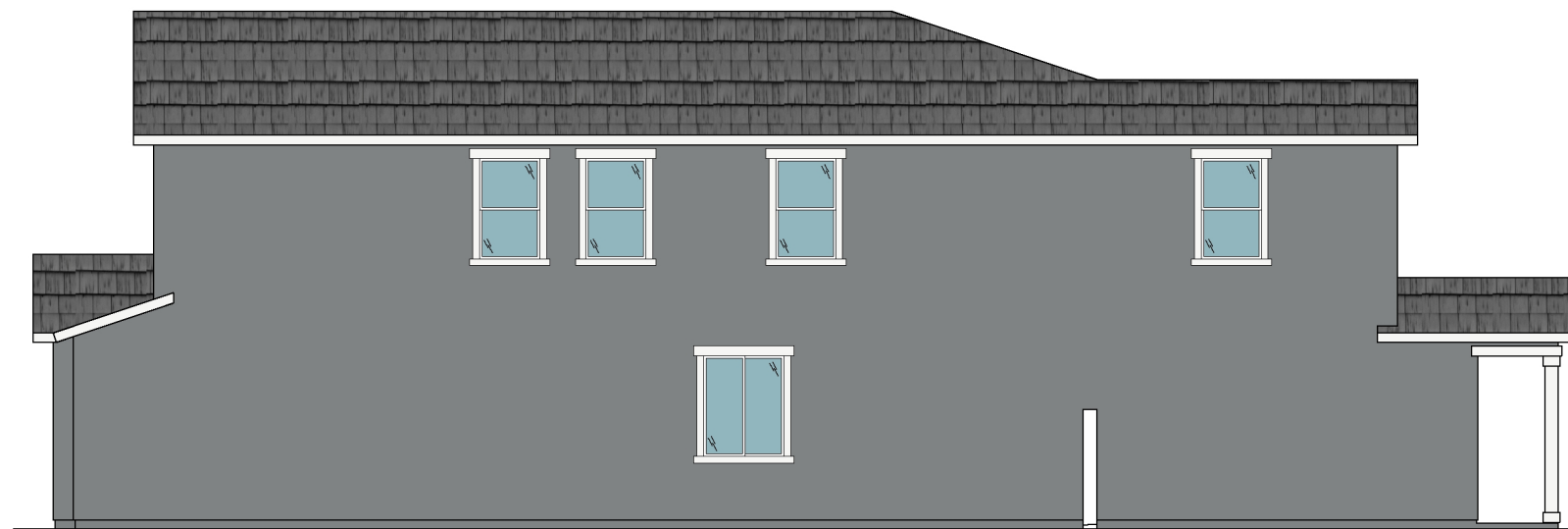
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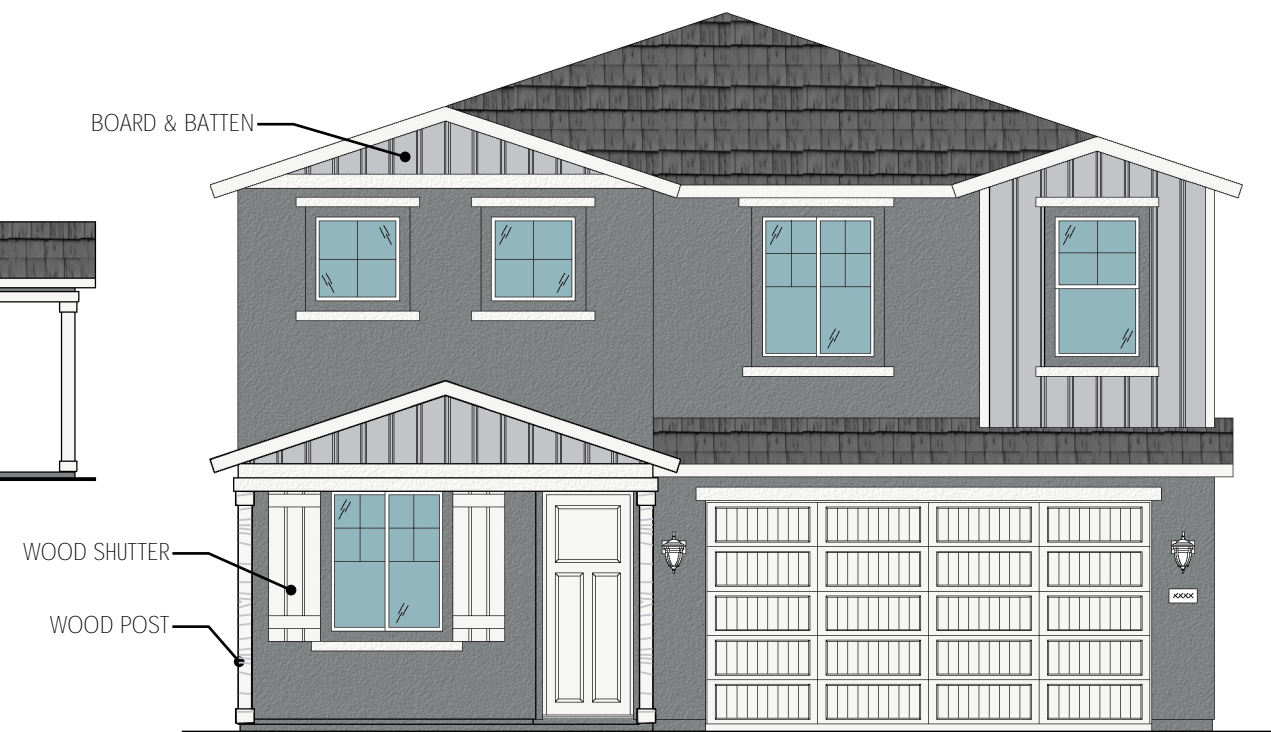
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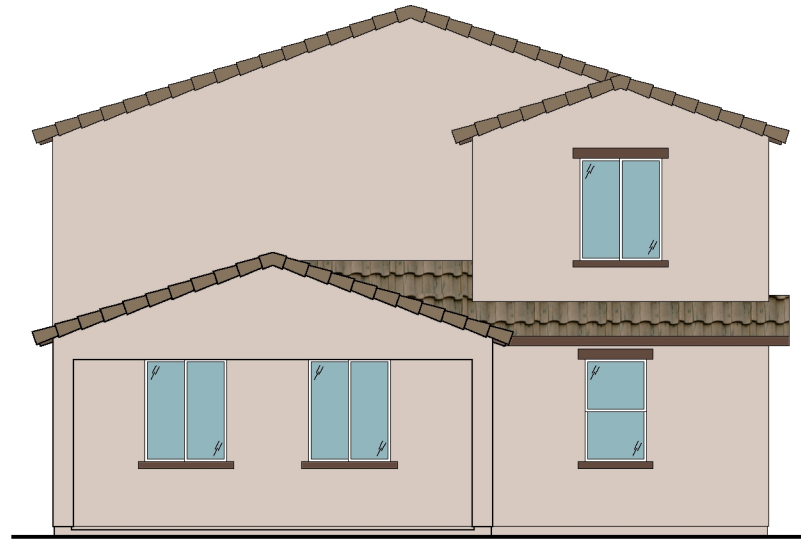
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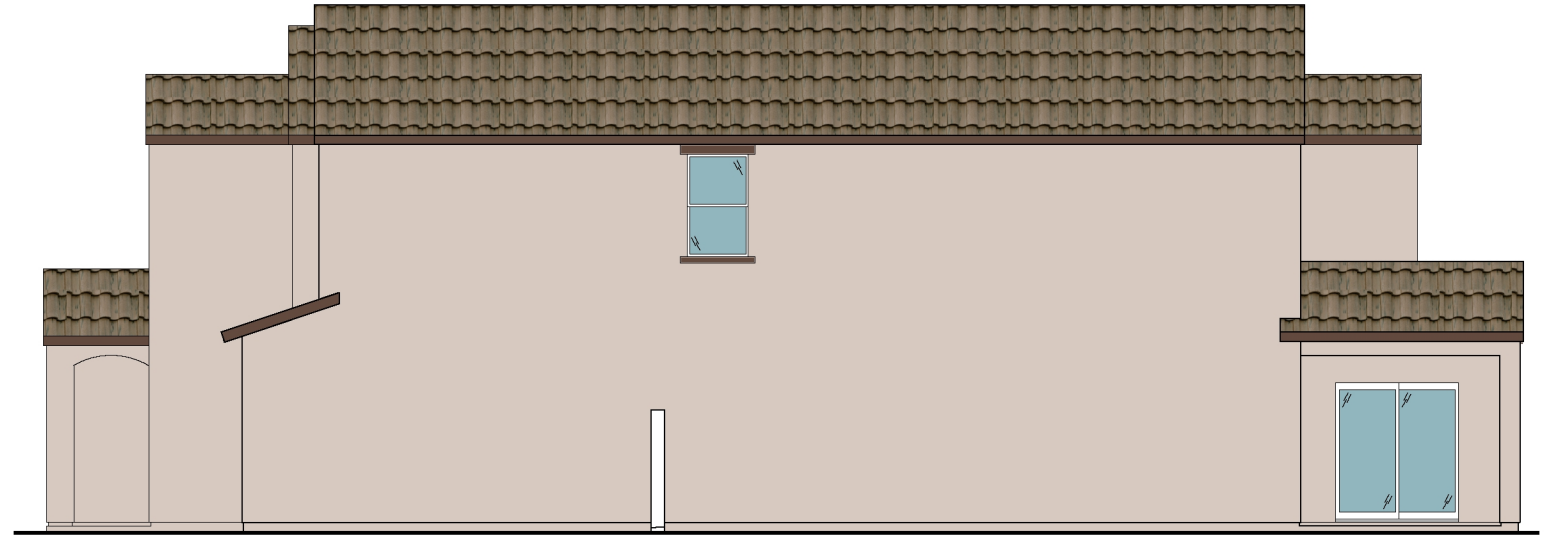
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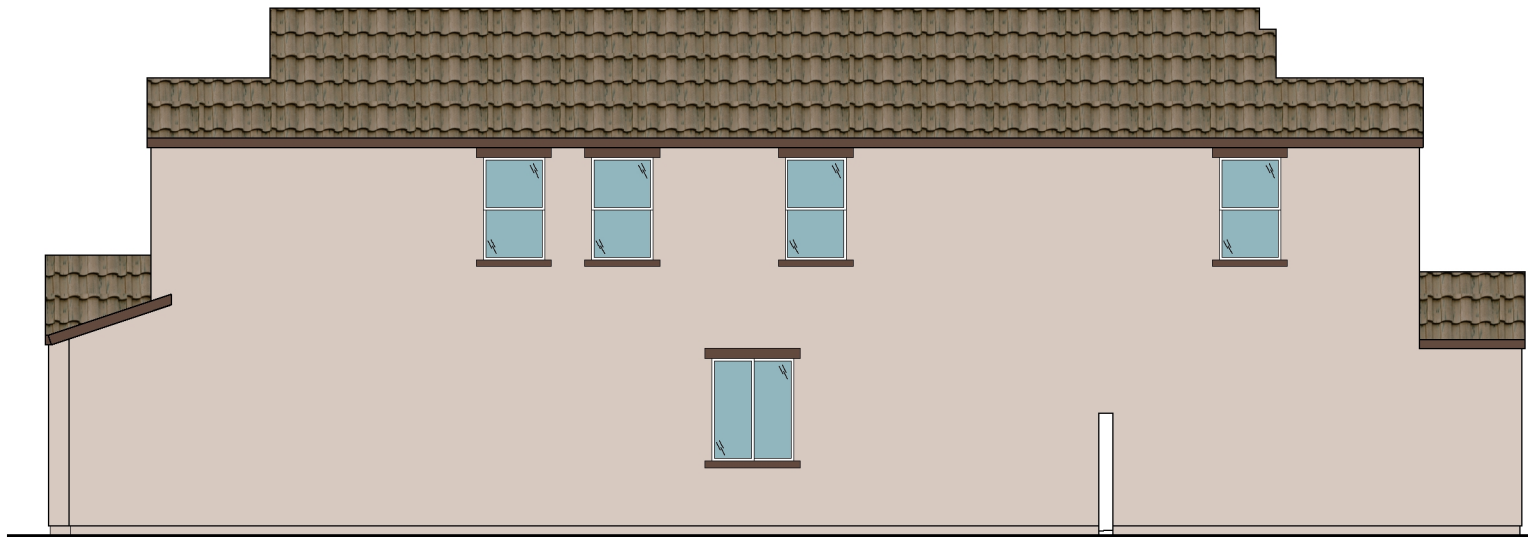
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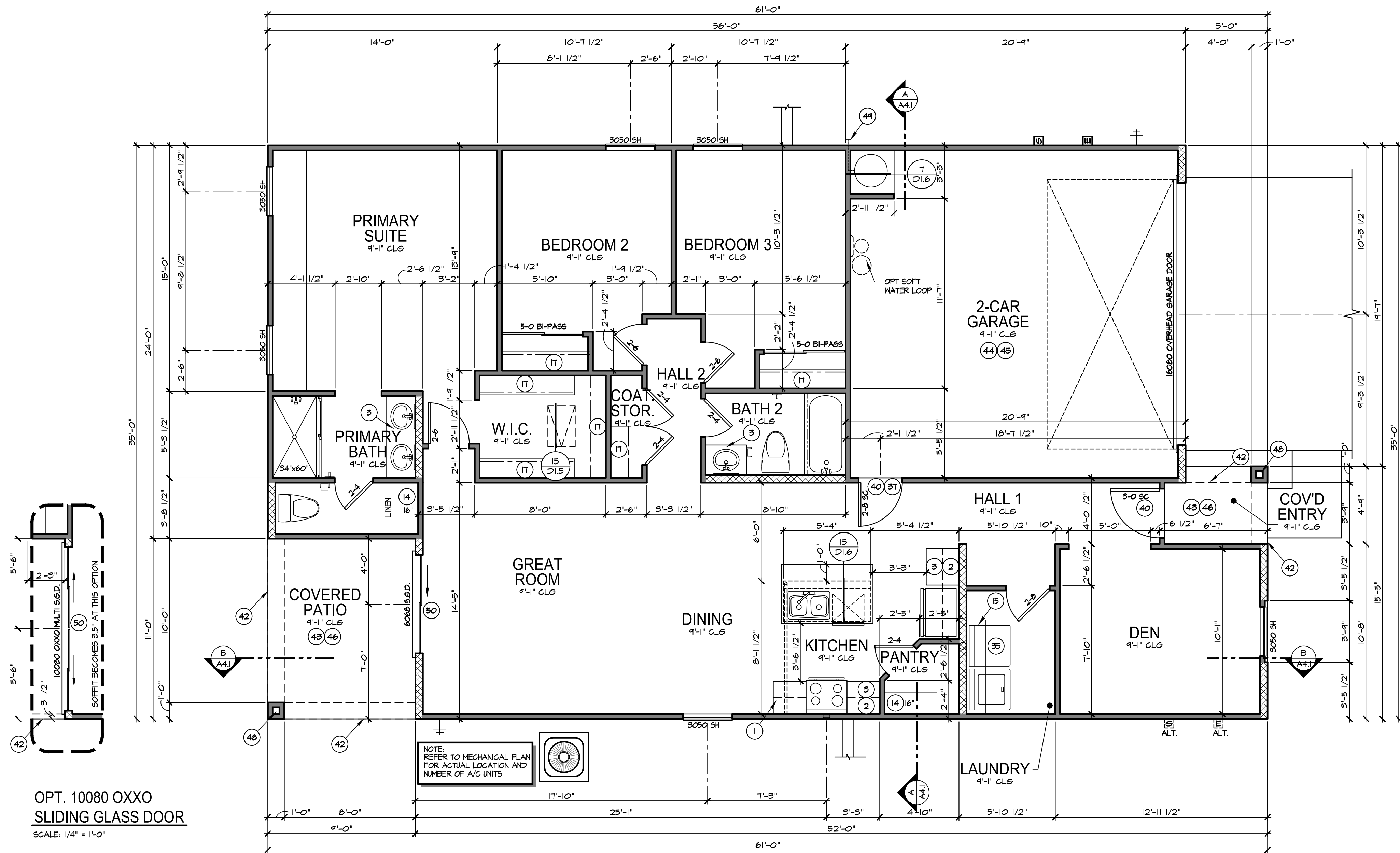
CITY OF PHOENIX

MAR 13 2025

Planning & Development
Department

Proposed Conceptual Floor Plans

April 16, 2025



NOTED FLOOR PLAN - (1494 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'L'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R501.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO - LOCATED PER PLAN VALVE - LOCATED PER PLAN	1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND 2 UPPER CABINETS 3 LOWER CABINETS 4 OPTIONAL UPPER CABINETS 5 OPTIONAL LOWER CABINETS 6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS. 7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN 8 TALL BOY CABINET - OPT'L IF DASHED 9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH 10 FACE FRAME CABINET - PER CABINET MANUFACTURER 11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED 12 VALET CABINETS - OPT'L IF DASHED 13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN, OPT'L IF DASHED. 14 4 SHELVES - REFER TO DETAIL 19/D1.6 15 16" SHELF STANDARD - OPT'L UPPER CABINETS 16 SHELF - SIZE AS NOTED 17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6 18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6 19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6 20 STRUCTURED WIRE RECESSED BOX 21 DRY-OFF DECK 22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE. 23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED 24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT' REFER TO DETAILS 7/D1.7 AND 8/D1.7. 25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7 26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER 27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7 28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO. 29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALL CABINET CONFIGURATION W/ CABINET MANUFACTURER. 30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION 31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.
	TOILET PAPER HOLDER - OPT'L IF DASHED	32 OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.
	TOWEL HOOK - MOUNT AT 10" A.F.F. - OPT'L IF DASHED	33 LINE OF CEILING CHANGE - HEIGHT PER PLAN
	TOWEL RING - MOUNT AT 40" A.F.F. - OPT'L IF DASHED	34 LINE OF FLOORING CHANGE
	RECESSED MEDICINE CABINET - OPT'L IF DASHED	35 PROVIDE DRYER MAKEUP AIR SEE DETAIL 16/D1.5
	WASHER / DRYER	36 WASHER
	STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT	37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEET 38 SERVICE DOOR - OPT'L IF DASHED 39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED 40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD 41 TWO 14"X 8" HIGH/LOW VENTS AT 4" ABOVE STEM AND 4" BELOW CEILING @ GAS COMMUNITIES ONLY 42 EXTERIOR SOFFIT - REFER TO ELEVATIONS 43 1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938 44 5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING 45 1/8" SLOPE PER 1'-0" 46 1/4" SLOPE PER 1'-0" 47 MECHANICAL CHASE 48 FIREBLOCK ALL VOIDS - TYP. 49 T&P RELIEF VALVE AT 4" MAX ABOVE FLOOR OR WASTE RECEPTOR 50 TEMPERED GLASS 51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES ESR-392) 52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED 53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127. - OPT'L IF DASHED 54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET. 55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM 56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED 57 STONE / BRICK VENEER - REFER TO ELEVATIONS 58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS
	WASHER / DRYER	59 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	60 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	61 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
KITCHEN	DOUBLE SINK WITH DISPOSAL	62 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	SINGLE / VEGETABLE OR BAR SINK - OPT'L IF DASHED	63 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	RANGE W/ MICROWAVE PREWIRED ABOVE	64 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	VENT - INSTALL PER MFR. SPEC.	65 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	COOKTOP W/ HOOD PREWIRED UNDER CABINET	66 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	REFRIGERATOR SPACE WATER LINE - INSTALL PER MFR. SPEC.	67 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	UNDER COUNTER REFRIGERATOR - OPT'L IF DASHED	68 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WR = WINE REFRIGERATOR	69 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	DOUBLE OVEN W/ MICROWAVE ADV. - OPT'L IF DASHED	70 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	DISHWASHER - PROVIDE APPROVED AIR GAP FITTING	71 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
LAUNDRY	WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT	72 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT	73 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	74 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	75 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	76 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	77 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	78 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	79 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	80 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	WASHER / DRYER	81 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
BATH	WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	82 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	83 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	LAVATORY WITH WALL MOUNTED MIRROR - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	84 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	PEDESTAL SINK WITH WALL MOUNTED 24"X36" OVAL MIRROR - OPT'L IF DASHED	85 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	FAUCET	86 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MIRROR - HEIGHT PER BUILDER SPEC'S	87 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MIRROR - HEIGHT PER BUILDER SPEC'S	88 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MIRROR - HEIGHT PER BUILDER SPEC'S	89 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MIRROR - HEIGHT PER BUILDER SPEC'S	90 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MIRROR - HEIGHT PER BUILDER SPEC'S	91 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
GARAGE	WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION	92 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	SOFT WATER LOOP - OPT'L IF DASHED	93 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	FREE STANDING UTILITY SINK - OPT'L IF DASHED	94 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MECH. UNIT	95 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MECH. PLATFORM	96 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	97 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	98 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED	99 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MISCELLANEOUS	100 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
	MISCELLANEOUS	101 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
GENERAL NOTES		102 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.		103 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		104 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
NOTE: GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.		105 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.		106 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
H. 3'-0" CONC. SIDEWALK TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS.		107 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
I. FITE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.		108 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
WALL LEGEND		109 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
2X4 FRAMED WALL		110 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
2X6 FRAMED WALL		111 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
2X8 FRAMED WALL		112 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED

SUBDIVISION

SOLARA
35' SERIES



MAIN LEVEL NOTED FLOOR PLAN

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

Rev. DATE:

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PLAN#

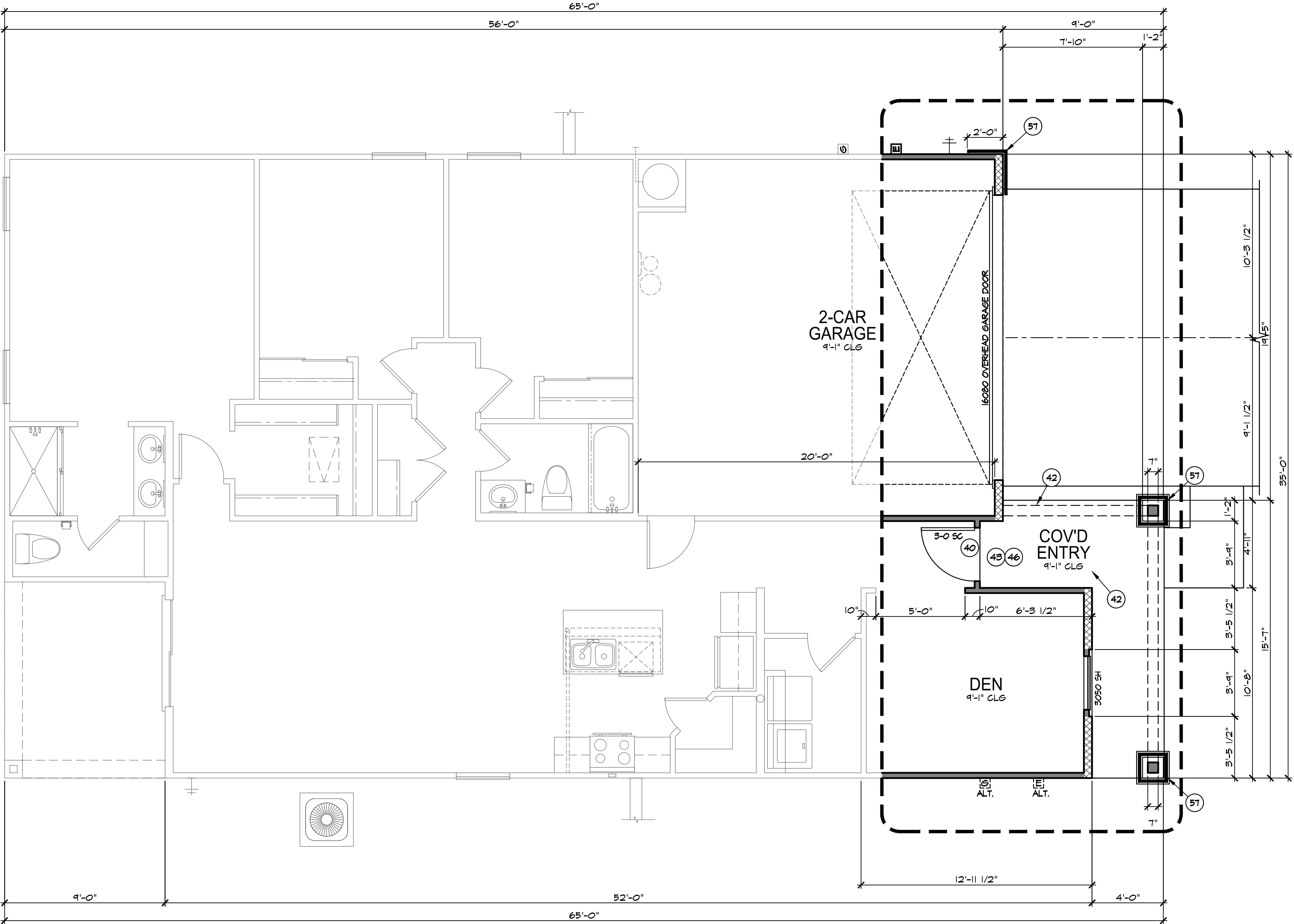
3510



SHEET No.

A1.1

Tracked by Outhouse on Jan 29, 2025 - 10:11am



NOTED FLOOR PLAN - (1494 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'D'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

KEY NOTES

1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND

2 UPPER CABINETS

3 LOWER CABINETS

4 OPTIONAL UPPER CABINETS

5 OPTIONAL LOWER CABINETS

6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.

7 OPTIONAL BUILT-IN CABINET - PROVIDE DBL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN

8 TALL BOY CABINET - OPTL IF DASHED

9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH

10 FACE FRAME CABINET - PER CABINET MANUFACTURER

11 STORAGE BENCH WITH HOOKS ABOVE - OPTL IF DASHED

12 VALET CABINETS - OPTL IF DASHED

13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPTL IF DASHED.

14 4 SHELVES - REFER TO DETAIL 14/D1.6

15 16" SHELF STANDARD - OPTL UPPER CABINETS

16 SHELF - SIZE AS NOTED

17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6

18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6

19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6

20 STRUCTURED WIRE RECESSED BOX

21 DRY-OFF DECK

22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.

23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPTL. IF DASHED

24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPTL IF INDICATED OPT. REFER TO DETAILS 7/D1.7 AND 8/D1.7.

25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7

26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END, SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER

27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7

28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.

29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.

30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION

31 TRAY CEILING - HEIGHT PER PLAN - OPTL IF INDICATED OPT.

32 OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" A.F.F. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.

33 LINE OF CEILING CHANGE - HEIGHT PER PLAN

34 LINE OF FLOORING CHANGE

35 PROVIDE DRYER MAKEUP AIR, SEE DETAIL 16/D1.5

36 WASHER

37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP

38 SERVICE DOOR - OPTL IF DASHED

39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPTL IF DASHED

40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD

41 TWO 14"X14" X 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY

42 EXTERIOR SOFFIT - REFER TO ELEVATIONS

43 1/2" EXTERIOR RATED, SAS RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938

44 5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING

45 1/8" SLOPE PER 1'-0"

46 1/4" SLOPE PER 1'-0"

47 MECHANICAL CHASE

48 FIREBLOCK ALL VOIDS - TYP.

49 T&P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR

50 TEMPERED GLASS

51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES #ER-392)

52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPTL. IF DASHED

53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127. - OPTL. IF DASHED

54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.

55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM

56 MEDIA WALL - REFER TO SHEET A4.2 - OPTL IF DASHED

57 STONE / BRICK VENEER- REFER TO ELEVATIONS

58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS

WALL LEGEND

2X4 FRAMED WALL

2X6 FRAMED WALL

2X8 FRAMED WALL

SUBDIVISION

SOLARA
35' SERIES

Outhouse
One Outhouse Lane, Solara
602.256.0429

MAIN LEVEL PARTIAL NOTED FLOOR PLAN
ELEVATIONS

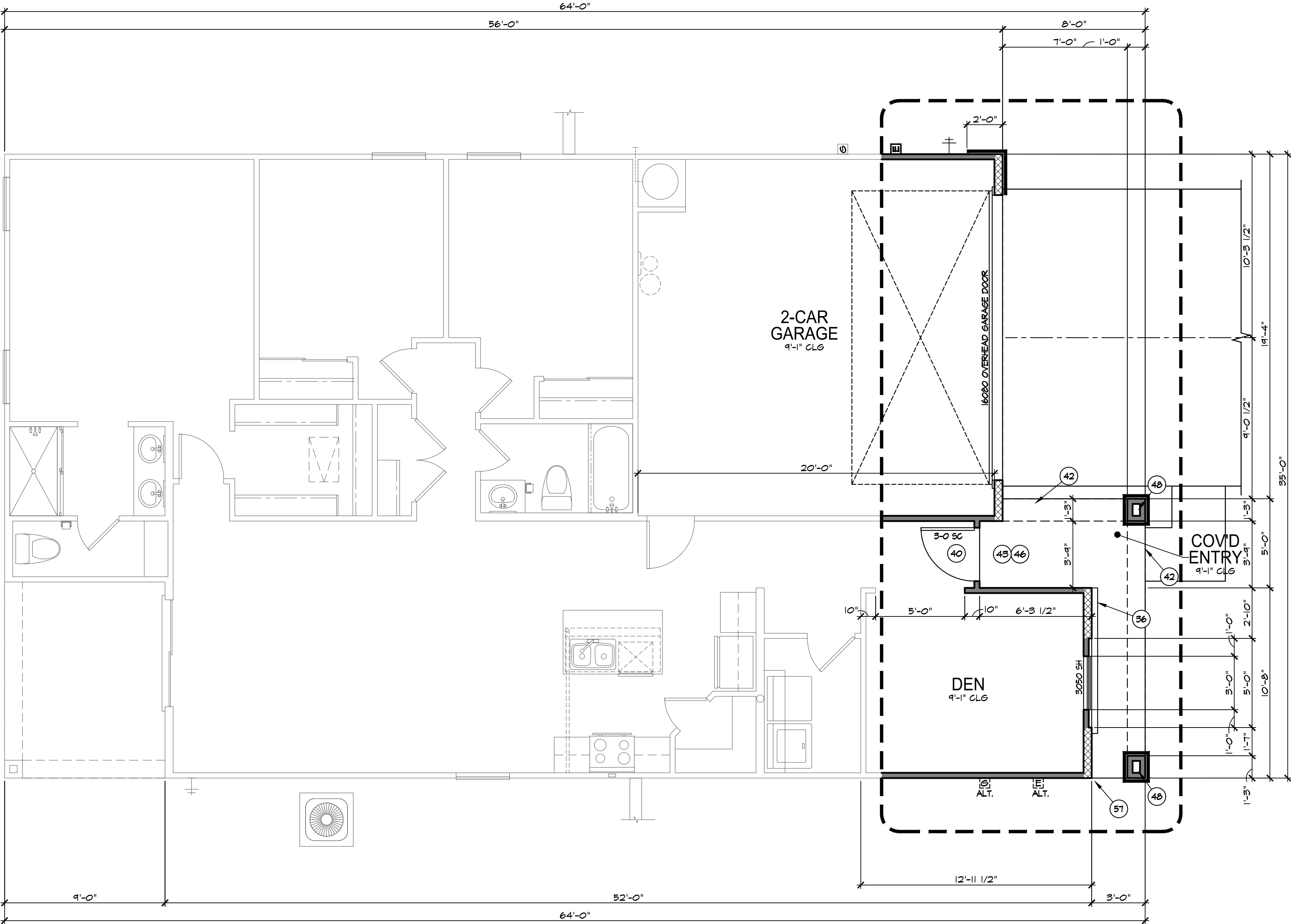
DRAWN BY:	
Outhouse	
DATE: JAN 1, 2025	
Rev.	DATE:
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PLAN#
3510



SHEET No.
A1.2

Tracked by Outhouse on Jan 29, 2025 - 10:52am



NOTED FLOOR PLAN - (1494 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'T'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

KEY NOTES

1

CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND

2

UPPER CABINETS

3

LOWER CABINETS

4

OPTIONAL UPPER CABINETS

5

OPTIONAL LOWER CABINETS

6

OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.

7

OPTIONAL BUILT-IN CABINET - PROVIDE DBL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN

8

TALL BOY CABINET - OPT'L IF DASHED

9

KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH

10

FACE FRAME CABINET - PER CABINET MANUFACTURER

11

STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED

12

VALET CABINETS - OPT'L IF DASHED

13

SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPT'L IF DASHED.

14

4 SHELVES - REFER TO DETAIL 14/D1.6

15

16" SHELF STANDARD - OPT'L UPPER CABINETS

16

SHELF - SIZE AS NOTED

17

ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6

18

TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6

19

5 SHELF SHOE RACK - REFER TO DET. 16/D1.6

20

STRUCTURED WIRE RECESSED BOX

21

DRY-OFF DECK

22

GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.

23

18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L. IF DASHED

24

LOW HALL - HEIGHT AS NOTED (36" HIGH MIN.) - OPT'L IF INDICATED OPT'. REFER TO DETAILS 7/D1.7 AND 8/D1.7.

25

HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7

26

WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END, SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER

27

OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7

28

FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.

29

PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.

30

OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION

31

TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.

32

OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" A.F.F. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.

33

LINE OF CEILING CHANGE - HEIGHT PER PLAN

34

LINE OF FLOORING CHANGE

35

PROVIDE DRYER MAKEUP AIR, SEE DETAIL 16/D1.5

36

WASHER

37

1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP

38

SERVICE DOOR - OPT'L IF DASHED

39

CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED

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THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD

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TWO 14"x14" x 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY

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EXTERIOR SOFFIT - REFER TO ELEVATIONS

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1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938

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5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING

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1/8" SLOPE PER 1'-0"

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MECHANICAL CHASE

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FIREBLOCK ALL VOIDS - TYP.

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SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES #ER-392)

52

GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED

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DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 1271. - OPT'L IF DASHED

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FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.

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6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM

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MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED

57

STONE / BRICK VENEER- REFER TO ELEVATIONS

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PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS

WALL LEGEND

2X4 FRAMED WALL

2X6 FRAMED WALL

2X8 FRAMED WALL

SUBDIVISION

SOLARA
35' SERIES

Outhouse

ONE SOURCE, ONE SOLUTION
602.256.0429

MAIN LEVEL PARTIAL NOTED FLOOR PLAN

ELEVATIONS

DRAWN BY:	
Outhouse	
DATE: JAN 1, 2025	
Rev.	DATE:
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2	-
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PLAN#
3510



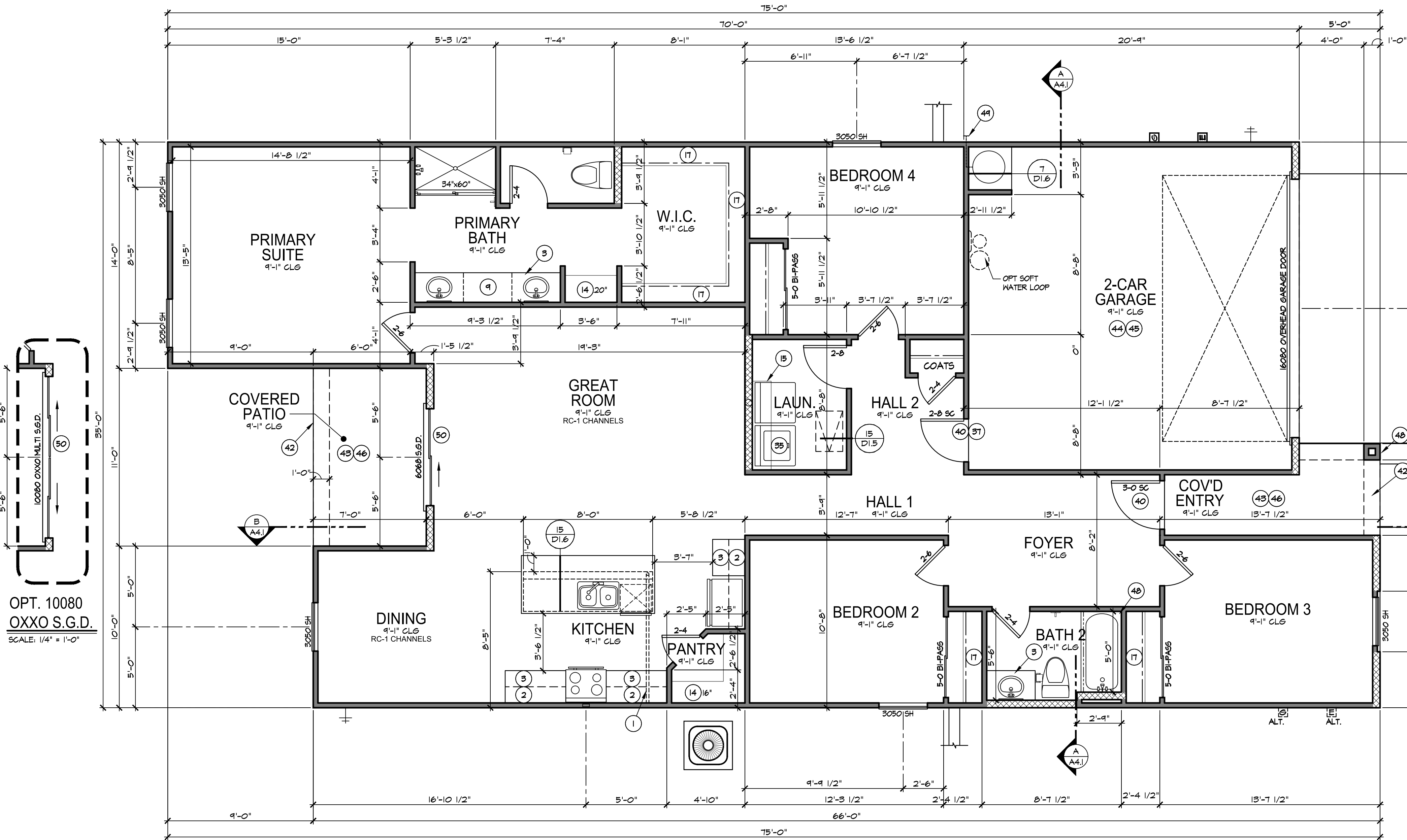
SHEET No.
A1.3

Plotted by Outhouse on Jan 29, 2025 - 10:35am

PHO-1-25--Z-12-22-7

Proposed Conceptual Floor Plans

April 16, 2025



FIXTURE / EQUIPMENT LEGEND		KEY NOTES
<div><div><div><div><div></div><div>SHOWER HEAD</div></div><div><div></div><div>DRAIN</div></div></div><div><div></div><div>VALVE</div></div></div><div>TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPEC'S.</div><div><div><div></div><div></div></div><div>(SEE COMMUNITY SPECS TO VERIFY QUANTITY)</div></div><div><div><div></div><div></div></div></div></div> <div><div>STANDARD - PREFAB SHOWER PAN w/ CULTURED MARBLE SURROUND</div><div>OPTIONAL - CUSTOM TILED SHOWER</div><div>WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R501.2 & R102.4.2</div><div>SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN</div><div>VALVE - LOCATED PER PLAN</div><div>TOILET PAPER HOLDER - OPT'L IF DASHED</div><div>TOILET HOOK - MOUNT AT +10" A.F.F. - OPT'L IF DASHED</div><div>TOILET RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED</div><div>RECESSED MEDICINE CABINET - OPT'L IF DASHED</div></div>	<div><div><div><div><div></div><div>DOUBLE SINK WITH DISPOSAL</div></div><div><div></div><div>SINGLE / VEGETABLE OR BAR SINK - OPT'L IF DASHED</div></div></div><div><div><div></div><div>RANGE w/ MICROWAVE PREWIRED ABOVE</div></div><div><div></div><div>VENT - INSTALL PER MFR. SPEC.</div></div></div><div><div><div></div><div>COOKTOP w/ HOOD PREWIRED UNDER CABINET</div></div><div><div><div></div><div></div><div></div><div></div></div><div>REFRIGERATOR SPACE</div><div>WATER LINE - INSTALL PER MFR. SPEC.</div></div></div><div><div><div></div><div></div><div></div><div></div></div><div>UNDER COUNTER REFRIGERATOR - OPT'L IF DASHED</div><div>WR = WINE REFRIGERATOR</div></div><div><div><div></div><div></div></div><div>DOUBLE OVEN w/ MICROWAVE ADV. - OPT'L IF DASHED</div></div><div><div><div></div><div></div></div><div>DISHWASHER - PROVIDE APPROVED AIR GAP FITTING</div></div></div></div>	<div>1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND</div> <div>2 UPPER CABINETS</div> <div>3 LOWER CABINETS</div> <div>4 OPTIONAL UPPER CABINETS</div> <div>5 OPTIONAL LOWER CABINETS</div> <div>6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.</div> <div>7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP. 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NO LEDGE.</div> <div>23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED</div> <div>24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN.) - OPT'L IF INDICATED OPT' REFER TO DETAILS 7/D1.7 AND 8/D1.7.</div> <div>25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7</div> <div>26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER</div> <div>27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7</div> <div>28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO. 7'-1" AT SECOND FLOOR UNO. IF DASHED</div> <div>29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION w/ CABINET MANUFACTURER</div> <div>30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. 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<div><div><div><div><div></div><div>EXHAUST</div></div><div><div></div><div></div></div></div><div><div><div></div><div></div></div><div>NASHER</div><div>DRYER</div></div></div><div>WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT</div><div><div><div></div><div></div></div><div>WASHER / DRYER</div></div><div><div><div></div><div></div></div><div>5'-0" MIN.</div><div>3'-6" MIN.</div><div>3'-6" MIN.</div><div>3'-6" MIN.</div></div><div><div><div></div><div></div></div><div>LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div></div></div> <div><div><div><div><div></div><div>OPT. TANKLESS WATER HEATER</div></div><div><div></div><div>2'-4" MIN.</div></div></div><div>WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL</div><div>OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL</div><div>PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION</div><div><div><div></div><div></div></div><div>SOFT WATER LOOP - OPT'L IF DASHED</div></div><div><div><div></div><div></div></div><div>FREE STANDING UTILITY SINK - OPT'L IF DASHED</div></div></div></div>	<div><div><div><div><div></div><div>5'-0" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div></div><div>WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div><div><div><div><div><div></div><div>5'-0" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div></div><div>URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div><div><div><div><div><div></div><div>5'-0" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div></div><div>LAVATORY WITH WALL MOUNTED MIRROR TO MATCH VANITY LENGTH - OPT'L IF DASHED</div><div><div><div><div><div></div><div>5'-0" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div><div><div></div><div>3'-6" MIN.</div></div></div><div>PEDESTAL SINK WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED</div><div><div><div><div><div></div><div>FAUCET</div></div><div><div></div><div></div></div></div><div>MIRROR - HEIGHT PER BUILDER SPEC'S</div></div></div></div></div></div></div></div></div></div></div>	
<div><div><div><div><div></div><div>MECH. UNIT</div></div><div><div></div><div></div></div></div><div>MECH. PLATFORM</div><div><div><div></div><div></div></div><div>42"x42" (I.N.O.) A/C PAD - HOLD AHEAD FROM HOURS - A/C PAD - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R501.2 & R102.4.2</div></div></div><div><div><div><div><div></div><div>SHOWER HEAD - TUB FAUCET BELOW</div></div><div><div></div><div></div></div></div><div>PRE-FAB SHOWER/TUB WITH ROD FOR SHOWER CURTAIN - SHOWER HEAD ROUGH-IN AT 82" AFF. UNO. - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R501.2 & R102.4.2</div></div><div><div><div><div><div></div><div>SHOWER HEAD</div></div><div><div></div><div></div></div></div><div>TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPEC'S</div></div></div></div></div>	<div><div><div><div><div></div><div>STANDARD PRE-FAB SLIDE-IN TUB:</div><div>A= 60" B= 42" AND C= 16"</div><div>OPTIONAL GARDEN TUB: DROOP-IN - TUB DECK SIZE: A= 66" B= 46" AND C= 20"</div><div>PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R501.2 & R102.4.2</div></div><div><div><div></div><div></div></div><div>30"x22" ATTIC SCUTTLE - LOCATED PER PLAN</div></div></div><div><div><div><div><div></div><div>FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R501.2 & R102.4.2</div></div><div><div></div><div></div></div></div></div></div></div></div>	
GENERAL NOTES		
A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS		
B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.		
C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.		
D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.		
E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB CONESOS.		
F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.		
G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.		
H. 3'-0" CONC. SIDEWALK TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS.		
I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.		
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.		
NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		
WALL LEGEND		
<div><div><div></div><div>2X4 FRAMED WALL</div></div><div><div></div><div>2X6 FRAMED WALL</div></div><div><div></div><div>2X8 FRAMED WALL</div></div></div>		

SOLARA
35' SERIES



MAIN LEVEL NOTED FLOOR PLAN

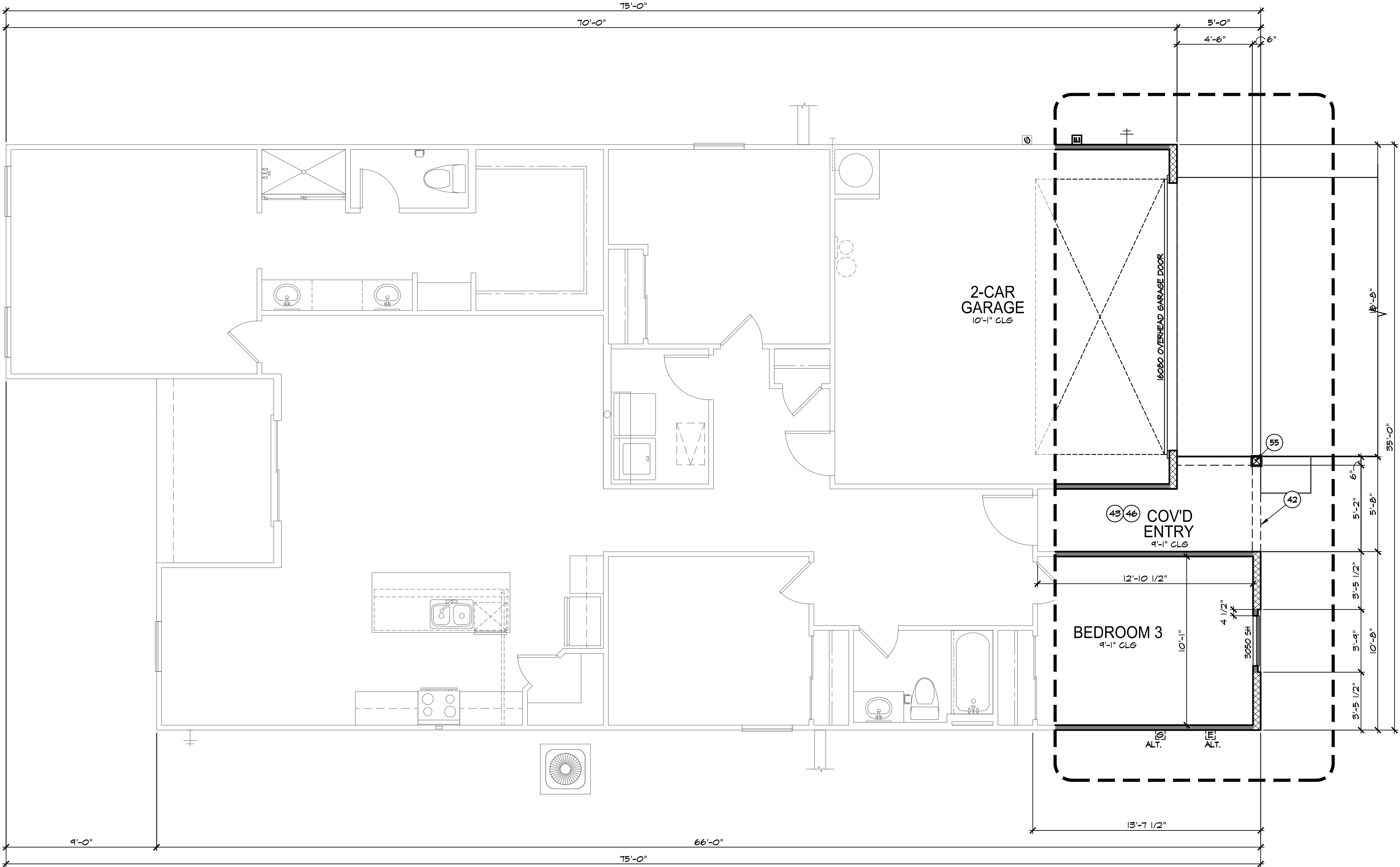
DRAWN BY: Outhouse	
DATE: JAN 1, 2025	
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PLAN#
3520



SHEET No.
A1.1

Plotted by Outhouse on Jan 29, 2025 - 10:35am



NOTED FLOOR PLAN - (1789 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'J'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" W.O.

KEY NOTES

1

CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND

2

UPPER CABINETS

3

LOWER CABINETS

4

OPTIONAL UPPER CABINETS

5

OPTIONAL LOWER CABINETS

6

OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.

7

OPTIONAL BUILT-IN CABINET - PROVIDE DBL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN

8

TALL BOY CABINET - OPT'L IF DASHED

9

KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH

10

FACE FRAME CABINET - PER CABINET MANUFACTURER

11

STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED

12

VALET CABINETS - OPT'L IF DASHED

13

SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPT'L IF DASHED.

14

4 SHELVES - REFER TO DETAIL 19/D1.6

15

16" SHELF STANDARD - OPT'L UPPER CABINETS

16

SHELF - SIZE AS NOTED

17

ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6

18

TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6

19

5 SHELF SHOE RACK - REFER TO DET. 16/D1.6

20

STRUCTURED WIRE RECESSED BOX

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DRY-OFF DECK

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GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE. NO LEDGE.

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18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L. IF DASHED

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2X4 FRAMED WALL

2X6 FRAMED WALL

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SUBDIVISION

SOLARA
35' SERIES

Outhouse

ONE SOURCE, ONE SOLUTION
602.256.0429

MAIN LEVEL PARTIAL NOTED FLOOR PLAN

ELEVATIONS

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

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2	-
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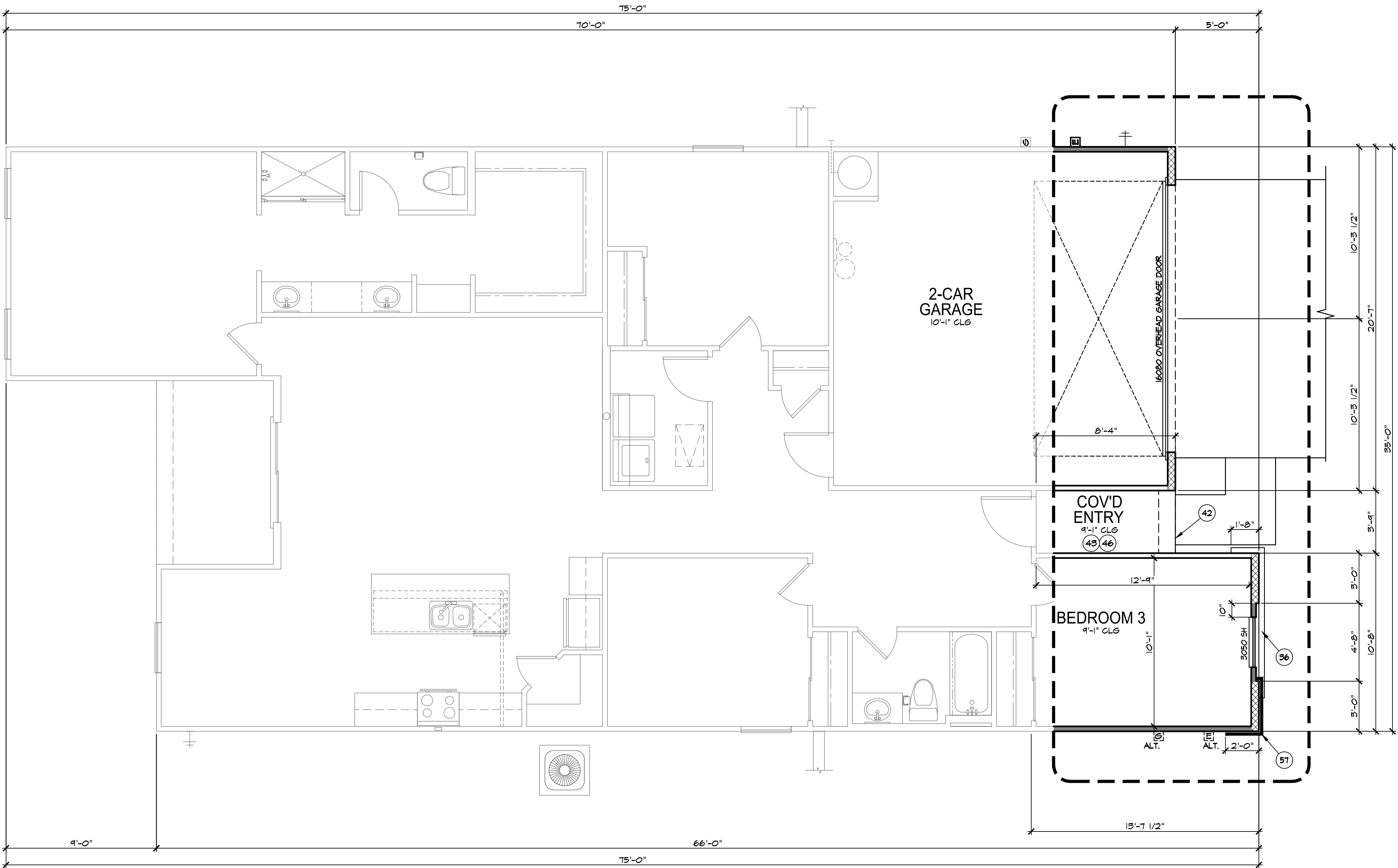
PLAN#

3520

SHEET No.

A1.2

Plotted by Outhouse on Jan 29, 2025 - 10:35am



NOTED FLOOR PLAN - (1789 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'T'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" U.N.O.

KEY NOTES

1

CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND

2

UPPER CABINETS

3

LOWER CABINETS

4

OPTIONAL UPPER CABINETS

5

OPTIONAL LOWER CABINETS

6

OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.

7

OPTIONAL BUILT-IN CABINET - PROVIDE DBL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN

8

TALL BOY CABINET - OPT'L IF DASHED

9

KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH

10

FACE FRAME CABINET - PER CABINET MANUFACTURER

11

STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED

12

VALET CABINETS - OPT'L IF DASHED

13

SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPT'L IF DASHED.

14

4 SHELVES - REFER TO DETAIL 14/D1.6

15

16" SHELF STANDARD - OPT'L UPPER CABINETS

16

SHELF - SIZE AS NOTED

17

ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6

18

TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6

19

5 SHELF SHOE RACK - REFER TO DET. 16/D1.6

20

STRUCTURED WIRE RECESSED BOX

21

DRY-OFF DECK

22

GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE. NO LEDGE.

23

18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L. IF DASHED

24

LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT'. REFER TO DETAILS 7/D1.7 AND 8/D1.7.

25

HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7

26

WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END, SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER

27

OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7

28

FLAT SOFFIT - 8'-1" AT FIRST FLOOR U.N.O. 7'-1" AT SECOND FLOOR U.N.O.

29

PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.

30

OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION

31

TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.

32

OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.

33

LINE OF CEILING CHANGE - HEIGHT PER PLAN

34

LINE OF FLOORING CHANGE

35

PROVIDE DRYER MAKEUP AIR. SEE DETAIL 16/D1.5

36

WASHER

37

1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP

38

SERVICE DOOR - OPT'L IF DASHED

39

CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP U.N.O. - OPT'L IF DASHED

40

THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD

41

TWO 14"X14" X 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY

42

EXTERIOR SOFFIT - REFER TO ELEVATIONS

43

1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938

44

5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING

45

1/8" SLOPE PER 1'-0"

46

1/4" SLOPE PER 1'-0"

47

MECHANICAL CHASE

48

FIREBLOCK ALL VOIDS - TYP.

49

T4P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR

50

TEMPERED GLASS

51

SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES #ER-392)

52

GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED

53

DIRECT VENT OR B-VENT GAS FIREPLACE. REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127. - OPT'L IF DASHED

54

FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.

55

6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM

56

MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED

57

STONE / BRICK VENEER- REFER TO ELEVATIONS

58

PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS

WALL LEGEND

2X4 FRAMED WALL

2X6 FRAMED WALL

2X8 FRAMED WALL

SUBDIVISION

SOLARA
35' SERIES

Outhouse

ONE SOURCE, ONE SOLUTION
602.256.0429

MAIN LEVEL PARTIAL NOTED FLOOR PLAN

ELEVATIONS

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

Rev.

DATE:

1

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2

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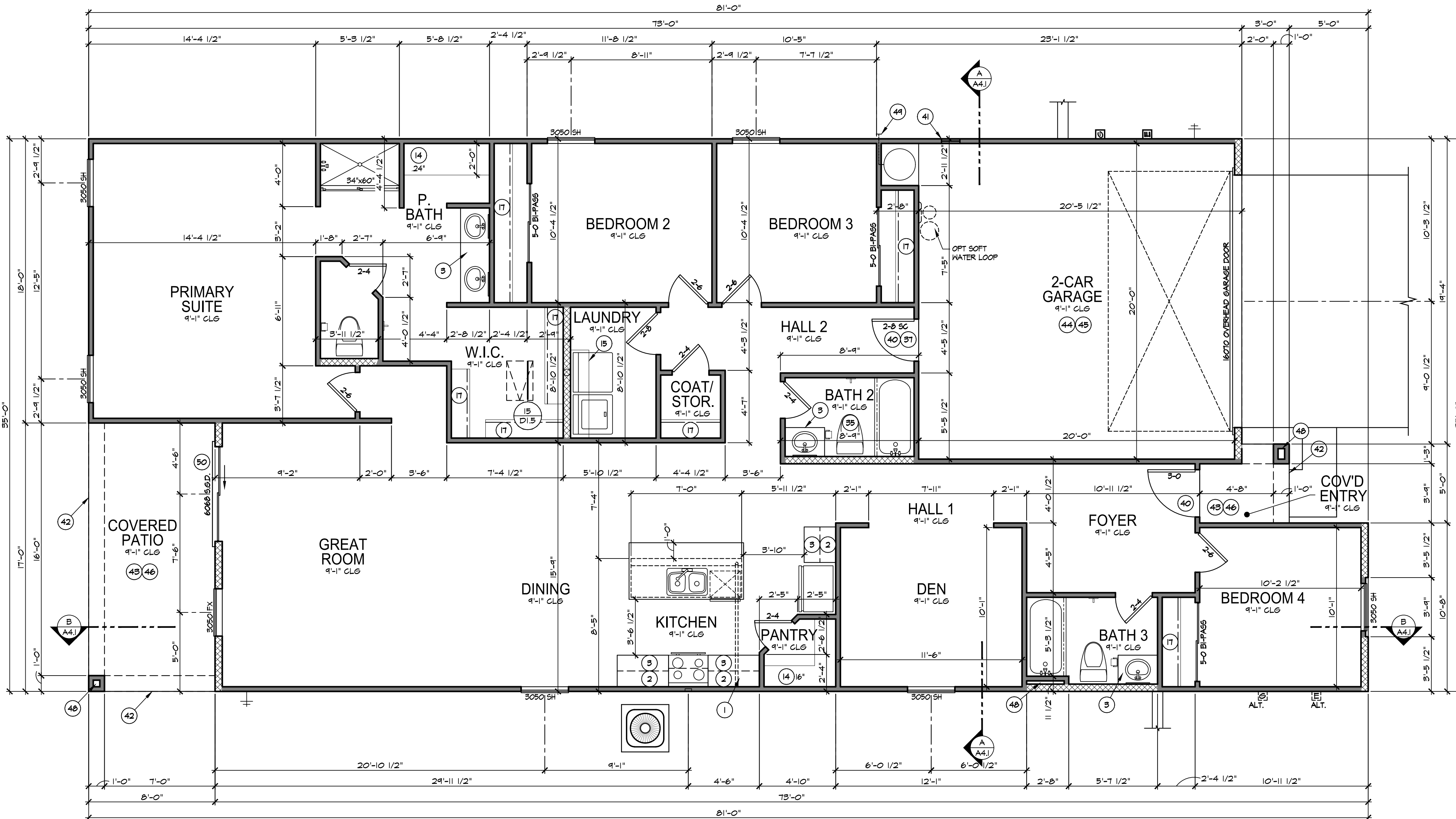
PLAN#

3520

SHEET No.

A1.3

Plotted by Outhouse on Jan 29, 2025 - 10:34am



NOTED FLOOR PLAN - (2071 SQ. FT. TOTAL LIVABLE)

SCALE: 1/4" = 1'-0"

ELEVATION 'L'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNP.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	KITCHEN	<div>1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND</div> <div>2 UPPER CABINETS</div> <div>3 LOWER CABINETS</div> <div>4 OPTIONAL UPPER CABINETS</div> <div>5 OPTIONAL LOWER CABINETS</div> <div>6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.</div> <div>7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN</div> <div>8 TALL BOY CABINET - OPT'L IF DASHED</div> <div>9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH</div> <div>10 FACE FRAME CABINET - PER CABINET MANUFACTURER</div> <div>11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED</div> <div>12 VALET CABINETS - OPT'L IF DASHED</div> <div>13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN, OPT'L IF DASHED.</div> <div>14 4 SHELVES - REFER TO DETAIL 19/D1.6</div> <div>15 16" SHELF STANDARD - OPT'L UPPER CABINETS</div> <div>16 SHELF - SIZE AS NOTED</div> <div>17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6</div> <div>18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6</div> <div>19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6</div> <div>20 STRUCTURED WIRE RECESSED BOX</div> <div>21 DRY-OFF DECK</div> <div>22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.</div> <div>23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED</div> <div>24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT' REFER TO DETAILS 7/D1.7 AND 8/D1.7.</div> <div>25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7</div> <div>26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER</div> <div>27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN - REFER TO DETAILS 11/D1.7 AND 12/D1.7</div> <div>28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.</div> <div>29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.</div> <div>30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION</div> <div>31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.</div> <div>32 OPTIONAL GLASS LOW WALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.</div> <div>33 LINE OF CEILING CHANGE - HEIGHT PER PLAN</div> <div>34 LINE OF FLOORING CHANGE</div> <div>35 PROVIDE DRYER MAKEUP AIR SEE DETAIL 16/D1.5</div> <div>36 WASHER</div> <div>37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEET</div> <div>38 SERVICE DOOR - OPT'L IF DASHED</div> <div>39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED</div> <div>40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITHIN 2" OF THRESHOLD</div> <div>41 TWO 14"x 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY</div> <div>42 EXTERIOR SOFFIT - REFER TO ELEVATIONS</div> <div>43 1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938</div> <div>44 5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING</div> <div>45 1/8" SLOPE PER 1'-0"</div> <div>46 1/4" SLOPE PER 1'-0"</div> <div>47 MECHANICAL CHASE</div> <div>48 FIREBLOCK ALL VOIDS - TYP.</div> <div>49 T&P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR</div> <div>50 TEMPERED GLASS</div> <div>51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES 45R-392)</div> <div>52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED</div> <div>53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127 - OPT'L IF DASHED</div> <div>54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.</div> <div>55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM</div> <div>56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED</div> <div>57 STONE / BRICK VENEER- REFER TO ELEVATIONS</div> <div>58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS</div>
<div>SHOWER HEAD STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ADV. DRAIN PER IRC R501.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN VALVE - LOCATED PER PLAN TOILET PAPER HOLDER - OPT'L IF DASHED TOWEL HOOK - MOUNT AT 10" A.F.F. - OPT'L IF DASHED TOWEL RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED RECESSED MEDICINE CABINET - OPT'L IF DASHED</div>	<div>DOUBLE SINK WITH DISPOSAL SINGLE / VESITABLE OR BAR SINK - OPT'L IF DASHED RANGE W/ MICROWAVE PREWIRED ABOVE VENT - INSTALL PER MFR. SPEC. COOKTOP W/ HOOD PREWIRED UNDER CABINET REFRIGERATOR SPACE WATER LINE - INSTALL PER MFR. SPEC. UNDER COUNTER REFRIGERATOR - OPT'L IF DASHED WR = WINE REFRIGERATOR DOUBLE OVEN W/ MICROWAVE ADV. - OPT'L IF DASHED DISHWASHER - PROVIDE APPROVED AIR GAP FITTING</div>	
<div>EXHAUST WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT</div>	<div>WASHER / DRYER</div>	
<div>EXHAUST STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT</div>	<div>WASHER / DRYER</div>	
<div>LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div>	<div>LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div>	
GARAGE	BATH	
<div>OPT. TANKLESS WATER HEATER WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION</div>	<div>WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED LAVATORY WITH WALL MOUNTED MIRROR 24"x36" OVAL MIRROR - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPEC'S PEDESTAL SINK WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED FAUCET MIRROR - HEIGHT PER BUILDER SPEC'S</div>	
<div>SOFT WATER LOOP - OPT'L IF DASHED</div>	<div>FREE STANDING UTILITY SINK - OPT'L IF DASHED</div>	
MECH. / PLUMB. / ELEC.	MISCELLANEOUS	
<div>42"x42" (UNO.) A/C PAD - HOLD AWAY FROM HOUSE 10" - ALT. LOCATION IF DASHED MECHANICAL UNIT - LOCATE AND INSTALL PER MECHANICAL PLANS MECHANICAL PLATFORM - LOCATE PER MECHANICAL PLANS ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED</div>	<div>PRE-FAB SHOWER/TUB WITH ROD FOR SHOWER CURTAIN - SHOWER HEAD ROUGH-IN AT 82" AFF. UNO. - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ADV. DRAIN PER IRC R501.2 & R102.4.2 PRE-FAB SHOWER WITH TEMPERED GLASS DOOR - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ADV. DRAIN PER IRC R501.2 & R102.4.2 - OPT'L IF DASHED TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPEC'S STANDARD PRE-FAB SLIDE-IN TUB: A= 60", B= 42" AND C= 16" OPTIONAL GARDEN TUB DROP-IN - TUB DECK SIZE: A= 66", B= 46" AND C= 20" PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ADV. DRAIN PER IRC R501.2 & R102.4.2 FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R501.2 & R102.4.2</div>	
<div>30x22 ATTIC SCUTTLE - LOCATED PER PLAN</div>		
GENERAL NOTES		
A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS		
B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.		
C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.		
D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.		
E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBO		
F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.		
G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.		
H. 3'-0" CONC. SIDEWALKS TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS.		
I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.		
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.		
NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		
WALL LEGEND		
<div>2X4 FRAMED WALL</div> <div>2X6 FRAMED WALL</div> <div>2X8 FRAMED WALL</div>		

SUBDIVISION

SOLARA
35' SERIES



MAIN LEVEL NOTED FLOOR PLAN

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

Rev. DATE:

1 -

2 -

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PLAN#

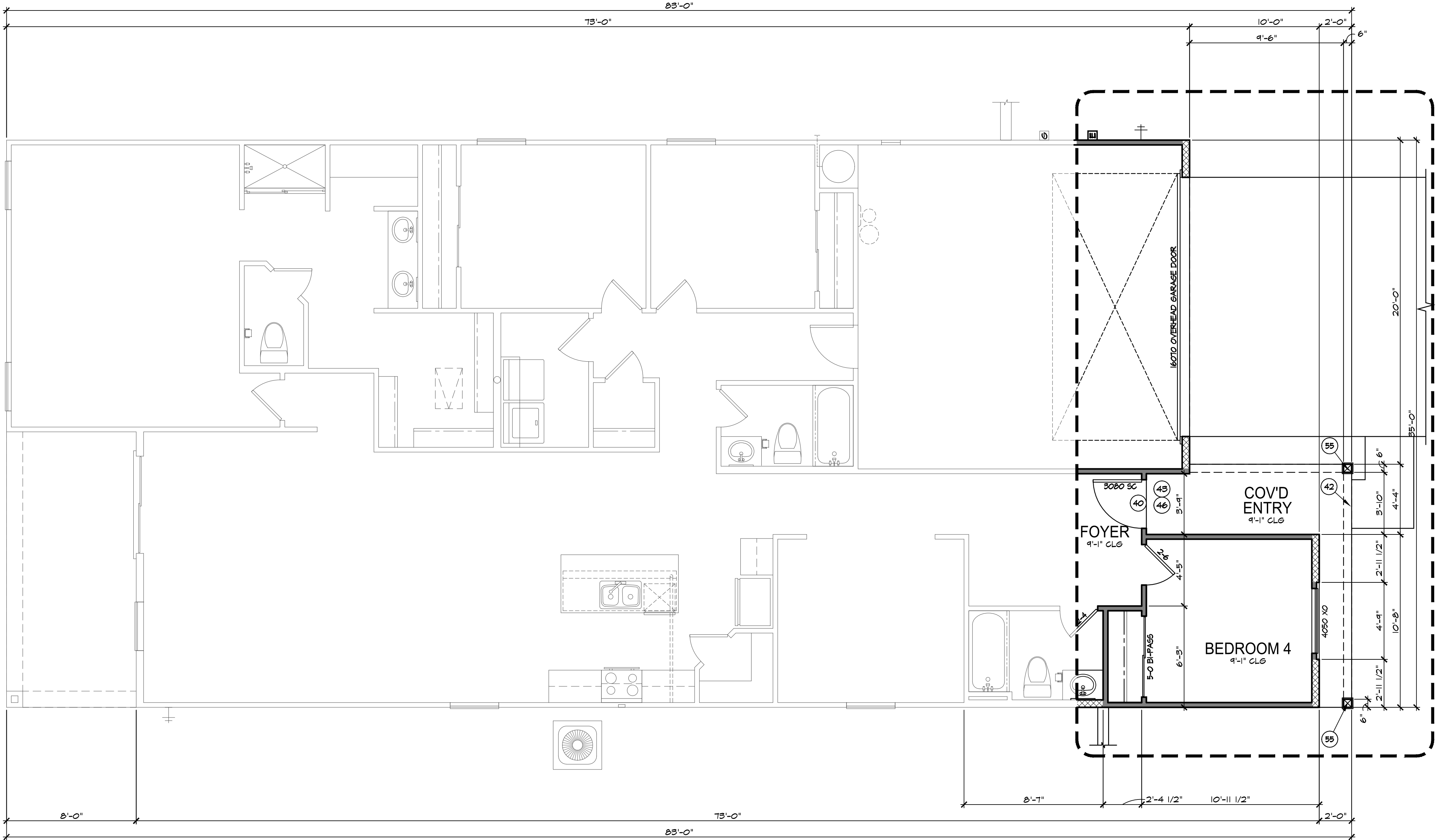
3530



SHEET No.

A1.1

Plotted by Outhouse on Jan 29, 2025 - 10:34am



NOTED FLOOR PLAN - (2071 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"
ELEVATION 'J'
NOTE: ALL INTERIOR DOORS TO BE 6'-8" UNF.

KEY NOTES	
1	CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND
2	UPPER CABINETS
3	LOWER CABINETS
4	OPTIONAL UPPER CABINETS
5	OPTIONAL LOWER CABINETS
6	OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.
7	OPTIONAL BUILT-IN CABINET - PROVIDE DBL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN
8	TALL BOY CABINET - OPTL IF DASHED
9	KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH
10	FACE FRAME CABINET - PER CABINET MANUFACTURER
11	STORAGE BENCH WITH HOOKS ABOVE - OPTL IF DASHED
12	VALET CABINETS - OPTL IF DASHED
13	SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPTL IF DASHED.
14	4 SHELVES - REFER TO DETAIL 19/D1.6
15	16" SHELF STANDARD - OPTL UPPER CABINETS
16	SHELF - SIZE AS NOTED
17	ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6
18	TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6
19	5 SHELF SHOE RACK - REFER TO DET. 16/D1.6
20	STRUCTURED WIRE RECESSED BOX
21	DRY-OFF DECK
22	GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.
23	18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPTL. IF DASHED
24	LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPTL IF INDICATED OPT. REFER TO DETAILS 7/D1.7 AND 8/D1.7.
25	HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7
26	WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END, SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER
27	OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7
28	FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.
29	PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.
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31	TRAY CEILING - HEIGHT PER PLAN - OPTL IF INDICATED OPT.
32	OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" A.F.F. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.
33	LINE OF CEILING CHANGE - HEIGHT PER PLAN
34	LINE OF FLOORING CHANGE
35	PROVIDE DRYER MAKEUP AIR, SEE DETAIL 16/D1.5
36	WASHER
37	1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP
38	SERVICE DOOR - OPTL IF DASHED
39	CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPTL IF DASHED
40	THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD
41	TWO 14"x14" x 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY
42	EXTERIOR SOFFIT - REFER TO ELEVATIONS
43	1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938
44	1/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING
45	1/8" SLOPE PER 1'-0"
46	1/4" SLOPE PER 1'-0"
47	MECHANICAL CHASE
48	FIREBLOCK ALL VOIDS - TYP.
49	T4P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR
50	TEMPERED GLASS
51	SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES #ER-392)
52	GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPTL IF DASHED
53	DIRECT VENT OR B-VENT GAS FIREPLACE. REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127. - OPTL IF DASHED
54	FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.
55	6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM
56	MEDIA WALL - REFER TO SHEET A4.2 - OPTL IF DASHED
57	STONE / BRICK VENEER- REFER TO ELEVATIONS
58	PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS
WALL LEGEND	
	2X4 FRAMED WALL
	2X6 FRAMED WALL
	2X8 FRAMED WALL

SUBDIVISION

SOLARA
35' SERIES

MAIN LEVEL PARTIAL NOTED FLOOR PLAN
ELEVATIONS

DRAWN BY:
Outhouse

DATE: JAN 1, 2025

Rev. DATE:

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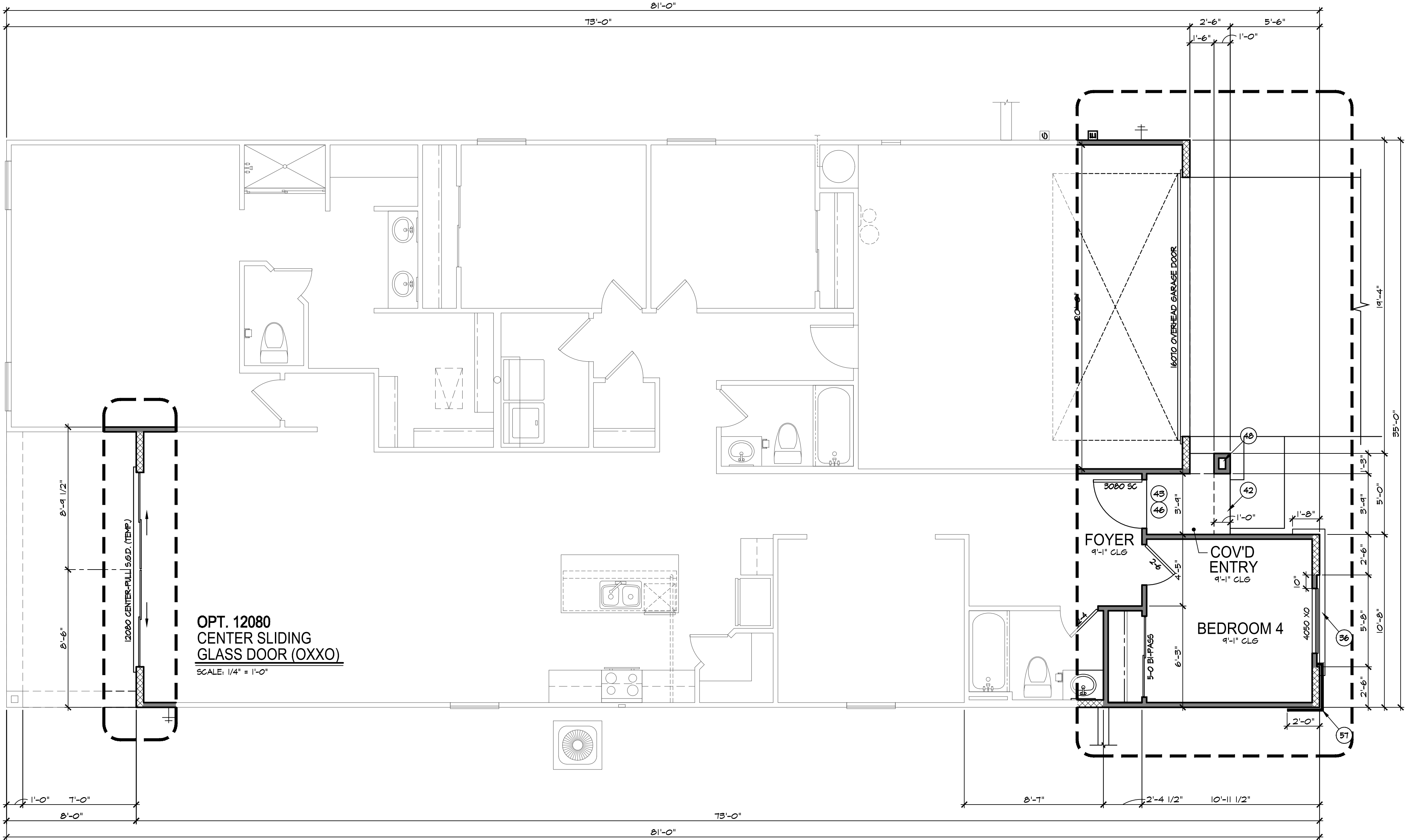
PLAN#

3530

SHEET No.

A1.2

Plotted by Outhouse on Jan 29, 2025 - 10:34am



NOTED FLOOR PLAN - (2071 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"

KEY NOTES

1

CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND

2

UPPER CABINETS

3

LOWER CABINETS

4

OPTIONAL UPPER CABINETS

5

OPTIONAL LOWER CABINETS

6

OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.

7

OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN

8

TALL BOY CABINET - OPT'L IF DASHED

9

KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH

10

FACE FRAME CABINET - PER CABINET MANUFACTURER

11

STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED

12

VALET CABINETS - OPT'L IF DASHED

13

SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPT'L IF DASHED.

14

4 SHELVES - REFER TO DETAIL 14/D1.6

15

16" SHELF STANDARD - OPT'L UPPER CABINETS

16

SHELF - SIZE AS NOTED

17

ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6

18

TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6

19

5 SHELF SHOE RACK - REFER TO DET. 16/D1.6

20

STRUCTURED WIRE RECESSED BOX

21

DRY-OFF DECK

22

GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE. NO LEDGE.

23

18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L. IF DASHED

24

LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT'. REFER TO DETAILS 7/D1.7 AND 8/D1.7.

25

HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7

26

WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END, SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER

27

OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7

28

FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.

29

PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.

30

OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION

31

TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.

32

OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.

33

LINE OF CEILING CHANGE - HEIGHT PER PLAN

34

LINE OF FLOORING CHANGE

35

PROVIDE DRYER MAKEUP AIR. SEE DETAIL 16/D1.5

36

WASHER

37

1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP

38

SERVICE DOOR - OPT'L IF DASHED

39

CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED

40

THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD

41

TWO 14"x14" x 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY

42

EXTERIOR SOFFIT - REFER TO ELEVATIONS

43

1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938

44

1/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING

45

1/8" SLOPE PER 1'-0"

46

1/4" SLOPE PER 1'-0"

47

MECHANICAL CHASE

48

FIREBLOCK ALL VOIDS - TYP.

49

T4P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR

50

TEMPERED GLASS

51

SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES #ER-392)

52

GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED

53

DIRECT VENT OR B-VENT GAS FIREPLACE. REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 1271. - OPT'L IF DASHED

54

FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.

55

6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM

56

MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED

57

STONE / BRICK VENEER- REFER TO ELEVATIONS

58

PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS

WALL LEGEND

2X4 FRAMED WALL

2X6 FRAMED WALL

2X8 FRAMED WALL

SUBDIVISION

SOLARA
35' SERIES

Outhouse

ONE SOURCE, ONE SOLUTION
602.256.0429

MAIN LEVEL PARTIAL NOTED FLOOR PLAN

ELEVATIONS

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

Rev. DATE:

1

-

2

-

3

-

4

-

5

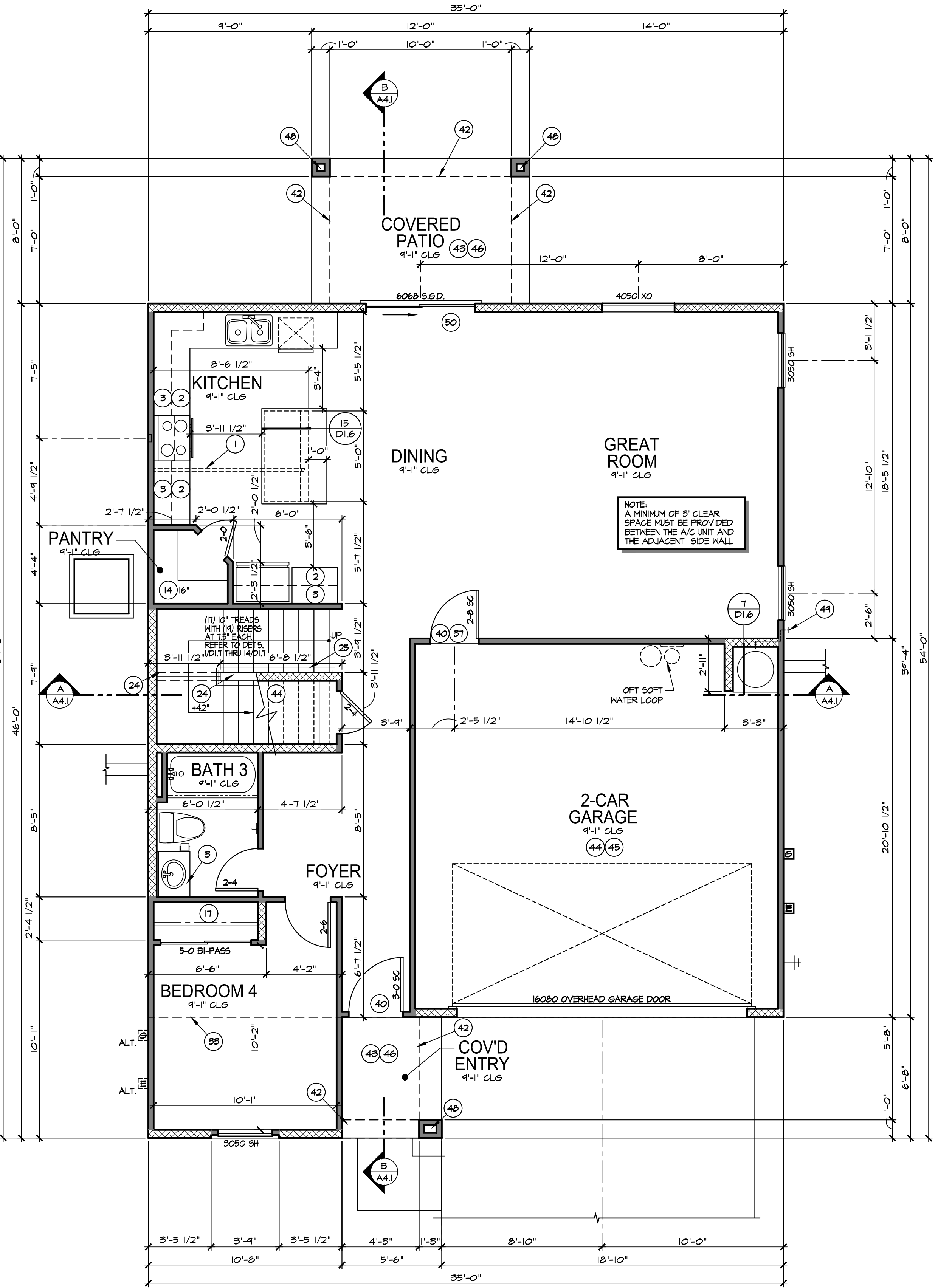
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PLAN#

3530

SHEET No.

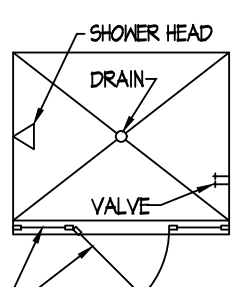


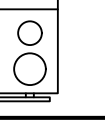






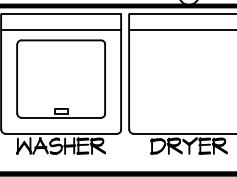
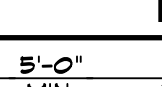
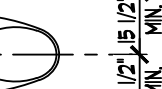
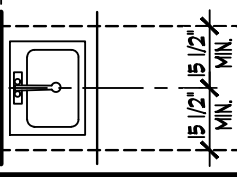
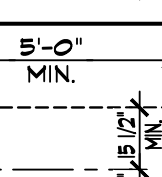
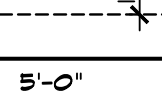
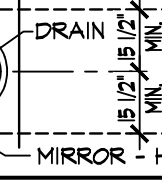
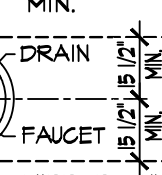

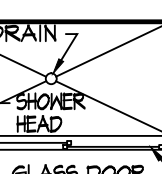
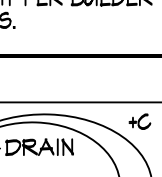
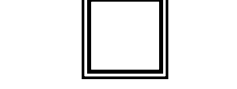
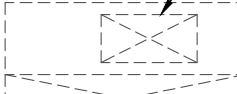


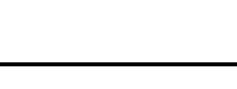




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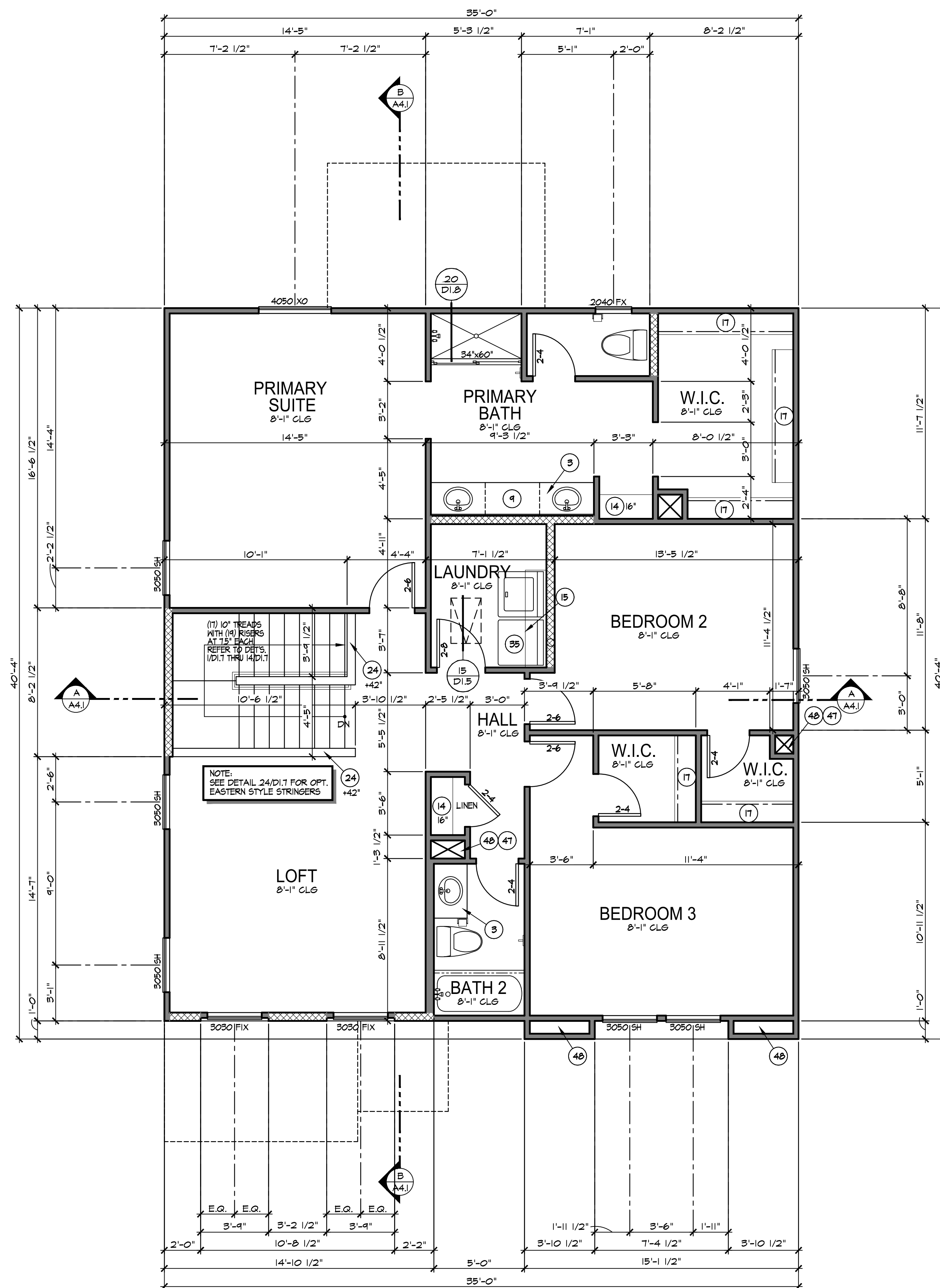


MAIN LEVEL NOTED FLOOR PLAN - (1033 SQ. FT. LIVABLE)

ELEVATION 'L'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" U.N.O.

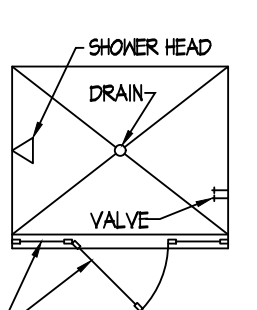
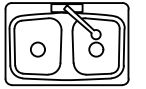
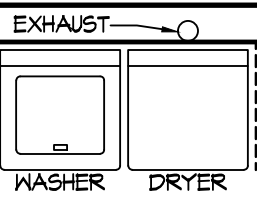
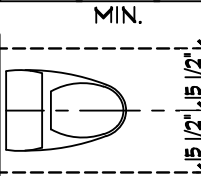
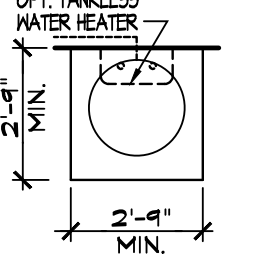
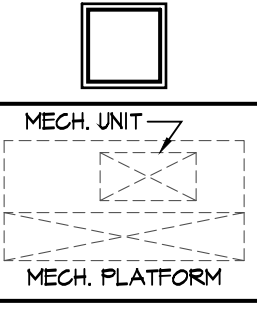
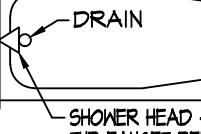
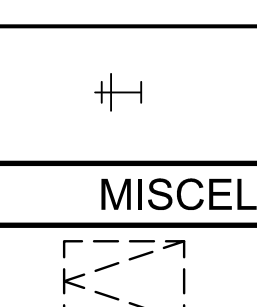
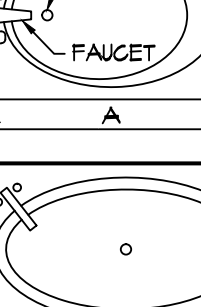

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	KITCHEN	1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND
		2 UPPER CABINETS
STANDARD - PREFAB SHOWER PAN W/ GLAZED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER		3 LOWER CABINETS
WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 1/2" ADV. DRAIN PER IRC R301.2 & R102.4.2.		4 OPTIONAL UPPER CABINETS
SHOWER HEAD ROUGH-IN AT 84" AFF. U.N.O. - LOCATED PER PLAN	VENT - INSTALL PER MFR. SPEC.	5 OPTIONAL LOWER CABINETS
VALVE - LOCATED PER PLAN		6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS
TOILET PAPER HOLDER - OPT'L IF DASHED		7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN
(SEE COMMUNITY SPECS TO VERIFY QUANTITY)	WATER LINE - INSTALL PER MFR. SPEC.	8 TALL BOY CABINET - OPT'L IF DASHED
		9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH
TOILET RING - MOUNT AT 160" A.F.F. - OPT'L IF DASHED	NR = MINE REFRIGERATOR	10 FACE FRAME CABINET - PER CABINET MANUFACTURER
		11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED
RECESSED MEDICINE CABINET - OPT'L IF DASHED	DISHWASHER - PROVIDE APPROVED AIR GAP FITTING	12 VALET CABINETS - OPT'L IF DASHED
LAUNDRY	BATH	13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN, OPT'L IF DASHED.
		14 4 SHELVES - REFER TO DETAIL 14/D1.6
WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT	URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	15 16" SHELF STANDARD - OPT'L UPPER CABINETS
STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT		16 SHELF - SIZE AS NOTED
LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	MIRROR - HEIGHT PER BUILDER SPEC'S	17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6
		18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6
OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL	PEDESTAL SINK WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED	19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6
PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION		20 STRUCTURED WIRE RECESSED BOX
SOFT WATER LOOP - OPT'L IF DASHED	MIRROR - HEIGHT PER BUILDER SPEC'S	21 DRY-OFF DECK
FREE STANDING UTILITY SINK - OPT'L IF DASHED		22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.
GARAGE		23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL	SHOWER HEAD - TUB FAUCET BELOW	24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN.) - OPT'L IF INDICATED OPT' REFER TO DETAILS 7/D1.7 AND 8/D1.7.
OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL		25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7
PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION	TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPEC'S	26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER
SOFT WATER LOOP - OPT'L IF DASHED		27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7
FREE STANDING UTILITY SINK - OPT'L IF DASHED	STANDARD PRE-FAB SLIDE-IN TUB: A= 60", B= 42" AND C= 16" OPTIONAL GARDEN TUB DROP-IN - TUB DECK SIZE: A= 66", B= 46" AND C= 20" PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 1/2" ADV. DRAIN PER IRC R301.2 & R102.4.2.	28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR U.N.O. 7'-1" AT SECOND FLOOR U.N.O.
MECH. / PLUMB. / ELEC.		29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.
	MECH. UNIT - LOCATE AND INSTALL PER MECHANICAL PLANS	30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION
	MECH. PLATFORM	31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.
	ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	32 OPTIONAL GLASS LOW WALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.
	GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	33 LINE OF CEILING CHANGE - HEIGHT PER PLAN
	HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED	34 LINE OF FLOORING CHANGE
	30x22 ATTIC SCUTTLE - LOCATED PER PLAN	35 PROVIDE DRYER MAKEUP AIR SEE DETAIL 16/D1.5
MISCELLANEOUS		36 WASHER
		37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEET
		38 SERVICE DOOR - OPT'L IF DASHED
		39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP U.N.O. - OPT'L IF DASHED
		40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD
		41 TWO 14"X 8" HIGH/LOW VENTS AT +4" ABOVE STEY AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY
		42 EXTERIOR SOFFIT - REFER TO ELEVATIONS
		43 EXTERIOR RATED, SAG RESISTANT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938
		44 5/8" TYP. 'X' GYP. BD. AT USABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING
		45 1/8" SLOPE PER 1'-0"
		46 1/4" SLOPE PER 1'-0"
		47 MECHANICAL CHASE
		48 FIREBLOCK ALL VOIDS - TYP.
		49 T4P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR
		50 TEMPERED GLASS
		51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES ESR-392)
		52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED
		53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127 - OPT'L IF DASHED
		54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.
		55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM
		56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED
		57 STONE / BRICK VENEER- REFER TO ELEVATIONS
		58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL U.N.O.		
NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		WALL LEGEND
		 2X4 FRAMED WALL
		 2X6 FRAMED WALL
		 2X8 FRAMED WALL

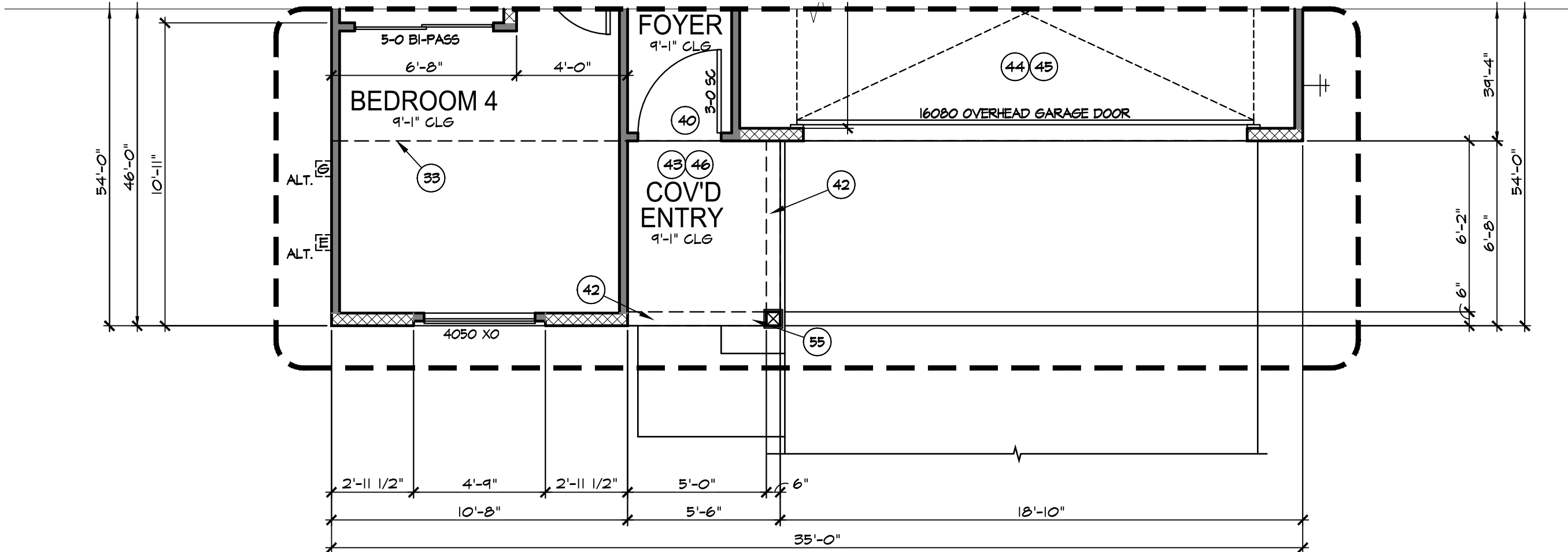


SECOND LEVEL NOTED FLOOR PLAN - (1298 SQ. FT. LIVABLE)

ELEVATION 'L'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" U.N.O.

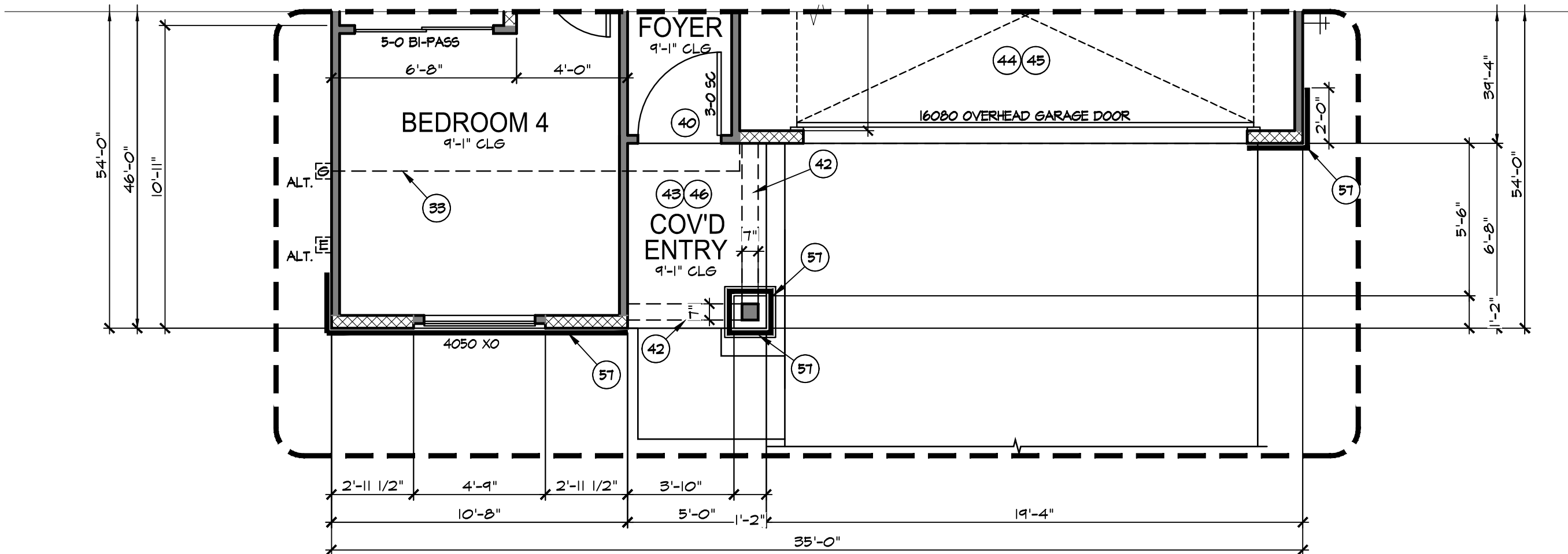
FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	KITCHEN	
 <p>STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SEE PER PLAN - PROVIDE NONABSORBENT CEMENTATION BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R502.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN VALVE - LOCATED PER PLAN TOILET PAPER HOLDER - OPT'L IF DASHED TOWEL HOOK - MOUNT AT +10" A.F.F. - OPT'L IF DASHED TOWEL RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED RECESSED MEDICINE CABINET - OPT'L IF DASHED</p>	 <p>DOUBLE SINK WITH DISPOSAL SINGLE / VEGETABLE OR BAR SINK - OPT'L IF DASHED RANGE / MICROWAVE PREWIRE ABOVE VENT - INSTALL PER MFR. SPEC. COOKTOP W/ HOOD PREWIRE UNDER CABINET REFRIGERATOR SPACE WATER LINE - INSTALL PER MFR. SPEC. UNDER COUNTER REFRIGERATOR - OPT'L IF DASHED WR = WINE REFRIGERATOR DOUBLE OVEN W/ MICROWAVE ABV. - OPT'L IF DASHED DISHWASHER - PROVIDE APPROVED AIR GAP FITTING</p>	<ol style="list-style-type: none">CONDUIT UNDER SLAB FOR ELECTRICAL TO ALL ANDUPPER CABINETSLOWER CABINETSOPTIONAL UPPER CABINETSOPTIONAL LOWER CABINETSOPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.OPTIONAL BUILT-IN CABINET - PROVIDE DBL. 2X4 KING WALL, 36" DP. AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUNTALL BOY CABINET - OPT'L IF DASHEDKNEE SPACE BELOW COUNTER TOP - MINIMUM OF 36" CLEAR HEIGHTFACE FRAME CABINET - PER CABINET MANUFACTURERSTORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHEDVALET CABINETS - OPT'L IF DASHEDSEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPT'L IF DASHED4 SHELVES - REFER TO DETAIL 16/D1.616" SHELF STANDARD - OPT'L UPPER CABINETSSHELF - SIZE AS NOTEDONE ROD / ONE SHELF - REFER TO DET. 12/D1.6TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.63 SHELF SHOE RACK - REFER TO DET. 16/D1.6STRUCTURED WIRE RECESSED BOXDRY-OFF DECKGLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE. NO LIP EDGE.18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHEDLOW WALL - HEIGHT AS NOTED (36" HIGH MIN.) - OPT'L IF INDICATED OPT'L - REFER TO DETAILS 17/D1.1 AND 17/D1.2.HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 17/D1.1 THROUGH 12/D1.7WROUGHT IRON RAILING - PROVIDE VERTICAL 2X6 SOLID BLOCKING EACH END SET BACK 1/4" FROM FACE OF COLUMN OR CORNEROPTIONAL RAILING I.L.O. LOW WALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO. - 7'-1" AT SECOND FLOOR UNO.PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SIZING - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SERVING IN THIS LOCATIONTRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'LOPTIONAL GLASS LOW WALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. - REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.LINE OF CEILING CHANGE - HEIGHT PER PLANLINE OF FLOORING CHANGEWASHER DRYER MAKEUP AIR. SEE DETAIL 16/D1.5WASHER1/3-1/4" SOLID CORE DOOR, TIGHT FITTING. SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEPSERVICE DOOR - OPT'L IF DASHEDCONCRETE STOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHEDTHE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITHIN 2" OF THRESHOLDTWO 1/4" X 8" HIGH/LONG PLANS AT +4" ABOVE STEM AND +4" BELOW CEILING @ GAS COMMUNITIES ONLYEXTERIOR SOFFIT - REFER TO ELEVATIONS1/2" EXTERIOR RATED GAS RESISTENT GYP. BD. AT PATIO/PORCH CEILING (CC EBR-358)5/8" TYP. 1" GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING1/8" SLOPE PER 1'-0"1/4" SLOPE PER 1'-0"MECHANICAL CHASEFIREBLOCK ALL VOIDS - TYP.T&P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTORTEMPERED GLASSSLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES #ER-382)GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY - OPT'L IF DASHEDDIRECT VENT OR B-VENT GAS FIREPLACE. REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 1271 - OPT'L IF DASHEDFIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OR REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAMMEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHEDSTONE / BRICK VENEER - REFER TO ELEVATIONSPROVIDE DEPRESSURED SLAB FOR OPTIONAL PAVERS
LAUNDRY	BATH	
 <p>WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</p>	 <p>WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED LAVATORY WITH WALL MOUNTED MIRROR TO MATCH VANTY LENGTH - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPEC'S FEDERAL SINK WITH WALL MOUNTED 24"x36" PVAL MIRROR - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPEC'S</p>	
GARAGE		
 <p>WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PFR BOLLARD - PROVIDE 3" DIA. SOLID GRATED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION SOFT WATER LOOP - OPT'L IF DASHED FREE STANDING UTILITY SINK - OPT'L IF DASHED</p>		
MECH. / PLUMB. / ELEC.		
 <p>MECH. UNIT - LOCATE AND INSTALL PER MECHANICAL PLANS MECHANICAL PLATFORM - 3'-0" X 10'-0" PLATFORM IN ATTIC - LOCATE PER MECHANICAL PLANS ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED</p>	 <p>PREFAB SHOWER/TUB WITH HOOD FOR SHOWER CURTAIN - SHOWER HEAD ROUGH-IN AT 82" AFF. UNO. - PROVIDE NONABSORBENT CEMENTATION BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R502.2 & R102.4.2 PREFAB SHOWER WITH TEMPERED GLASS DOOR - PROVIDE NONABSORBENT CEMENTATION BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R502.2 & R102.4.2 - OPT'L IF DASHED SHOWER HEAD ROUGH-IN AT 84" AFF. UNO.</p>	
MISCELLANEOUS		
 <p>30X22 ATTIC SCUTTLE - LOCATED PER PLAN</p>	 <p>FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R502.2 & R102.4.2</p>	
GENERAL NOTES		
<p>A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS REFERENCED TO WALL LEGEND BELOW UNO.</p> <p>B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.</p> <p>C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.</p> <p>D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.</p> <p>E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL</p> <p>F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.</p> <p>G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.</p> <p>H. 3'-0" CONC. SIDEWALK TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS</p> <p>I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.</p>		
<div>NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.</div> <div>NOTE: ALL OPTIONAL BELOW MULLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.</div>		
WALL LEGEND		
 <p>2X4 FRAMED WALL 2X6 FRAMED WALL 2X8 FRAMED WALL</p>		



MAIN LEVEL NOTED FLOOR PLAN - (1033 SQ. FT. LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'J'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

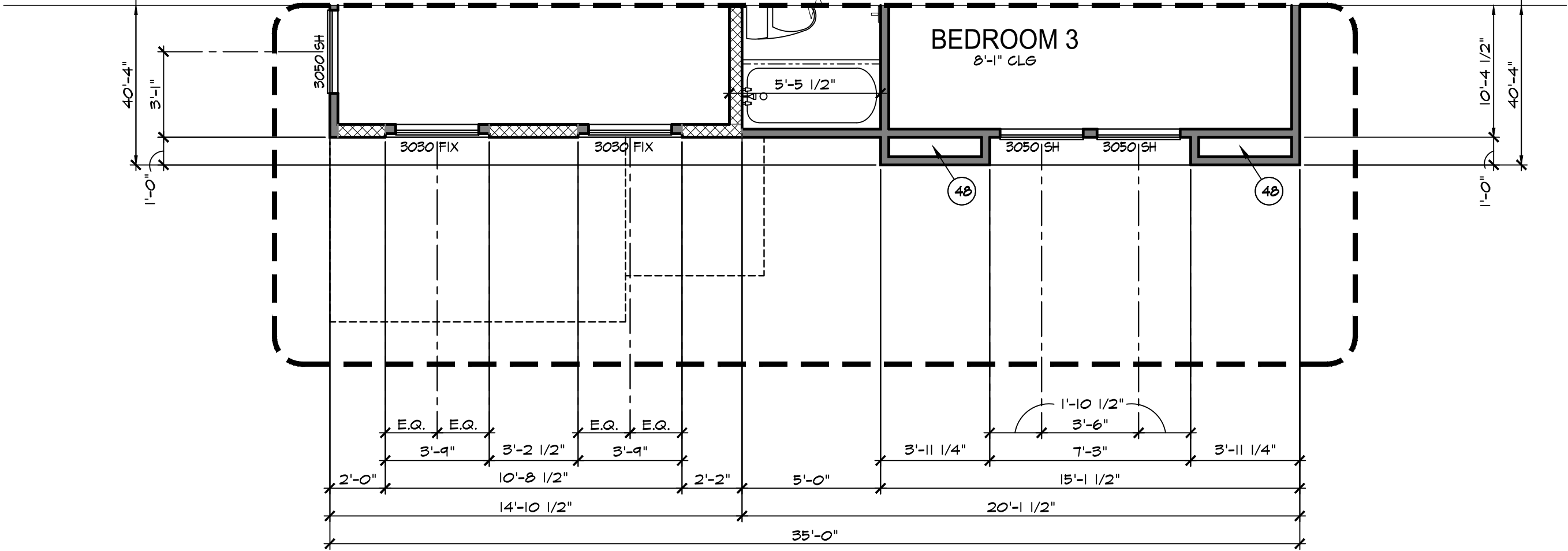


MAIN LEVEL NOTED FLOOR PLAN - (1033 SQ. FT. LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'D'

NOTE:
ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	KITCHEN	<div>1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND</div> <div>2 UPPER CABINETS</div> <div>3 LOWER CABINETS</div> <div>4 OPTIONAL UPPER CABINETS</div> <div>5 OPTIONAL LOWER CABINETS</div> <div>6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.</div> <div>7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN</div> <div>8 TALL BOY CABINET - OPT'L IF DASHED</div> <div>9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH</div> <div>10 FACE FRAME CABINET - PER CABINET MANUFACTURER</div> <div>11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED</div> <div>12 VALET CABINETS - OPT'L IF DASHED</div> <div>13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN, OPT'L IF DASHED.</div> <div>14 4 SHELVES - REFER TO DETAIL 14/D1.6</div> <div>15 16" SHELF STANDARD - OPT'L UPPER CABINETS</div> <div>16 SHELF - SIZE AS NOTED</div> <div>17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6</div> <div>18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6</div> <div>19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6</div> <div>20 STRUCTURED WIRE RECESSED BOX</div> <div>21 DRY-OFF DECK</div> <div>22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.</div> <div>23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED</div> <div>24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN.) - OPT'L IF INDICATED OPT' REFER TO DETAILS 7/D1.7 AND 8/D1.7.</div> <div>25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7</div> <div>26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER</div> <div>27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7</div> <div>28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.</div> <div>29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.</div> <div>30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION</div> <div>31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.</div> <div>32 OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.</div> <div>33 LINE OF CEILING CHANGE - HEIGHT PER PLAN</div> <div>34 LINE OF FLOORING CHANGE</div> <div>35 PROVIDE DRYER MAKEUP AIR SEE DETAIL 16/D1.5</div> <div>36 WASHER</div> <div>37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP</div> <div>38 SERVICE DOOR - OPT'L IF DASHED</div> <div>39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED</div> <div>40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITHIN 2" OF THRESHOLD</div> <div>41 TWO 14"X 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY</div> <div>42 EXTERIOR SOFFIT - REFER TO ELEVATIONS</div> <div>43 1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938</div> <div>44 5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING</div> <div>45 1/8" SLOPE PER 1'-0"</div> <div>46 1/4" SLOPE PER 1'-0"</div> <div>47 MECHANICAL CHASE</div> <div>48 FIREBLOCK ALL VOIDS - TYP.</div> <div>49 T&P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR</div> <div>50 TEMPERED GLASS</div> <div>51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES 4ER-392)</div> <div>52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED</div> <div>53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 1271 - OPT'L IF DASHED</div> <div>54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.</div> <div>55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM</div> <div>56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED</div> <div>57 STONE / BRICK VENEER- REFER TO ELEVATIONS</div> <div>58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS</div>
STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTITIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN VALVE - LOCATED PER PLAN TOILET PAPER HOLDER - OPT'L IF DASHED (SEE COMMUNITY SPECS TO VERIFY QUANTITY) TOWEL HOOK - MOUNT AT +10" A.F.F. - OPT'L IF DASHED TOWEL RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED RECESSED MEDICINE CABINET - OPT'L IF DASHED	DOUBLE SINK WITH DISPOSAL SINGLE / VESITABLE OR BAR SINK - OPT'L IF DASHED VENT RANGE W/ MICROWAVE PREWIRED ABOVE VENT - INSTALL PER MFR. SPEC. COOKTOP W/ HOOD PREWIRED UNDER CABINET REFRIGERATOR SPACE WATER LINE - INSTALL PER MFR. SPEC. UNDER COUNTER REFRIGERATOR - OPT'L IF DASHED WR = WINE REFRIGERATOR DOUBLE OVEN W/ MICROWAVE ABV. - OPT'L IF DASHED DISHWASHER - PROVIDE APPROVED AIR GAP FITTING	
LAUNDRY	BATH	
WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT WASHER / DRYER STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED LAVATORY WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPEC'S PEDESTAL SINK WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPEC'S	
GARAGE		
OPT. TANKLESS WATER HEATER 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUTED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION SOFT WATER LOOP - OPT'L IF DASHED FREE STANDING UTILITY SINK - OPT'L IF DASHED	MECH. UNIT MECH. PLATFORM ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED 30x23 ATTIC SCUTTLE - LOCATED PER PLAN	
MECH. / PLUMB. / ELEC.	PRE-FAB SHOWER/TUB WITH ROD FOR SHOWER CURTAIN - SHOWER HEAD ROUGH-IN AT 82" AFF. UNO. - PROVIDE NONABSORBENT CEMENTITIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2 PRE-FAB SHOWER WITH TEMPERED GLASS DOOR - PROVIDE NONABSORBENT CEMENTITIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2 - OPT'L IF DASHED TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPEC'S STANDARD PRE-FAB SLIDE-IN TUB: A= 60", B= 42" AND C= 16" OPTIONAL GARDEN TUB DROP-IN - TUB DECK SIZE: A= 66", B= 46" AND C= 20" PROVIDE NONABSORBENT CEMENTITIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2 FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R307.2 & R102.4.2	
MISCELLANEOUS	GENERAL NOTES	
	<div>A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS REFERENCED TO WALL LEGEND BELOW UNO.</div> <div>B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.</div> <div>C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.</div> <div>D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.</div> <div>E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL</div> <div>F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.</div> <div>G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.</div> <div>H. 3'-0" CONC. SIDEWALK TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS.</div> <div>I. LITE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.</div>	
<div>NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.</div> <div>NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.</div>	WALL LEGEND 2X4 FRAMED WALL 2X6 FRAMED WALL 2X8 FRAMED WALL	

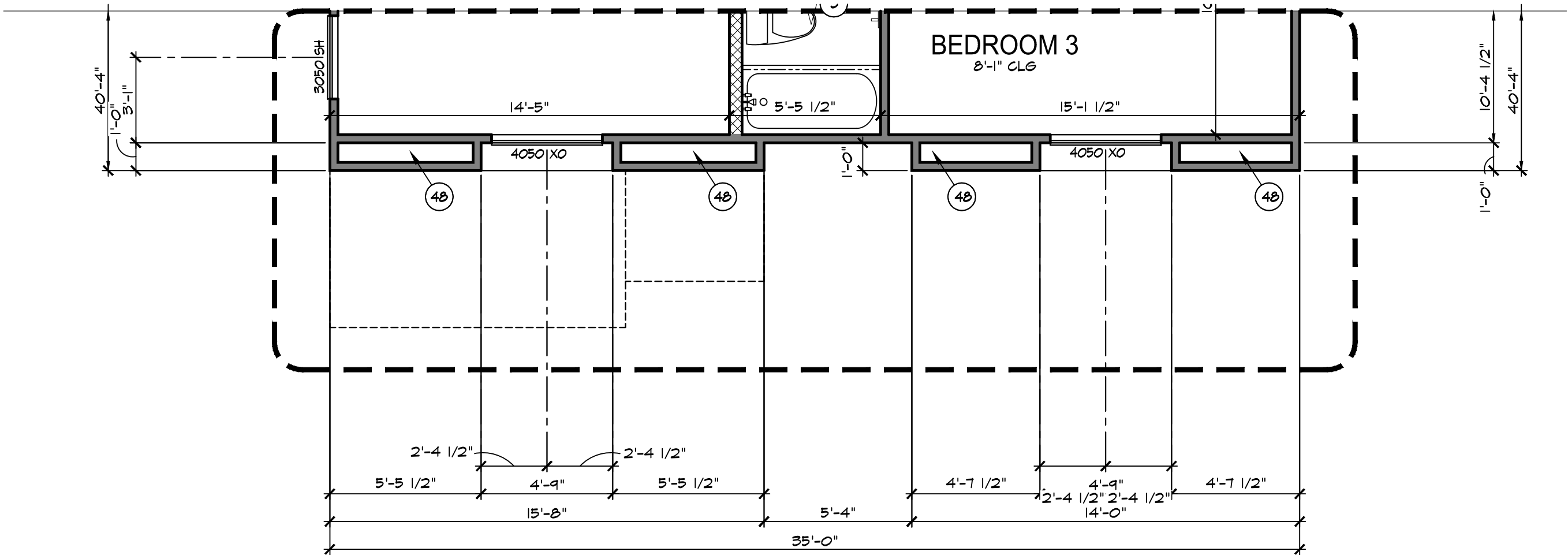


SECOND LEVEL NOTED FLOOR PLAN - (1298 SQ. FT. LIVABLE)

SCALE: 1/4" = 1'-0"

ELEVATION 'J'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" U.N.O.

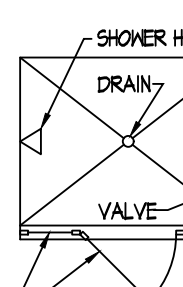









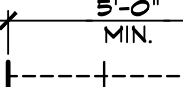
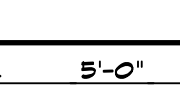
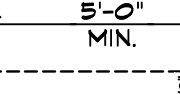















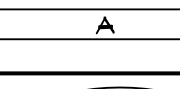







SECOND LEVEL NOTED FLOOR PLAN - (1298 SQ. FT. LIVABLE)

SCALE: 1/4" = 1'-0"

ELEVATION 'D'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" U.N.O.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	KITCHEN	
 STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SEE PER PLAN - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN VALVE - LOCATED PER PLAN TOILET PAPER HOLDER - OPT'L IF DASHED TOWEL HOOK - MOUNT AT +10" A.F.F. - OPT'L IF DASHED TOWEL RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED RECESSED MEDICINE CABINET - OPT'L IF DASHED	 DOUBLE SINK WITH DISPOSAL  SINGLE / VEGETABLE OR BAR SINK - OPT'L IF DASHED  RANGE W/ MICROWAVE PREWIRED ABOVE VENT - INSTALL PER MFR. SPEC. COOKTOP W/ HOOD PREWIRED UNDER CABINET  REFRIGERATOR SPACE WATER LINE - INSTALL PER MFR. SPEC.  UNDER COUNTER REFRIGERATOR - OPT'L IF DASHED WR. = WINE REFRIGERATOR  DOUBLE OVEN W/ MICROWAVE ABV. - OPT'L IF DASHED  DISHWASHER - PROVIDE APPROVED AIR GAP FITTING	1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND 2 UPPER CABINETS 3 LOWER CABINETS 4 OPTIONAL UPPER CABINETS 5 OPTIONAL LOWER CABINETS 6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS. 7 OPTIONAL BUILT-IN CABINET - PROVIDE DBL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN 8 TALL BOY CABINET - OPT'L IF DASHED 9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH 10 FACE FRAME CABINET - PER CABINET MANUFACTURER 11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED 12 VALET CABINETS - OPT'L IF DASHED 13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPT'L IF DASHED. 14 4 SHELVES - REFER TO DETAIL 19/D1.6 15 16" SHELF STANDARD - OPT'L UPPER CABINETS 16 SHELF - SIZE AS NOTED 17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6 18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6 19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6 20 STRUCTURED WIRE RECESSED BOX 21 DRY-OFF DECK 22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE 23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED 24 LOW WALL - HEIGHT AS NOTED (36" HIGH MIN.) - OPT'L IF INDICATED OPT'. REFER TO DETAILS 7/D1.7 AND 8/D1.7. 25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7 26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2ND SOLID BLOCKING EACH END, SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER 27 OPTIONAL RAILING I.L.O. LOW WALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7 28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 1'-11" AT SECOND FLOOR UNO. 29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER 30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION 31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'. 32 OPTIONAL GLASS LOW WALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. - REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS. 33 LINE OF CEILING CHANGE - HEIGHT PER PLAN 34 LINE OF FLOORING CHANGE 35 PROVIDE DRYER MAKEUP AIR. SEE DETAIL 16/D1.5 36 WASHER 37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP 38 SERVICE DOOR - OPT'L IF DASHED 39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED 40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITHIN 2" OF THRESHOLD 41 TWO 14"X 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY 42 EXTERIOR SOFFIT - REFER TO ELEVATIONS 43 1/2" EXTERIOR RATED, SAS RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1338 44 5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING 45 1/8" SLOPE PER 1'-0" 46 1/4" SLOPE PER 1'-0" 47 MECHANICAL CHASE 48 FIREBLOCK ALL VOIDS - TYP. 49 T&P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR 50 TEMPERED GLASS 51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES MER-582) 52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED 53 DIRECT VENT OR B-VENT GAS FIREPLACE. REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127. - OPT'L IF DASHED 54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET. 55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM 56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED 57 STONE / BRICK VENEER- REFER TO ELEVATIONS 58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS
LAUNDRY		
 WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" Ø HOLE IN WALL LEFT FOR DRYER VENT  STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" Ø HOLE IN WALL LEFT FOR DRYER VENT  LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	 WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED  URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED  LAVATORY WITH WALL MOUNTED MIRROR TO MATCH VANITY LENGTH - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPECS  PEDESTAL SINK WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPECS	
GARAGE		
 OPT. TANKLESS WATER HEATER - 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUTED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION  SOFT WATER LOOP - OPT'L IF DASHED  FREE STANDING UTILITY SINK - OPT'L IF DASHED	 WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUTED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION  SOFT WATER LOOP - OPT'L IF DASHED  FREE STANDING UTILITY SINK - OPT'L IF DASHED	
MECH. / PLUMB. / ELEC.		
 MECH. UNIT - MECHANICAL UNIT - LOCATE AND INSTALL PER MECHANICAL PLANS MECH. PLATFORM - MECHANICAL PLATFORM - 5'-0"x10'-0" PLATFORM IN ATTIC - LOCATE PER MECHANICAL PLANS  ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED  GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED  HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED	 PREFAB SHOWER/TUB WITH ROOF FOR SHOWER CURTAIN - SHOWER HEAD ROUGH-IN AT 82" AFF. UNO. - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2  PREFAB SHOWER WITH TEMPERED GLASS DOOR - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2  TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPECS. SHOWER HEAD ROUGH-IN AT 84" AFF. UNO.  STANDARD PREFAB SLOPE-IN TUB: As 60" Bx 42" AND As 66" Bx 46" OR 6x 20" OPTIONAL GARDEN TUB DROP-IN - TUB DECK SIZE: As 66" Bx 46" AND 6x 20" PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R307.2 & R102.4.2  FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R307.2 & R102.4.2	
MISCELLANEOUS		
 30"x22" ATTIC SCUTTLE - LOCATED PER PLAN		
GENERAL NOTES		
A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO. C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO. D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS. E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBS F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED. G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO. H. 3'-0" CONC. SIDEWALK TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS. I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.		
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.		
NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		
WALL LEGEND		
 2X4 FRAMED WALL  2X6 FRAMED WALL  2X8 FRAMED WALL		

SUBDIVISION

SOLARA
35' SERIES

SECOND LEVEL PARTIAL NOTED FLOOR PLAN

ELEVATIONS 'J' AND 'D'

DRAWN BY:
Outhouse

DATE: JAN 1, 2025

Rev. DATE:

1	-
2	-
3	-
4	-
5	-

PLAN#

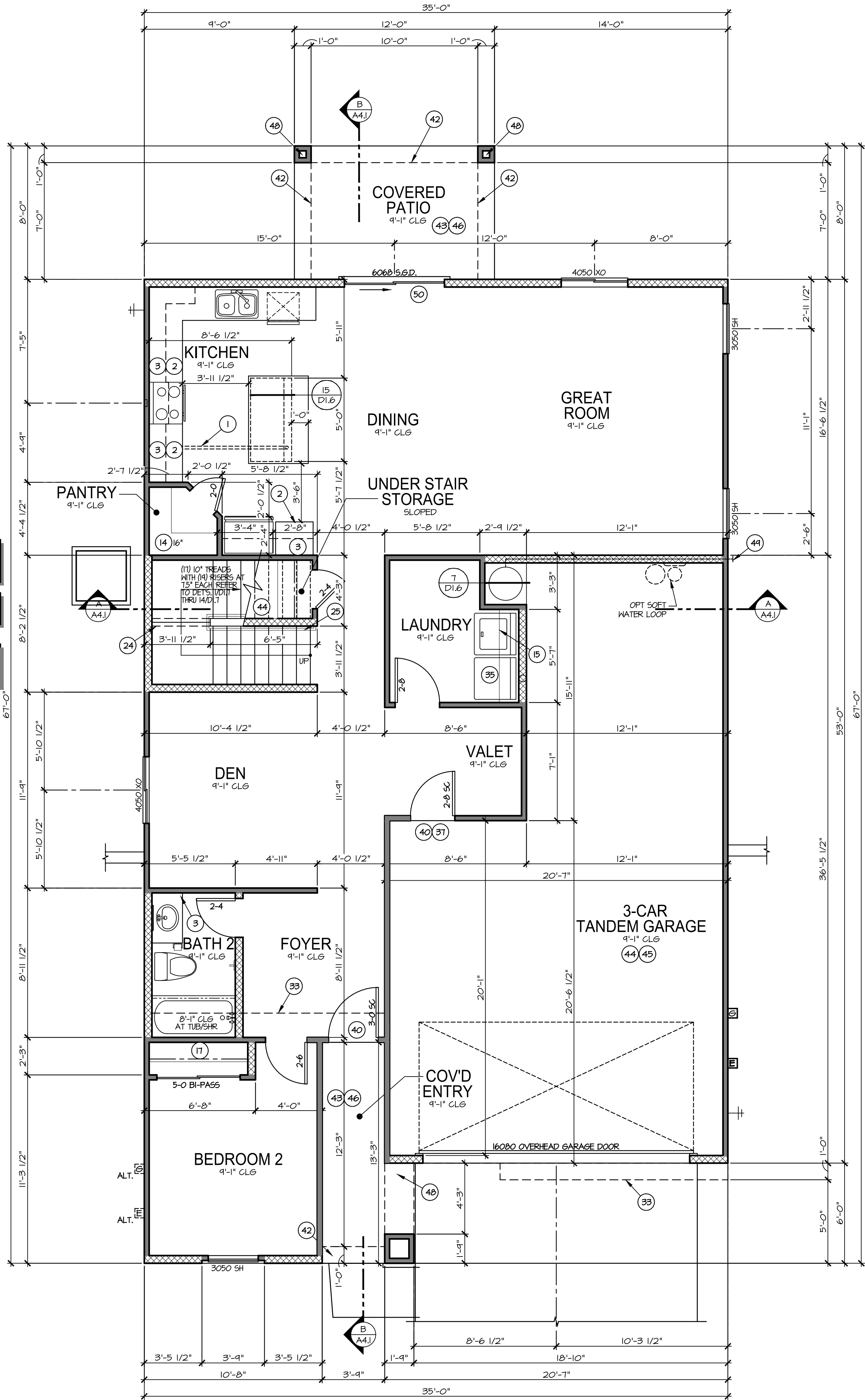
3540

SHEET No.

A1.4

Plotted by Outhouse on Jan 29, 2025 - 10:36am

PHO-1-25--Z-12-22-7

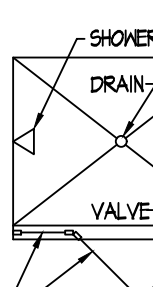
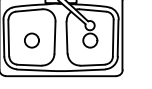

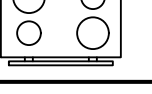
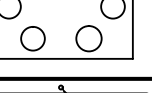








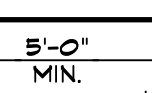
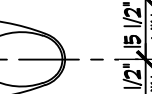




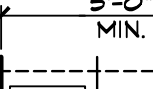
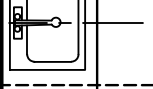

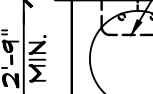
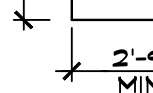
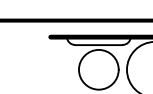
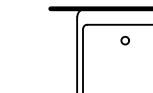

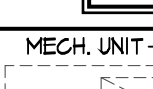
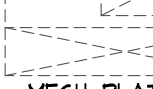

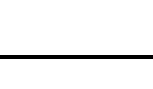
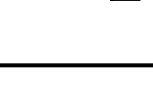
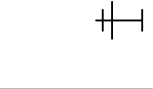





MAIN LEVEL NOTED FLOOR PLAN - (1284 SQ. FT. LIVABLE)

SCALE: 1/4" = 1'-0"

ELEVATION 'L'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	KITCHEN	1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND
		2 UPPER CABINETS
STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER		3 LOWER CABINETS
WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - 5/8" IPS PLAIN - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN. 1/2" ADV. DRAIN PER IRC R301.2 & R102.4.2.		4 OPTIONAL UPPER CABINETS
SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN		5 OPTIONAL LOWER CABINETS
VALVE - LOCATED PER PLAN		6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.
		7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN
TOILET PAPER HOLDER - OPT'L IF DASHED		8 TALL BOY CABINET - OPT'L IF DASHED
		9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH
TOILET RING - MOUNT AT +10" A.F.F. - OPT'L IF DASHED		10 FACE FRAME CABINET - PER CABINET MANUFACTURER
		11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED
RECESSED MEDICINE CABINET - OPT'L IF DASHED		12 VALET CABINETS - OPT'L IF DASHED
LAUNDRY		13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN, OPT'L IF DASHED.
		14 4 SHELVES - REFER TO DETAIL 14/D1.6
WASHER/DRYER SPACE - 4'-0" HOLE IN WALL LEFT FOR DRYER VENT		15 16" SHELF STANDARD - OPT'L UPPER CABINETS
		16 SHELF - SIZE AS NOTED
WASHER / DRYER		17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6
		18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6
STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE		19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6
EXHAUST - 4'-0" HOLE IN WALL LEFT FOR DRYER VENT		20 STRUCTURED WIRE RECESSED BOX
		21 DRY-OFF DECK
WASHER / DRYER		22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.
		23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED		24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT'; REFER TO DETAILS 7/D1.7 AND 8/D1.7.
		25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7
GARAGE		26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2X6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER
		27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7
WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL		28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.
		29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER
OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL		30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION
		31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.
PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION		32 OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. - REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.
		33 LINE OF CEILING CHANGE - HEIGHT PER PLAN
SOFT WATER LOOP - OPT'L IF DASHED		34 LINE OF FLOORING CHANGE
		35 PROVIDE DRYER MAKEUP AIR, SEE DETAIL 16/D1.5
FREE STANDING UTILITY SINK - OPT'L IF DASHED		36 WASHER
		37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP
MECH. UNIT		38 SERVICE DOOR - OPT'L IF DASHED
		39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED
MECH. PLATFORM		40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD
		41 TWO 14"X 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY
ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED		42 EXTERIOR SOFFIT - REFER TO ELEVATIONS
		43 1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938
GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED		44 5/8" TYP. 'X' GYP. BD. AT USABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING
		45 1/8" SLOPE PER 1'-0"
HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED		46 1/4" SLOPE PER 1'-0"
MISCELLANEOUS		47 MECHANICAL CHASE
		48 FIREBLOCK ALL VOIDS - TYP.
30x22 ATTIC SCUTTLE - LOCATED PER PLAN		49 T4P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR
		50 TEMPERED GLASS
GENERAL NOTES		51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES ESR-392)
A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS		52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED
B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.		53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127. - OPT'L IF DASHED
C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.		54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.
D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.		55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM
E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBS.		56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED
F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.		57 STONE / BRICK VENEER- REFER TO ELEVATIONS
G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.		58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS
H. 3'-0" CONC. SIDEWALKS TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS.		
I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.		
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.		
NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		
		WALL LEGEND
		 2X4 FRAMED WALL
		 2X6 FRAMED WALL
		 2X8 FRAMED WALL

SUBDIVISION

SOLARA
35' SERIES



MAIN LEVEL NOTED FLOOR PLAN
ELEVATION 'L'

DRAWN BY: Outhouse	
DATE: JAN 1, 2025	
Rev.	DATE:
1	-
2	-
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4	-
5	-

PLAN#
3550



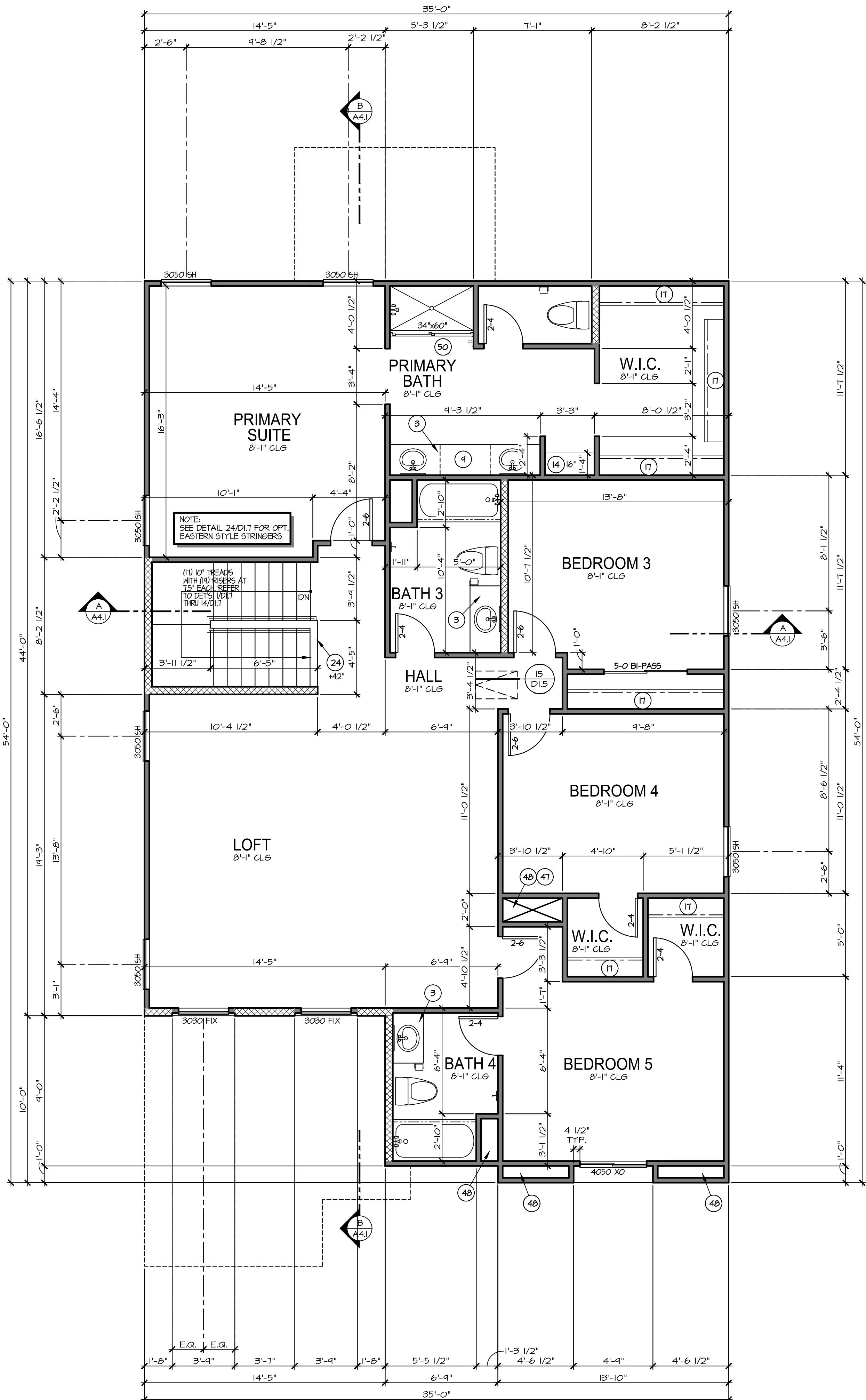
SHEET No.
A1.1

April 16, 2025

Proposed Conceptual Floor Plans

Plotted by Outhouse on Jan 29, 2025 - 10:36am

PHO-1-25--Z-12-22-7



SECOND LEVEL NOTED FLOOR PLAN - (1648 SQ. FT. LIVABLE)

SCALE: 1/4" = 1'-0"

ELEVATION 'L'

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)		KITCHEN
	STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SEE PER PLAN - PROVIDE NONABSORBENT CEMENTATION BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R307.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO - LOCATED PER PLAN VALVE - LOCATED PER PLAN	
	TOILET PAPER HOLDER - OPT'L IF DASHED	
	TOWEL HOOK - MOUNT AT 10" A.F.F. - OPT'L IF DASHED	
	TOWEL RING - MOUNT AT 40" A.F.F. - OPT'L IF DASHED	
	RECESSED MEDICINE CABINET - OPT'L IF DASHED	
	WASHER / DRYER	
	STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT	
	LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	
	WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUNDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION	
LAUNDRY		BATH
	WASHER / DRYER	
	STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT	
	LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	
	WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUNDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION	
	SOFT WATER LOOP - OPT'L IF DASHED	
	FREE STANDING UTILITY SINK - OPT'L IF DASHED	
MECH. / PLUMB. / ELEC.		
	MECH. UNIT	
	MECH. PLATFORM	
	ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	
	GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	
	HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED	
MISCELLANEOUS		GENERAL NOTES
	30x22 ATTIC SCUTTLE - LOCATED PER PLAN	
	FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R307.2 & R102.4.2	
	DIRECT VENT OR B-VENT GAS FIREPLACE - REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127 - OPT'L IF DASHED	
	FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.	
	6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM	
	MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED	
	STONE / BRICK VENEER - REFER TO ELEVATIONS	
	PROVIDE DEPRESSED SLAB FOR OPTIONAL PAVING	
	WASHER / DRYER	
GENERAL NOTES		WALL LEGEND
A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS REFERENCED TO WALL LEGEND BELOW UNO.		
B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.		
C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.		
D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.		
E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COCKS.		
F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.		
G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.		
H. 3'-0" CONC. SIDEWALKS TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK & ALL GARAGE EXTENSION OPTIONS.		
I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.		
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.		WALL LEGEND
NOTE: ALL OPTIONAL BELOW MULLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		
	2X4 FRAMED WALL	
	2X6 FRAMED WALL	
	2X8 FRAMED WALL	
	2X4 FRAMED WALL	
	2X6 FRAMED WALL	
	2X8 FRAMED WALL	
	2X4 FRAMED WALL	
	2X6 FRAMED WALL	

SUBDIVISION

SOLARA 35' SERIES

Outhouse
ONE SOUTH GLENN STREET
602.256.0429

SECOND LEVEL NOTED FLOOR PLAN

ELEVATION 'L'

DRAWN BY:
Outhouse

DATE: JAN 1, 2025

REV. DATE:

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4	-
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PLAN#

3550

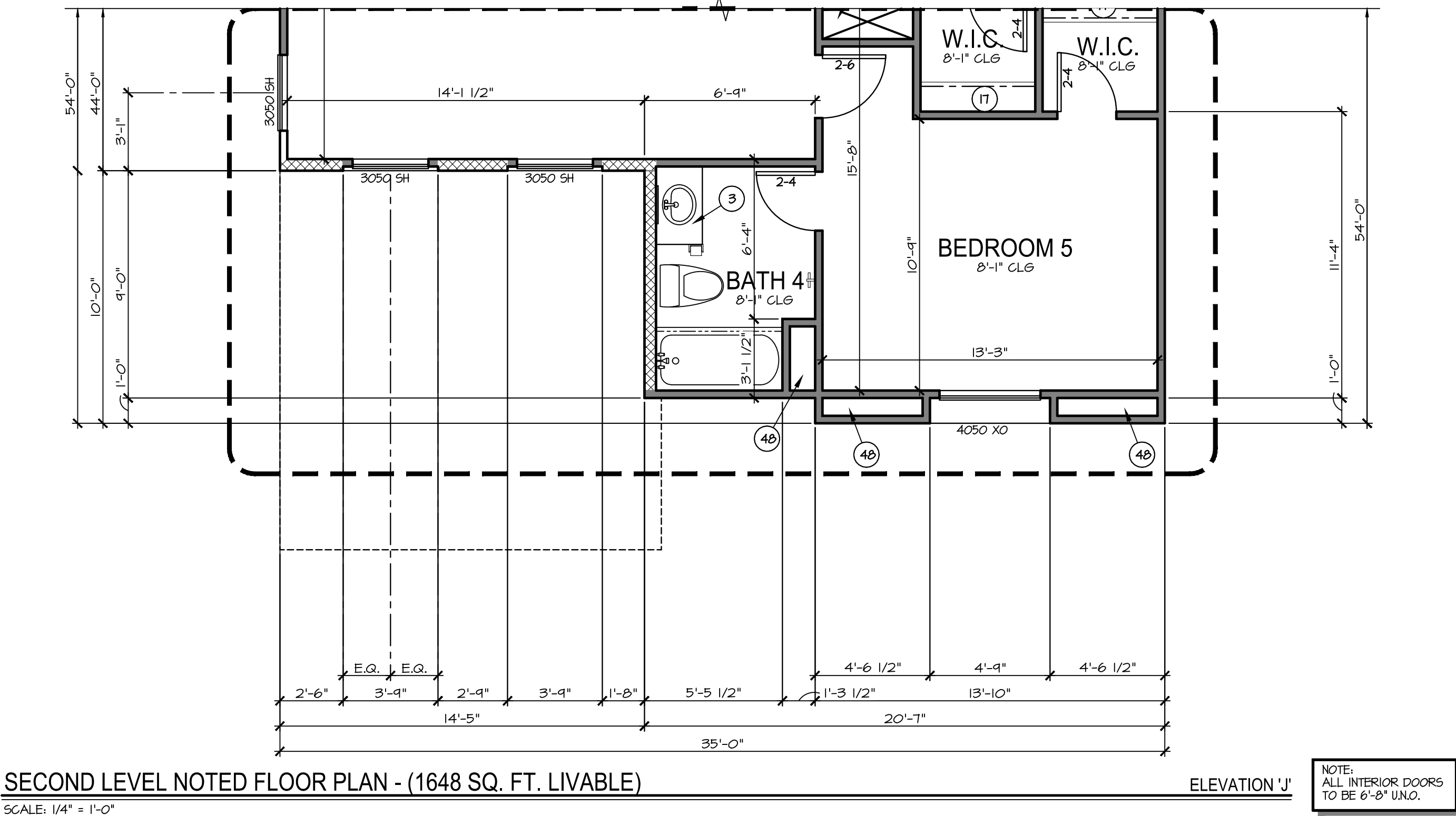
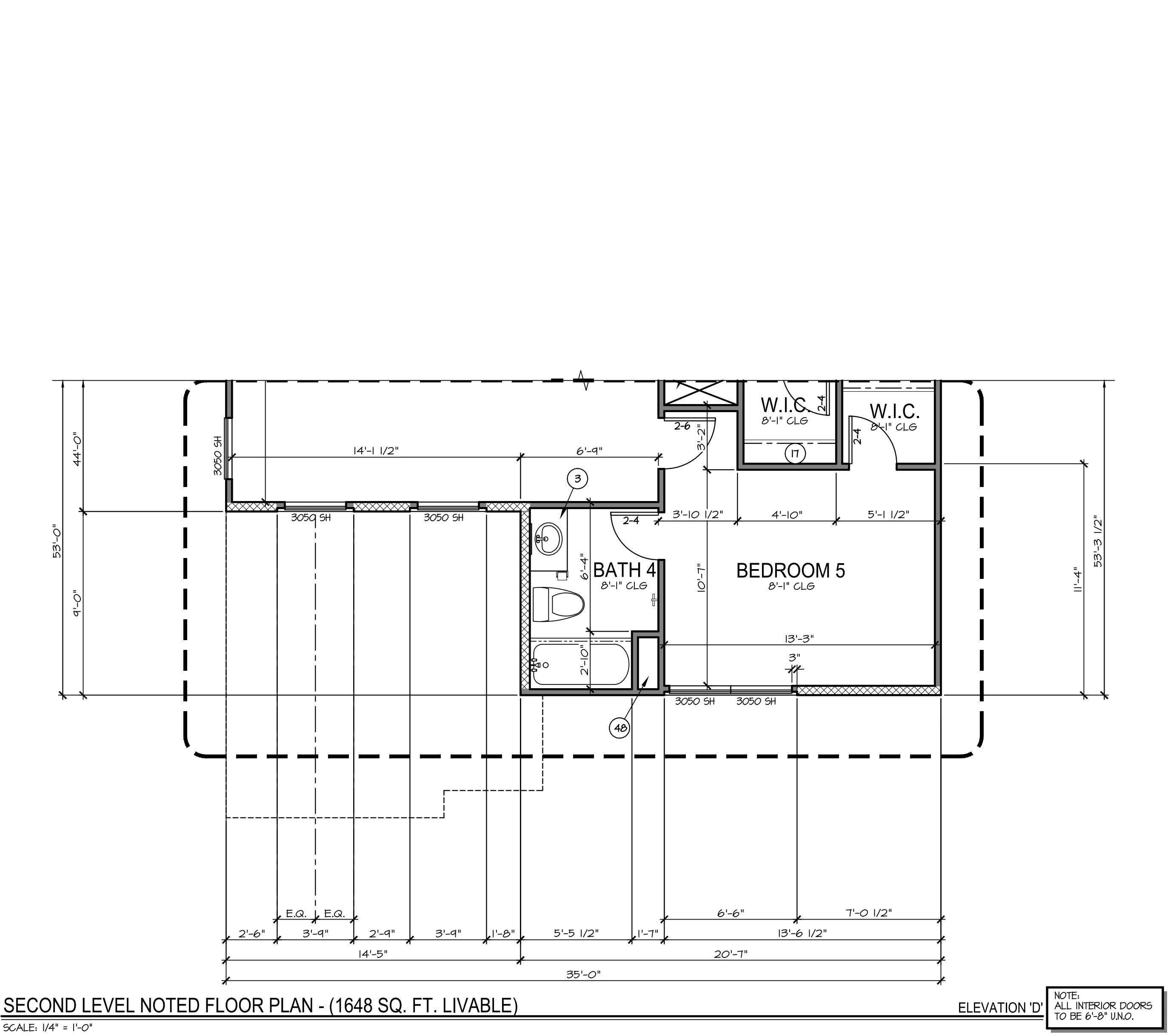
SHEET No.

A1.2

April 16, 2025

Plotted by Outhouse on Jan 29, 2025 - 10:36am

PHO-1-25--Z-12-22-7



FIXTURE / EQUIPMENT LEGEND		KEY NOTES	
BATH (CONT.)	KITCHEN	<div>1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND</div> <div>2 UPPER CABINETS</div> <div>3 LOWER CABINETS</div> <div>4 OPTIONAL UPPER CABINETS</div> <div>5 OPTIONAL LOWER CABINETS</div> <div>6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.</div> <div>7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN</div> <div>8 TALL BOY CABINET - OPT'L IF DASHED</div> <div>9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH</div> <div>10 FACE FRAME CABINET - PER CABINET MANUFACTURER</div> <div>11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED</div> <div>12 VALET CABINETS - OPT'L IF DASHED</div> <div>13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN, OPT'L IF DASHED.</div> <div>14 4 SHELVES - REFER TO DETAIL 14/D1.6</div> <div>15 16" SHELF STANDARD - OPT'L UPPER CABINETS</div> <div>16 SHELF - SIZE AS NOTED</div> <div>17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6</div> <div>18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6</div> <div>19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6</div> <div>20 STRUCTURED WIRE RECESSED BOX</div> <div>21 DRY-OFF DECK</div> <div>22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.</div> <div>23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED</div> <div>24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT'. REFER TO DETAILS 7/D1.7 AND 8/D1.7.</div> <div>25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7</div> <div>26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END, SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER</div> <div>27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7</div> <div>28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.</div> <div>29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.</div> <div>30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION</div> <div>31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.</div> <div>32 OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. - REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.</div> <div>33 LINE OF CEILING CHANGE - HEIGHT PER PLAN</div> <div>34 LINE OF FLOORING CHANGE</div> <div>35 PROVIDE DRYER MAKEUP AIR, SEE DETAIL 16/D1.5</div> <div>36 WASHER</div> <div>37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP</div> <div>38 SERVICE DOOR - OPT'L IF DASHED</div> <div>39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED</div> <div>40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD</div> <div>41 TWO 14"x 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY</div> <div>42 EXTERIOR SOFFIT - REFER TO ELEVATIONS</div> <div>43 1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938</div> <div>44 5/8" TYP. 'X' GYP. BD. AT USABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING</div> <div>45 1/8" SLOPE PER 1'-0"</div> <div>46 1/4" SLOPE PER 1'-0"</div> <div>47 MECHANICAL CHASE</div> <div>48 FIREBLOCK ALL VOIDS - TYP.</div> <div>49 T4P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR</div> <div>50 TEMPERED GLASS</div> <div>51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES ESR-392)</div> <div>52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED</div> <div>53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 121 - OPT'L IF DASHED</div> <div>54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.</div> <div>55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM</div> <div>56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED</div> <div>57 STONE / BRICK VENEER- REFER TO ELEVATIONS</div> <div>58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS</div>	
<div> SHOWER HEAD DRAIN VALVE TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPEC'S</div> <div>STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R501.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN VALVE - LOCATED PER PLAN TOILET PAPER HOLDER - OPT'L IF DASHED TOWEL HOOK - MOUNT AT 10" A.F.F. - OPT'L IF DASHED TOWEL RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED RECESSED MEDICINE CABINET - OPT'L IF DASHED</div> <div>(SEE COMMUNITY SPECS TO VERIFY QUANTITY)</div> <div></div> <div></div> <div></div>	<div> DOUBLE SINK WITH DISPOSAL</div> <div> SINGLE / VEGETABLE OR BAR SINK - OPT'L IF DASHED</div> <div> RANGE W/ MICROWAVE PREWIRED ABOVE VENT - INSTALL PER MFR. SPEC.</div> <div> COOKTOP W/ HOOD PREWIRED UNDER CABINET</div> <div> REFRIGERATOR SPACE WATER LINE - INSTALL PER MFR. SPEC.</div> <div> UNDER COUNTER REFRIGERATOR - OPT'L IF DASHED WR. = WINE REFRIGERATOR</div> <div> DOUBLE OVEN W/ MICROWAVE ABV. - OPT'L IF DASHED</div> <div> DISHWASHER - PROVIDE APPROVED AIR GAP FITTING</div>		
LAUNDRY	BATH		
<div> EXHAUST WASHER DRYER</div> <div>WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" Ø HOLE IN WALL LEFT FOR DRYER VENT</div> <div> EXHAUST WASHER / DRYER</div> <div>STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" Ø HOLE IN WALL LEFT FOR DRYER VENT</div> <div> 5'-0" MIN. 2'-0" MIN. 1'-0" MIN.</div> <div>LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div>	<div> 5'-0" MIN. 2'-0" MIN. 1'-0" MIN.</div> <div>WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div> <div> 5'-0" MIN. 2'-0" MIN. 1'-0" MIN.</div> <div>URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED</div> <div> 5'-0" MIN. 2'-0" MIN. 1'-0" MIN.</div> <div>LAVATORY WITH WALL MOUNTED MIRROR TO MATCH VANITY LENGTH - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPEC'S</div> <div> 5'-0" MIN. 2'-0" MIN. 1'-0" MIN.</div> <div>PEDESTAL SINK WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED MIRROR - HEIGHT PER BUILDER SPEC'S</div>		
GARAGE			
<div> 18" MIN. 2'-4" MIN.</div> <div>WATER HEATER ON PLATFORM 18" A.F.F. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUTED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION SOFT WATER LOOP - OPT'L IF DASHED FREE STANDING UTILITY SINK - OPT'L IF DASHED</div>			
MECH. / PLUMB. / ELEC.			
<div> MECH. UNIT MECH. PLATFORM</div> <div>42"x42" (UNO) A/C PAD - HOLD AHEAD FROM EXTERIOR DOOR LOCATION IF DASHED MECHANICAL UNIT - LOCATE AND INSTALL PER MECHANICAL PLANS MECHANICAL PLATFORM - 5'-0"x10'-0" PLATFORM IN ATTIC - LOCATE PER MECHANICAL PLANS ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED</div>	<div> DRAIN SHOWER HEAD - TUB FAUCET BELOW</div> <div> DRAIN SHOWER HEAD TEMP. GLASS DOOR AND SURROUND - HEIGHT PER BUILDER SPEC'S</div> <div> STANDARD PREFAB SHOWER/TUB WITH ROD FOR SHOWER CURTAIN - SHOWER HEAD ROUGH-IN AT 82" AFF. UNO. - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R501.2 & R102.4.2 PRE-FAB SHOWER WITH TEMPERED GLASS DOOR - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 12" ABV. DRAIN PER IRC R501.2 & R102.4.2 - OPT'L IF DASHED SHOWER HEAD ROUGH-IN AT 84" AFF. UNO.</div>		
MISCELLANEOUS			
<div></div> <div>30x42 ATTIC SCUTTLE - LOCATED PER PLAN</div>	<div></div> <div>FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R501.2 & R102.4.2</div>		
GENERAL NOTES			
<div>A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS REFERENCED TO WALL LEGEND BELOW UNO.</div> <div>B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.</div> <div>C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.</div> <div>D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.</div> <div>E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBS.</div> <div>F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.</div> <div>G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.</div> <div>H. 3'-0" CONC. SIDEWALKS TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS.</div> <div>I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.</div>			
<div>NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.</div>			
<div>NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.</div>			
WALL LEGEND			
<div> 2X4 FRAMED WALL</div> <div> 2X6 FRAMED WALL</div> <div> 2X8 FRAMED WALL</div>			

SUBDIVISION

SOLARA 35' SERIES

SECOND LEVEL PARTIAL NOTED FLOOR PLAN

ELEVATIONS 'D' AND 'J'

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

Rev. DATE:

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2	-
3	-
4	-
5	-

PLAN#

3550

SHEET No.

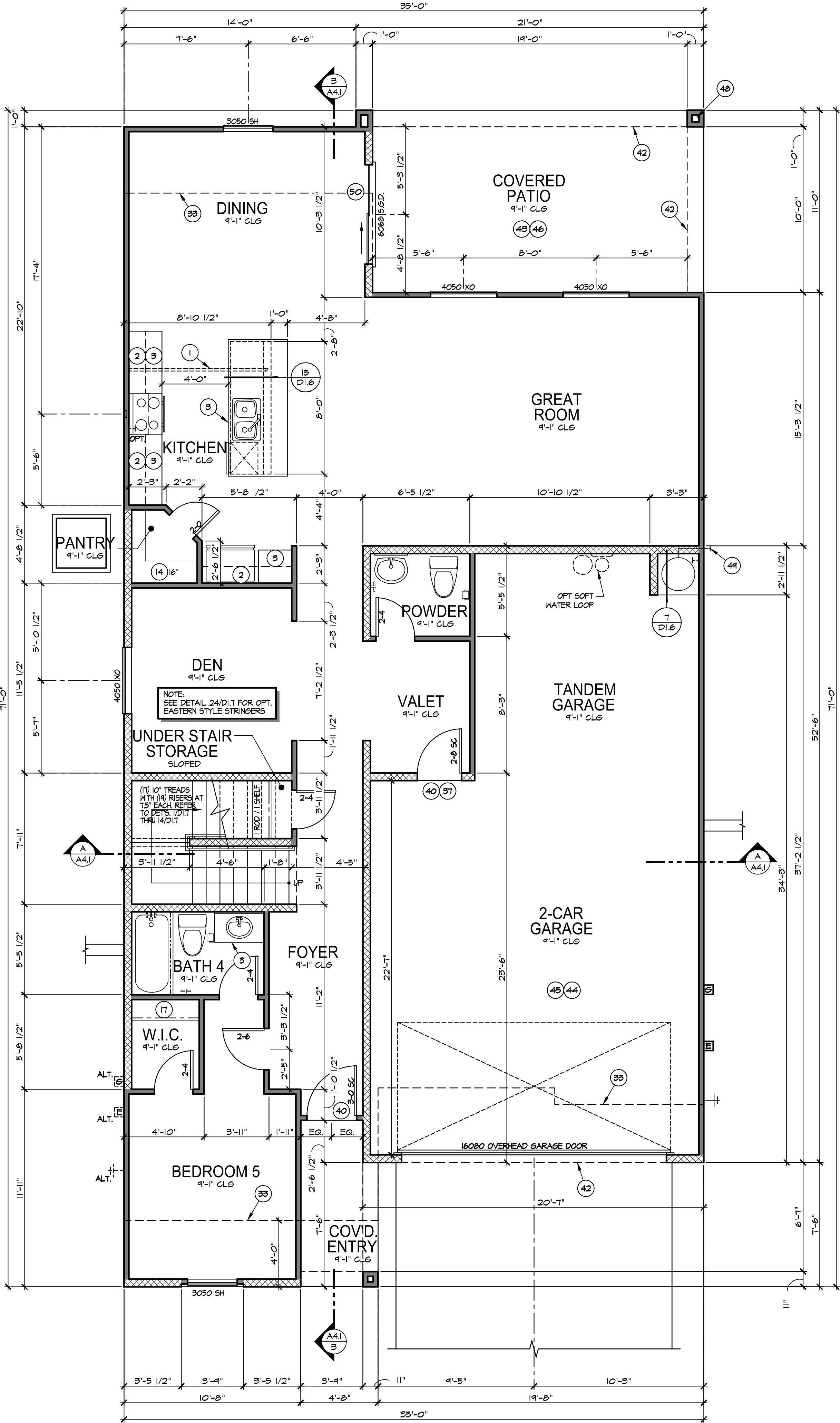
A1.4

April 16, 2025

Proposed Conceptual Floor Plans

Plotted by Outhouse on Jan 29, 2025 - 10:37am

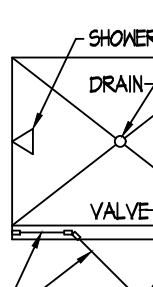
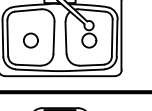

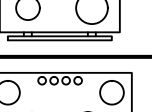



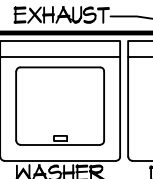
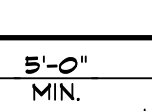
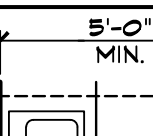
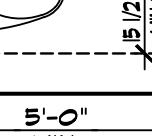
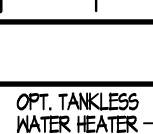
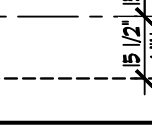
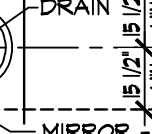
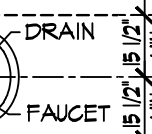
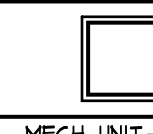
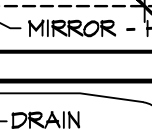


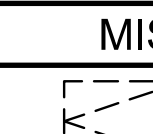
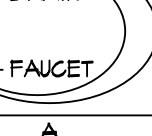
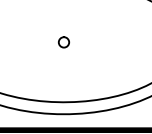



PHO-1-25--Z-12-22-7



MAIN LEVEL NOTED FLOOR PLAN - (1403 SQ. FT. TOTAL LIVABLE)
SCALE: 1/4" = 1'-0"

ELEVATION 'L'
SCALE: 1/4" = 1'-0"

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	KITCHEN	1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND
		2 UPPER CABINETS
STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER	DOUBLE SINK WITH DISPOSAL	3 LOWER CABINETS
WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT TO DRAIN - 5/8" IPS PLAIN - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN 1/2" ABV. DRAIN PER IRC R301.2 & R102.4.2.		4 OPTIONAL UPPER CABINETS
SHOWER HEAD ROUGH-IN AT 84" AFF. UNO. - LOCATED PER PLAN	VENT - INSTALL PER MFR. SPEC.	5 OPTIONAL LOWER CABINETS
VALVE - LOCATED PER PLAN		6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS.
TOILET PAPER HOLDER - OPT'L IF DASHED	COOKTOP W/ HOOD PREWIRED UNDER CABINET	7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL, 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN
TOILET HOOK - MOUNT AT +10" A.F.F. - OPT'L IF DASHED		8 TALL BOY CABINET - OPT'L IF DASHED
TOILET RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED	REFRIGERATOR SPACE WATER LINE - INSTALL PER MFR. SPEC.	9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH
RECESSED MEDICINE CABINET - OPT'L IF DASHED		10 FACE FRAME CABINET - PER CABINET MANUFACTURER
	WR = WINE REFRIGERATOR	11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED
LAUNDRY		12 VALET CABINETS - OPT'L IF DASHED
	DOUBLE OVEN W/ MICROWAVE ABV. - OPT'L IF DASHED	13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN, OPT'L IF DASHED.
WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT	DISHWASHER - PROVIDE APPROVED AIR GAP FITTING	14 4 SHELVES - REFER TO DETAIL 14/D1.6
STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT		15 16" SHELF STANDARD - OPT'L UPPER CABINETS
WASHER / DRYER	BATH	16 SHELF - SIZE AS NOTED
	5'-0" MIN.	17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6
LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED		18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6
	WATER CLOSET - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6
GARAGE	5'-0" MIN.	20 STRUCTURED WIRE RECESSED BOX
OPT. TANKLESS WATER HEATER 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL		21 DRY-OFF DECK
OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL	URINAL - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE, NO LEDGE.
PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUTED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION		23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L IF DASHED
SOFT WATER LOOP - OPT'L IF DASHED	5'-0" MIN.	24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT' REFER TO DETAILS 7/D1.7 AND 8/D1.7.
FREE STANDING UTILITY SINK - OPT'L IF DASHED		25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7
MECH. / PLUMB. / ELEC.	MIRROR - HEIGHT PER BUILDER SPEC'S	26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER
	5'-0" MIN.	27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7
MECH. UNIT - LOCATE AND INSTALL PER MECHANICAL PLANS		28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO.
MECH. PLATFORM	PEDESTAL SINK WITH WALL MOUNTED 24"x36" OVAL MIRROR - OPT'L IF DASHED	29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER.
ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	5'-0" MIN.	30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION
GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED		31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'.
HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED	MIRROR - HEIGHT PER BUILDER SPEC'S	32 OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. - REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS.
MISCELLANEOUS		33 LINE OF CEILING CHANGE - HEIGHT PER PLAN
	PRE-FAB SHOWER/TUB WITH ROD FOR SHOWER CURTAIN - SHOWER HEAD ROUGH-IN AT 82" AFF. UNO - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 1/2" ABV. DRAIN PER IRC R301.2 & R102.4.2.	34 LINE OF FLOORING CHANGE
30x22 ATTIC SCUTTLE - LOCATED PER PLAN	PRE-FAB SHOWER WITH TEMPERED GLASS DOOR - PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 1/2" ABV. DRAIN PER IRC R301.2 & R102.4.2 - OPT'L IF DASHED	35 PROVIDE DRYER MAKEUP AIR SEE DETAIL 16/D1.5
	SHOWER HEAD ROUGH-IN AT 84" AFF. UNO.	36 WASHER
		37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP
	STANDARD PRE-FAB SLIDE-IN TUB: A= 60" B= 42" and C= 16" OPTIONAL GARDEN TUB DROP-IN - TUB DECK SIZE: A= 66" B= 46" and C= 20" PROVIDE NONABSORBENT CEMENTATIONOUS BACKER PANELS ON WALLS MIN. 1/2" ABV. DRAIN PER IRC R301.2 & R102.4.2.	38 SERVICE DOOR - OPT'L IF DASHED
		39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED
	FREESTANDING TUB - REFER TO PURCHASING SPEC. FOR MODEL - DRAIN PER IRC R301.2 & R102.4.2.	40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD
		41 TWO 14"x 8" HIGH/LOW VENTS AT +4" ABOVE STEM AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY
		42 EXTERIOR SOFFIT - REFER TO ELEVATIONS
		43 1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938
		44 5/8" TYP. 'X' GYP. BD. AT USABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING
		45 1/8" SLOPE PER 1'-0"
		46 1/4" SLOPE PER 1'-0"
		47 MECHANICAL CHASE
		48 FIREBLOCK ALL VOIDS - TYP.
		49 T&P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR
		50 TEMPERED GLASS
		51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES ESR-392)
		52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED
		53 DIRECT VENT OR B-VENT GAS FIREPLACE, REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 127 - OPT'L IF DASHED
		54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NO MORE THAN 12 INCHES FROM GAS OUTLET.
		55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM
		56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED
		57 STONE / BRICK VENEER- REFER TO ELEVATIONS
		58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS
GENERAL NOTES		
A. WALL DIMENSIONS TO BE 3 1/2" FOR 2X4 STUD WALLS OR 5 1/2" FOR 2X6 STUD WALLS REFERENCED TO WALL LEGEND BELOW UNO.		
B. HEADER HEIGHTS AT ALL FIRST LEVEL WINDOWS TO BE 8'-0" UNO.		
C. HEADER HEIGHTS AT ALL SECOND LEVEL WINDOWS TO BE 7'-0" UNO.		
D. GLASS IN HAZARDOUS AREAS AND ALL GLASS 18" OR UNDER FIN. FLR. AND WITHIN 24" OF ANY EXTERIOR DOOR SHALL BE TEMPERED SAFETY GLASS.		
E. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBS.		
F. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.		
G. ALL INTERIOR DOORS TO BE HOLLOW CORE UNO.		
H. 3'-0" CONC. SIDEWALKS TO REMAIN A MINIMUM 1'-0" FROM GARAGE CORNER TO EDGE OF SIDEWALK @ ALL GARAGE EXTENSION OPTIONS.		
I. GATE AND HARDWARE IN THE EXIT SYSTEM TO PUBLIC WAY SHALL BE INSTALLED PRIOR TO FINAL INSPECTION AND IN COMPLIANCE WITH IRC.		
NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.		
NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.		
		WALL LEGEND
		 2X4 FRAMED WALL
		 2X6 FRAMED WALL
		 2X8 FRAMED WALL

SUBDIVISION

SOLARA
35' SERIES

OUTHOUSE

ONE SOURCE, ONE SOLUTION
602.256.0429

MAIN LEVEL NOTED FLOOR PLAN

ELEVATION 'L'

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

Rev. DATE:

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PLAN#

3560

SHEET No.

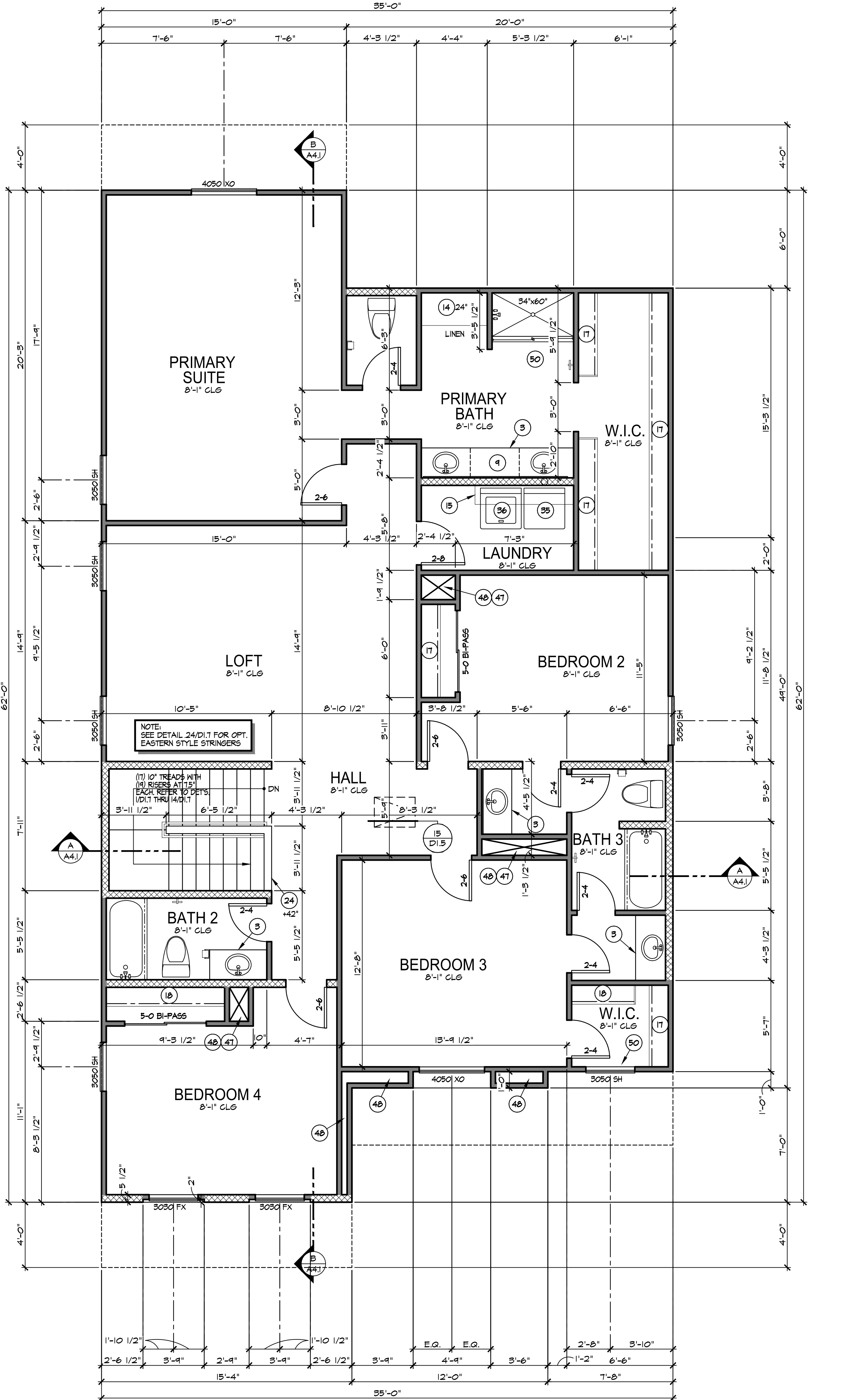
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April 16, 2025

Proposed Conceptual Floor Plans

Plotted by Outhouse on Jan 29, 2025 - 10:37am

PHO-1-25--Z-12-22-7



SECOND LEVEL NOTED FLOOR PLAN - (1815 SQ. FT. TOTAL LIVABLE)

SCALE: 1/4" = 1'-0"

ELEVATION 'L'

SCALE: 1/4" = 1'-0"

NOTE:
ALL INTERIOR DOORS
TO BE 6'-8" UNO.

FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN 12" ABV. DRAIN PER IRC R307.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO - LOCATED PER PLAN VALVE - LOCATED PER PLAN	KITCHEN
	TOILET PAPER HOLDER - OPT'L IF DASHED	
	TOWEL HOOK - MOUNT AT 10" A.F.F. - OPT'L IF DASHED	
	TOWEL RING - MOUNT AT 40" A.F.F. - OPT'L IF DASHED	
	RECESSED MEDICINE CABINET - OPT'L IF DASHED	
LAUNDRY	WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" Ø HOLE IN WALL LEFT FOR DRYER VENT	BATH
	STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" Ø HOLE IN WALL LEFT FOR DRYER VENT	
	LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	
	OPT. TANKLESS WATER HEATER - 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUDED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION	
	SOFT WATER LOOP - OPT'L IF DASHED	
GARAGE	FREE STANDING UTILITY SINK - OPT'L IF DASHED	MECH. / PLUMB. / ELEC.
	MECHANICAL UNIT - LOCATE AND INSTALL PER MECHANICAL PLANS MECHANICAL PLATFORM - 8'-0"x10'-0" PLATFORM IN ATTIC - LOCATE PER MECHANICAL PLANS	
	ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	
	GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED	
	HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED	
MISCELLANEOUS	30x22 ATTIC SCUTTLE - LOCATED PER PLAN	GENERAL NOTES
	NOTE: ROUGH FRAMING AT ALL DOOR JAMBS TO BE A MINIMUM OF 4" TYPICAL UNO.	
	NOTE: ALL OPTIONAL BELOW MILLED WINDOWS ARE TO BE PROVIDED WITH TEMPERED GLAZING PER CODE REQUIREMENTS.	
		WALL LEGEND

SUBDIVISION

SOLARA
35' SERIES

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SECOND LEVEL NOTED FLOOR PLAN

ELEVATION 'L'

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

REV. DATE:

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PLAN#

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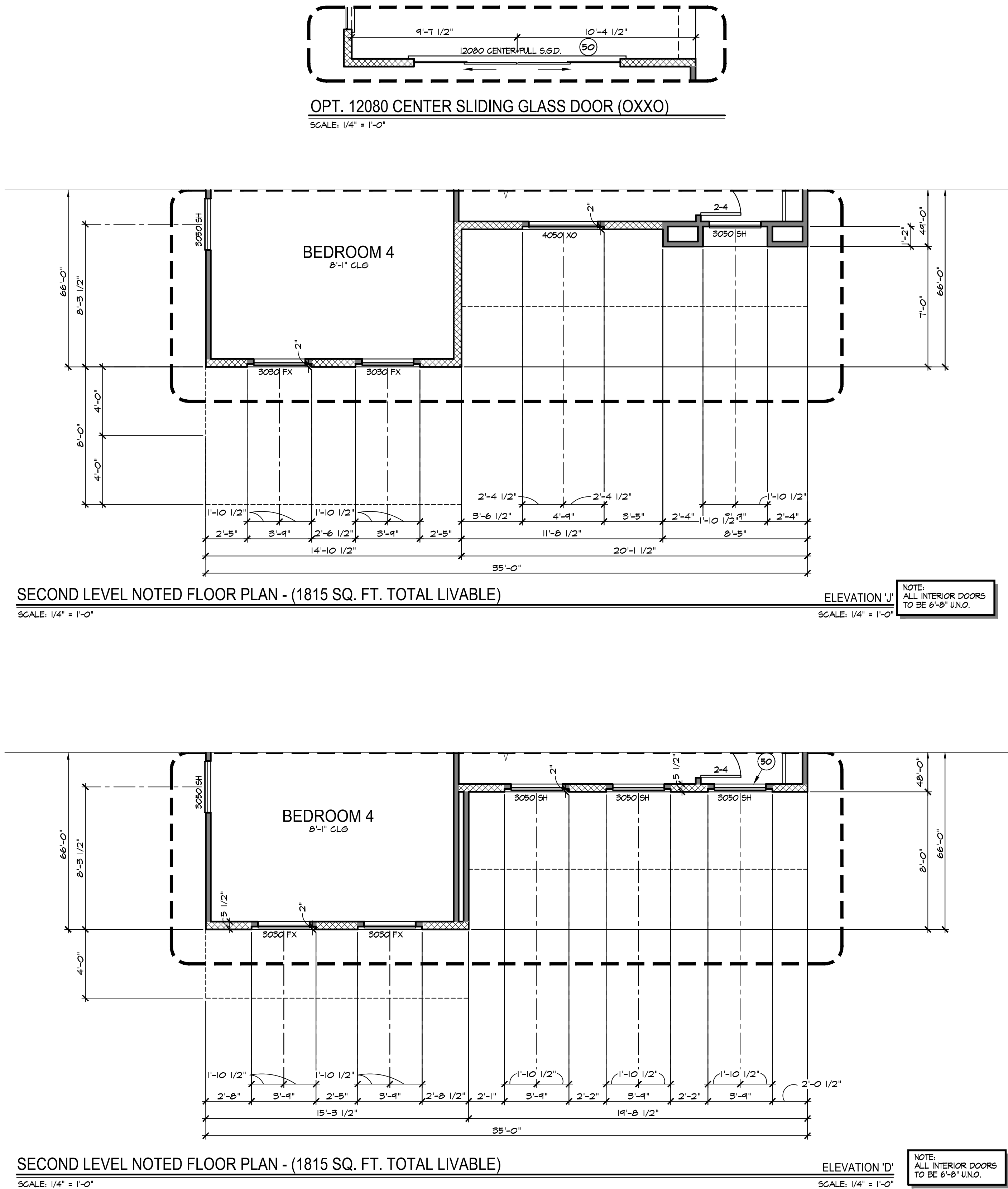
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April 16, 2025

Proposed Conceptual Floor Plans

Plotted by Outhouse on Jan 29, 2025 - 10:37am



FIXTURE / EQUIPMENT LEGEND		KEY NOTES
BATH (CONT.)	STANDARD - PREFAB SHOWER PAN W/ CULTURED MARBLE SURROUND OPTIONAL - CUSTOM TILED SHOWER WITH TEMPERED GLASS SURROUND AND DOOR - SLOPE FLOOR 1/4" PER FT. TO DRAIN - SIZE PER PLAN - PROVIDE NONABSORBENT CEMENTIOUS BACKER PANELS ON WALLS MIN 12" ADV. DRAIN PER IRC R501.2 & R102.4.2 SHOWER HEAD ROUGH-IN AT 84" AFF. UNO - LOCATED PER PLAN VALVE - LOCATED PER PLAN	1 CONDUIT UNDER SLAB FOR ELECTRICAL TO ISLAND 2 UPPER CABINETS 3 LOWER CABINETS 4 OPTIONAL UPPER CABINETS 5 OPTIONAL LOWER CABINETS 6 OPTIONAL BUILT-IN CABINET - PROVIDE DROPPED SOFFIT, TIGHT AND FLUSH WITH TOP OF UPPER CABINETS. 7 OPTIONAL BUILT-IN CABINET - PROVIDE DEL. 2X4 KING WALL 24" DP, AS INDICATED ON PLANS, TIGHT AND FLUSH WITH END CABINET RUN 8 TALL BOY CABINET - OPT'L IF DASHED 9 KNEE SPACE BELOW COUNTER TOP - MINIMUM OF 3'-0" CLEAR WIDTH 10 FACE FRAME CABINET - PER CABINET MANUFACTURER 11 STORAGE BENCH WITH HOOKS ABOVE - OPT'L IF DASHED 12 VALET CABINETS - OPT'L IF DASHED 13 SEAT/BENCH - HEIGHT AS NOTED - AT SHOWER, SLOPE TO DRAIN. OPT'L IF DASHED. 14 4 SHELVES - REFER TO DETAIL 14/D1.6 15 16" SHELF STANDARD - OPT'L UPPER CABINETS 16 SHELF - SIZE AS NOTED 17 ONE ROD / ONE SHELF - REFER TO DET. 12/D1.6 18 TWO RODS / TWO SHELVES - REFER TO DET. 12/D1.6 19 5 SHELF SHOE RACK - REFER TO DET. 16/D1.6 20 STRUCTURED WIRE RECESSED BOX 21 DRY-OFF DECK 22 GLASS PANEL TO SIT ON TOP OF TUB DECK AND FLUSH W/ INNER EDGE. NO LEDGE. 23 18" X 18" ACCESS PANEL LOCATION FOR JACUZZI TUB - OPT'L. IF DASHED 24 LOW HALL - HEIGHT AS NOTED (36" HIGH MIN) - OPT'L IF INDICATED OPT'. REFER TO DETAILS 7/D1.7 AND 8/D1.7. 25 HANDRAIL/GUARDRAIL - GUARDRAIL 36" MIN. REFER TO DETAILS 7/D1.7 THROUGH 12/D1.7 26 WROUGHT IRON RAILING - PROVIDE VERTICAL 2x6 SOLID BLOCKING EACH END SET BACK 1 3/4" FROM FACE OF COLUMN OR CORNER 27 OPTIONAL RAILING I.L.O. LOW HALL - 36" HIGH MIN. - REFER TO DETAILS 11/D1.7 AND 12/D1.7 28 FLAT SOFFIT - 8'-1" AT FIRST FLOOR UNO, 7'-1" AT SECOND FLOOR UNO. 29 PROVIDE OPTION FOR DOUBLE REFRIG. I.L.O. STANDARD REFRIG. SHOWN - COORDINATE ALT. CABINET CONFIGURATION W/ CABINET MANUFACTURER. 30 OPTION FOR UNDER COUNTER REFRIG. OR FULL SIZE REFRIG. I.L.O. SHELVING IN THIS LOCATION 31 TRAY CEILING - HEIGHT PER PLAN - OPT'L IF INDICATED OPT'. 32 OPTIONAL GLASS LOW HALL WITH GUARDRAIL AND TEMPERED GLASS AT 36" AFF. MIN. REFER TO STRUCTURAL AND GUARDRAIL CONTRACTOR DRAWINGS FOR DETAILS. 33 LINE OF CEILING CHANGE - HEIGHT PER PLAN 34 LINE OF FLOORING CHANGE 35 PROVIDE DRYER MAKEUP AIR SEE DETAIL 16/D1.5 36 WASHER 37 1-3/4" SOLID CORE DOOR, TIGHT FITTING, SELF-CLOSING, SELF-LATCHING WITH GASKETS AND SWEEP 38 SERVICE DOOR - OPT'L IF DASHED 39 CONCRETE STOOP MIN. WIDTH OF DOOR OPENING PLUS 2" ON EACH SIDE AND 36" DEEP UNO. - OPT'L IF DASHED 40 THE FINISH CONCRETE AT EXTERIOR SIDE OF DOOR MUST BE WITH-IN 2" OF THRESHOLD 41 TWO 14"x 8" HIGH/LOW VENTS AT +4" ABOVE STEY AND -4" BELOW CEILING @ GAS COMMUNITIES ONLY 42 EXTERIOR SOFFIT - REFER TO ELEVATIONS 43 1/2" EXTERIOR RATED, SAG RESISTENT GYP. BD. AT PATIO/PORCH CEILING ICC ESR-1938 44 5/8" TYP. 'X' GYP. BD. AT USEABLE AREAS UNDER STAIRS, BEARING WALLS, AND GARAGE WALLS/CEILING 45 1/8" SLOPE PER 1'-0" 46 1/4" SLOPE PER 1'-0" 47 MECHANICAL CHASE 48 FIREBLOCK ALL VOIDS - TYP. 49 T&P RELIEF VALVE AT +6" MAX ABOVE FLOOR OR WASTE RECEPTOR 50 TEMPERED GLASS 51 SLOPE SHELF FOR POSITIVE DRAINAGE - PROVIDE THERMOPLASTIC WATER-PROOFING MEMBRANE OR EQUAL UNDER STUCCO (UES 4ER-392) 52 GAS SHUT OFF VALVE @ GAS COMMUNITIES ONLY. - OPT'L IF DASHED 53 DIRECT VENT OR B-VENT GAS FIREPLACE. REFER TO SHEET A4.2 - SHALL BE TESTED IN ACCORDANCE WITH UL 121 - OPT'L IF DASHED 54 FIREPLACE GAS VALVES SHALL BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA BUT NO MORE THAN 12 INCHES FROM GAS OUTLET. 55 6x6 ROUGH SAWN STRUCTURAL POST AND/OR BEAM 56 MEDIA WALL - REFER TO SHEET A4.2 - OPT'L IF DASHED 57 STONE / BRICK VENEER- REFER TO ELEVATIONS 58 PROVIDE DEPRESSIONED SLAB FOR OPTIONAL PAVERS
	TOILET PAPER HOLDER - OPT'L IF DASHED (SEE COMMUNITY SPECS TO VERIFY QUANTITY) TOWEL HOOK - MOUNT AT 10" A.F.F. - OPT'L IF DASHED TOWEL RING - MOUNT AT +60" A.F.F. - OPT'L IF DASHED RECESSED MEDICINE CABINET - OPT'L IF DASHED	
	WASHING MACHINE SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT STACKABLE WASHER/DRYER SPACE - WASHER ALWAYS ON LEFT SIDE EXHAUST - 4" HOLE IN WALL LEFT FOR DRYER VENT LAUNDRY SINK - PROVIDE MIN. CLEARANCE AS INDICATED - OPT'L IF DASHED	
	OPT. TANKLESS WATER HEATER WATER HEATER ON PLATFORM 18" AFF. - REFER TO PURCHASING SPEC. FOR MODEL OPT. TANKLESS WATER HEATER - REFER TO PURCHASING SPEC. FOR MODEL PIPE BOLLARD - PROVIDE 3" DIA. SOLID GROUTED PIPE BOLLARD AS NEEDED - REFER TO PLAN FOR LOCATION SOFT WATER LOOP - OPT'L IF DASHED FREE STANDING UTILITY SINK - OPT'L IF DASHED	
	MECH. UNIT MECH. PLATFORM ELECTRICAL PANEL - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED GAS METER - LOCATE PER UTILITY COMPANY - VERIFY LOCATION PER CITY - ALT. LOCATION IF DASHED HOSE BIBB - PROVIDE BACK FLOW PREVENTER AND SHUT OFF VALVE AT FRONT LOCATION - ALT. LOCATION IF DASHED	
LAUNDRY		
BATH		
GARAGE		
MECH. / PLUMB. / ELEC.		
MISCELLANEOUS		
GENERAL NOTES		
WALL LEGEND		

SUBDIVISION

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Outhouse
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SECOND LEVEL PARTIAL NOTED FLOOR PLAN

ELEVATIONS 'J' AND 'D'

DRAWN BY:

Outhouse

DATE: JAN 1, 2025

Rev. DATE:

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PLAN#

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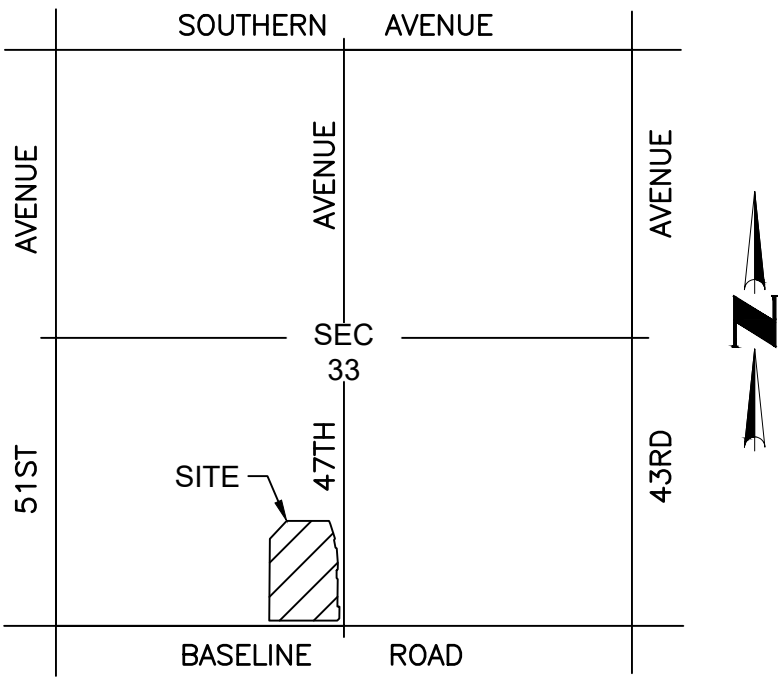
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SITEPLAN
FOR
47TH AVE & BASELINE

A PORTION OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 33,
TOWNSHIP 1 NORTH, RANGE 2 EAST, OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA

OWNER / DEVELOPER
THE EMPIRE GROUP OF COMPANIES
6617 NORTH SCOTTSDALE ROAD
SUITE # 101
SCOTTSDALE, AZ 85250
PHONE: (540) 221-0843
CONTACT: MIANDRA CASH

CVL DESIGN TEAM
CVL CONSULTANTS, INC.
4550 N. 12TH STREET
PHOENIX, AZ 85014
PHONE: (602) 285-4972
CONTACT: ALEX CARAVEO



VICINITY MAP
(NOT-TO-SCALE)

SITE DATA	
CURRENT ZONING	S-1 (Z-76-99)
PROPOSED ZONING	R1-8 PRD
APN	104-89-131
GROSS AREA	14.13 AC
NET AREA	12.61 AC
LOT SIZE	45' X 110'
YIELD	57
GROSS DENSITY	4.03 DU/AC
OPEN SPACE REQUIRED	0.71 AC 5%
OPEN SPACE PROVIDED	2.25 AC 15.95%
TOTAL TRACT AREA	2.83 AC 20.01%
LOT COVERAGE	40% PRIMARY STRUCTURE 10% SHADE STRUCTURE
MAX BUILDING HEIGHT	30'- 2-STORY

LEGEND

- PROPOSED LOTS
- PROPOSED ROW
- PROPOSED CENTER LINE
- (S.V.T.) SIGHT VISIBILITY TRIANGLE
- 1' V.N.A.E. (V.N.A.E.) INDICATES VEHICULAR NON-ACCESS EASEMENT
- 8' P.U.E. (P.U.E.) INDICATES PUBLIC UTILITY EASEMENT



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Civil Engineering, Water Systems, Wastewater Treatment, Land Planning, Energy, Land Survey, Landscape Architecture, Construction Management



CITY OF PHOENIX

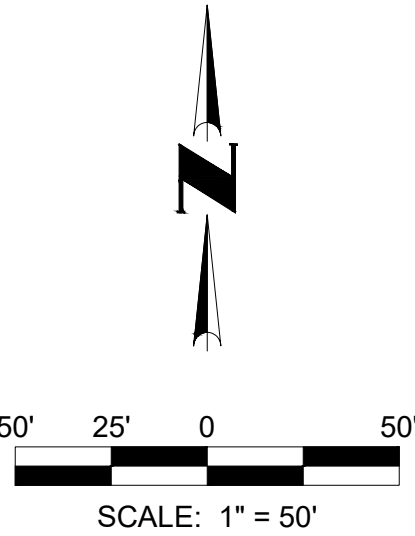
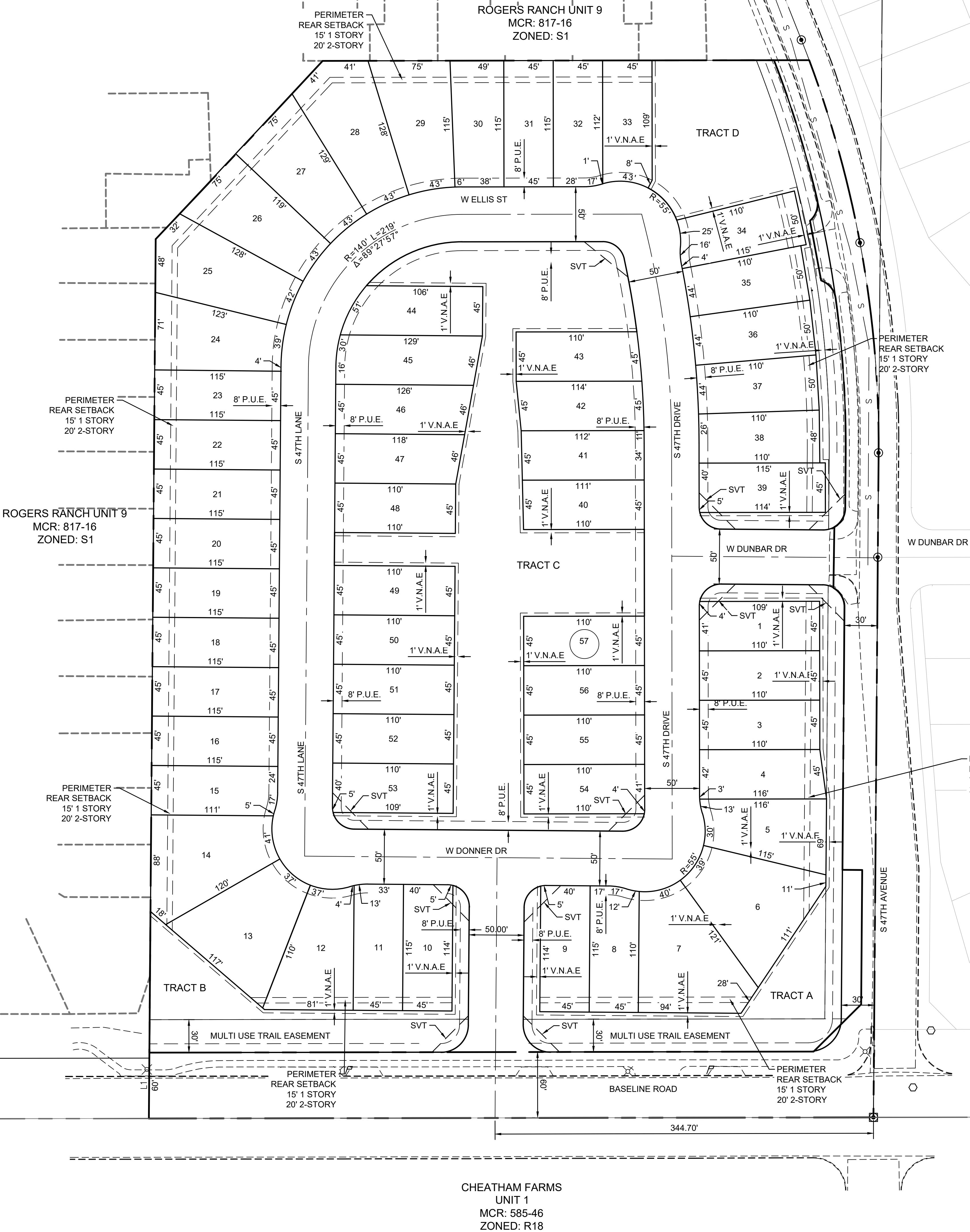
FEB 07 2025

SHEET
01 OF 01

KVA: 21-1164
PAPP: 2107508
SDEV: 2100143

DATE: 2/17/2022

Hearing Date: April 16, 2025



**Z-12-22-7 - Northwest Corner of 47th Avenue and Baseline Road
(Ordinance G-6999)**

Request to amend the Phoenix Zoning Ordinance, Section 601, the Zoning Map of the City of Phoenix, by adopting Rezoning Application Z-12-22-7 and rezone the site from S-1 (Ranch or Farm Residence District) to R1-8 (Single-Family Residence District) to allow single-family residential.

Summary

Current Zoning: S-1

Proposed Zoning: R1-8

Acreage: 14.07 acres

Proposed Use: Single-family residential

Owner: Rogers Family Living Trust

Applicant: Brennan Ray, Burch & Cracchiolo, P.A.

Representative: Brennan Ray, Burch & Cracchiolo, P.A.

Staff Recommendation: Approval, subject to stipulations.

VPC Action: The Laveen Village Planning Committee heard this case on May 9, 2022, and recommended approval with additional stipulations by a vote of 9-1.

PC Action: The Planning Commission heard this case on Jun. 2, 2022, and recommended approval per the staff memo dated Jun. 2, 2022, by a vote of 7-0.

Location

Northwest corner of 47th Avenue and Baseline Road.

Council District: 7

Parcel Address: 4702 W. Baseline Road.

This item was adopted.

**172 Payment Ordinance for Blue Ridge Fire District (Ordinance
S-48899)**

For \$10,113.19 for annual payment authority for Blue Ridge Fire District to provide fire protection and/or EMS services to City-owned property in

14. **Application #:** **Z-12-22-7**
 From: S-1
 To: R1-8
 Acreage: 14.07
 Location: Northwest corner of 47th Avenue and Baseline Road
 Proposal: Single-family residential
 Applicant: Brennan Ray, Burch & Cracchiolo, P.A.
 Owner: Rogers Family Living Trust
 Representative: Brennan Ray, Burch & Cracchiolo, P.A.

Ms. Racelle Escolar stated that Item No. 14 is Z-12-22-7, a request to rezone 14.07 acres located at the northwest corner of 47th Avenue and Baseline Road from S-1 (Ranch or Farm Residence District) to R1-8 (Single-Family Residence District) to allow a single-family residential.

The Laveen Village Planning Committee recommended approval, per the staff recommendation with additional stipulations by a 9 to 1 vote. The additional stipulations were to:

- limit the building height for specific lots along Baseline Road and 47th Avenue,
- require minimum five-foot side yards setbacks, to
- require traffic calming measures within the subdivision, and
- require the installation of wiring for electric vehicle (EV) charging.

Ms. Escolar stated that a memo was released on this item today. It is posted on the City website. It modifies the stipulation related to the EV-Ready homes, to make it easier to enforce and allowing the future homeowner to decide if they want to build a home with the EV-Ready capability.

Staff recommends approval, per the staff memo dated June 2, 2022.

Ms. Escolar stated that there was one person who requested to speak, the Vice-Chair of the Laveen Village Planning Committee.

Ms. Linda Abegg, Vice-Chairwoman of Laveen Village Planning Committee stated that she made the motion for this case. Regarding EV (electric vehicle), she wanted the Planning Commission to consider that the applicant did agree to wiring for EV vehicles. The Village would like it to be something that is a standard for these homes. They are trying to look to the future, making sure they are sustainable in this big boom. By giving it as an Option A, right now, not many people have electric vehicles, and so they may not want to spend the amount the builder requires, to add that in to the cost of the home. That is not preparing for the future. They are trying to get that wiring installed ahead of the vehicles. It ends up being an upcharge most of them see in the new home builds, where you get to choose those new options. It is a lot more expensive for added options and it will be a deterrent to getting that EV installed.

Ms. Abegg stated that in this case, the applicant is agreeing to do something that is a City goal and an overall goal to save energy and support sustainability and the environment. They would appreciate if the stipulation could remain in place. She stated that no one involved has been opposed to it, except with regards to this City memo.

Chairwoman Mangum thanked Ms. Abegg for her service on the Village Planning Committee.

Ms. Escolar stated that if that is considered, the Planning Commission has the option to approve this item per the staff memo, with the modification of Stipulation No. 6 to delete the option. It would be required for all of the standard home plans.

Commissioner Perez responded that she also had conversations with the builder, and they were very willing and gracious. The memo felt too 'Lucy Goosey' for her taste and with what was stated by Ms. Abegg that they are preparing for the future. If they have an agreement by the home builders to do this, she is not sure why the City would not want to honor that. They appreciate them wanting to do that, in the first place. She requesting to keep the stipulation in there.

Vice-Chairman Gaynor asked Commissioner Perez if she would move to nullify the memo.

Commissioner Perez responded that she would nullify that stipulation and approve it per the Laveen Village Planning Committee recommendation, with their stipulation.

Commissioner Gorraiz asked if that would be just the removal of Stipulation No. 6.

Commissioner Perez responded that was correct. She asked Ms. Escolar to confirm.

Ms. Escolar stated that it would not be for the removal, but they could just approve it per the Laveen Village Planning Committee recommendation.

Commissioner Perez made a MOTION to approve Z-12-22-7, per the Laveen Village Planning Committee recommendation.

Vice-Chairman Gaynor SECONDED.

There being no further discussion, Chairwoman Mangum called for a vote and the MOTION Passed 7-0 (Howard, Johnson absent).

Stipulations:

1. The development shall be in general conformance to the site plan date stamped May 4, 2022, with specific regard to the following element, as approved by the Planning and Development Department.
 - a. A minimum of 16% of the gross site area shall be retained as open space.
2. The conceptual elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process for stipulation modification prior to approval of the Single-Family Design Review Diversity Exhibit, with specific regard to the inclusion of the below elements. This is legislative review for conceptual purposes only. Specific development standards and requirements will be determined by the Planning Hearing Officer and the Planning and Development Department.
 - a. All elevations shall incorporate a minimum of three of the following architectural embellishments and detailing: textural changes, pilasters, offsets, recesses, variation in window size and location, and/or overhang canopies.
 - b. All elevations shall incorporate a minimum of three of the following building materials: native stone, burnt adobe, textured brick, wood (when shaded by overhangs or deep recesses), slump block, ceramic tile (matte finish), stucco, and/or exposed aggregate concrete.
 - c. The front elevations shall consist of a minimum 25% non-stucco accent material.
 - d. All garage doors shall have decorative embellishments such as window panels, added materials surrounding the door, and/or trellises.
 - e. A minimum of 75% of the standard elevations provided shall include patios and/or covered porches in the front yard at a minimum of 60 square feet in area and a depth of at least six feet, and clearly separated from the front yard with fencing, subject to the Phoenix Zoning Ordinance.
3. LOTS 7, 8, 9, AND 10 ALONG BASELINE ROAD SHALL BE LIMITED TO 26 FEET, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
4. NO MORE THAN TWO TWO-STORY HOMES SHALL BE BUILT ADJACENT TO ONE ANOTHER ALONG 47TH AVENUE, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
5. HOMES SHALL HAVE MINIMUM 5-FOOT-WIDE SIDE YARD SETBACKS.

6. THE DEVELOPER SHALL INSTALL WIRING WITHIN HOMES FOR ELECTRIC VEHICLE CAPABILITIES.
- ~~3.~~ Required landscape setbacks shall be planted with minimum 50% 2-inch
7. caliper and 50% 3-inch caliper large canopy drought-tolerant trees, 20 feet on center or in equivalent groupings, with 5-gallon shrubs per tree, as approved by the Planning and Development Department.
- ~~4.~~ The entry drives shall incorporate enhanced landscaping on both sides,
8. planted with a variety of at least three plant materials, as approved by the Planning and Development Department.
- ~~5.~~ The developer shall dedicate a 30-foot-wide multi-use trail easement (MUTE)
9. along the north side of Baseline Road and construct a minimum 10-foot-wide multi-use trail (MUT) within the easement in accordance with the MAG supplement detail and as approved by the Planning and Development Department. Where conflicts or restrictions exist, the developer shall work with the Site Planning section on an alternate design through the technical appeal process.
- ~~6.~~ A minimum 22-foot setback shall be provided to the front of garages,
10. measured from the back of the sidewalk, for each home in the development, as approved by the Planning and Development Department.
- ~~7.~~ The developer shall dedicate 30 feet of right-of-way along the west side of
11. 47th Avenue, as approved by the Planning and Development Department.
- ~~8.~~ The developer shall complete the west side of 47th Avenue to include a
12. minimum 5-foot-wide detached sidewalk and minimum 8-foot-wide landscape area located between the back of curb and sidewalk to match the northern limit of the site, as approved by the Planning and Development Department.
- ~~9.~~ The developer shall replenish the existing streetscape along Baseline Road,
13. as approved by the Planning and Development Department.
- ~~10.~~ Where sidewalks are detached along 47th Avenue, Baseline Road, and
14. internal to the site, the landscape area located between the sidewalk and back of curb shall be planted to the following standards, as approved by the Planning and Development Department:
 - a. Minimum 3-inch caliper, large canopy, single-trunk, shade trees placed a minimum of 25 feet on center or in equivalent groupings to provide a minimum of 75% shade on adjacent sidewalks.
 - b. Drought tolerant shrubs and vegetative groundcovers with a maximum mature height of 24 inches to provide a minimum of 75% live coverage at maturity.

- c. Where utility conflicts arise, the developer shall work with the Planning and Development on an alternative design solution consistent with a pedestrian environment.
- ~~44.~~ The developer shall construct a clearly defined and shaded pedestrian
15. pathway providing access to the multi-use-trail along Baseline Road, as approved by the Planning and Development Department.
16. TRAFFIC CALMING MEASURES SHALL BE INSTALLED WITHIN THE DEVELOPMENT, AS APPROVED BY THE STREET TRANSPORTATION DEPARTMENT.
- ~~42.~~ The developer shall construct all streets within and adjacent to the
17. development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
- ~~43.~~ The developer shall rebuild the bus stop pad along westbound Baseline Road
18. according to P1260 and P1258, unless stated otherwise by the Public Transit Department.
- ~~44.~~ If determined necessary by the Phoenix Archaeology Office, the applicant
19. shall conduct Phase I data testing and submit an archaeological survey report of the development area for review and approval by the City Archaeologist prior to clearing and grubbing, landscape salvage, and/or grading approval.
- ~~45.~~ If Phase I data testing is required, and if, upon review of the results from the
20. Phase I data testing, the City Archaeologist, in consultation with a qualified archaeologist, determines such data recovery excavations are necessary, the applicant shall conduct Phase II archaeological data recovery excavations.
- ~~46.~~ In the event archaeological materials are encountered during construction, the
21. developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

**LAVEEN VILLAGE PLANNING COMMITTEE
MEETING MINUTES**

Monday, May 9, 2022

Meeting was held electronically via a video conferencing platform

MEMBERS PRESENT

Tonya Glass, Chair
Linda Abegg, Vice Chair
Francisco Barraza
Toni Buggs
Stephanie Hurd
JoAnne Jensen
Gizette Knight
Carlos Ortega
Rebecca Perrera
Jennifer Rouse

MEMBERS EXCUSED

Elijah Flores
Gary Flunoy
Christopher Joseph

STAFF PRESENT

Julianna Pierre

1. **Call to order, introductions, and announcements by Chair.**

Vice Chair Linda Abegg called the Laveen Village Planning Committee meeting to order at 6:31 p.m. with a quorum of ten members present (seven members required for a quorum).

2. **Review and approval of the April 11, 2022 meeting minutes.**

MOTION

Committee member Toni Buggs made a motion to approve the April 11, 2022 minutes. The motion was seconded by **Committee member Stephanie Hurd**.

VOTE

10-0, motion passed; Committee members Glass, Abegg, Barraza, Buggs, Hurd, Jensen, Knight, Ortega, Perrera, and Rouse in favor.

3. **Council District updates.**

Maria Lopez, Chief of Staff in the District 7 (D7) Office, provided the following updates to the Committee:

- The D7 Office is working on grant applications and allocation of American Rescue Plan funds to revitalize communities and build infrastructure;
- The City is executing their Climate Action and Heat Response Plans and working with the D7 Office to ensure everyone across the City has access to resources. They are in the process of securing another \$600,000 for cooling towels, water, signage, etc. for local nonprofits;
- The D7 Office is aware of the complaints and issues at 51st Avenue and Baseline Road. Councilwoman Ansari has requested that the Deputy City Manager, Human Services Department, Neighborhood Services Department,

Parks and Recreation Department, and Police Department work together to provide resources to residents and continue work on the problem;

- Renderings for the 71st Avenue and Meadows Loop Park were seen by D7 Office and it looks great and will be a great addition to the area;
- The D7 Office is working with the Economic Development team on a summer restaurant tour;
- Construction on the Cesar Chavez Community Center will be completed June 1, 2022 and the grand opening should be on August 1, 2022.

4. Public comments concerning items not on the agenda.

Dan Penton discussed the proposed IDM Smith Tech Park. He expressed concerns with the proposal to rezone to A-1, the Light Industrial Zoning District. He stated that this is not an area where the Village would want to have industrial zoning and the applicant should propose a Planned Unit Development (PUD) instead.

Phil Hertel indicated that he wished to speak, but could not access the meeting.

5. INFORMATION ONLY: Presentation and discussion regarding the electric vehicle roadmap.

Lisa Perez, Planning Commission and Electric Vehicle (EV) Ad Hoc Committee member, explained that the explained that the Ev Ad Hoc Committee was established in June 2021 and tasked to develop an EV roadmap. She added that the committee was a response to the City's Climate Action Plan and will end June 2022 with finalization of the roadmap. She and **Mark Hartman**, Chief Sustainability Officer, reviewed the EV Ad Hoc Committee's draft recommendations: support accelerated EV adoption in the community; expand access to public EV charging; and support access to home, business, and workplace charging; pilot mobility options in an underserved community.

QUESTIONS FROM COMMITTEE

Committee member Stephanie Hurd stated that as technology shifts, it is important to implement the appropriate infrastructure. She asked for clarification regarding the charging speed. **Mark Hartman** stated that most people driving 10 to 15 miles can use a Level 1 charging station. He added that Level 2 charging stations allow more miles, but can take 6 to 8 hours to fully charge. He stated that the newest DC Fast charging stations can provide full charge in less than 30 minutes. He stated that there are plans to have fast charging stations every 50 miles along interstate highways. **Committee member Stephanie Hurd** asked about the chargers in Cesar Chavez Park. **Mark Hartman** stated that they are fast charging stations.

Committee member Stephanie Hurd asked about the type of charging stations that should be requested within residential developments. **Mark Hartman** stated that Level 2 chargers are common in residences and that it is important to consider what infrastructure is necessary as EVs become more common. **Lisa Perez** added that it is

important to encourage developers to provide infrastructure in advance, particularly within multifamily developments.

Chair Tonya Glass asked for clarification regarding policy implementation related to EVs. **Lisa Perez** stated that after all the recommendations are provided to the Ad Hoc Committee, they will move towards implementing policy. She added that there may also be additional requirements regarding retrofitting. **Mark Hartman** stated that EV requirements are expected to be in the building code by 2025.

Chair Tonya Glass asked for clarification regarding grid capacity. **Mark Hartman** stated that the City is currently using about 50% of the grid's capacity. He added that EV charging could be provided to every home in the City, as long as charging took place off peak during the summer months. **Committee member Carlos Ortega** provided an anecdote about EVs that are programmed to charge at the most opportune time.

Committee member Carlos Ortega asked if the Ad Hoc Committee met with other cities. **Mark Hartman** stated that the committee referenced EV plans from other cities and found 12 that were comparable to the City of Phoenix. **Committee member Carlos Ortega** asked if there is a way to implement EV policy sooner rather than later. **Mark Hartman** explained that it is possible depending on the EV market. He added that it would also take time to change the building code and train inspectors. **Lisa Perez** added that as the technology changes, documents are likely to change as well. **Mark Hartman** noted that the Ad Hoc Committee has an upcoming meeting where he can share the Village Planning Committee (VPC) suggestions and recommendations.

Vice Chair Linda Abegg stated that specific language could be helpful for the VPCs when creating stipulations for cases. She noted the importance of using the correct technical terminology when discussing wiring, levels, conduits, and other components. **Chair Tonya Glass** added that this language could be used at pre-application meetings, so developers understand expectations early in the rezoning or development process.

Committee member Carlos Ortega stated that the Ad Hoc Committee should revisit the master planning process and determine a way to include EV charging. **Mark Hartman** stated that they intend to include EV charging in both General and Village plans. **Lisa Perez** added that EV charging will become embedded in all future processes.

PUBLIC COMMENTS

Dan Penton explained that installation of EV charging by residents has barriers to entry related to time and finances. He added that EV charging is expected to become a major part of infrastructure, but eventually the grid will be at capacity and instead there should be an integration of solar energy into EV charging. He added that EV charging stations should be incorporated at gas stations with solar panels atop fuel canopies. He added that there should be innovative ways to recycle EV batteries and

solar cells, include EV charging in multifamily development, and retrofit commercial parking lots to include charging stations. **Mark Hartman** stated that those recommendations align with the thinking of the Ad Hoc Committee. He added that the committee is thinking of ways to streamline the permitting process and pair solar and EV charging.

6. **Z-12-22-7: Presentation, discussion, and possible recommendation on a request to rezone 14.07 acres located at the northwest corner of 47th Avenue and Baseline Road from S-1 (Ranch or Farm Residence) to R1-8 (Single-Family Residence District) to allow single-family residential.**

STAFF PRESENTATION

Julianna Pierre provided information regarding the location of the site, surrounding zoning, and general plan land use designation. She stated that the proposal is to rezone the site from S-1 to R1-8 to allow a single-family residential subdivision. She added that the development is proposed to have 55 single-family detached lots with ingress and egress to both 47th Avenue and Baseline Road. She added that no elevations were submitted with the application. She reviewed the staff findings and stipulations. She stated that staff is recommending approval, subject to stipulations. She added that the applicant is suggesting two additional stipulations: 1) Lots 7, 8, 9, and 10 along Baseline Road shall be limited to 26 feet, as approved by the Planning and Development Department and 2) No more than two two-story homes shall be built adjacent to one another along 47th Avenue, as approved by the Planning and Development Department.

APPLICANT PRESENTATION

Brennan Ray, representative with Burch & Cracchiolo, P.A., stated that in May 2021 this request was informally brought before members of the Laveen VPC and Laveen Citizens for Responsible Development (LCRD) for comments. He added that the original proposal was for 147 rental units, which was determined to not be appropriate for the site. The proposal was revised to 57 single-family detached lots. Based on the neighborhood meeting and LCRD comments, there were additional revisions to the plan including: reduction to 55 lots, modification of ten lots to be 50 feet wide, and an increase of open space. He added that the location is a challenging infill site and economics would not allow for all lots to be modified to 50 feet wide.

Brennan Ray discussed the multiuse trail (MUT) and multiuse trail easement (MUTE) requirements along Baseline Road. He added that based on LCRD comments and discussions they are proposing two additional stipulations regarding height limitations to Lots 7, 8, 9, and 10 and limitations to two-story homes. He added that there had been questions about traffic and a deceleration lane, but a traffic engineer determined that there is not enough volume to warrant a right turn lane.

QUESTIONS FROM COMMITTEE

Committee member Jennifer Rouse asked about the sidewalk along Baseline Road, cut through traffic, and speed mitigation measures. **Brennan Ray** explained the

rendering shown was inaccurate and there would be a sidewalk along Baseline Road. He added that the development will not be gated and internal streets will be public, but the development is open to traffic calming measures. **Committee member Jennifer Rouse** asked if the lighting will be adequate. **Brennan Ray** explained that the development's lighting will comply with the City Ordinance.

Committee member Carlos Ortega explained that 45-foot-wide lots are not wanted in the neighborhood. **Brennan Ray** explained that since this was an infill site, which lends itself to more intense development, which is why a mix of 50- and 45-foot-wide lots was being proposed. He added that the development's density is consistent with the area.

Vice Chair Linda Abegg asked for clarification regarding Stipulation No. 6, regarding a setback to the front of the garage. She stated that the language was different from prior stipulations regarding the 22-foot-long driveways. **Julianna Pierre** explained during the review process, the language was modified to have standard enforceable language.

Vice Chair Linda Abegg requested an additional stipulation requiring all side yards to be at least 5 feet wide. **Committee member Carlos Ortega** asked about 10 feet between rooftops. **Vice Chair Linda Abegg** explained that asking for 5-foot-wide side yards would get the same result. **Brennan Ray** stated that he had no concerns with an additional stipulation.

Chair Tonya Glass stated that an EV stipulation should be considered. **Brennan Ray** conferred with his team and stated that they could commit to wiring homes for EV capabilities. **Julianna Pierre** explained that an EV stipulation may not be enforceable. She noted that stipulations should be something that can be shown on a site plan and evaluated for compliance through Site Planning's review process. The Committee agreed that they would prefer to have a stipulation regarding EV requirements in their recommendation and if not enforceable, Planning Commission could remove the stipulation.

Vice Chair Linda Abegg requested an additional stipulation regarding speed mitigation. **Brennan Ray** stated that he had no concerns with an additional stipulation.

PUBLIC COMMENTS

Two members of the public indicated that they wanted to speak. However, there were no public comments for this item as **Dan Penton** had to leave the meeting and **Phil Hertel** could not access the meeting.

MOTION

Chair Linda Abegg made a motion to approve Z-12-22-7 with the following additional stipulations:

1. Lots 7, 8, 9, and 10 along Baseline Road shall be limited to 26 feet, as approved by the Planning and Development Department.

2. No more than two two-story homes shall be built adjacent to one another along 47th Avenue, as approved by the Planning and Development Department.
3. Homes shall have minimum 5-foot-wide side yard setbacks.
4. Traffic calming measures shall be installed within the development, as approved by the Street Transportation Department.
5. The developer shall install wiring within homes for electric vehicle capabilities.

The motion was seconded by **Committee member Stephanie Hurd**.

VOTE

9-1, motion passed; Committee members Glass, Abegg, Barraza, Buggs, Hurd, Jensen, Knight, Perrera, and Rouse in favor and Committee member Ortega in opposition.

7. Staff update on cases recently reviewed by the Committee.

Julianna Pierre provided the following updates:

- **PHO-1-22—Z-51-08-7:** (Southeast corner of 35th Avenue and Southern Avenue) Modification and deletion of stipulations to allow a residential development. The Planning Hearing Officer recommended approval, with modifications and additional stipulations on April 20, 2022.
 - A modification to Stipulation No. 1 to accommodate the site plan presented at the April VPC meeting.
 - A modification to Stipulation 1 and additional stipulation to split the conformance requirements for the site plan and elevations into separate stipulations.
 - A modification to Stipulation No. 3 to provide more standards language for the conformance requirement and to identify the applicant's proposal for landscape islands as an item for specific regard.
 - A modification to Stipulation No. 5 to allow greater flexibility in reviewing how the stipulation is being implemented; specifically removal of references to the commercial development, which is no longer planned, and clarification that pathway shading can be accomplished through landscaping or architectural features.
 - A modification to Stipulation No. 12 to split the maximum unit count and building height restriction into two separate stipulations.
 - Additional stipulations from the Street Transportation Department: 1) A requirement for the developer to replenish the detached landscape strips along 35th Avenue, 2) A requirement for the developer to provide a minimum of 20 bicycle parking spaces, 3) A requirement for an enhanced and shaded pedestrian pathway to the bus stop along 35th Avenue.

- A reminder that Diana Hernandez sends out the VPC packets prior to the monthly meeting and that her email contains a link for quorum checks.

8. Committee member announcements, requests for information, follow up, or future agenda items.

Chair Tonya Glass inquired about returning to in person meetings.

Committee member Jennifer Rouse congratulated **Vice Chair Linda Abegg** on her award as a Laveen Legend. She stated that the Laveen Car Show, that took place at 35th Avenue and Southern Avenue, was successful. She added that there is a meeting tomorrow regarding 51st Avenue and Baseline Road.

Committee member Rebecca Perrera stated that on Saturday from 9AM to 12PM in Cesar Chavez Park, the Laveen Action Committee and Chamber of Commerce are putting together 60 booths for a Youth Leadership Summit.

Committee member Francisco Barraza stated that the craft fair is slowing down due to the host being injured. He added that the last day of school is upcoming and to look forward to preparations for the upcoming school year.

Chair Tonya Glass congratulated **Vice Chair Abegg** on her accolades and impact on the community with her park related pursuits. **Committee member Carlos Ortega** asked when the parks will be completed. **Vice Chair Linda Abegg** stated that the park at 55th Avenue and Samantha Way is still waiting for building permits and the park at 71st Avenue and Meadows Loop is going to the Parks Board this month to have their plan approved.

Committee member Carlos Ortega expressed concerns regarding homeless at bus stops. He requested a presentation about how to mitigate the homeless loitering at bus stops. **Chair Tonya Glass** added that it may be beneficial to work with Councilwoman Ansari regarding the issue.

9. Adjournment.

Committee member Jennifer Rouse made a motion to adjourn the meeting. The motion was seconded by **Committee member Carlos Ortega**.

The meeting was adjourned at 8:41 p.m.